

SOURCE: USGS ONLINE MAPPING SYSTEM

**LOCATION MAP**

SCALE: 1" = 2,000'±

# SITE DEVELOPMENT PLANS FOR PRIME GROUP HOLDINGS PROPOSED SELF STORAGE FACILITY

PID: 0705087570

6360 MONROE AVENUE

CITY OF ELDERSBURG, CARROLL COUNTY, MARYLAND 21784

**APPLICANT / OWNER**

PRIME STORAGE ELDERSBURG, LLC  
(PRIME GROUP HOLDINGS)  
511 WEST 25TH ST  
NEW YORK, NEW YORK 10001

ALI TARIQ  
518-615-0552  
ALI.TARIQ@GOPRIMEGROUP.COM

ISSUE	DATE	BY	DESCRIPTION
3	04/23/2026	EM	FOR COUNTY SUBMISSION
2	04/14/2026	EM	FOR COUNTY SUBMISSION
1	03/09/2026	EM/AP	FOR COUNTY SUBMISSION

NOT APPROVED FOR CONSTRUCTION



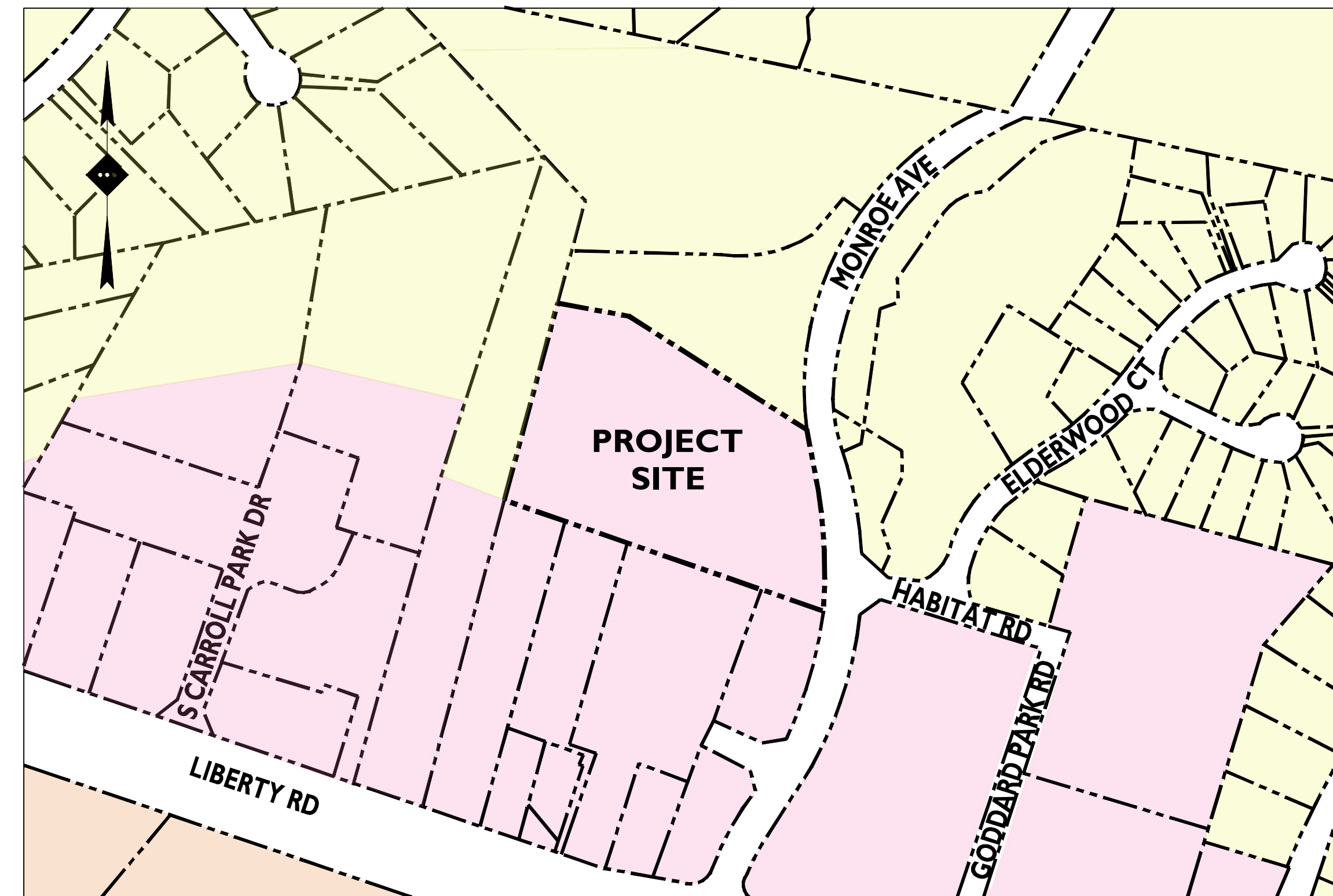
Rutherford, NJ · New York, NY · Salem, MA · Providence, RI  
Princeton, NJ · Tampa, FL · Birmingham, MI  
www.stonefielddeng.com  
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009  
Phone 248.247.1115



SOURCE: NEARMAP AERIAL IMAGERY DATED 03/18/2025

**AERIAL MAP**

SCALE: 1" = 200'±



SOURCE: CARROLL COUNTY, MARYLAND OFFICIAL ZONING MAP

**ZONING KEY**

- C-2 (COMMERCIAL DISTRICT)
- R-10,000 (RESIDENTIAL DISTRICT)
- R-20,000 (RESIDENTIAL DISTRICT)

**ZONING MAP**

SCALE: 1" = 200'±

PLANS PREPARED BY:



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www.stonefielddeng.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009

Phone 248.247.1115

**PLAN REFERENCE MATERIALS:**

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - ALTA / NSPS LAND TITLE SURVEY PREPARED BY VALLEY LAND SERVICES DATED 02/11/2026
  - ARCHITECTURAL PLANS PREPARED BY SAA ARCHITECTS
  - AERIAL MAP OBTAINED FROM NEARMAP DATED 03/18/2025
  - LOCATION MAP OBTAINED FROM USGS MAPPING SYSTEM
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

**SHEET INDEX**

DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEMOLITION & TREE REMOVAL PLAN	C-2
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LANDSCAPING PLAN	C-8
LANDSCAPING DETAILS	C-9
SOIL EROSION & SEDIMENTATION CONTROL PLAN	C-10
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ALTA / NSPS LAND TITLE SURVEY	S-2
ALTA / NSPS LAND TITLE SURVEY	S-3

**S-26-0031**

PRIME STORAGE AMENDED SITE PLAN  
FKA ELDERSBURG SELF STORAGE

PID: 0705087570  
6360 MONROE AVENUE  
CITY OF ELDERSBURG  
CARROLL COUNTY, MARYLAND



COUNTY FILE #: S-26-0031

SCALE: AS SHOWN PROJECT ID: PRI-250293

TITLE:

COVER SHEET

DRAWING: **C-1**  
( 1 OF 14 )

**LEGAL DESCRIPTION**

The Land referred to herein below is situated in the County of Carroll, State of Maryland, and is described as follows:

PARCEL I:  
 BEING KNOWN AND DESIGNATED AS "LOT 4A" AS SHOWN ON A PLAT ENTITLED "AMENDED PLAT FOR LOT 4 OF ELDERWOOD VILLAGE" RECORDED AMONG THE PLAT RECORDS OF CARROLL COUNTY, MARYLAND IN PLAT BOOK 45, PAGE 206; NOW KNOWN AS LOT 4B AS SHOWN ON A PLAT ENTITLED "AMENDED PLAT OF LOT 4A OF ELDERWOOD VILLAGE" RECORDED AMONG THE PLAT RECORDS OF CARROLL COUNTY, MARYLAND IN PLAT BOOK 54, PAGE 307.

PARCEL II:  
 TOGETHER WITH THE BENEFITS BUT NOT THE BURDENS OF DECLARATION OF STORM WATER MANAGEMENT COVENANTS DATED MAY 12, 1995 AND RECORDED ON MAY 15, 1995 IN BOOK 1893, PAGE 344.

Being the same tract of land described in a Title Report provided by First American Title Insurance Company, Commitment No. NCS-1V7UMD01—CAST, dated February 14, 2025, at 7:30 AM.

- SCHEDULE B EXCEPTIONS**
- First American Title Insurance Company, Commitment No. NCS-1V7UMD01-CAST, dated February 14, 2025, at 7:30 AM.
6. Deed dated July 16, 1969 and recorded July 18, 1969 among the aforesaid Land Records in Liber 457, folio 622 by and between Harvey C. Neel and Valma M. Neel, his wife and Har-Val, Inc., a body corporate, duly incorporated under the Laws of the State of Maryland - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
  7. Deed of Easement and Agreement dated June 29, 1971 and recorded July 2, 1971 among the aforesaid Land Records in Liber 490, folio 582 by and between Har-Val, Inc., a body corporate of the State of Maryland and Frances A. Sanzo - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT, EASEMENT AND RIGHT OF ACCESS NOT ADEQUATELY DEFINED.
  8. Deed dated March 6, 1969 and recorded April 21, 1969 among the aforesaid Land Records in Liber 303, folio 7 by and among Millie E. Wampler, widow and John E. Wilburn, et al - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
  9. Public Works Agreement No. S-00-009 dated December 15, 2000 and recorded December 26, 2000 among the aforesaid Land Records in Liber 2451, folio 161 by and between The County Commissioners of Carroll County, Maryland, a body corporate and public of the State of Maryland and Monroe Partnership, a Maryland general partnership - NOT PLOTTED ON SURVEY, BLANKET AGREEMENT COVERING SUBJECT PROPERTY, As amended by Assignment and Assumption of Public Works Agreement No. S-00-009 recorded in Liber 2527, folio 740 - NOT PLOTTED ON SURVEY, DOCUMENT CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS.
  10. Deed of Easement dated November 30, 2000 and recorded December 4, 2000 among the aforesaid Land Records in Liber 2440, folio 198 by and among Monroe Partnership, including its successors and assigns and William Wheatley, Trustee, et al - PLOTTED ON SURVEY.
  11. Deed dated December 18, 1996 and recorded December 20, 1996 among the aforesaid Land Records in Liber 1868, folio 207 by and among Monroe Partnership, a Maryland general partnership and Carroll County Bank and Trust Company, et al - PLOTTED ON SURVEY.
  12. Declaration of Storm Water Management Covenants dated May 12, 1995 and recorded May 15, 1995 among the aforesaid Land Records in Liber 1893, folio 344 by and between Monroe Partnership, a Maryland general partnership and Carroll County Bank and Trust Company, a Maryland corporation - NOT PLOTTED ON SURVEY, BLANKET AGREEMENT COVERING LANDS INCLUDING SUBJECT PROPERTY.
  13. Declaration of Maintenance Obligations dated November 23, 1994 and recorded December 8, 1994 among the aforesaid Land Records in Liber 1656, folio 564 by and among Monroe Partnership, a Maryland general partnership and Louisa S. Frimm, et al - NOT PLOTTED ON SURVEY, "EASEMENT FOR INGRESS AND EGRESS FROM LOT 5 TO THE RESTRICTED DRIVEWAY ENTRANCE ON LOT 4" EXTINGUISHED BY MERGER OF TITLE DESCRIBED IN PLAT BOOK 45 PAGE 206.
  14. Deed of Easement dated November 23, 1994 and recorded December 8, 1994 among the aforesaid Land Records in Liber 1656, folio 558 by and among Monroe Partnership, a Maryland general partnership and Louisa S. Frimm, et al - PLOTTED ON SURVEY.
  15. Deed of Easement dated November 23, 1994 and recorded December 8, 1994 among the aforesaid Land Records in Liber 1656, folio 551 by and among Monroe Partnership, a Maryland general partnership and Louisa S. Frimm, et al - PLOTTED ON SURVEY.
  16. Public Works Agreement No. F-92-094 dated November 23, 1994 and recorded December 8, 1994 among the aforesaid Land Records in Liber 1656, folio 542 by and between The County Commissioners of Carroll County, Maryland, a body corporate and public of the State of Maryland and Monroe Partnership, a Maryland general partnership - NOT PLOTTED ON SURVEY, DOCUMENT CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS.
  17. Right of Way Agreement dated May 3, 1995 and recorded May 30, 1995 among the aforesaid Land Records in Liber 1696, folio 794 by and between Monroe Partnership and Baltimore Gas and Electric Company - NOT PLOTTED ON SURVEY, BLANKET AGREEMENT COVERING LANDS INCLUDING SUBJECT PROPERTY.
  18. Declarations of Covenants, Conditions, Restrictions and Easements dated February 12, 1998 and recorded February 17, 1998 among the aforesaid Land Records in Liber 2005, folio 349 by Monroe Partnership, a Maryland general partnership - NOT PLOTTED ON SURVEY, BLANKET AGREEMENT COVERING LANDS INCLUDING SUBJECT PROPERTY.
  19. Deed dated April 19, 1999 and recorded April 23, 1999 among the aforesaid Land Records in Liber 2193, folio 112 by and between Monroe Partnership, a Maryland general partnership and The County Commissioners of Carroll County, a body corporate and public of the State of Maryland - NOT PLOTTED ON SURVEY, PARCEL "E" IS NOT ON, OR DOES NOT TOUCH SUBJECT PROPERTY.
  20. Deed of Easement dated March 20, 2017 and recorded March 31, 2017 among the aforesaid Land Records in Liber 8650, folio 76 by and between Eldersburg Self Storage II, LLC, including successors and assigns and The County Commissioners of Carroll County, Maryland, a body corporate and public of the State of Maryland - PLOTTED ON SURVEY.
  21. Subject to notes, notations, rights of way, easements, setbacks, reservations, building restriction lines and restrictions as set forth upon a Plat entitled "Amended Plat for Lot 4 of Elderwood Village" and recorded in Plat Book 45, Page 206 - PLOTTED ON SURVEY.
  22. Subject to notes, notations, rights of way, easements, setbacks, reservations, building restriction lines and restrictions as set forth upon a Plat entitled "Amended Plat of Lot 4A of Elderwood Village" and recorded in Plat Book 54, Page 307 - PLOTTED ON SURVEY.
  23. Subject to notes, notations, rights of way, easements, setbacks, reservations, building restriction lines and restrictions as set forth upon a Plat entitled "Amended Plat of Parcels C & E Elderwood Village" and recorded in Plat Book 51, Page 122 - NOT PLOTTED ON SURVEY, IS NOT ON, OR DOES NOT TOUCH SUBJECT PROPERTY.
  24. Subject to notes, notations, rights of way, easements, setbacks, reservations, building restriction lines and restrictions as set forth upon a Plat entitled "Elderwood Village Amended Plat of Parcels C-1 & G" and recorded in Plat Book 55, Page 61 - NOT PLOTTED ON SURVEY, IS NOT ON, OR DOES NOT TOUCH SUBJECT PROPERTY.
  25. Subject to notes, notations, rights of way, easements, setbacks, reservations, building restriction lines and restrictions as set forth upon a Plat entitled "Elderwood Village Amended Plat of Parcels B & F" and recorded in Plat Book 55, Page 70 - PLOTTED ON SURVEY.
  26. Deed of Easement dated September 6, 2017 and recorded September 14, 2017 among the aforesaid Land Records in Liber 8604, folio 370 by and between Elderwood SWM Association, Inc., a body corporate of the State of Maryland and The County Commissioners of Carroll County, Maryland, a body corporate and public of the State of Maryland - NOT PLOTTED ON SURVEY, IS NOT ON, OR DOES NOT TOUCH SUBJECT PROPERTY.

**ZONING**

The surveyor was not provided with zoning information by the insurer pursuant to Table A item 6 (a)(b.)

**SIGNIFICANT OBSERVATIONS**

(A) BUILDING CROSSES 40' SETBACK LINE BY UP TO 1.6 FEET  
 (B) BUILDING CROSSES 40' SETBACK LINE BY UP TO 0.3 FEET  
 (C) BUILDING CROSSES 40' SETBACK LINE BY UP TO 0.6 FEET

**UTILITY NOTES**

UTILITIES SHOWN ARE BASED ON LIMITED DATA. THERE IS NO GUARANTEE AS TO THEIR LOCATION OR SIZE. PLEASE CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. POSSIBLE CONTACTS IN THIS AREA ARE:

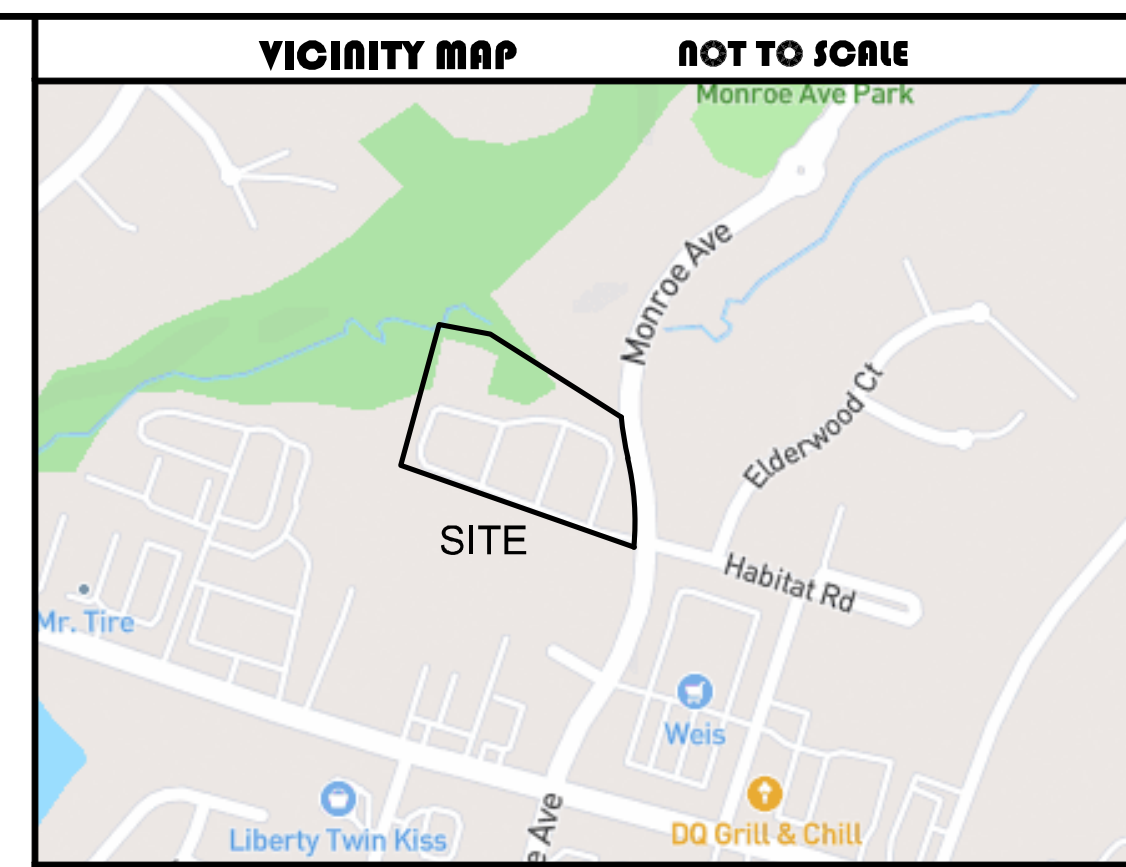
ANTITETAM CABLE  
 PHONE: (240) 420-2088

BALTIMORE GAS & ELECTRIC (BGE)  
 ADDRESS: P.O. BOX 1475 BALTIMORE, MD 21203  
 GAS EMERGENCY: BGE 1-877-778-7798 OR 1-800-685-0123.  
 ELECTRIC EMERGENCY: BGE 1-877-778-2222 OF 1-800-685-0123.  
 GENERAL PHONE: 1-800-265-6177.

CARROLL COUNTY UTILS/PROCOMM  
 PHONE: (443) 456-6686

COMCAST  
 ADDRESS: 1701 JFK BOULEVARD, PHILADELPHIA, PA 19103.  
 PHONE: 1-800-391-3000.

VERIZON  
 ADDRESS: ONE VERIZON WAY, BASKING RIDGE, NEW JERSEY 07920.  
 PHONE: NON-EMERGENCY 1.866.408.9290.



- SITE DATA**
1. PROPERTY IS KNOWN AS PARID 0705087570 IN CARROLL COUNTY, MARYLAND.
  2. LOT AREA = 179,241 S.F. OR 4.1148 AC.
  3. NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
  4. VERTICAL DATUM = NAVD88 .  
 BENCHMARK - MAG NAIL, ELEV. = 524.30
  5. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
  6. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
  7. TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES. DATE OF FIELD SURVEY = JANUARY 07, 2026.
  8. THIS PLAN IS VALID ONLY WHEN SIGNED IN COLORED INK AND EMBOSSED WITH AN ORIGINAL SEAL AND WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARD OF ACCURACY OF THE STATE IN WHICH THE PROJECT IS LOCATED.
  9. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
  10. COPYRIGHT © 2026, VALLEY LAND SERVICES. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT AN ORIGINAL SEAL ARE NOT VALID.
  11. PARKING PROVIDED -  
 -REGULAR = 13 SPACES  
 -HANDICAP = 01 SPACES  
 TOTAL SPACES PROVIDED = 14
  12. INFORMATION FOR TREE IDENTIFICATION PERFORMED BY REDWOOD CONSULTING ARBORISTS, DATE 01-07-2026. TREE AREA = 24454 SF., 0.5614 AC.

**FLOOD NOTE**

BY GRAPHICAL REPRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X"(UNSHADED) AS SHOWN ON FLOOD INSURANCE RATE MAP 24013C0318D, COMMUNITY PANEL No. 240015 0318 D WHICH HAS AN EFFECTIVE DATE OF OCTOBER 02, 2015 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR AN AMENDMENT FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY. (NAVDB88)

TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY

**VALLEY LAND SERVICES**  
 FIRST ORDER LLC DBA VALLEY LAND SERVICES  
 4383 HECKTOWN ROAD  
 BETHLEHEM, PA 18020  
 Phone (610) 365-2907 Fax (610) 365-2958  
 NJ Certificate of Authorization: 24GA28154900

SITE ADDRESS: 6360 MONROE AVENUE  
 CARROLL COUNTY, MARYLAND

CLIENT: STONEFIELD ENGINEERING

JOB NO: V250323 DRAWN BY: INDO/BK APPROVED BY: BJF

DATE: JANUARY 20, 2026.  
 REVISIONS:

No.	DATE	DESCRIPTION

COUNTY FILE #: S-26-0031

0' 30' 60' 90'

SCALE: 1" = 30'

**S-1**  
 (SHEET 12 OF 14)

**SURVEYOR'S CERTIFICATION**

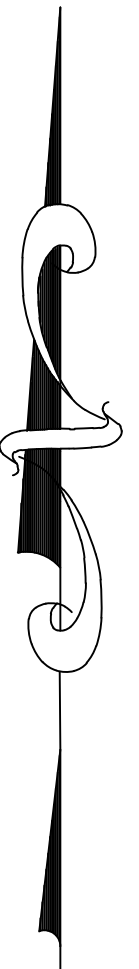
TO: First American Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items xxxx of Table A thereof.

[ \_\_\_\_\_ Surveyor's Signature \_\_\_\_\_ ]  
 Jack W. Shoemaker  
 Professional Land Surveyor 21043, exp. 1/22/2028  
 in the State of Maryland  
 Date of Survey: January 7, 2026  
 Date of Last Revision: April 28, 2026

Survey Performed By:  
**Valley Land Services, LLC**  
 4383 Hecktown Road, Suite B  
 Bethlehem, PA 18020  
 Phone 610-365-2907  
 Fax 610-365-2958  
 Email: jshoemaker@firstorderllc.net  
 Project No. V250323

THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HERON DELINEATED PROPERTY BY THE NAMED SURVEYOR. NO RESPONSIBILITY OR LIABILITY IS ASSIGNED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSES. OTHER THAN LIMITED TO USE OF SURVEY APPARATUS, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.



TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY

**VALLEY LAND SERVICES**  
 FIRST ORDER LLC DBA VALLEY LAND SERVICES  
 4383 HECKTOWN ROAD  
 BETHLEHEM, PA 18020  
 Phone (610) 365-2907 Fax (610) 365-2958  
 NJ Certificate of Authorization: 24GA28154900

SITE ADDRESS: 6360 MONROE AVENUE  
 CARROLL COUNTY, MARYLAND

CLIENT: STONEFIELD ENGINEERING

JOB NO: V250323 DRAWN BY: INDO/BK APPROVED BY: B.J.F.

DATE: JANUARY 20, 2026.  
 REVISIONS:  
 No. DATE DESCRIPTION

COUNTY FILE #: S-26-0031

0' 30' 60' 90'  
 SCALE: 1" = 30'

S-2  
 (SHEET 13 OF 14)

Surveyor's Signature  
 Jack W. Shoemaker  
 Professional Land Surveyor 21043, exp. 1/22/2028  
 in the State of Maryland  
 Date of Survey: January 7, 2026  
 Date of Last Revision: April 28, 2026

Surveyed by:  
**Valley Land Services, LLC**  
 4383 Hecktown Road, Suite B  
 Bethlehem, PA 18020  
 Phone 610-365-2907  
 Fax 610-365-2958  
 Email: jshoemaker@firstorderllc.net  
 Project No. V250323

ACCT. 0705015731  
 LANDS N/F  
 1918 LIBERTY ROAD SYKESVILLE LLC  
 L. 8091 F. 376  
 1918 LIBERTY ROAD

ACCT. 0705088038  
 \*\*AS PER PLAT BOOK DBS 55 P. 70\*\*  
 LANDS N/F  
 COUNTY COMMISSIONERS OF CARROLL  
 COUNTY  
 L. 8650 F. 71  
 MONROE AVENUE

100 YEAR FLOOD  
 PLAIN, DRAINAGE &  
 UTILITY EASEMENT  
 TO BE REMOVED  
 FROM PARCEL C-1  
 P.B. 55 PG. 70

1 STORY  
 METAL SHED  
 (4,388 S.F.  
 FOOTPRINT)

100 YEAR FLOOD PLAIN  
 DRAINAGE & UTILITY  
 EASEMENT  
 L. 1656 F. 551

1 STORY  
 MASONRY BUILDING  
 (999 S.F. FOOTPRINT)

1 STORY  
 MASONRY BUILDING  
 (4,695 S.F. FOOTPRINT)

10' DRAINAGE &  
 UTILITY EASEMENT  
 L. 1656 F. 558

1 STORY  
 METAL SHED  
 (3,297 S.F.  
 FOOTPRINT)

1 STORY  
 METAL SHED  
 (3,270 S.F.  
 FOOTPRINT)

1 STORY  
 METAL SHED  
 (3,598 S.F.  
 FOOTPRINT)

1 STORY  
 METAL SHED  
 (10,468 S.F.  
 FOOTPRINT)

ACCT. 0705087570  
 LANDS N/F  
 PRIME STORAGE  
 ELDERSBURG LLC  
 L. 19937 F. 346

1 STORY  
 METAL SHED  
 (10,785 S.F. FOOTPRINT)

1 STORY  
 METAL SHED  
 (4,863 S.F.  
 FOOTPRINT)

1 STORY  
 MASONRY BUILDING  
 (1,108 S.F. FOOTPRINT)  
 6360 MONROE AVENUE  
 ADDRESS TAKEN FROM  
 RECORD DOCUMENTS

MONROE AVENUE  
 DEDICATION  
 L. 1868 F. 207

MONROE AVENUE  
 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

25' REVERTIBLE  
 SLOPE EASEMENT  
 L. 1656 F. 558

ACCT. 0705003792  
 PARCEL B  
 LANDS N/F  
 COUNTY COMMISSIONERS OF  
 CARROLL COUNTY  
 L. 2016 F. 585  
 LIBERTY ROAD

ACCT. 0705050766  
 \*\*AS PER PLAT BOOK LWS 24 P. 92\*\*  
 LOT 1  
 LANDS N/F  
 COUNTY JOSEPH CAMMARATA  
 L. 947 F. 730  
 LIBERTY ROAD

ACCT. 07050050758  
 \*\*AS PER PLAT BOOK LWS 24 P. 92\*\*  
 LOT 2  
 LANDS N/F  
 COUNTY JOSEPH CAMMARATA  
 L. 947 F. 730  
 1940 LIBERTY ROAD

ACCT. 0705087562  
 \*\*AS PER PLAT BOOK LWS 39, PP.  
 132-136\*\*  
 LANDS N/F  
 KJ LLC  
 L. 3396 F. 1  
 MONROE AVENUE

20' WATER MAIN  
 EASEMENT  
 L. 2440 F. 198  
 P.B. 45 PG. 206

40' MINIMUM  
 BUILDING LINE  
 P.B. 45 PG. 206



**ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. ALL SITE FEATURES OUTSIDE OF THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS**

- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
  2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
  3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
  4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITIES' REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
  5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



Know what's below  
Call before you dig.

SYMBOL	DESCRIPTION
	FEATURE TO BE REMOVED / DEMOLISHED
	LIMIT OF DISTURBANCE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED

TREE INVENTORY & RECOMMENDATION SCHEDULE (*)					
TREE #	SIZE (DBH)	BOTANICAL NAME	COMMON NAME	COMMENTS	RECOMMENDATION
001	16	ROBINIA PSEUDOACACIA	BLACK LOCUST	LEAN	TO BE REMOVED
002	6.5	PRUNUS SEROTINA	BLACK CHERRY	IVY	TO BE REMOVED
003	3.7	PRUNUS SEROTINA	BLACK CHERRY	IVY	TO BE REMOVED
004	4.3	ULMUS AMERICANA	AMERICAN ELM	IVY	TO BE REMOVED
005	8.2	ROBINIA PSEUDOACACIA	BLACK LOCUST	IVY, DEAD BRANCH	TO BE REMOVED
006	7	ROBINIA PSEUDOACACIA	BLACK LOCUST	IVY	TO BE REMOVED
007	25	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
008	26.2	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
009	13.8	QUERCUS VELITINA	BLACK OAK	-	TO BE REMOVED
010	20	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
011	23	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
012	3	PRUNUS SEROTINA	BLACK CHERRY	IVY	TO BE REMOVED
013	3	PRUNUS SEROTINA	BLACK CHERRY	IVY	TO BE REMOVED
014	2.7	PRUNUS SEROTINA	BLACK CHERRY	IVY	TO BE REMOVED
015	29.5	LIRIODENDRON TULIPIFERA	TULIP POPLAR	IVY	TO BE REMOVED
016	3.8	PRUNUS SEROTINA	BLACK CHERRY	IVY	TO BE REMOVED
017	2.3	PRUNUS AVIUM	SWEET CHERRY	IVY, INVASIVE	TO BE REMOVED
018	43	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
019	9	NYSSA SYLVATICA	BLACK GUM	IVY	TO BE REMOVED
020	24	LIRIODENDRON TULIPIFERA	TULIP POPLAR	IVY	TO BE REMOVED
021	8.2	PRUNUS SEROTINA	BLACK CHERRY	IVY	TO BE REMOVED
022	35.5	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
023	18.2	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
024	30	LIRIODENDRON TULIPIFERA	TULIP POPLAR	IVY	TO BE REMOVED
025	3.9	CARYA CORDIFORMIS	BITTERNUT HICKORY	-	TO BE REMOVED
026	9.2	PRUNUS SEROTINA	BLACK CHERRY	IVY, LEAN	TO BE REMOVED
027	6	PRUNUS SEROTINA	BLACK CHERRY	IVY, CRACK	TO BE REMOVED
028	4.6	PRUNUS SEROTINA	BLACK CHERRY	IVY, CRACK	TO BE REMOVED
029	2.7	PRUNUS SEROTINA	BLACK CHERRY	IVY, BROKEN OFF TOP	TO BE REMOVED
030	2.8	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
031	21	LIRIODENDRON TULIPIFERA	TULIP POPLAR	IVY	TO BE REMOVED
032	2.5	NYSSA SYLVATICA	BLACK GUM	DEAD IVY	TO BE REMOVED
033	3.4	NYSSA SYLVATICA	BLACK GUM	-	TO BE REMOVED
034	8.3	NYSSA SYLVATICA	BLACK GUM	-	TO BE REMOVED
035	26	LIRIODENDRON TULIPIFERA	TULIP POPLAR	HOLLOW, 2 DEAD TOP LIMBS, CROOKED BASE	TO BE REMOVED
036	15.4	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
037	BUSH	ILEX VERTICILLATA	WINTERBERRY	IVY, BARK DAMAGE (DEER)	TO BE REMOVED
038	BUSH	ILEX VERTICILLATA	WINTERBERRY	IVY	TO BE REMOVED
039	18.7, 24	LIRIODENDRON TULIPIFERA	TULIP POPLAR	IVY, CODOMINANT	TO BE REMOVED
040	BUSH	HAMAMELIS	WITCH HAZEL	IVY	TO BE REMOVED
041	9.2	ULMUS AMERICANA	AMERICAN ELM	IVY	TO BE REMOVED
042	7.8	NYSSA SYLVATICA	BLACK GUM	IVY	TO REMAIN
043	24	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO REMAIN
044	18	LIRIODENDRON TULIPIFERA	TULIP POPLAR	BASAL ROT, ROOT ROT	TO REMAIN
045	9.7	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO REMAIN
046	12.4	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO REMAIN
047	30	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO REMAIN
048	3	CORNUS FLORIDA	FLOWERING DOGWOOD	LEAN	TO REMAIN
049	27.6	QUERCUS ALBA	WHITE OAK	ROOT ROT	TO REMAIN
050	18.5	ACER RUBRUM	RED MAPLE	SPROUTS, BURLS	TO REMAIN
051	22	LIRIODENDRON TULIPIFERA	TULIP POPLAR	2 DEAD BRANCHES	TO REMAIN
052	5.6	NYSSA SYLVATICA	BLACK GUM	ARKHILLARIA, WHITE ROT	TO REMAIN
053	1.8	DEAD	-	-	TO BE REMOVED
054	4	PRUNUS SEROTINA	BLACK CHERRY	-	TO REMAIN
055	7.1	NYSSA SYLVATICA	BLACK GUM	-	TO REMAIN
056	23.2	ACER RUBRUM	RED MAPLE	GIRDLING ROOTS, LEAN	TO REMAIN
057	18	ACER SACCHARINUM	SILVER MAPLE	HOLLOW, DECAY, TOP BROKEN OFF	TO REMAIN
058	BUSH	ILEX VERTICILLATA	WINTERBERRY	-	TO REMAIN
059	BUSH	ILEX VERTICILLATA	WINTERBERRY	BARK DAMAGE (DEER)	TO REMAIN
060	BUSH	ILEX VERTICILLATA	WINTERBERRY	BARK DAMAGE (DEER)	TO REMAIN
061	BUSH	ILEX VERTICILLATA	WINTERBERRY	BARK DAMAGE (DEER)	TO REMAIN
062	19	ACER RUBRUM	RED MAPLE	BORKER HOLES	TO BE REMOVED
063	22.1	ACER RUBRUM	RED MAPLE	SPROUTS, BURLS	TO BE REMOVED
064	11.2	NYSSA SYLVATICA	BLACK GUM	-	TO BE REMOVED
065	5	CARYA CORDIFORMIS	BITTERNUT HICKORY	IVY	TO REMAIN
066	14	LIRIODENDRON TULIPIFERA	TULIP POPLAR	RIB - LOWER TRUNK	TO REMAIN
067	5	CARYA CORDIFORMIS	BITTERNUT HICKORY	IVY	TO REMAIN
068	6.8	PLATANUS OCCIDENTALIS	AMERICAN Sycamore	-	TO REMAIN
069	7	CARYA CORDIFORMIS	BITTERNUT HICKORY	-	TO REMAIN
070	37	LIRIODENDRON TULIPIFERA	TULIP POPLAR	IVY	TO REMAIN
071	3.1	PRUNUS SEROTINA	BLACK CHERRY	CRACK, ROT	TO REMAIN
072	3.2	PRUNUS SEROTINA	BLACK CHERRY	CRACK, ROT	TO REMAIN
073	7	NYSSA SYLVATICA	BLACK GUM	IVY	TO REMAIN
074	4.5	NYSSA SYLVATICA	BLACK GUM	-	TO BE REMOVED
075	2.5	NYSSA SYLVATICA	BLACK GUM	BARK DAMAGE (DEER)	TO BE REMOVED
076	4	BETULA POPULIFOLIA	GREY BIRCH	-	TO BE REMOVED
077	5	CORNUS FLORIDA	FLOWERING DOGWOOD	-	TO BE REMOVED
078	21.2	LIRIODENDRON TULIPIFERA	TULIP POPLAR	BROKEN OFF TOP	TO BE REMOVED
079	3.5	CARYA OVATA	SHAGBARK HICKORY	IVY	TO BE REMOVED
080	14.1, 23.3, 28	LIRIODENDRON TULIPIFERA	TULIP POPLAR	IVY, HOLLOW & ROTTED STEMS, CRACK	TO BE REMOVED
081	30	LIRIODENDRON TULIPIFERA	TULIP POPLAR	IVY	TO BE REMOVED
082	25	LIRIODENDRON TULIPIFERA	TULIP POPLAR	DEAD TOP BRANCHES	TO BE REMOVED
083	3.5	PRUNUS SEROTINA	BLACK CHERRY	IVY	TO BE REMOVED
084	29.5	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
085	4.4	LIRIODENDRON TULIPIFERA	TULIP POPLAR	BASAL ROT	TO BE REMOVED
086	6.4	NYSSA SYLVATICA	BLACK GUM	IVY	TO BE REMOVED
087	6.2	CARYA TOMENTOSA	MOCKERNUT HICKORY	-	TO BE REMOVED
088	5.5	BETULA LENTA	SWEET BIRCH	-	TO BE REMOVED
089	27.6	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
090	27.5	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO BE REMOVED
091	3.6	PRUNUS SEROTINA	BLACK CHERRY	IVY	TO BE REMOVED
092	10.6	LIRIODENDRON TULIPIFERA	TULIP POPLAR	HOLLOW BASE	TO BE REMOVED
093	5	AESCULUS GLABRA	AMERICAN BUCKEYE	-	TO BE REMOVED
094	17.8	DEAD	DEAD	-	TO BE REMOVED
095	3.5	DEAD	DEAD	-	TO BE REMOVED
096	BUSH	HAMAMELIS	WITCH HAZEL	BARK DAMAGE (DEER)	TO BE REMOVED
097	30.5	QUERCUS VELITINA	BLACK OAK	TOP BRANCHES DEAD, HOLLOW, CRACK	TO REMAIN
098	14.2, 20.8	LIRIODENDRON TULIPIFERA	TULIP POPLAR	CODOMINANT	TO BE REMOVED
099	9.6	LIRIODENDRON TULIPIFERA	TULIP POPLAR	CODOMINANT, HOLLOW, OPEN CAVITY, ROT	TO BE REMOVED
100	19, 13.2	ACER RUBRUM	RED MAPLE	-	TO REMAIN
101	6	ULMUS AMERICANA	AMERICAN ELM	IVY	TO REMAIN
102	6	NYSSA SYLVATICA	BLACK GUM	IVY	TO REMAIN
103	12	NYSSA SYLVATICA	BLACK GUM	LEAN	TO REMAIN
104	7	ULMUS NIGRA	BLACK WALNUT	IVY	TO REMAIN
105	21	PLATANUS OCCIDENTALIS	AMERICAN Sycamore	IVY, LEAN	TO REMAIN
106	25, 17	LIRIODENDRON TULIPIFERA	TULIP POPLAR	CODOMINANT	TO REMAIN
107	22.8	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO REMAIN
108	6	PRUNUS SEROTINA	BLACK CHERRY	IVY	TO REMAIN
109	9.7	NYSSA SYLVATICA	BLACK GUM	IVY	TO REMAIN
110	3	AILANTHUS ALTISSIMA	TREE OF HEAVEN	IVY, INVASIVE	TO BE REMOVED
111	5.5	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	TO REMAIN
112	8.9	NYSSA SYLVATICA	BLACK GUM	-	TO REMAIN
113	3.5	NYSSA SYLVATICA	BLACK GUM	-	TO REMAIN
114	20.5	LIRIODENDRON TULIPIFERA	TULIP POPLAR	HOLLOW	TO REMAIN
115	9	LIRIODENDRON TULIPIFERA	TULIP POPLAR	HOLLOW	TO REMAIN
116	9.2	PRUNUS SEROTINA	BLACK CHERRY	LEAN	TO REMAIN
117	12.2	NYSSA SYLVATICA	BLACK GUM	-	TO REMAIN
118	3.2	GLEDITSIA TRIACANTHOS	HONEY LOCUST	-	TO REMAIN
119	24.6, 27	LIRIODENDRON TULIPIFERA	TULIP POPLAR	CODOMINANT, GIRDLING ROOTS, INCLUDED BARK	TO REMAIN
120	6.9	NYSSA SYLVATICA	BLACK GUM	-	TO REMAIN
121	BUSH	HAMAMELIS	WITCH HAZEL	BARK DAMAGE (DEER)	TO REMAIN
122	4.5	BETULA LENTA	SWEET BIRCH	-	TO REMAIN
123	5	NYSSA SYLVATICA	BLACK GUM	-	TO REMAIN

(\*) TREE INVENTORY WAS COMPLETED BY VALLEY LAND SERVICES IN FEBRUARY, 2026.



FOR COUNTY SUBMISSION	FOR COUNTY SUBMISSION	FOR COUNTY SUBMISSION	DESCRIPTION
EM	EM	EM/PA	BY
04/23/2026	04/14/2026	03/09/2026	DATE
3	2	1	ISSUE

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**S-26-0031**  
PRIME STORAGE AMENDED SITE PLAN  
FKA ELDERSBURG SELF STORAGE

STATE OF MARYLAND  
DEPARTMENT OF GENERAL SERVICES  
DIVISION OF PROFESSIONAL ENGINEERS

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COUNTY FILE #: S-26-0031

SCALE: 1" = 30' PROJECT ID: PRI-250293

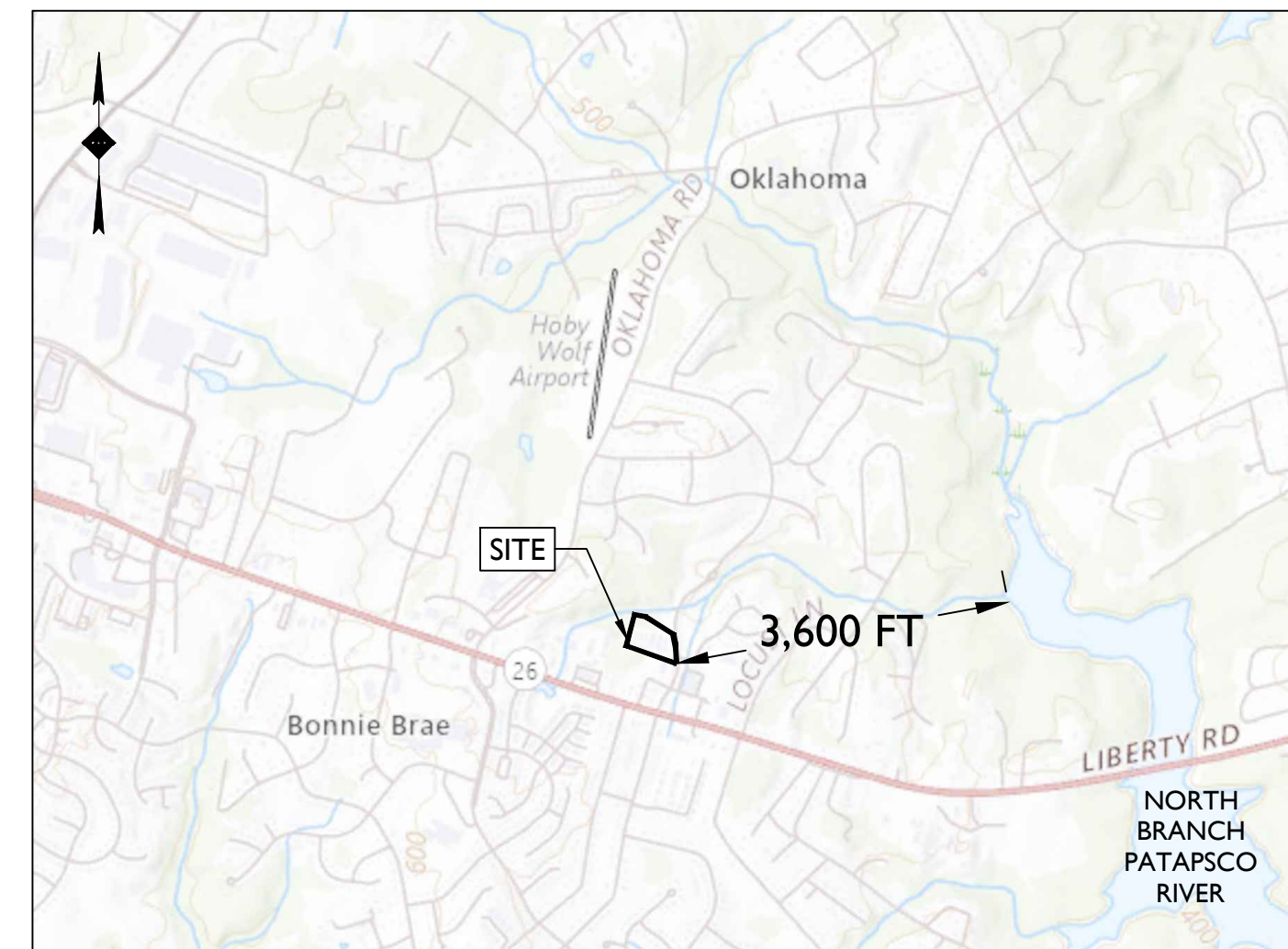
TITLE:  
**DEMOLITION & TREE REMOVAL PLAN**

DRAWING:  
**C-2**  
(2 OF 14)





SOIL CHARACTERISTICS CHART			
TYPE OF SOIL	BAILE SILT LOAM (BaA)	GLENELG-URBAN LAND COMPLEX (GIB)	GLENVILLE SILT LOAM (GB)
PERCENT OF SITE COVERAGE	28.7%	44.3%	11.5%
HYDROLOGIC SOIL GROUP	C/D	B	C/D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES	> 80 INCHES	29 TO 31 INCHES TO FRAGIPAN
SOIL PERMEABILITY	0.06 TO 0.20 IN / HR	0.20 TO 1.98 IN / HR	0.03 TO 0.11 IN / HR
DEPTH TO WATER TABLE	0 TO 6 INCHES	> 80 INCHES	18 TO 22 INCHES

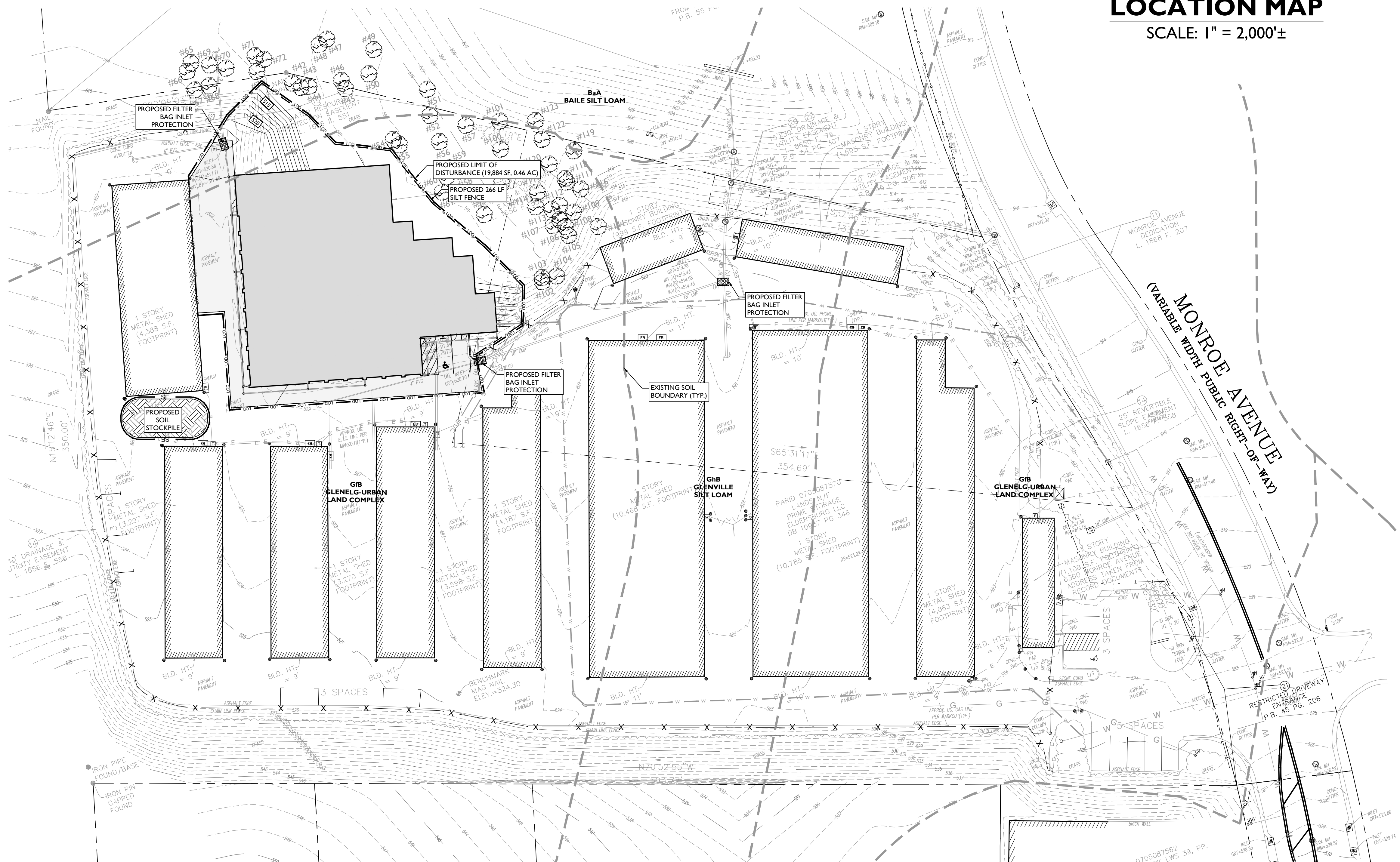


SOURCE: USGS ONLINE MAPPING SYSTEM

### LOCATION MAP

SCALE: 1" = 2,000'±

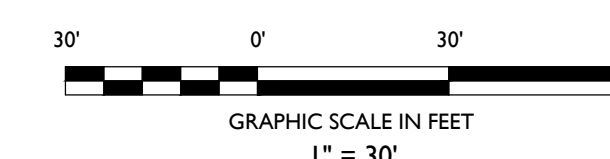
SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - -	ADJACENT PROPERTY BOUNDARY
---	LOD
---	PROPOSED LIMIT OF DISTURBANCE
---	SF
---	PROPOSED SILT FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER



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#### SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



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S-26-0031  
PRIME STORAGE AMENDED SITE PLAN  
FKA ELDERSBURG SELF STORAGE

PID: 0705087570  
6260 MONROE AVENUE  
CITY OF ELDERSBURG  
CARROLL COUNTY, MARYLAND

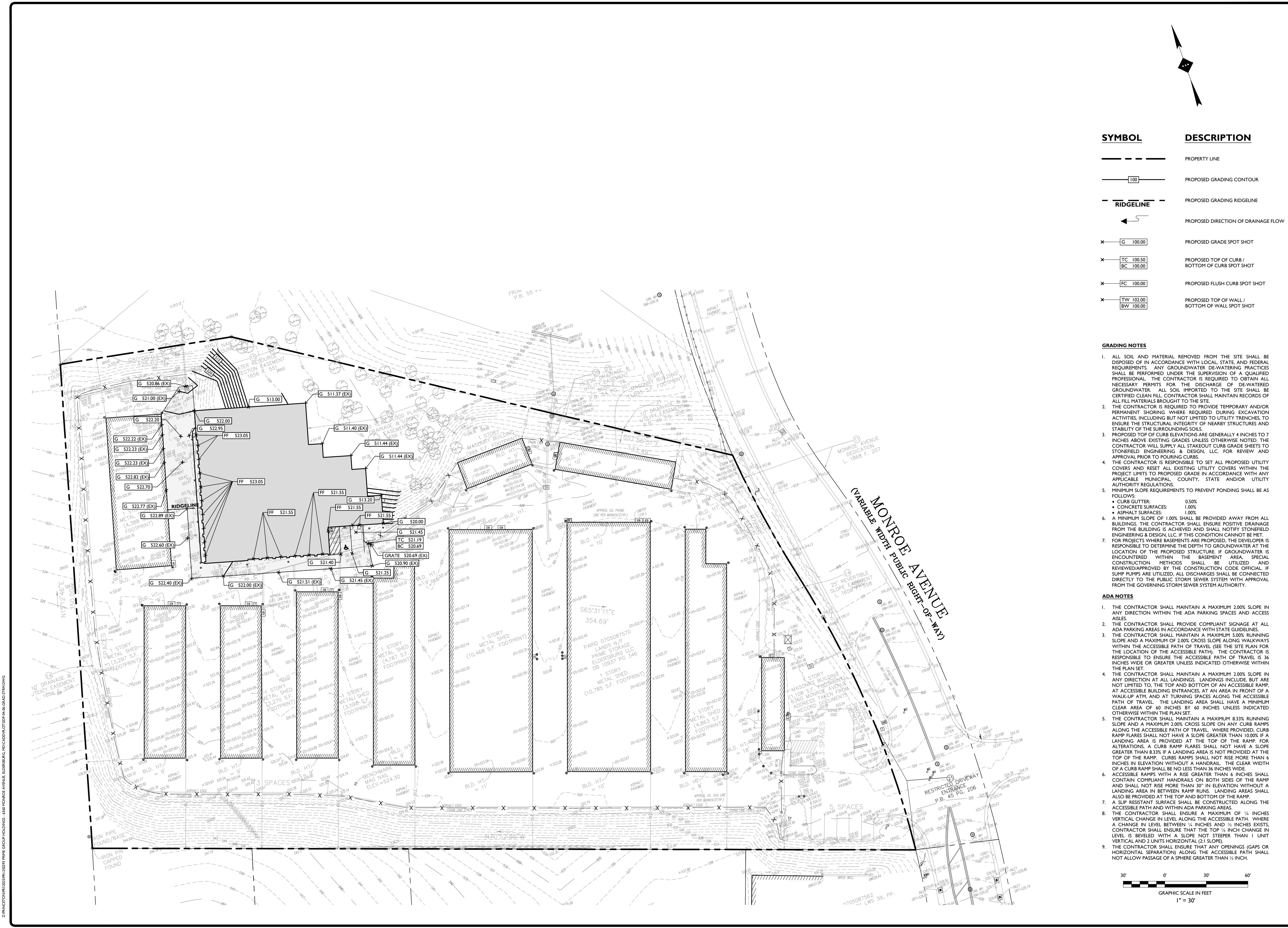


COUNTY FILE #: S-26-0031

SCALE: 1" = 30' PROJECT ID: PRI-250293

TITLE:  
SOIL EROSION & SEDIMENT CONTROL PLAN

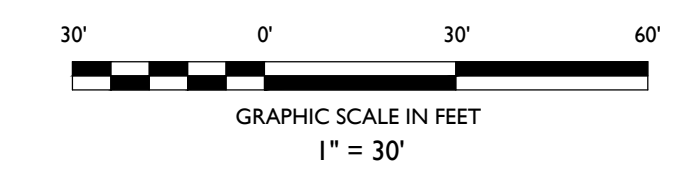
DRAWING:  
C-10  
(10 OF 14)



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
---	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X TW 102.00 BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
  - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
  - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
  - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
  - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
    - CURB GUTTER: 0.50%
    - CONCRETE SURFACES: 1.00%
    - ASPHALT SURFACES: 1.00%
  - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
  - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
  - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALKUP PATH, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
  - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
  - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
  - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" INCHES AND 1/2" INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
  - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4" INCH.



ISSUE	DATE	BY	DESCRIPTION
3	04/23/2026	EM	FOR COUNTY SUBMISSION
2	04/14/2026	EM	FOR COUNTY SUBMISSION
1	03/09/2026	EM/JP	FOR COUNTY SUBMISSION

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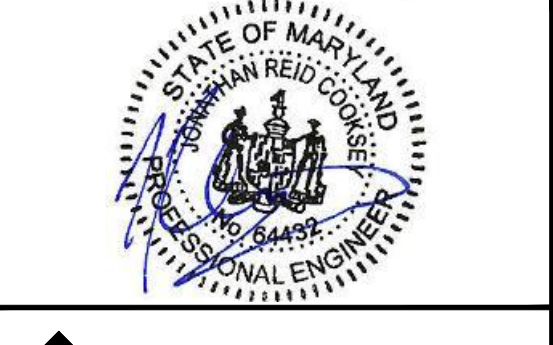
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**S-26-0031**  
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FKA ELDERSBURG SELF STORAGE

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CITY OF ELDERSBURG  
CARROLL COUNTY, MARYLAND



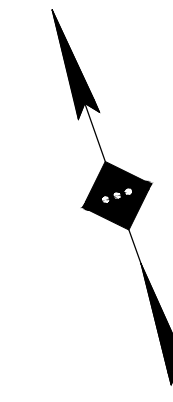
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COUNTY FILE #: S-26-0031

SCALE: 1" = 30' PROJECT ID: PBI-250293

TITLE:  
**GRADING PLAN**

DRAWING:  
**C-4**  
(4 OF 14)

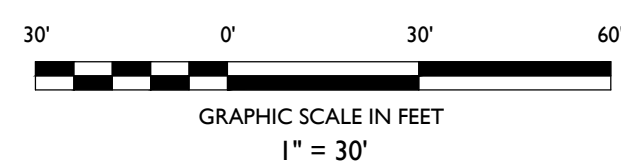


SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING



- DRAINAGE AND UTILITY NOTES**
1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
  2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
  3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
  4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DERIVED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

- EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
  2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
  3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THESE DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
  4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
  5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.



ISSUE	DATE	BY	DESCRIPTION
3	04/23/2026	EM	FOR COUNTY SUBMISSION
2	04/14/2026	EM	FOR COUNTY SUBMISSION
1	03/09/2026	EM/AP	FOR COUNTY SUBMISSION

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**S-26-0031**  
**PRIME STORAGE AMENDED SITE PLAN**  
**FKA ELDERSBURG SELF STORAGE**

PD: 0705087562  
6260 MONROE AVENUE  
CITY OF ELDERSBURG  
CARROLL COUNTY, MARYLAND

**STATE OF MARYLAND**  
DEPARTMENT OF GENERAL SERVICES  
DIVISION OF PROFESSIONAL ENGINEERS  
AND SURVEYORS

**STONEFIELD**  
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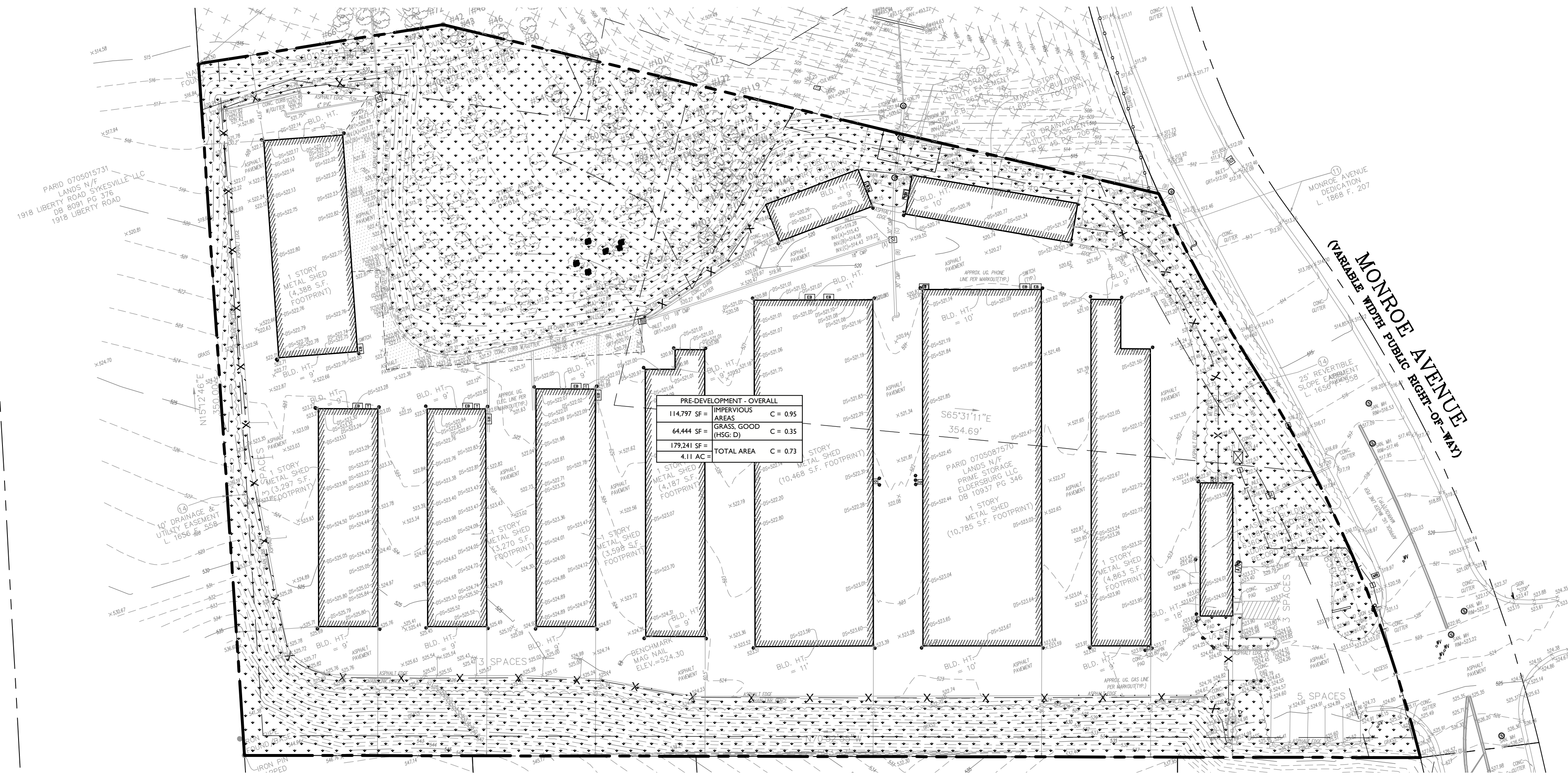
COUNTY FILE #: S-26-0031

SCALE: 1" = 30' PROJECT ID: PRI-250293

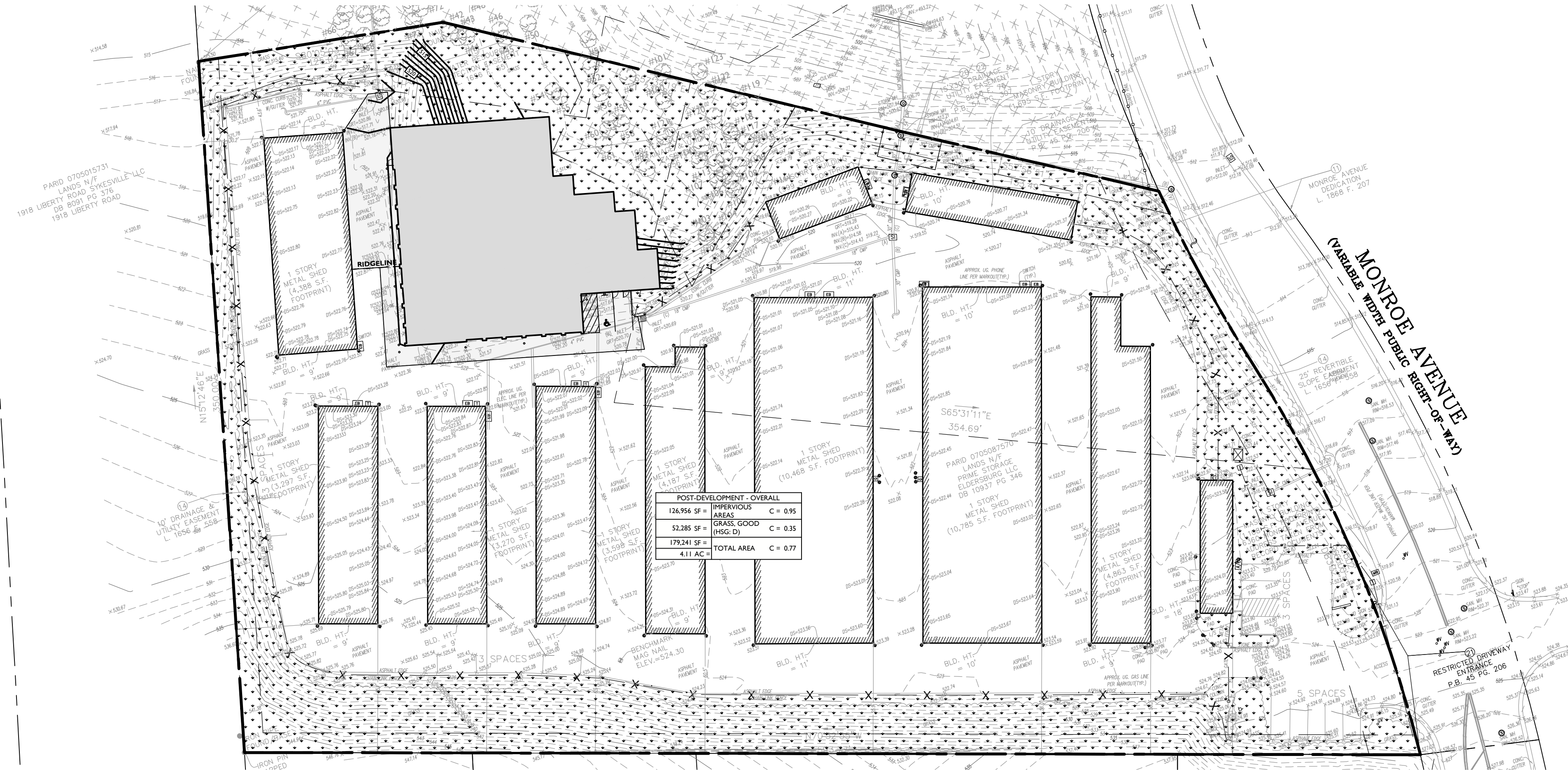
TITLE:  
**STORMWATER MANAGEMENT PLAN**

DRAWING:  
**C-5**  
(5 OF 14)

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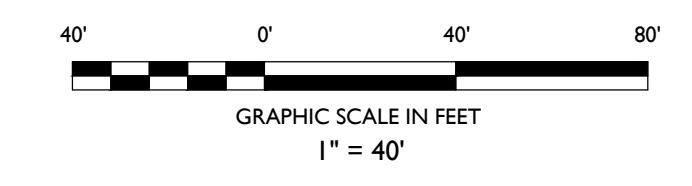
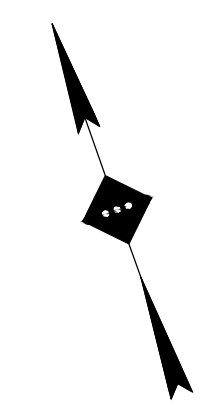


PRE-DEVELOPMENT DRAINAGE AREA MAP



POST-DEVELOPMENT DRAINAGE AREA MAP

SYMBOL	DESCRIPTION
	SITE AREA
	PERVIOUS AREA



ISSUE	DATE	BY	DESCRIPTION
3	04/23/2026	EM	FOR COUNTY SUBMISSION
2	04/14/2026	EM	FOR COUNTY SUBMISSION
1	03/09/2026	EM/AP	FOR COUNTY SUBMISSION

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**S-26-0031**  
PRIME STORAGE AMENDED SITE PLAN  
FKA ELDERSBURG SELF STORAGE

PID: 0705087570  
6260 MONROE AVENUE  
CITY OF ELDERSBURG  
CARROLL COUNTY, MARYLAND



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COUNTY FILE #: S-26-0031

SCALE: 1" = 40' PROJECT ID: PRI-250293

TITLE:  
**DRAINAGE AREA MAPS**

DRAWING:  
**C-6**  
(6 OF 14)

Z:\PROJECTS\2025\03\2025 PRIME GROUP HOLDINGS - 6181 MONROE AVENUE ELDERSBURG MD\CADD\07.DWG

**PLANTING UNIT (PU) EQUIVALENCY TABLE**

**1 PU EQUALS:**<sup>(1)</sup>

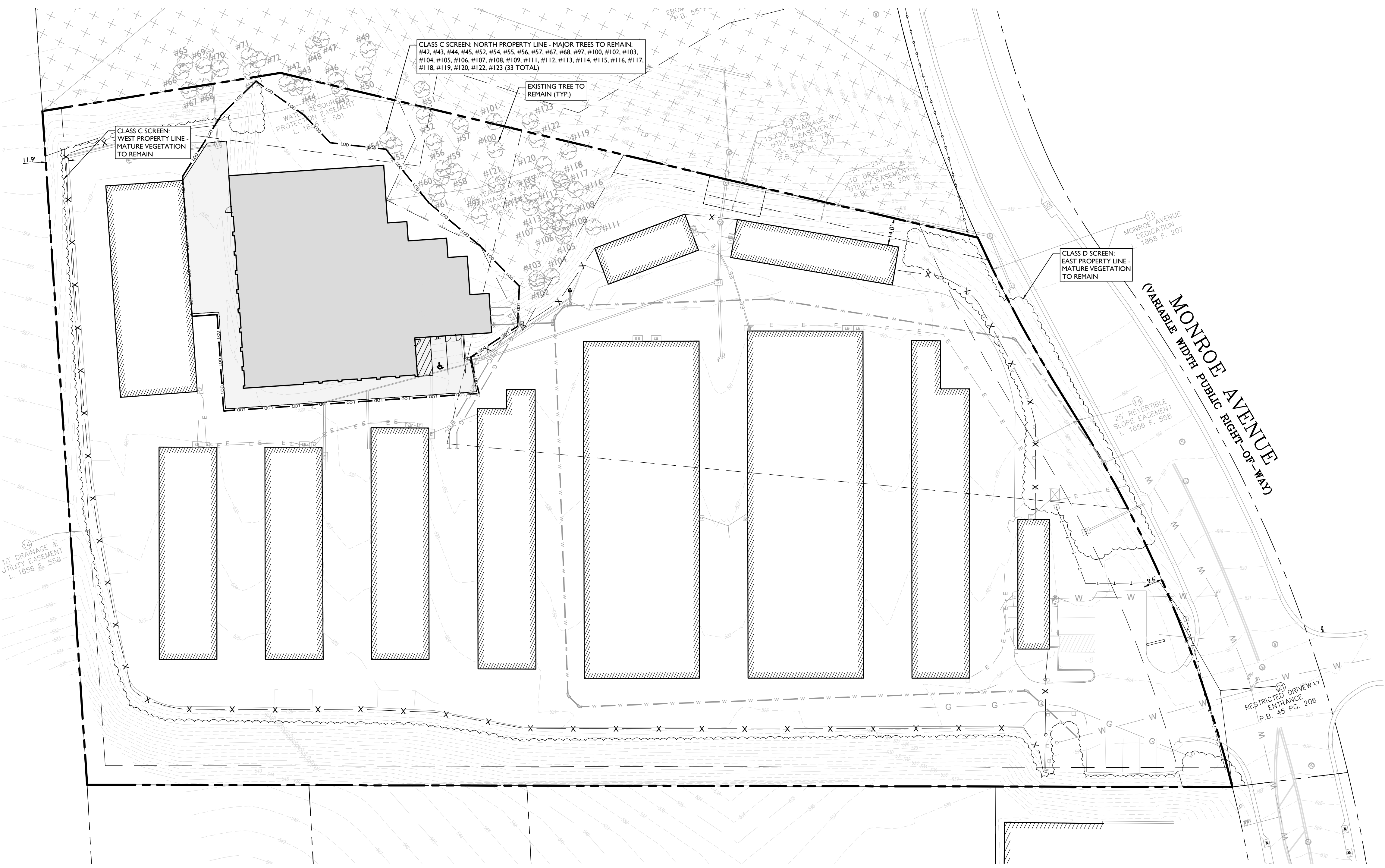
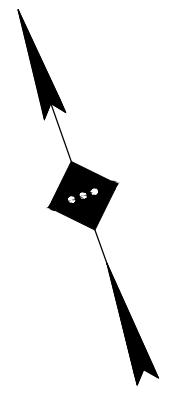
- 1 MAJOR DECIDUOUS TREE<sup>(2)</sup> AT 1.5" DBH
- 2 MINOR DECIDUOUS<sup>(3)</sup> TREES AT 1" DBH
- 2 EVERGREEN TREES AT 5 FT HT
- 5 SHRUBS AT 18" HT
- 500 SF OF GROUND COVER
- 10 HERBACEOUS OR PERENNIAL PLANTS AT 1 GAL.
- 20 HERBACEOUS OR PERENNIAL PLANTS AT 1 QT.

- (1) PER § 157.20(C)
- (2) MAJOR DECIDUOUS TREE: A TREE WITH A MATURE HEIGHT OF 30 FT OR GREATER
- (3) MINOR DECIDUOUS TREE: A TREE WITH A MATURE HEIGHT OF 30 FT OR LESS

**LANDSCAPING AND BUFFER REQUIREMENTS**

CODE SECTION	REQUIRED	PROPOSED
§ 157.20(D)(2)(c).1	<b>CLASS C SCREEN:</b> CLASS C SCREEN REQUIRED TO PROVIDE BUFFER BETWEEN SINGLE-FAMILY RESIDENCES AND OTHER USES MINIMUM WIDTH: 15 FT 30% OF PU SHALL BE EVERGREEN 50% OF PU SHALL BE MAJOR DECIDUOUS TREES	COMPLIES
§ 157.20(D)(2)(c).2	1 PU FOR EVERY 15 LF NORTH LOT LINE: 496 FT (496 FT) * (1 PU / 15 FT) = 33 PU WEST LOT LINE: 350 FT (350 FT) * (1 PU / 15 FT) = 23 PU	33 PU COMPLIES; EXISTING MATURE VEGETATION TO REMAIN
§ 157.20(D)(2)(d).1	<b>CLASS D SCREEN:</b> CLASS D SCREEN IS REQUIRED TO PROVIDE VISUAL RELIEF FROM PAVES AREAS MINIMUM WIDTH: 10 FT	9.6 FT (EN)
§ 157.20(D)(2)(d).3	1 PU FOR EVERY 25 LF (314 FT) * (1 PU / 25 FT) = 13 PU	COMPLIES; EXISTING MATURE VEGETATION TO REMAIN

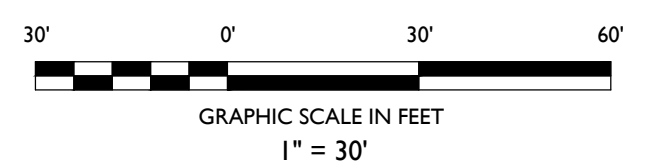
(EN) EXISTING NONCONFORMITY  
(PU) PLANTING UNIT



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**LANDSCAPING NOTES**

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



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COUNTY FILE #: S-26-0031

SCALE: 1" = 30' PROJECT ID: PRI-250293

TITLE:

**LANDSCAPING PLAN**

DRAWING: **C-8**  
( 8 OF 14 )

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