

GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS FOR DEMOLITION AND DISPOSAL OF ALL MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL DEMOLITION DEBRIS AND WASTE MATERIALS.
2. THE CONTRACTOR SHALL PREPARE MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
3. THE CONTRACTOR SHALL BACKFILL ANY DEPRESSIONS AND FOUNDATION HOLES WITH STRUCTURAL SOIL MATERIAL.
4. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE OVER 50KV. SHOULD CONTRACTOR OPERATE EQUIPMENT IN CLOSE PROXIMITY OF ELECTRIC LINES, THE POWER COMPANY MUST BE CONTACTED TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INCURRED TO PROPERTIES (PUBLIC AND/OR PRIVATE) AND MUST RESTORE TO EQUAL OR BETTER CONDITION. DEMOLITION DEBRIS MAY NOT BE USED AS BACKFILL.
5. WHERE REMOVAL OF SIDEWALK OR PAVING OCCURS, SAW CUT OR REMOVE AT EXISTING JOINTS.

NOTE:
EXISTING FEATURES SHOWN ARE A COMBINATION OF FIELD SURVEY FROM 10/2025 AND CARROLL COUNTY ORTHOGRAPHIC INFORMATION FROM 2015.

GENERAL NOTES:

1. EXISTING ZONING: CONSERVATION
2. TOTAL AREA OF SITE: 379.09 AC.
3. TOTAL DEVELOPED AREA- 29,372 S.F.
4. TAX MAP: 78, BLOCK: 11, PARCEL 579
5. LOCATION OF NEAREST WATER SUPPLY FOR FIRE PROTECTION: AN EXISTING FIRE HYDRANT AT THE INTERSECTION OF RAINCLIFFE ROAD AND BUTTERCUP ROAD, 1,590 L.F. +/- FROM SITE.
6. THIS SITE IS WITHIN A WELLHEAD PROTECTION AREA.
7. THIS SITE HAS NO TIER II WATERS ONSITE.
8. FOREST CONSERVATION IS EXEMPT PER CARROLL COUNTY CODE 150.02(A)(1) LESS THAN 40,000 S.F. OF DISTURBANCE.

SHEET LIST:

1. DEMOLITION PLAN
2. SEDIMENT CONTROL PLAN
3. SEDIMENT CONTROL NOTES & DETAILS
4. GRADING PLAN
5. STORMWATER MANAGEMENT PLAN
6. PAVILION ELEVATIONS

<p>OWNER STATE OF MARYLAND DEPARTMENT OF NATURAL RESOURCES 8020 BALTIMORE NATIONAL PIKE ELLCOTT CITY, MD 21043 877-620-8367</p>	<p>DEVELOPER CARROLL COUNTY DEPARTMENT OF RECREATION AND PARKS 300 S. CENTER STREET WESTMINSTER, MD 21157 410-386-2103</p>
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LEGEND

- EX. PAVING
- EX. PATHWAY
- 488 --- EX. CONTOURS
- 490 ---
- ⊙ EX. TREES
- ⊞ EX. WOODS

DEMOLITION PLAN
FREEDOM PARK PAVILLION
FORMERLY KNOWN AS SYKESVILLE PARK

EXISTING AND PROPOSED USE: COMMUNITY PARK
TOWN OF SYKESVILLE
5th ELECTION DISTRICT CARROLL COUNTY, MD
TAX MAP 78, BLOCK 11, PARCEL 579

<p>NOT FOR CONSTRUCTION</p> <p>Braton D. Moore, P.E.</p>	<p>439 East Main Street Westminster, MD 21157-5539 (410) 848-1790 FAX (410) 848-1791</p>
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PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51285, EXPIRATION DATE: DECEMBER 7, 2027.

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		Reviewed By: ---
		Date: FEBRUARY, 2026
		Scale: 1" = 30'
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		Sheet: 01 OF 6



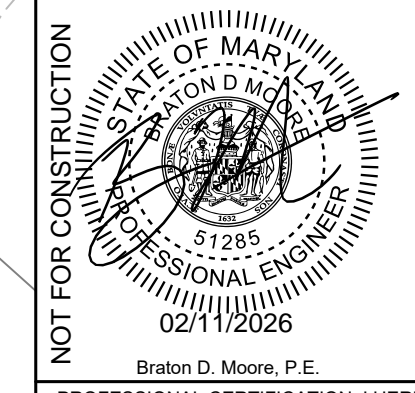
LEGEND

- HYDROLOGIC SOIL DIVIDE LINE
- HYDROLOGIC SOIL GROUP
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE

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SEDIMENT CONTROL PLAN
FREEDOM PARK PAVILLION
FORMERLY KNOWN AS SYKESVILLE PARK

EXISTING AND PROPOSED USE: COMMUNITY PARK
TOWN OF SYKESVILLE
5th ELECTION DISTRICT CARROLL COUNTY, MD
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SEDIMENT & EROSION CONTROL NOTES

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT - WATER MANAGEMENT ADMINISTRATION IN ASSOCIATION WITH THE NATIONAL RESOURCES CONSERVATION SERVICE AND MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS (REFERENCED AS THE 2011 STANDARDS AND SPECS).
- AREAS THAT HAVE BEEN CLEARED AND/OR GRADED, BUT WILL NOT BE CONSTRUCTED OR PERMANENTLY VEGETATED FOR MORE THAN 5 DAYS (3 DAYS FOR SEDIMENT CONTROL MEASURES (STEEP SLOPES) MUST BE STABILIZED WITH MULCH OR TEMPORARY STABILIZATION. ANY AREAS THAT ARE IN TEMPORARY VEGETATION FOR OVER 6 MONTHS WILL NEED TO BE PERMANENTLY VEGETATED. FOR SPECIFICATIONS ON PERMANENT OR TEMPORARY STABILIZATION SEE SECTION B-4.2.
- MULCHING CAN ONLY BE USED ON DISTURBED AREAS AS A TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING GERMINATION CANNOT BE COMPLETED BECAUSE OF WEATHER CONDITIONS. FOR SPECIFICATIONS SEE SECTION B-4.2.
- FOR SPECIFICATIONS ON THE STABILIZATION OF CUT AND FILL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL, SEE INCREMENTAL STABILIZATION.
- THE EXISTING TOPSOIL FROM ON OR OFF SITE THAT IS USED MUST MEET THE MINIMUM SPECIFICATIONS IN SECTION B-4.2-C.
- THE REQUIRED SEQUENCE OF CONSTRUCTION MUST BE FOLLOWED DURING SITE DEVELOPMENT. ANY CHANGE IN THE SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ANY REVISIONS TO THE SEDIMENT CONTROL PLAN, NOT COVERED UNDER THE LIST OF PLAN MODIFICATIONS THAT CAN BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR, NEED TO BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR APPROVAL.
- NO PROPOSED SLOPE THAT IS SEEDED AND/OR MULCHED SHALL BE GREATER THAN 2:1. SLOPES GREATER THAN 2:1 SHALL REQUIRE AN ENGINEERED DESIGN FOR STABILIZATION.
- ALL SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL AND WILL BE REPAIRED, AS NEEDED, SO THAT THE STRUCTURE MEETS THE MINIMUM SPECIFICATIONS AS SHOWN IN THE 2011 STANDARDS AND SPECS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE DISTRICT APPROVAL FOR THIS SEDIMENT CONTROL PLAN IS GOOD FOR 2 YEARS. AT THE END OF 2 YEARS, IF CONSTRUCTION OF THE PLAN HAS NOT STARTED, THE PLAN WILL NEED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR REVIEW AND RE-APPROVAL. ANY PLANS THAT ARE CURRENTLY UNDER CONSTRUCTION AFTER 2 YEARS MAY BE REQUIRED TO BE RE-SUBMITTED TO THE SOIL CONSERVATION DISTRICT BY THE SEDIMENT CONTROL INSPECTOR.

DUST CONTROL SCHEDULE

MAY-OCTOBER - ALL GRADED AREAS NOT BEING IMMEDIATELY STABILIZED AS NOTED IN THE "REQUIRED SEQUENCE OF CONSTRUCTION" SHALL BE WATERED ON A CONTINUING BASIS AS NECESSARY TO PROVIDE FOR DUST PROOFING. CONTRACTOR SHALL PROVIDE TANK TRUCK WITH SPRAY BAR ON SITE AT ANY TIME THE DISTURBED AREA EXCEEDS THREE (3) ACRES.

SITE ANALYSIS

- TOTAL AREA OF SITE: 376.09 AC.
- AREA DISTURBED: 29,372 S.F.
- TOTAL CUT: 540 C.Y.
- TOTAL FILL: 190 C.Y.

NOTE: EARTHWORK CUT AND FILL QUANTITIES ON THIS PLAN ARE SHOWN FOR PURPOSES OF OBTAINING SEDIMENT CONTROL PLAN APPROVAL AND NOT TO BE USED FOR CONTRACTUAL OBLIGATIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY QUANTITIES.

REQUIRED SEQUENCE OF CONSTRUCTION

- NOTIFY THE CARROLL COUNTY BUREAU OF SEDIMENT CONTROL (410-386-2210) 24 HOURS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. ALL PROTECTION FENCING AND PERMANENT SIGNS REQUIRED UNDER THE CARROLL COUNTY CODE OF PUBLIC LAWS AND ORDINANCES, FOREST CONSERVATION (CHAPTER 150) AND WATER RESOURCE MANAGEMENT (CHAPTER 154) SHALL BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE CARROLL COUNTY SEDIMENT INSPECTOR.
- INSTALL PERIMETER SEDIMENT CONTROL DEVICES PER THE SEDIMENT CONTROL INSPECTOR.
- REMOVE EXISTING PAVING AND PATHWAYS PER PLAN.
- GRADE SITE AND INSTALL STORMWATER INFILTRATION BERM.
- CONSTRUCT PARKING LOT, SIDEWALKS AND PATHWAYS.
- INSTALL CONCRETE FOR PAVILION AND CONSTRUCT PAVILION.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES. FINAL STABILIZE ALL DISTURBED AREAS.

STABILIZATION SPECIFICATIONS

TEMPORARY SEEDING NOTES

SCOPE: PLANTING SHORT TERM (NO MORE THAN 6 MONTHS) VEGETATION TO TEMPORARILY STABILIZE ANY AREAS WHERE SOIL DISTURBANCE HAS OCCURRED, UNTIL THE AREA CAN BE PERMANENTLY STABILIZED WITH VEGETATIVE OR NON-VEGETATIVE PRACTICES.

STANDARDS: THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT - WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCES CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS.

- THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION B-4.2.
- FOR TEMPORARY STABILIZATION, FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT A RATE OF 436 LB PER ACRE (10 LB PER 1000 SQ. FT.) AND WILL MEET THE REQUIREMENTS IN SECTION B-4.2. LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB PER SQ. FT.) AND SHALL MEET THE REQUIREMENTS IN SECTION B-4.2 AND B-4.4.
- SEED TYPE AND APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4.3. SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY THE TYPE AND RATE OF SEED USED. MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION B-4.3 A, B AND C AND WILL BE APPLIED ALONG WITH THE SEED OR IMMEDIATELY AFTER SEEDING.
- SEEDING MIXTURES SHALL BE SELECTED FROM OR WILL BE EQUAL TO THOSE ON TABLE B. 1 (PAGE B. 20).

TEMPORARY SEEDING SUMMARY

THE SEEDING CHART BELOW WILL NEED TO BE PLACED ON AND FILLED IN ON THE SEDIMENT CONTROL PLAN.

HARDINESS ZONE (From Figure B.3): 6B SEED MIXTURE (From Table B. 1)					FERTILIZER RATE (10-20-20)	LIME RATE
No.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS		
1	ANNUAL RYEGRASS (LOLLIUM PERENNE SSP. MULTIFLORUM)	40 lb/ac	3/15 - 5/31 8/1 - 9/30	0.5"		
2	FOXTALL MILLETT SETARIA ITALICA	30 lb/ac	5/16 - 7/31	0.5"	436 lb/ac (10 lb/1000 SF)	2 tons/ac (90 lb/1000 SF)

PERMANENT SEEDING NOTES

SCOPE: PLANTING PERMANENT, LONG LIVED VEGETATIVE COVER ON GRADED AND/OR CLEARED AREAS AND AREAS THAT HAVE BEEN IN TEMPORARY VEGETATIVE COVER FOR MORE THAN 6 MONTHS.

STANDARDS: THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT - WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCES CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS.

THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION B-4.2.

FOR SITES OVER 5 AC, SOIL TESTS WILL BE PERFORMED. SOIL TESTS WILL BE CONDUCTED BY THE UNIVERSITY OF MARYLAND OR A RECOGNIZED COMMERCIAL LABORATORY. MINIMUM SOIL CONDITIONS SHALL MEET THE REQUIREMENTS OF SECTION B-4.2-A, 2-A, 2-A, OTHERWISE SOIL AMENDMENTS OR TOPSOIL WILL NEED TO BE APPLIED. TOPSOILING MAY OCCUR WHEN SOIL CONDITIONS MEET THE MINIMUM REQUIREMENTS AS STATED IN SECTION B-4.2-B. SOIL AMENDMENTS MUST MEET THE REQUIREMENTS AS SET FORTH IN SECTION B-4.2-C AND MUST BE APPLIED AS INDICATED BY THE SOIL TESTS.

FOR SITES OF 5 AC, OR LESS OF DISTURBANCE, THE FOLLOWING FERTILIZER AND LIME RATES SHALL APPLY. FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT THE FOLLOWING RATES:
N = 45 LB PER ACRE (1 LB PER 1000 SQ. FT.) P205 = 90 LB PER ACRE (2 LB PER 1000 SQ. FT.)
K2O = 90 LB PER ACRE (2 LB PER 1000 SQ. FT.)
LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB PER 1000 SQ. FT.)

SEED TYPE, TURFGRASS OR SOD APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4.5. SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY THE TYPE AND APPLICATION RATE OF SEED USED. MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION B-4.3 A, B AND C, AND WILL BE APPLIED ALONG WITH SEED OR IMMEDIATELY AFTER SEEDING.

SEEDING MIXTURES SHALL BE SELECTED FROM OR WILL BE EQUAL TO THOSE ON TABLE B-3. THE SEEDING CHART BELOW WILL NEED TO BE PLACED ON AND FILLED IN ON THE SEDIMENT CONTROL PLAN.

HARDINESS ZONE (From Figure B.3): 6B SEED MIXTURE (From Table B. 1)				
No.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS
*9	IMPROVED TALL FESCUE LOLLIUM ARUNDINACEUM	60 lb/ac	3/1 - 5/15 8/1 - 10/15	1/4 - 1/2 in
	IMPROVED KENTUCKY BLUEGRASS	40 lb/ac	3/1 - 5/15 8/1 - 10/15	1/4 - 1/2 in
	IMPROVED PERENIAL RYEGRASS	20 lb/ac	3/1 - 5/15 8/1 - 10/15	1/4 - 1/2 in
*1	SWITCH GRASS (PANICUM VIRGATUM)	10 lb/ac	3/1 - 5/15 5/16 - 6/15	1/4 - 1/2 in
	CREeping RED FESCUE (FESTUCA RUBRA)	15 lb/ac	3/1 - 5/15 5/16 - 6/15	1/4 - 1/2 in
	PARTRIDGE PEA (CHAMAECRISTA FASCICUATA)	4 lb/ac	3/1 - 5/15 5/16 - 6/15	1/4 - 1/2 in

FERTILIZER RATE (10-20-20)				LIME RATE
N	P ₂ O ₅	K ₂ O		
45 POUNDS PER ACRE (1.0 lb / 1000 SF)	90 lb/ac (2.0 lb/1000 SF)	90 lb/ac (2.0 lb/1000 SF)		2 tons/ac (90 lb / 1000 SF)
45 POUNDS PER ACRE (1.0 lb / 1000 SF)	90 lb/ac (2.0 lb/1000 SF)	90 lb/ac (2.0 lb/1000 SF)		2 tons/ac (90 lb / 1000 SF)

- *9 - USE 1 VARIETY ON THE MDVA RECOMMENDED LIST (TT-77)
*1 - USE 2-4 VARIETIES ON THE MDVA RECOMMENDED LIST (TT-77)

TRACKING NOTE:

ON AREAS WHERE THE SLOPE IS 3:1 OR STEEPER AND THE HEIGHT IS 8' OR GREATER, CONTRACTOR SHALL TRACK THE SLOPE USING CLEATED DOZER PRIOR TO PLACING ASPHALT BINDER, DOZER SHALL RUN UP-AND-DOWN SO THAT CLEAT MARKS ARE HORIZONTAL. WHERE TRACKING IS REQUIRED, ITS SHALL BE DONE FROM EXISTING GRADE LEVEL TO FINISHED GRADE LEVEL WITHIN THE LIMITS ESTABLISHED BY THE 8' HEIGHT CRITERIA.

UTILITY CONSTRUCTION NOTES:

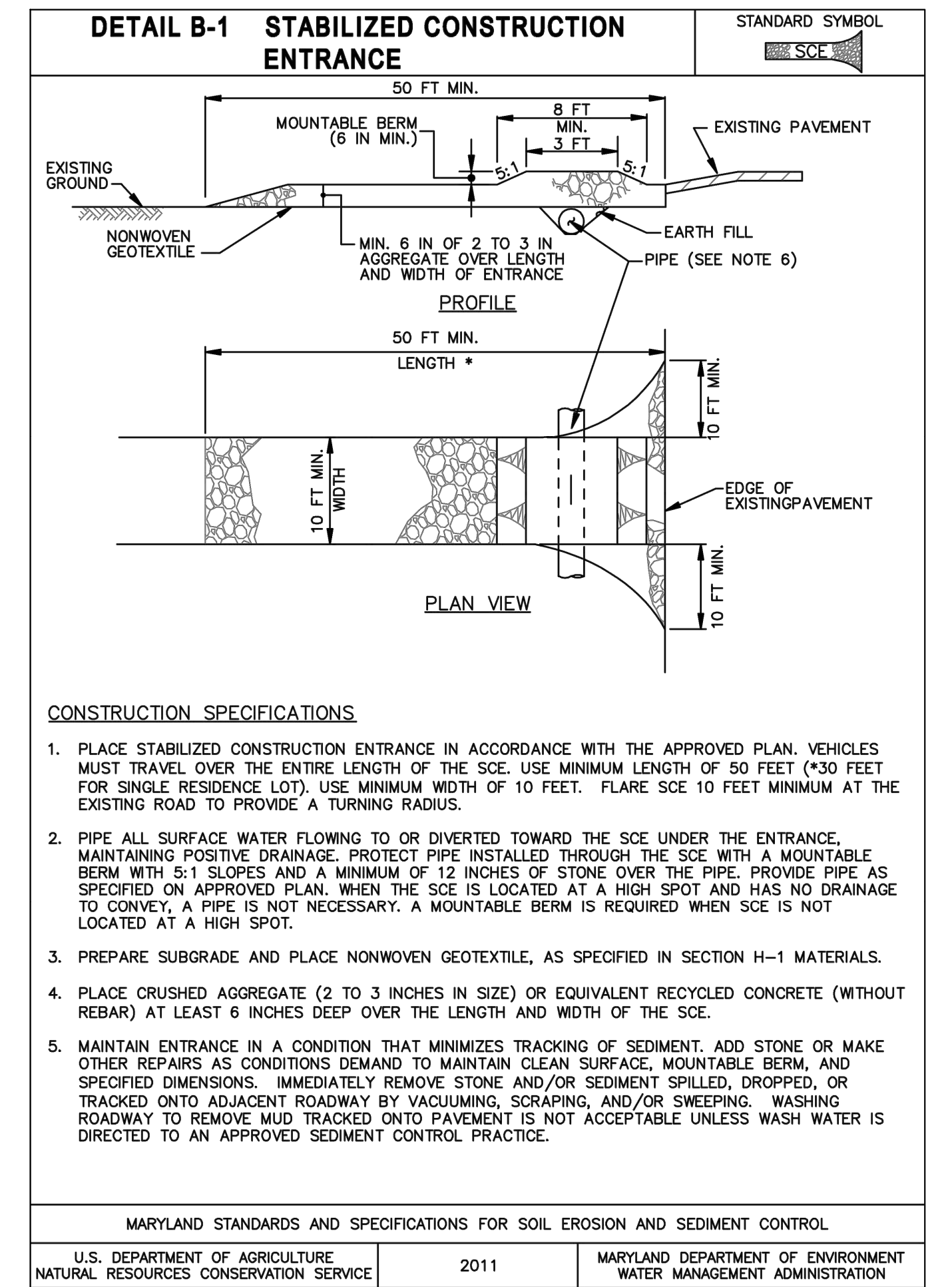
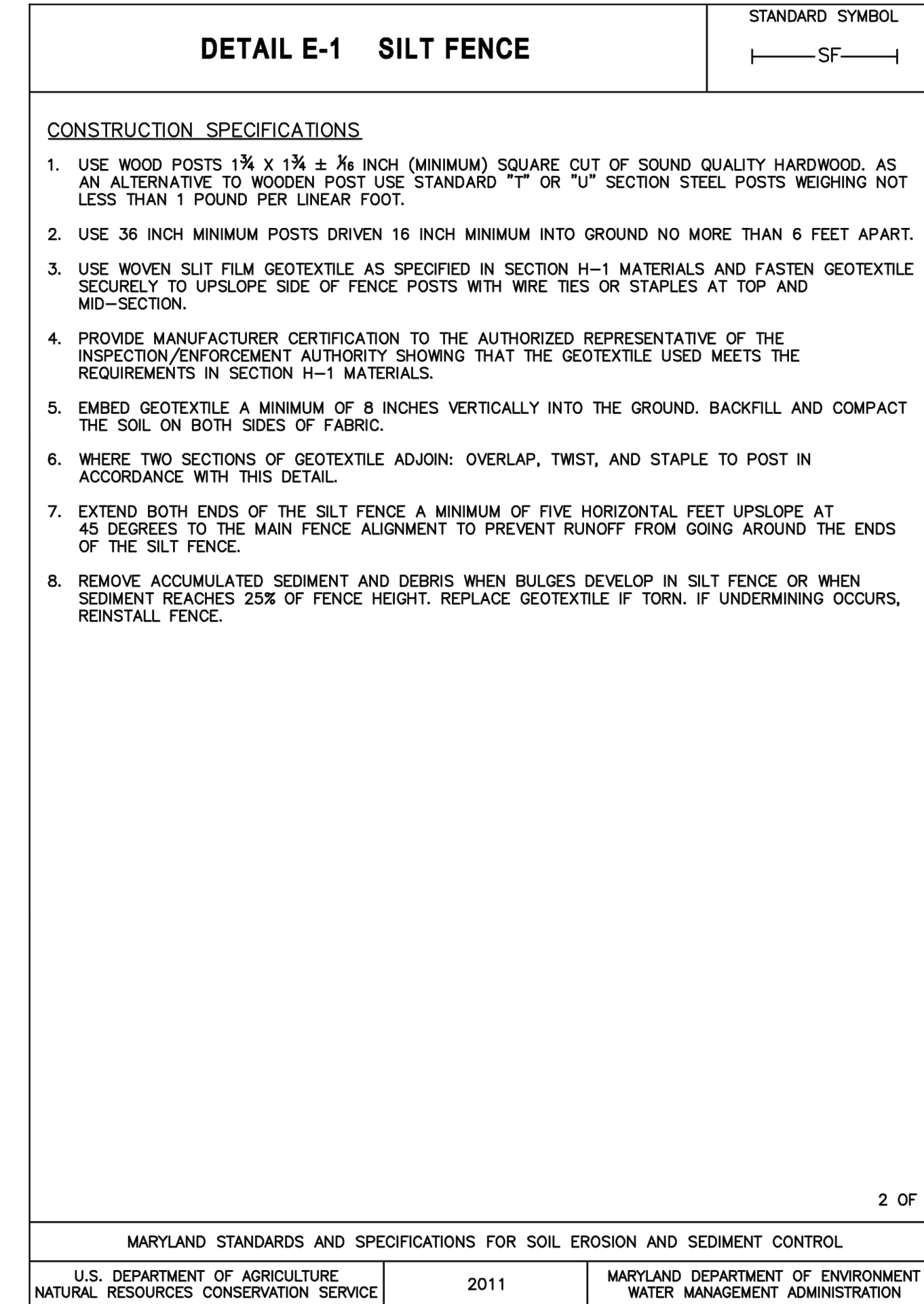
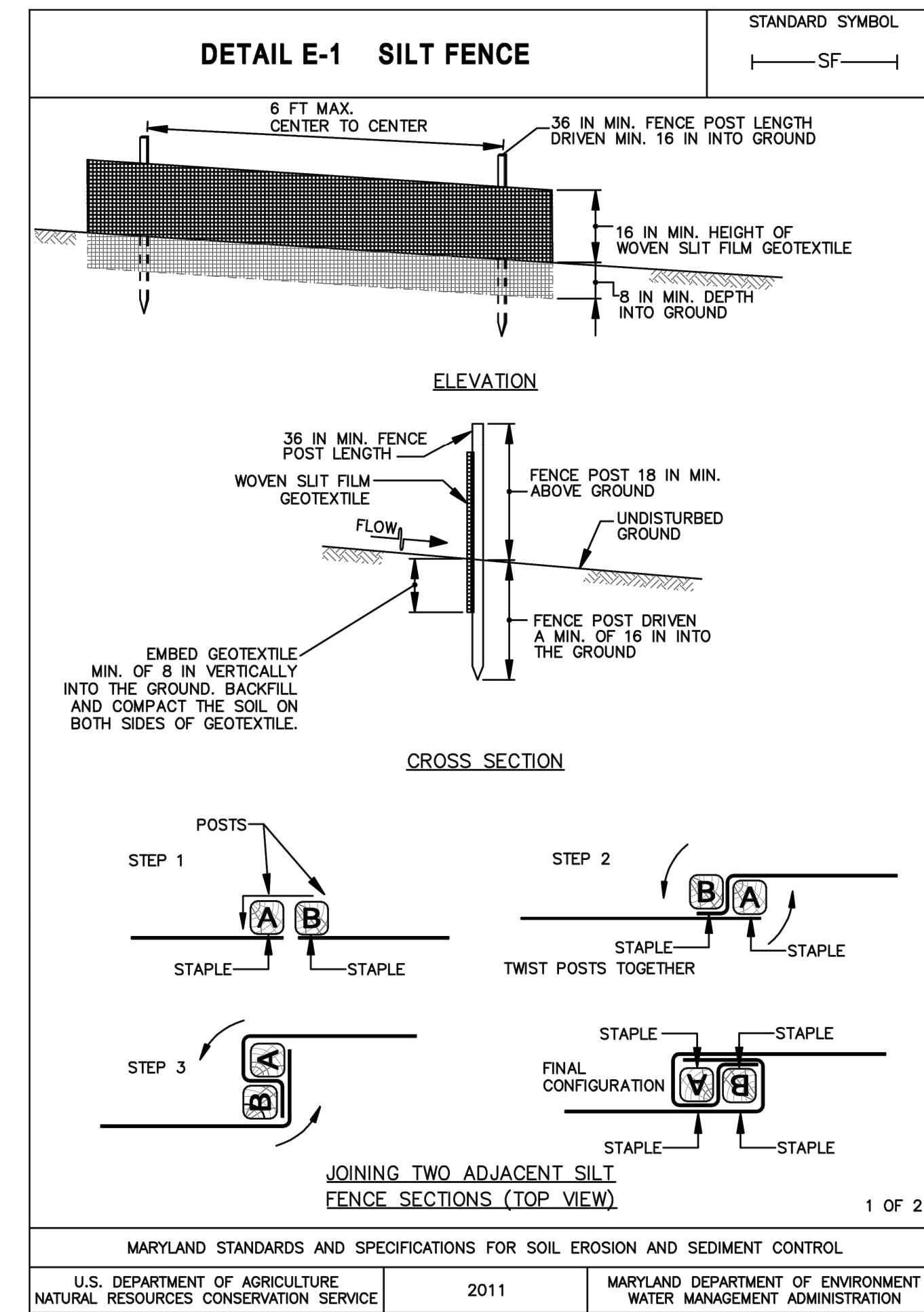
- PLACE ALL EXCAVATED MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- ONLY DO AS MUCH WORK AS CAN BE DONE IN ONE DAY SO BACKFILLING, FINAL GRADING, AND PERMANENT STABILIZATION CAN OCCUR.
- ANY SEDIMENT CONTROL MEASURES DISTURBED BY THE UTILITY CONSTRUCTION WILL BE REPAIRED THE SAME DAY.

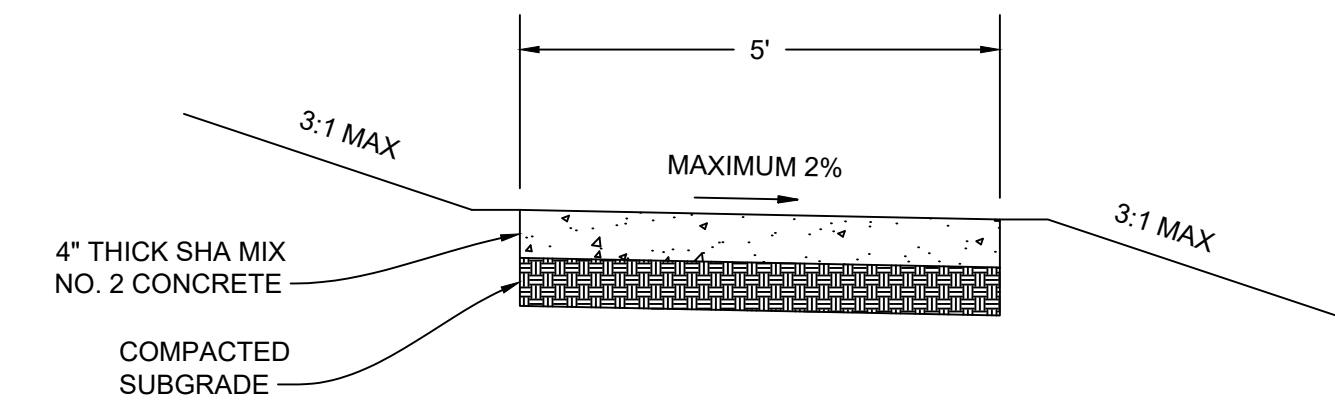
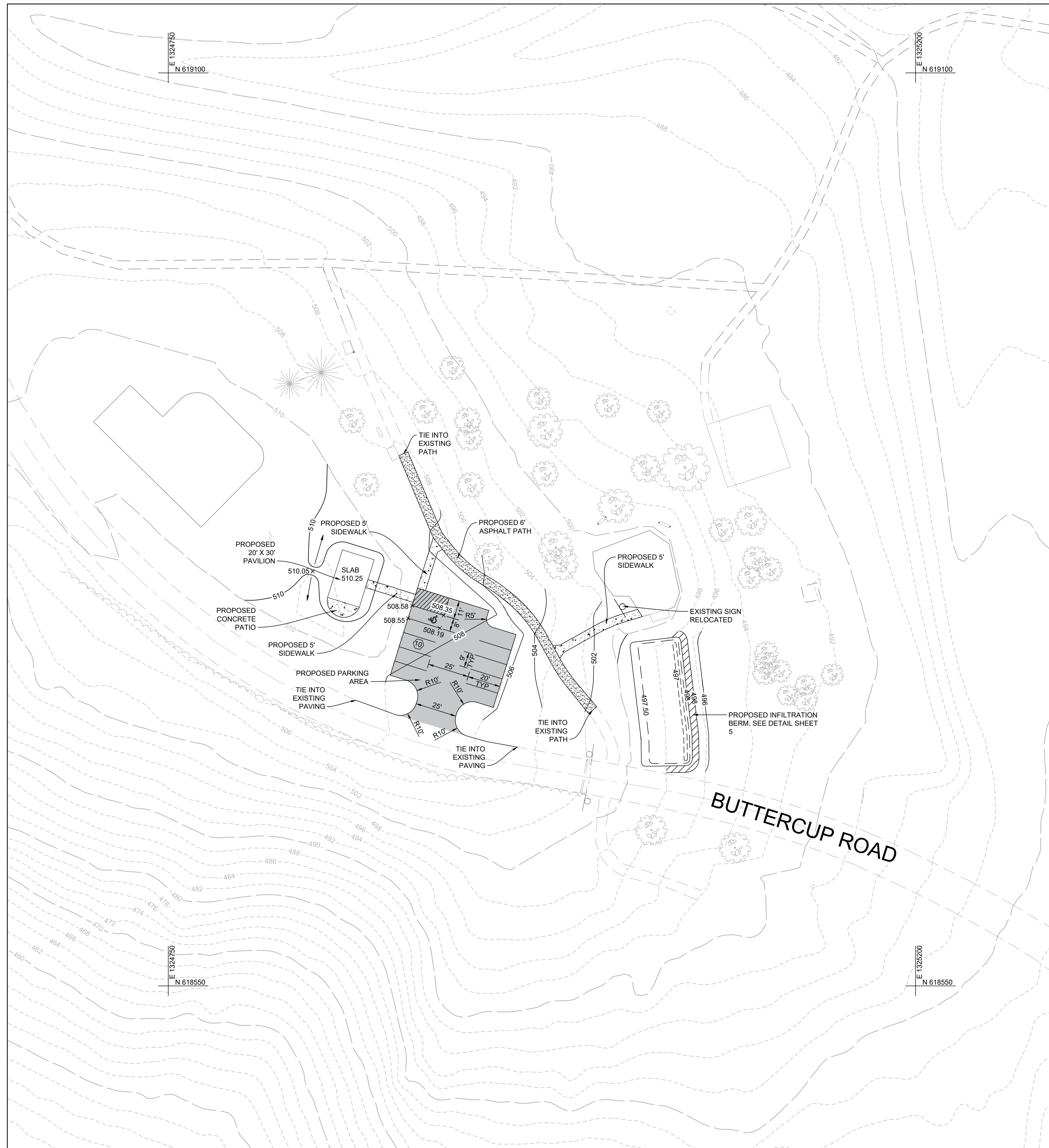
STOCKPILE/TOPSOIL NOTES:

- STOCKPILING WILL NOT BE ALLOWED ON ANY IMPERVIOUS AREA.
- ALL STOCKPILES LEFT AT THE END OF THE DAY WILL NEED TO BE TEMPORARILY STABILIZED UNTIL THEY ARE AGAIN DISTURBED, UNLESS THEY ARE WITHIN EXISTING PERIMETER SEDIMENT CONTROLS.
- ALL STOCKPILE AREAS SHALL BE CONFINED WITHIN PERIMETER CONTROLS. IN THE EVENT THAT STOCKPILE AREAS MUST BE LOCATED OUTSIDE DISTURBED AREAS, THE LOCATION SHALL BE AS DIRECTED BY THE INSPECTOR IN THE FIELD.

NOTE:
ALL SEDIMENT CONTROL MEASURES SHOWN HEREON ARE TEMPORARY UNLESS OTHERWISE NOTED.

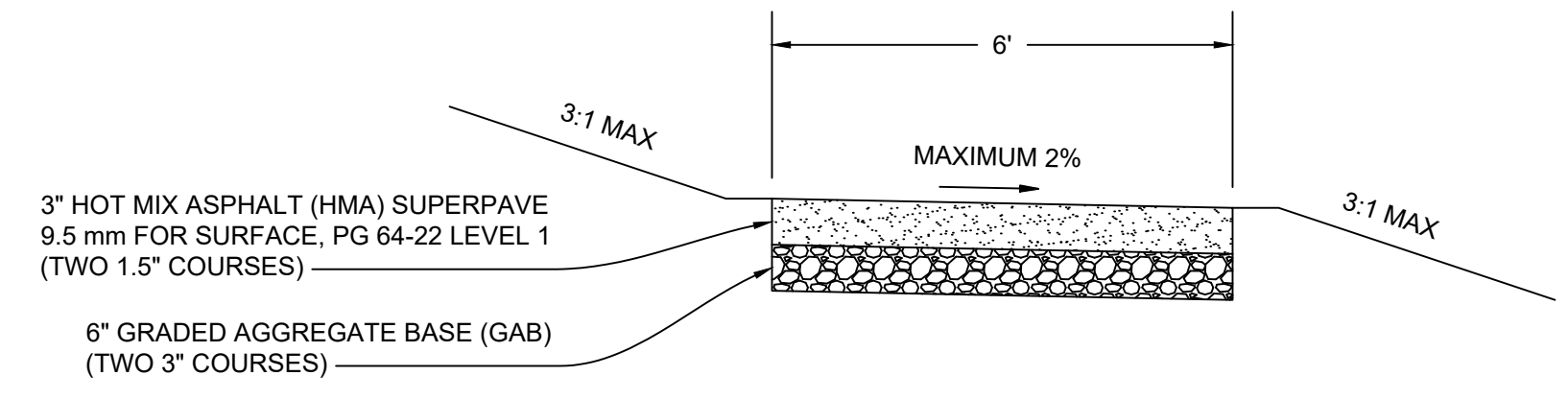
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**PROPOSED SIDEWALK
TYPICAL SECTION**

NOT TO SCALE



**PROPOSED PATHWAY
TYPICAL SECTION**

NOT TO SCALE

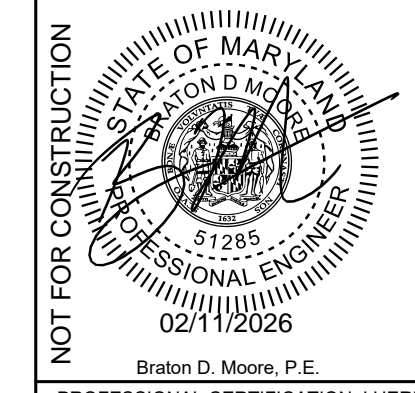
LEGEND

- EX. PAVING
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- EX. TREES
- EX. WOODS
- EX. CONCRETE
- PROP. CONTOURS
- PROP. SIDEWALK
- PROP. PAVING
- PROP. STORMWATER INFILTRATION BERM
- PROP. ASPHALT PATH

OWNER
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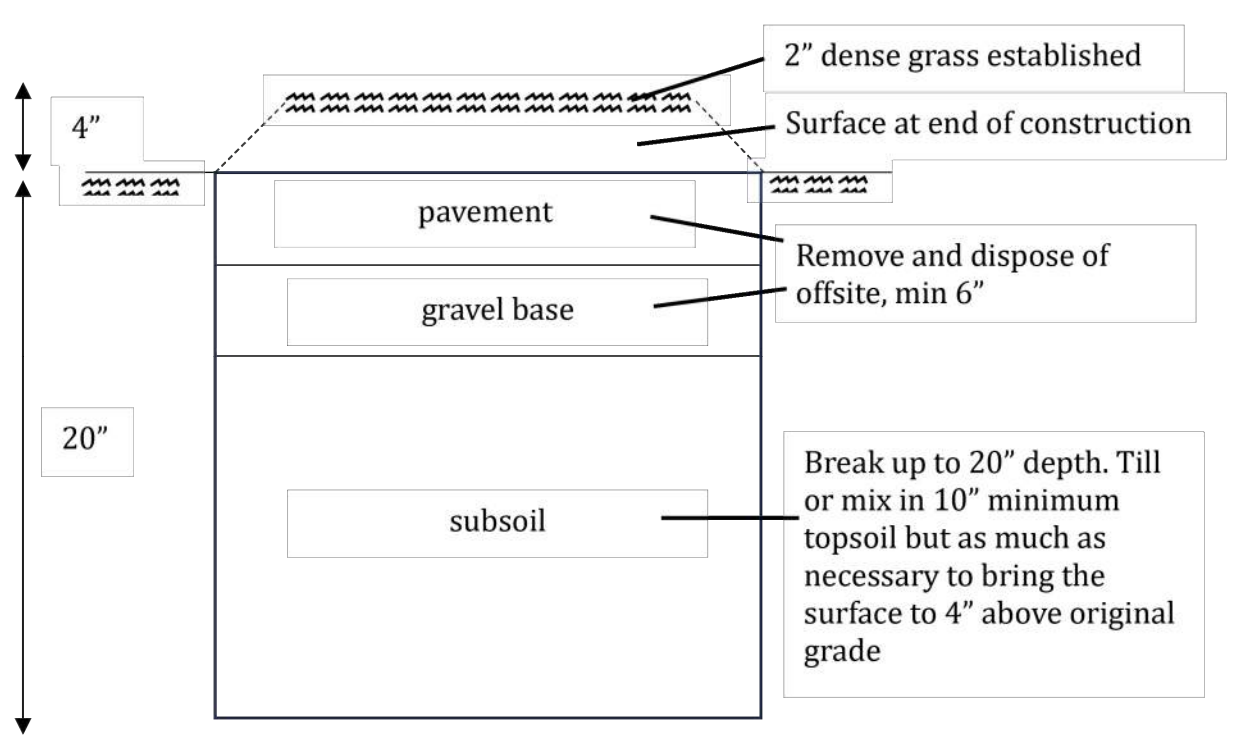


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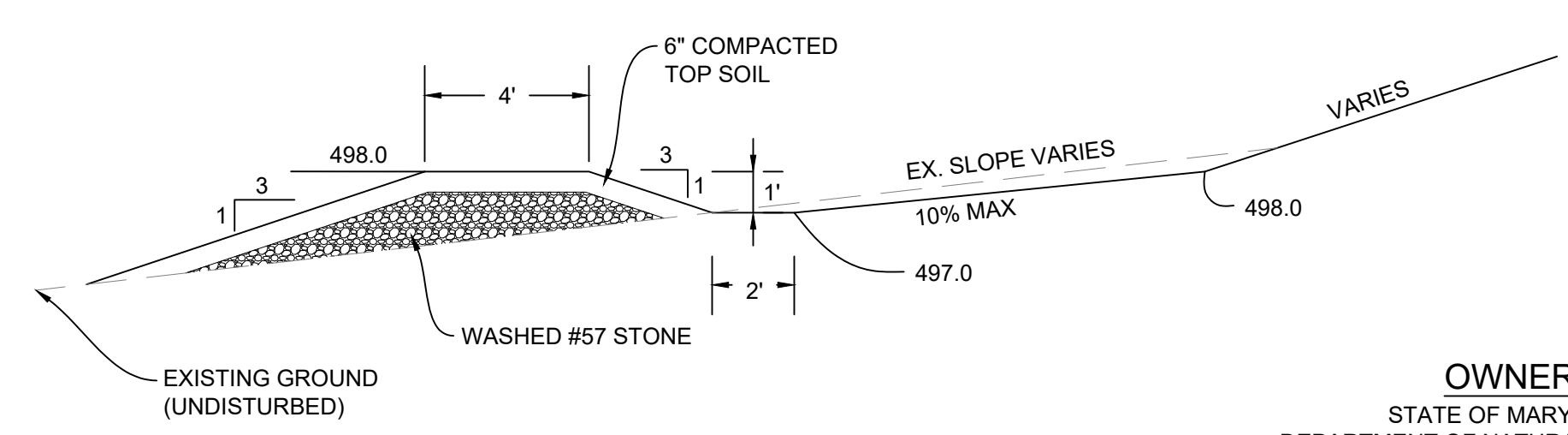
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**SCHEMATIC
PAVEMENT REMOVAL
"URBAN SOIL RESTORATION"**



Based on "Accounting for Stormwater Wasteload Allocations and Impervious Area Treated" November 2021
 Chad N. Wasileski, PE, CFM
 Carroll County Stormwater Management Program Engineer
 May 31, 2024



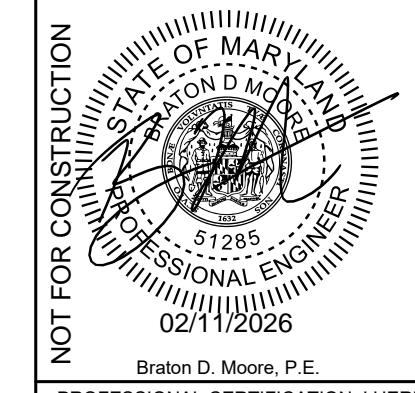
TYPICAL SECTION INFILTRATION BERM
 NOT TO SCALE

- LEGEND**
- HYDROLOGIC SOIL DIVIDE LINE
 - HYDROLOGIC SOIL GROUP
 - LIMIT OF DISTURBANCE
 - INFILTRATION BERM DRAINAGE AREA
 - PAVEMENT REMOVAL "URBAN SOIL RESTORATION"

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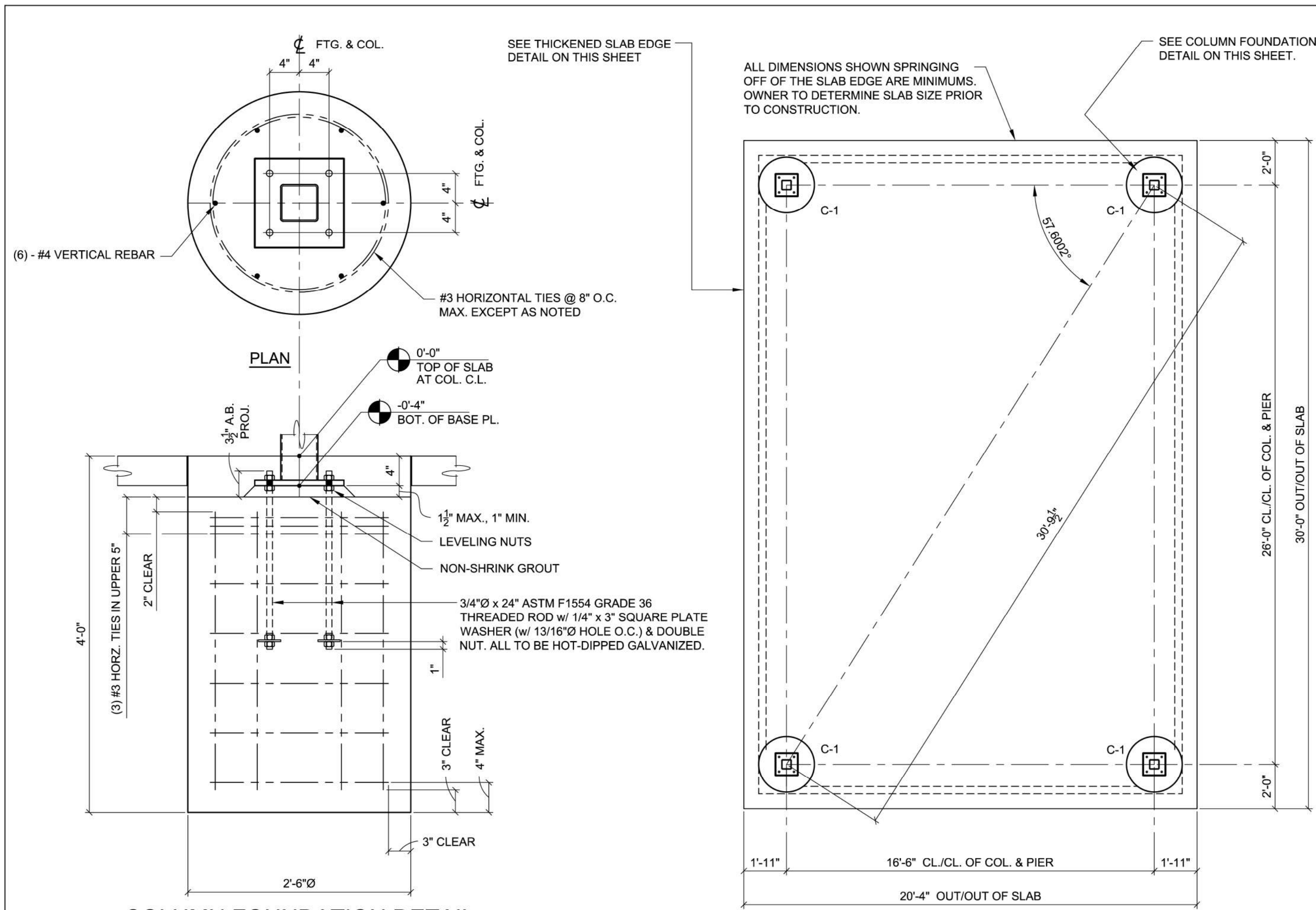
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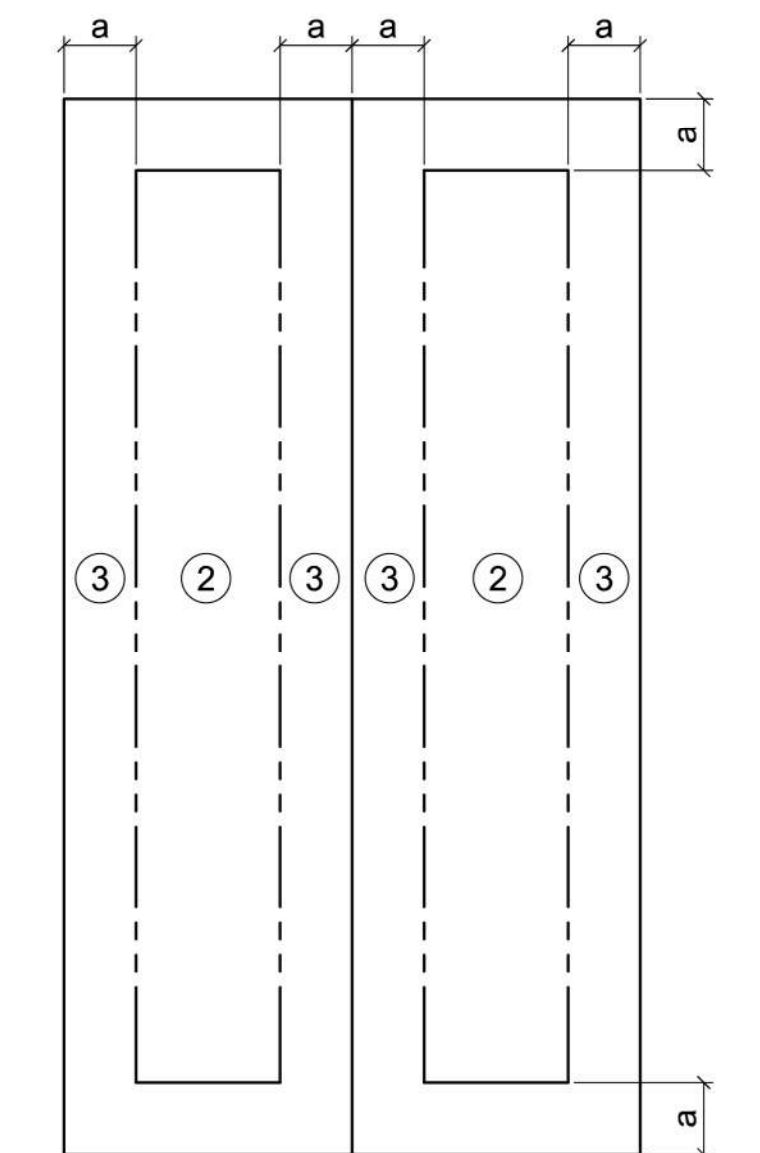
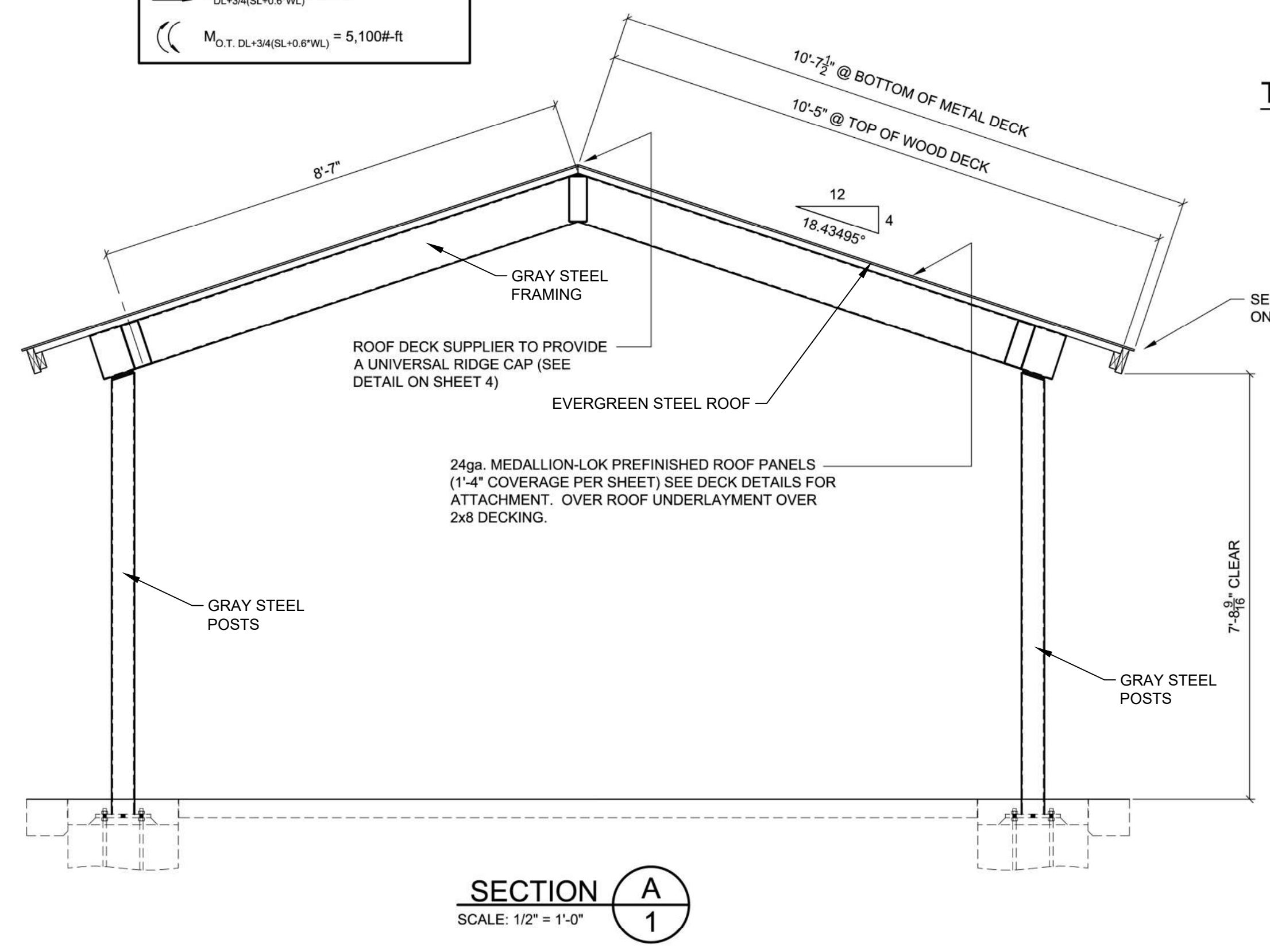
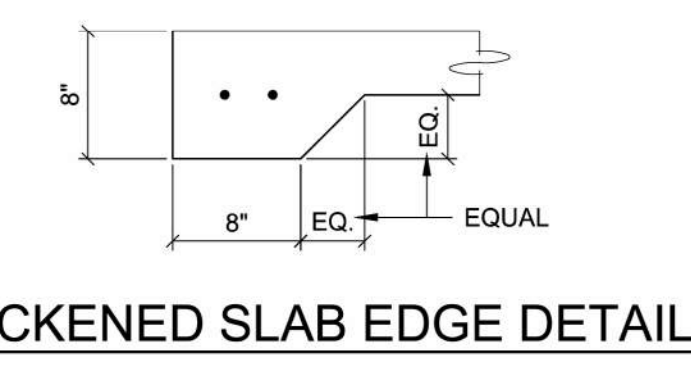
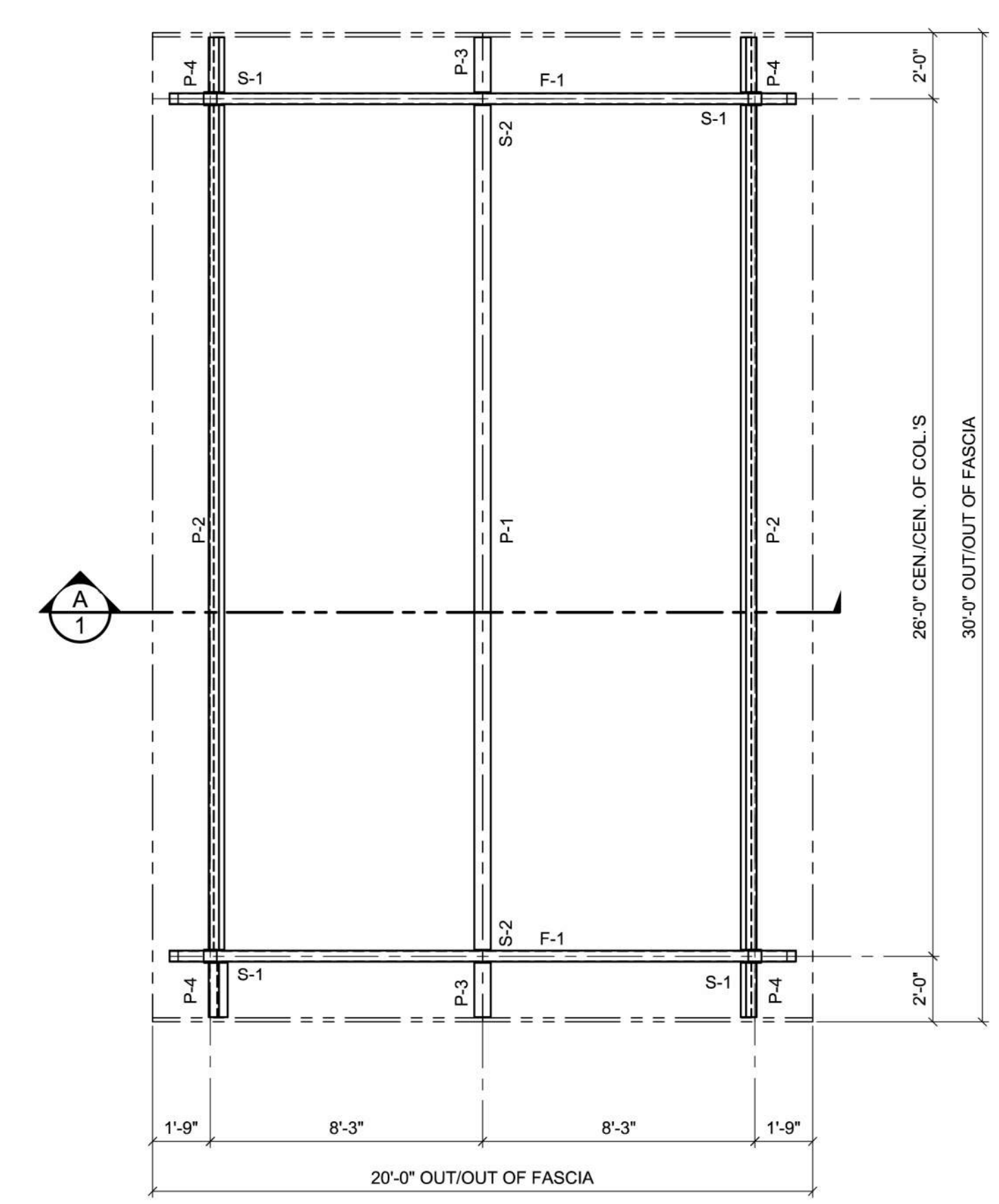
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		Scale: 1" = 30'
		Job No.: 2025245
		Sheet: 05 OF 6



COLUMN BASE REACTIONS:

- $V_{DL+UNB SL} = 7,610\#$
- $V_{0.6'DL+0.6'WL UPLIFT} = -410\#$
- $H_{DL+3/4(SL+0.6'WL)} = 650\#$
- $M_{D.T. DL+3/4(SL+0.6'WL)} = 5,100\#-ft$



ULTIMATE PRESSURES FOR COMPONENTS & CLADDING

ZONE	PRESSURE	SUCTION
2	36.8 PSF	33.9 PSF
3	47.6 PSF	43.8 PSF

CONTRACT NOTE:
Reference accepted proposal and/or executed contract for identification of items furnished. Any item not specifically included shall be provided by owner, installer or others. Some items are specifically noted as N.I.C. (not in contract).

SOLID TIMBER SPECIFICATIONS
2 x 4 Nailer - #1 SYP, S4S, KD, Seal & Stain; color = _____
2 x 6 Fascia - #1 AYC, S4S, KD, Seal & Stain; color = _____
2 x 8 Roof Deck - #1 SYP, T&G, S/L, CM, EV1S, KD, Seal & Stain; color = _____
Deck furnished in specified lengths (S/L), not precision end trimmed (PET), field cutting required.

ROOF UNDERLAYMENT SPECIFICATIONS:
ONE LAYER OF SYNTHETIC UNDERLAYMENT.
SYNTHETIC UNDERLAYMENT TO CONFORM TO ASTM D226 TYPE II OR ASTM D4869 TYPE IV.
ATTACH UNDERLAYMENT PER MANUFACTURER'S RECOMMENDATIONS OR BUILDING CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.

STEEL & HARDWARE SHOP NOTES:
1. All steel plate to be ASTM A572 Grade 50.
2. Steel tubes to be ASTM A500 Grade C.
3. All welding is to be done in accordance with latest AWS standards. If welds are not specified, all welds are to develop full strength of all component parts.
4. All bolts to be ASTM F3125 Grade A325 Type 1. Exception: All bolts smaller than 1/2"Ø to be A307A. Anchor bolts as noted.
5. All nuts to be ASTM A563DH except as noted. At F1554 Gr. 36 anchor bolts and A307A bolts, nuts to be ASTM A563A.
6. All holes in steel to be 1/32"Ø unless noted otherwise.
7. All fabricated steel to be powder coated; color selected by owner.
8. Hardware (bolts, nuts, washers, etc.) to be hot-dipped galvanized (HDG). Shop to verify hole tolerances and tolerances of threaded parts for compatibility of the galvanized parts only.

CONCRETE NOTES:
1. Remove all organic material and topsoil from slab area. Verify suitability of subgrade. Footings are to bear on undisturbed, natural soil or engineered fill. Both are to be compacted to 95% Proctor density.
2. Prepare slab with min. 8" compacted sand, gravel, or crushed rock.
3. Concrete slab to be 4" thick. Reinforce slab with 6x6-w1.4xw1.4 welded wire fabric at mid-depth. Lap splices 8". Alt: Fiber mesh admixture (min. 1.5#/c.y., fibrillated polypropylene).
4. Edge of slab to be thickened to min. 8" deep x 8" wide reinforced with 2-#4 continuous rebars. Lap splices min. 24".
5. In locations subject to frost, install isolation joint, max. 1/8" wide, around column piers using diamond or circular layout. Wire mesh shall be interrupted at isolation joints.
6. Install crack control joints (3/16" wide x 1" deep) at 8' to 12' o.c.
7. Concrete slabs in open areas are to be sloped for drainage from center to edge and away from columns. Surface is to be lightly broomed or have a wood troweled finish.
8. Concrete slabs in enclosed areas are to have positive drainage to floor drains and have a troweled finish.
9. Concrete slab, foundation, re-bar, wire mesh, leveling nuts, grout & anchor bolts (if required) are N.I.C.
10. All concrete reinforcing steel to be grade 60, deformed bars.
11. F_c of concrete to be 3000 psi @ 28 days for foundation. F_c of concrete to be 3500 psi @ 28 days for slab, air-entrained.
12. All concrete work to be in accordance w/ latest ACI code.
13. Assumed allowable soil bearing pressures: 2000 psf vertical bearing, 150 pcf passive lateral bearing. It is the Owner's responsibility to verify that the allowable soil bearing values at the site meet or exceed these assumed values. If the actual values are lower than the assumed values, the foundations must be redesigned (N.I.C.).
14. Leveling nuts have been shown under column base plate. Adjust leveling nuts as required to ensure all column bases are at the same elevation. Fill void between column base plate and top of foundation with non-shrink grout.
15. Grout shall be non-shrink, non-metallic, factory pre-mixed grout in accordance with ASTM C1107 with F_c of not less than 9,000 psi.
16. Reinforcement shall be securely held in place while placing concrete. If required, additional bars, stirrups or chairs shall be provided to furnish support for bars.

ELECTRICAL CONDUIT NOTE:
If electrical access is required; install conduit in foundation and align with access hole in column base plate. Coordinate with electrical contractor.

ERECTOR NOTES:
All steel members must be properly braced until the complete structural system has been constructed. Correction of minor misfits and a reasonable amount of reaming or alignment with drift pins will be considered a legitimate expense of erection. In the event of error, defect in materials, and/or workmanship of shop work which prevents proper assembling and fitting up of parts by the moderate use of drift pins, or reaming, immediately report to the seller and obtain seller's approval of the method of correction.

NOTE: This building has been designed as a free standing, open structure. If walls are to be added, or if the building is to adjoin another structure, or if other modifications are to be made, the structure must be re-engineered prior to these modifications (by others).

DESIGN CRITERIA:
2018 International Building Code w/ Amendments
Type of Construction: Type II-B
Occupancy Classification: Assembly A-3
Building Risk Category II
Mean Roof Height = 10'-0"
Building Volume = 6,000 ft³
No. of Occupants = 40 (15 ft² per person)

ROOF DL:
Metal Roofing 1.3 psf
Underlayment 0.1
2" Nom. T&G Deck 4.4
Misc. 1.2
Total = 7 psf + weight of framing

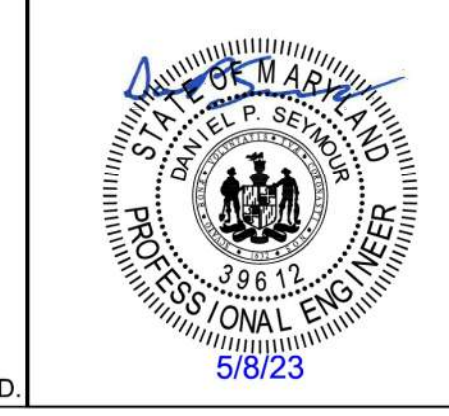
FLOOR LL
L = 100 psf
ROOF LL
L_r = 20 psf
ROOF SL
P_s = 40 psf (Ground Snow)
P_f = 0.7*P_s*C_s*C_e*I_s
C_s = 1.0, C_e = 1.2, I_s = 1.0
P_f = 34 psf
P_e = P_f*C_e
4:12 pitch: C_s = 1.0, P_s = 34 psf

WIND LOAD
V_{ult} = 115 mph, V_{asd} = 89 mph
Exposure 'C', Open Building w/ GC_r = 0
Component & Cladding Ultimate Wind Pressures: See ROOF PLAN on this sheet
SEISMIC
I_e = 1.0
S_s = 0.139, S₁ = 0.043
Site Class D (assumed)
S_{DS} = 0.148, S_{DS1} = 0.069
Seismic Design Category B
Equivalent Lateral Force Procedure
Cantilevered Column Systems - Steel ordinary cantilever column system
R = 1.25, C_s = 0.118, ρ = 1.0, V = 1,400#

DESIGN CERTIFICATION FOR:
BUILDING SIZE: 20' x 30'
BUILDING LOCATION: ELDERSBURG, MD
THIS CERTIFICATION OF DRAWINGS IS FOR THE ONE BUILDING ONLY AT THE SITE LISTED ABOVE. IT IS VALID ONLY IF THE MATERIALS SHOWN ON THESE DRAWINGS ARE FURNISHED BY RCP SHELTERS, INC. AND ONLY IF MATERIALS ARE PAID FOR IN FULL.
IF MODIFICATION IS MADE WITHOUT EXPRESSED WRITTEN CONSENT OF RCP SHELTERS, INC. OR IF PAYMENT IS NOT MADE IN FULL, THEN CERTIFICATION BECOMES NULL & VOID.

Digitally signed by Daniel P Seymour
Date: 2023.05.08 11:42:08 -05'00'

DANIEL P. SEYMOUR, P.E.
710 FRENCH STREET
PESHIGO, WI 54167
PROFESSIONAL CERTIFICATION.
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 39612, EXPIRATION DATE: 11-03-2024.



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TS-G2030-04-TG
FREEDOM PARK
ELDERSBURG, MD

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REV 3:
REV 4:
SHOP DWG NO.: 14679R1
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SHEET NO.: 1 OF 4