

PLAN REFERENCES AND CONTACTS

REFERENCES

♦BOUNDARY & TOPOGRAPHIC SURVEY:
ENTITLED: "ALTANSPS LAND TITLE SURVEY, FOR WALMART #2436-276, 6400 RIDGE ROAD, 5TH ELECTION DISTRICT, CARROLL COUNTY, MARYLAND"
BOHLER ENGINEERING VA, LLC,
12825 WORLDGATE DRIVE
HERNDON, VIRGINIA 20170
DATED: 3/21/25
JOB #: MDA240185.00
ELEVATIONS: NAVD 88

♦PHASE I ENVIRONMENTAL SITE PLAN REPORT:
PREPARED BY: EGS MID-ATLANTIC, LLC
ENTITLED: "PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT, WALMART #2436-276 EXPANSION, 6400A RIDGE ROAD, SYKESVILLE, CARROLL COUNTY, MARYLAND 21784"
PROJECT NO.: 47-20754
DATED: 3/7/24

♦GOVERNING AGENCIES

♦CARROLL COUNTY DEPARTMENT OF LAND AND RESOURCE MANAGEMENT - BUREAU OF RESOURCE MANAGEMENT - GRADING AND SEDIMENT CONTROL
225 NORTH CENTER STREET
WESTMINSTER, MD 21157
(410) 386-2215 (P)
CONTACT: TIMOTHY R. HARE

♦CARROLL COUNTY DEPARTMENT OF LAND AND RESOURCE MANAGEMENT - BUREAU OF RESOURCE MANAGEMENT - STORMWATER MANAGEMENT
225 NORTH CENTER STREET
WESTMINSTER, MD 21157
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CONTACT: MARTIN B. COVINGTON, III,
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♦CARROLL COUNTY DEPARTMENT OF LAND AND RESOURCE MANAGEMENT - BUREAU OF RESOURCE MANAGEMENT - WATER RESOURCE MANAGEMENT
225 NORTH CENTER STREET
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CONTACT: TRACY EBERHARD

♦CARROLL COUNTY DEPARTMENT OF LAND AND RESOURCE MANAGEMENT - BUREAU OF RESOURCE MANAGEMENT - LANDSCAPE / FOREST CONSERVATION
225 NORTH CENTER STREET
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(410) 386-2133 (P)
CONTACT: JONATHAN BOWMAN

♦CARROLL COUNTY DEVELOPMENT REVIEW
225 NORTH CENTER STREET
WESTMINSTER, MD 21157
(410) 386-2722 (P)
CONTACT: LAURA MATYAS

♦CARROLL COUNTY DEPARTMENT OF PUBIC WORKS - BUREAU OF ENGINEERING -
225 NORTH CENTER STREET
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♦CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS
225 NORTH CENTER STREET
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CONTACT: MICHAEL ZEPP

♦CARROLL COUNTY OFFICE OF PUBLIC SAFETY SUPPORT SERVICES
225 NORTH CENTER STREET
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CONTACT: SCOTT R. CAMPBELL

♦CARROLL COUNTY BUREAU OF UTILITIES
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WESTMINSTER, MD 21157
(410) 386-2157 (P)
CONTACT: ANDREW C. WATCHER

♦CARROLL SOIL CONSERVATION DISTRICT
698J CORPORATE CENTER COURT
WESTMINSTER, MD 21157
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CONTACT: BRYAN H. SNYDER

♦UTILITIES

♦ELECTRIC AND GAS
BALTIMORE GAS & ELECTRIC
7317 PARKWAY DRIVE SOUTH
HANDOVER, MD 21076
PHONE: (410) 293-3147

♦CABLE
COMCAST
10132 REISTERSTOWN ROAD, STE. 20
OWINGS MILLS, MD 21117
PHONE: (888) 266-2278

♦TELEPHONE
VERIZON
99 SHAWAN ROAD
COCKEYSVILLE, MD 21030
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♦CARROLL COUNTY BUREAU OF UTILITIES
225 NORTH CENTER STREET
WESTMINSTER, MD 21157
(410) 386-2157 (P)
CONTACT: ANDREW C. WATCHER

♦ROW JURISDICTION

♦MDOT SHA DISTRICT 7
5111 BUCKEYSTOWN PIKE
FREDERICK, MD 21704
(301) 624-8225 (P)
CONTACT: TERI SOOBS

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

4TH AMENDED SITE PLAN

FOR

STORE #2436-276

PROPOSED BUILDING EXPANSION AND PICKUP IMPROVEMENTS

LOCATION OF SITE
6400A RIDGE RD
SYKESVILLE, MD 21784
TAX MAP 74, GRID 13, PARCEL 615

PURPOSE NOTE

THE PURPOSE OF THIS 4TH AMENDED SITE PLAN IS TO PROPOSE AN APPROXIMATELY 4,123± SF BUILDING EXPANSION TO THE EXISTING WALMART SUPERCENTER AND RESTRIPE A PORTION OF THE EXISTING PARKING LOT TO SUPPORT WALMART'S ONLINE GROCERY PICKUP (OPD) OPERATIONS. CUSTOMERS WILL ORDER THEIR GROCERIES ONLINE, DRIVE TO THE STORE, PARK IN THE RESTRIPED / SIGNED PICKUP SPACES, NOTIFY THE STORE, AND AN EMPLOYEE WILL EXIT THE BUILDING ADDITION AND DELIVER THE CUSTOMER'S GROCERIES TO THEIR VEHICLE. IT IS NOT INTENDED THAT CUSTOMERS LEAVE THEIR VEHICLES AND ENTER THE BUILDING ADDITION.

PREPARED BY

BOHLER //

CONTACT: CRISSIE M. BAUR

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GENERAL NOTES:

- EXISTING ZONING: C-3 - COMMERCIAL HIGH INTENSITY DISTRICT
- TOTAL SITE AREA: 29,456 AC OR 1,283,103 SF
- TAX MAP: 74, GRID 13, PARCEL 615
- THE NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION IS A FIRE HYDRANT LOCATED ACROSS THE DRIVE AISLE OF THE PARKING LOT FROM THE EXISTING WALMART AUTO CARE CENTER AND PROPOSED EXPANSION.
- EXISTING USE: PLANNED COMMERCIAL CENTER
- PROPOSED USE: PLANNED COMMERCIAL CENTER
- THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, CARROLL COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 318 OF 450", MAP NUMBER 24013C0318D, WITH A MAP EFFECTIVE DATE OF OCTOBER 2, 2015.
- THERE ARE NO KNOWN HISTORIC STRUCTURES ON-SITE.
- THERE ARE NO KNOWN RARE, THREATENED, OR ENDANGERED PLANTS OR ANIMAL SPECIES ON-SITE.
- THERE ARE NO EXISTING WETLANDS AND THEIR ASSOCIATED BUFFERS ON SITE.
- THIS SITE IS LOCATED WITHIN A SURFACE WATERSHED AREA AS DESIGNATED BY THE CARROLL COUNTY WATER RESOURCE MANAGEMENT MANUAL. THIS DEVELOPMENT SHALL COMPLY WITH THE CARROLL COUNTY WATER RESOURCE MANAGEMENT MANUAL, SECTION IV-A 1-10, REGULATED SUBSTANCE STORAGE AND USE.
- FOREST CONSERVATION WAS ADDRESSED WITH SITE PLAN S-21-0001 FOR THE SHOPPING CENTER.
- ZONING ADMINISTRATION CASE: ZA-1475 - TO PERMIT 1,587 PARKING SPACES IN LIEU OF THE REQUIRED 1,616 PARKING SPACES - GRANTED ON 11/6/2013

OWNER

ELDRSBURG SUSTAINABLE
REDEVELOPMENT LLC
STE 975
1 W PENNSYLVANIA AVE
TOWSON MD 21204

DEVELOPER

WALMART REAL ESTATE
BUSINESS TRUST
814 RESPECT DR.
BENTONVILLE, AR 72716
PHONE: 478-488-1151
CONTACT: LAURIE LAMMEY

SITE INFORMATION

ELECTION DISTRICT: 5TH
EXISTING USE: COMMERCIAL CENTER
PROPOSED USE: PLANNED COMMERCIAL CENTER
ZONE: C-3
TAX MAP 74, GRID 13, PARCEL 615
PREVIOUS COUNTY FILE NO.'S:
COUNTY FILE NO.

REVISIONS	BY

BOHLER //

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MD@BohlerEng.com

B.A. BOSSE

BRITNEY A. BOSSE
PROFESSIONAL ENGINEER
MARYLAND LICENSE NO. 47227
PROFESSIONAL CERTIFICATION
BRITNEY A. BOSSE, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME
AND THAT I AM A DAILY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND.
LICENSE NO. 47227 EXPIRATION DATE: 12/31/2026

811

Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

NOT APPROVED FOR
CONSTRUCTION

SUPERCENTER #2436-276
6400A RIDGE RD
SYKESVILLE, MD 21784
WALMART REAL ESTATE BUSINESS TRUST
814 RESPECT DR
BENTONVILLE, AR 72716

DRAWN BN
CHECKED BAB
DATE 02/02/2026
JOB No. MDA240185.00
SHEET TITLE

COV-1

COVER SHEET

M:\MD\2024\MDA240185.00\CAD\DRAWINGS\PLAN SETS\STORE ENTRANCE CONSISTENCY PROGRAM\SECP-CNDS-MDA240185.00-0A- - - - ->LAYOUT: 01-COV-1
May 16, 2026

1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING VA, LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE PROFESSIONAL OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

1M02024MDA2401R5.00CADDRAWINGS(PL)AN SETS(S)STORE ENTRANCE CONSISTENCY PROGRAM(PE)SECP-CNDS(MDA2401R5.00)A-----SI LAYO(UT) (2)ANS-1

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

DOCUMENTS, THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

2. EROSION CONTROL MEASURES MUST CONFORM TO THE MARYLAND GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, UNLESS OTHERWISE NOTED, OR, UNLESS THE PROVISION OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL CLEARING AND SITE WORK MUST BE PERFORMED EXACTLY AS

SITE LAYOUT NOTES (Rev. 1/2020)

4. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT.

2. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY.

TABLE 1. *Continued*

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

ACCESSIBILITY DESIGN GUIDELINES (Rev. 1/2023)

2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.
3. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM

DRAINAGE AND UTILITY NOTES (Rev. 3/2023)

2. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION. THE

12. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

OUTSIDE SOURCE NOTES (Rev. 11/2023)

ANY INFORMATION, DRAWINGS, DATA, PLANS, SPECIFICATIONS, MATERIALS, FIGURES, DOCUMENTATION, REPORTS, AND THE LIKE WHICH IS INDICATED TO HAVE BEEN PREPARED "BY OTHERS" (HEREIN, "BY OTHERS REPORTS, DOCUMENTS AND DETAILS") HAS BEEN OR WILL BE CREATED, DEVELOPED, PREPARED, PERFORMED, AND ANALYZED BY AN ENTITY OR PARTY OTHER THAN THE "BOILER

GENERAL NOTES SHEET



- NOTES TO CONTRACTOR:**
- BFR (BUILDING FRONTAGE ROAD) OR (OUTER CIRCULATION ROAD)
 - CONTRACTOR SHALL INSTALL 'NEW' STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
 - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
 - GC TO EXECUTE COMPLETE PARKING LOT RESTRIPING, STRIPE/REFRESH ALL EXISTING PARKING FIELDS (MAIN, SIDES, AND REAR OF STORE).
 - PREPARE AND REPAINT PARKING LOT LIGHT POLE BASES AND REMOVE PREVIOUS OVERSPRAY ON PAVEMENT. IF LIGHT POLE BASE IS WITHIN A RAISED CURB AND OFFSET FROM THE BACK OF CURB (OR CONCRETE BUFFER) BY 3 FEET OR LESS, THE BASE SHALL BE PAINTED/REPAINTED. IF LIGHT POLE BASE IS OFFSET FROM THE BACK OF CURB (OR CONCRETE BUFFER) BY MORE THAN 3 FEET, THE BASE SHALL NOT BE PAINTED UNLESS IT IS ALREADY PAINTED IN EXISTING CONDITIONS.
 - PREPARE AND REPAINT EXISTING SIGN POST BOLLARDS AND REMOVE PREVIOUS OVERSPRAY ON PAVEMENT.

SITE ANALYSIS TABLE (EXISTING STORE)		
	EXISTING	PROPOSED
TOTAL WALMART BUILDING AREA	189,612 SF	193,757 SF
AHJ PLANNED BUSINESS CENTER SF ²	293,925 SF	298,070 SF
AHJ REQUIRED PARKING (PLANNED BUSINESS CENTER) ¹	1,588 SPACES	1,610 SPACES
AHJ REQUIRED PARKING RATIO (PLANNED BUSINESS CENTER) ¹	5.50/1,000 SF - 29	5.50/1,000 SF - 29
REQUIRED PARKING (PER ECR)	1,323 SPACES	1,341 SPACES
REQUIRED PARKING RATIO (PER ECR)	4.50/1,000 SF	4.50/1,000 SF
CUSTOMER AND ASSOCIATE PARKING	1,476 SPACES	1,444 SPACES
ACCESSIBLE PARKING	31 SPACES	31 SPACES
EV PARKING	0 SPACES	0 SPACES
PICKUP PARKING	18 SPACES	31 SPACES
PARKING SPACES OCCUPIED BY CART CORRALS (NOT INCLUDED IN PARKING COUNTS BELOW)	38 SPACES	36 SPACES
PROPOSED TOTAL PARKING EXCLUDING PICKUP STALLS	N/A	1,475 SPACES
PROPOSED PARKING RATIO EXCLUDING PICKUP STALLS ²	N/A	4.94/1,000 SF
PROPOSED TOTAL PARKING INCLUDING PICKUP STALLS	N/A	1,506 SPACES
PROPOSED PARKING RATIO INCLUDING PICKUP STALLS ²	N/A	5.05/1,000 SF

NOTES:

- THIS STORE IS WITHIN THE ELDERSBURG COMMONS PLANNED BUSINESS CENTER WHICH IS REQUIRED TO BE PARKED AT 5.5 SPACES PER 1000 SF BUT AN ADMINISTRATIVE VARIANCE WAS GRANTED TO REDUCE THE REQUIRED PARKING BY 29 SPACES IN 2013 PER CASE NO. ZA-1473.
- SQUARE FOOTAGES ASSUMES NO OTHER BUILDINGS HAVE BEEN MODIFIED OR EXPANDED.
- RATIO BASED ON THE PLANNED BUSINESS CENTER SQUARE FOOTAGE (EXISTING SQUARE FOOTAGE = 293,925 SF).
- WALMART BUILDING AREA DATA SHOWN PER AMANDA CURRY, WD PARTNERS, RECEIVED 06/11/2025.
- ECR INFORMATION SHOWN PER CHASE FOSTER, WALMART, RECEIVED 02/05/2025.
- PARKING COUNTS SHOWN PER PARKING OCCUPANCY STUDY BY THE TRAFFIC GROUP, INC COMPLETED ON JULY 2025.



OVERALL BOUNDARY

SCALE: 1" = 500'

SITE AND DEMOLITION LEGEND

NOTE TO CONTRACTOR: FOR PROPOSED SIGNAGE AND STRIPING IDENTIFIED ON THIS PLAN, CONTRACTOR MUST REFERENCE STOP SIGNS AND MARKINGS DETAIL SHEET AND INSTALL ALL STRIPING AND SIGNAGE TO THE DIMENSIONS SHOWN ON THE DETAILS. NOTIFY ENGINEER IMMEDIATELY, IN WRITING, OF ANY CONFLICTS THAT MAY BE PRESENT, AS REQUIRED TO PROVIDE THE MINIMUM DIMENSIONS REQUIRED.

- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B) EXISTING STOP SIGN TO BE REMOVED.
- (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN.
- (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
- (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- (G) EXISTING CENTERLINE STRIPING TO REMAIN/ BE REFRESHED.
- (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
- (J) NEW 30"x30" STOP SIGN.
- (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (L) NEW STOP AND/OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (M) EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN / BE REFRESHED.
- (N) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2' ON C.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED, INCLUDING "NO PARKING FIRE LANE" AND/OR RED STRIPE TO MATCH EXISTING.
- (P) LIMITS OF SEAL COAT. APPLY SEAL COAT WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (D) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
- (R) EXISTING STOP BAR/ STOP TEXT PAVEMENT MARKINGS/ DOUBLE YELLOW STRIPE TO BE REMOVED.
- (S) NEW OPEN ARROW PAVEMENT MARKINGS.
- (T) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (U) EXISTING FIRE LANE STRIPING AND/ OR YELLOW STRIPING TO REMAIN/ BE REFRESHED.
- (V) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE AND/ OR SINGLE WHITE.
- (W) EXISTING STOP SIGN TO BE REUSED.
- (X) EXISTING STOP SIGN TO BE RAISED/ RELOCATED TO MATCH CURRENT DETAIL SIGN GUIDELINES.
- (Y) EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
- (Z) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- (B) EXISTING PICKUP PAVEMENT MARKINGS TO BE REMOVED.
- (D) NEW 36" STOP SIGN ON DOUBLE POST WITH BREAK AWAY POSTS.
- (D) NEW OPD CROSSWALK MARKINGS. SEE DETAIL.
- (E) EXISTING ISLAND STRIPING TO BE REMOVED.
- (F) NEW CHANNELIZATION AT OPD DOOR. SEE DETAIL.
- (G) EXISTING STOP PAVEMENT MARKINGS, "STOP" TEXT AND/ OR "ONLY" TEXT TO BE REVISED/ REFRESHED TO MATCH CURRENT DETAILS.
- (H) EXISTING CROSSWALK TO REMAIN/BE REFRESHED.
- (I) EXISTING OPEN ARROW PAVEMENT MARKING TO REVISED/ REFRESHED TO MATCH CURRENT DETAILS.
- (J) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN/BE REUSED.
- (M) NEW ALL WAY PLAQUE.
- (N) NEW TRAFFIC FROM RIGHT DOES NOT STOP PLAQUE.
- (H) NEW TRAFFIC FROM LEFT DOES NOT STOP PLAQUE.
- (Q) NEW ONCOMING TRAFFIC DOES NOT STOP PLAQUE.
- (F) NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.
- (I) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REVISED/ REFRESHED TO MATCH CURRENT DETAILS.
- (U) EXISTING 4" WIDE DOUBLE YELLOW AND/OR WHITE SINGLE STRIPE TO REMAIN/BE REFRESHED.
- (W) NEW SOLID ARROW PAVEMENT MARKING.
- (X) EXISTING NO PARKING FIRE LANE SIGN TO REMAIN.
- (Y) EXISTING PICKUP GRAPHIC AND ORANGE ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (Z) EXISTING PICKUP SIGN TO REMAIN.
- (21) EXISTING PICKUP DIRECTIONAL SIGN TO BE REMOVED.
- (22) EXISTING "NO PARKING FIRE LANE" SIGN TO BE REMOVED.
- (23) NEW "NO PARKING FIRE LANE" SIGN.
- (24) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
- (25) NEW PICKUP DIRECTIONAL SIGN. REFER TO WAYFINDING PLAN, SHEET WF-1.
- (26) PROPOSED STANDARD PAVEMENT MARKING TO MATCH EXISTING PARKING LOT.

PICKUP POST SIGN NOTES

- SIGNS ARE PROVIDED BY THE OWNER.
- SIGNS NOTED WITH TWO DIRECTIONS (E, S/R) WILL USE THE SAME POLE.
- REFER TO PICKUP AND SIGNAGE EXHIBIT.

ALL EXISTING WALMART LIGHT POLE BASES SHALL BE REPAINTED AND ANCHOR BOLT COVERS REPLACED IF REQUIRED - SEE NOTE TO CONTRACTOR #4. (TYP.)

ENTIRE PARKING LOT PAVEMENT MARKING STRIPING SHALL BE REPAINTED/REFRESHED TO MATCH EXISTING FIELD CONDITIONS (IN-KIND). PARKING LOT STRIPING SHOWN ON THIS PLAN IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND BASED ON RECORD PLANS AND MAY NOT REFLECT EXISTING SITE CONDITIONS. RESTRIPING SHALL MATCH EXISTING CONDITIONS AND COLOR.

DO NOT STRIPE/REFRESH IF SIMILAR WORK WAS COMPLETED WITHIN THE LAST YEAR. CONTRACTOR SHALL CONFIRM WITH THE CONSTRUCTION MANAGER. - SEE NOTE TO CONTRACTOR #5 (TYP.).

SEALCOAT NOTE:
CONTRACTOR SHALL INSTALL SEAL COAT ON EXISTING ASPHALT PAVING AT ANY STRIPED AREA THAT IS PART OF THE PICKUP SCOPE OF WORK AND ADDITIONAL ASSOCIATED PARKING SPACES REQUIRED TO BE STRIPED AS SHOWN ON THESE PLANS. FOR EXISTING CONCRETE SURFACES, GC IS TO PREPARE THE SURFACE FOR PAINT ONLY. IN LOCATIONS WHERE EXISTING PAVEMENT MARKINGS CONFLICT OR ARE CALLED OUT AS TO BE REMOVED, PAVEMENT MARKING REMOVAL SHALL OCCUR PER SHEET CSS-1, SECTION TITLED "PAVEMENT MARKINGS SPECIFICATION", PART 3, SECTIONS 3.2 & 3.3.

ALL PICKUP WAY FINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE PLACED THROUGH QUICKBASE USING THE "SIGN SHOP ORDERS" APPLICATION

DIRECTIONAL SIGN NOTE:
EXISTING PICKUP DIRECTIONAL SIGNAGE SHOWN IS APPROXIMATE AND TAKEN FROM AVAILABLE GOOGLE STREET VIEW IMAGES AND ARE NOT FIELD VERIFIED. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL REVIEW ALL SITE DRIVEWAYS TO INVENTORY PICKUP DIRECTIONAL SIGN QUANTITY, LOCATIONS AND ARROW INFORMATION. CONTRACTOR SHALL ADJUST THE SCOPE OF WORK AS NEEDED TO PROVIDE NEW DIRECTIONAL SIGN PANELS AT ALL EXISTING DIRECTIONAL SIGN LOCATIONS IN ACCORDANCE WITH THE SITE PLAN DOCUMENTS.

REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION (SHEET NS-1)



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTE:
THIS SITE PLAN WAS DEVELOPED BASED ON PLANS ENTITLED "ALTANSPS LAND TITLE SURVEY; FOR WALMART #2436-276, 6400 RIDGE ROAD, 5TH ELECTION DISTRICT, CARROLL COUNTY, MARYLAND" AND SUPPLEMENTED WITH GOOGLE AERIAL AND SITE VISIT ON 03/21/2025. DEPICTION OF EXTENTS OF EXISTING FEATURES ARE APPROXIMATE. ACTUAL FIELD CONDITIONS AT THE TIME OF CONSTRUCTION MAY VARY.

REVISIONS	BY

BOHLER
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B.A. BOSSE

Brittney Bosse
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MARYLAND LICENSE NO. 47227
PROFESSIONAL CERTIFICATION
BRITNEY A. BOSSE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 47227 EXPIRATION DATE: 12/31/2026

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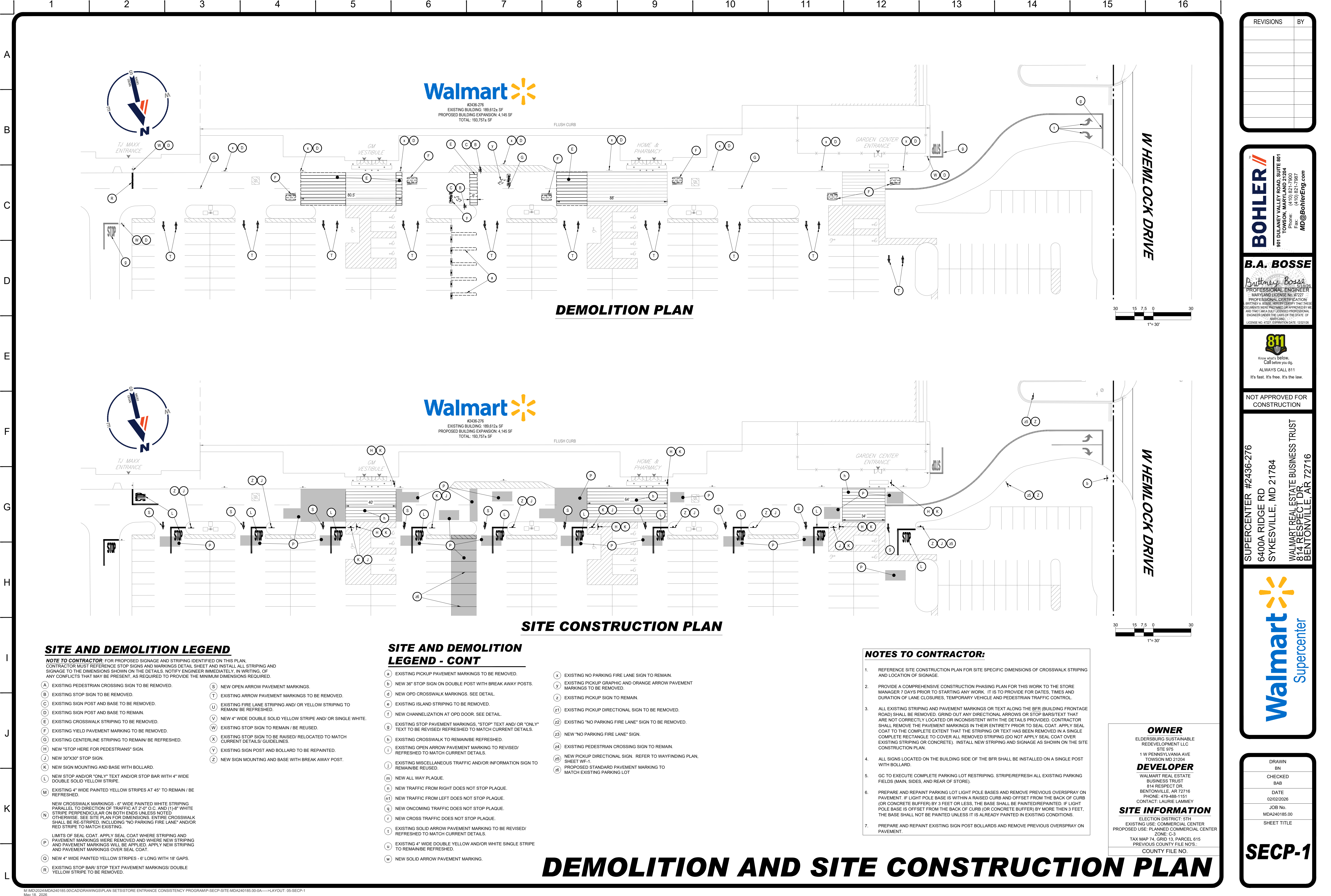
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SUPERCENTER #2436-276
6400A RIDGE RD
SYKESVILLE, MD 21784
WALMART REAL ESTATE BUSINESS TRUST
814 RESPECT DR
BENTONVILLE, AR 72716

Walmart
Supercenter

DRAWN	BN
CHECKED	BAB
DATE	02/02/2026
JOB No.	MDA240185.00
SHEET TITLE	

SSM-1



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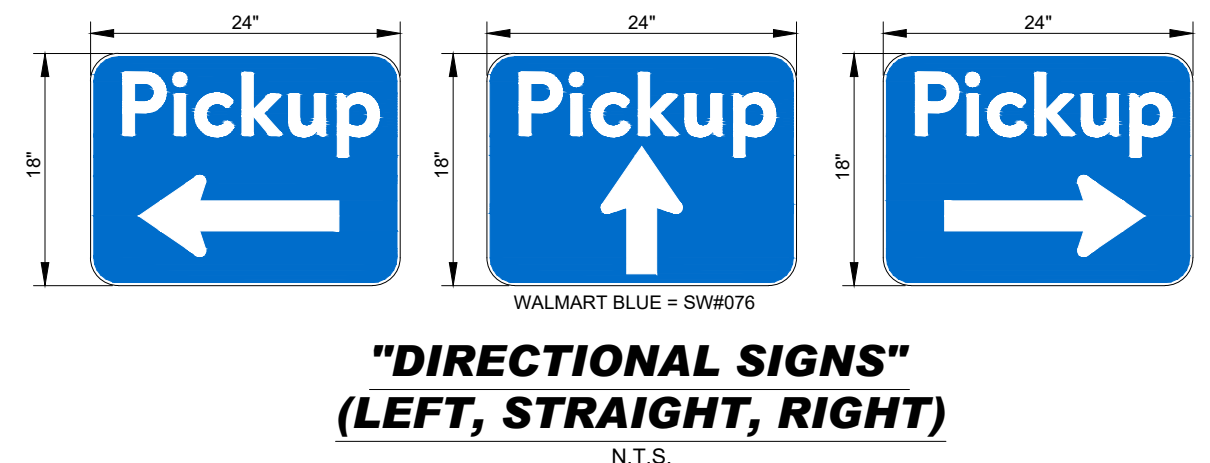
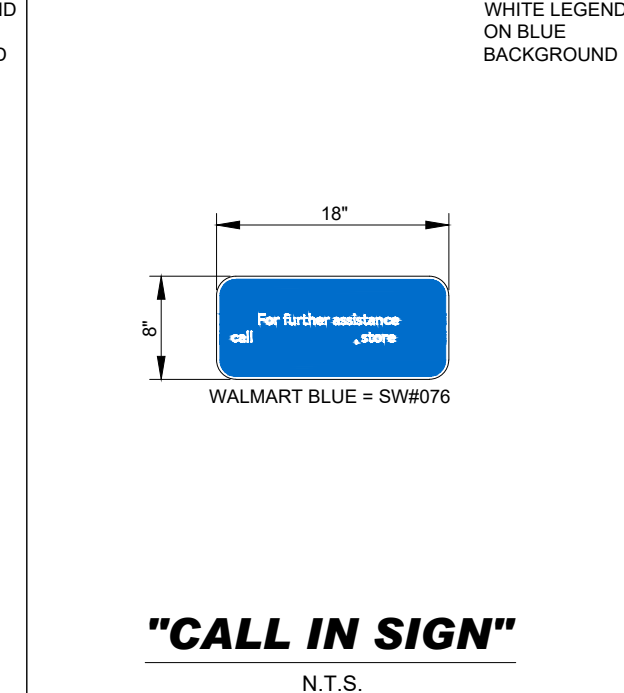
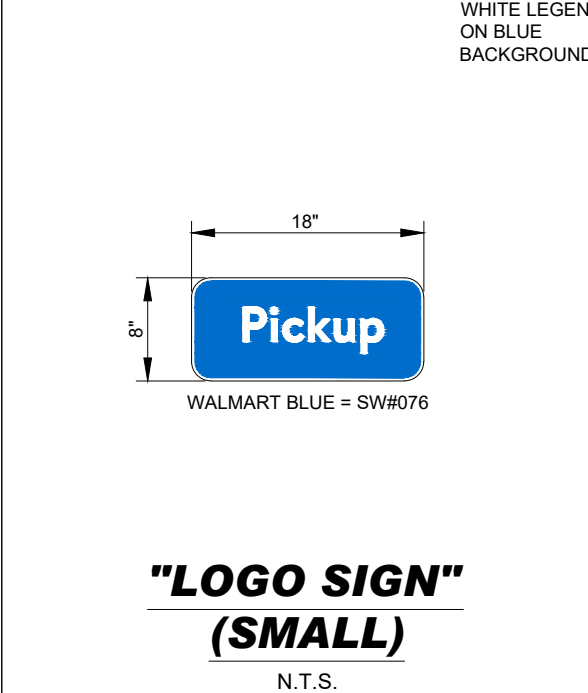
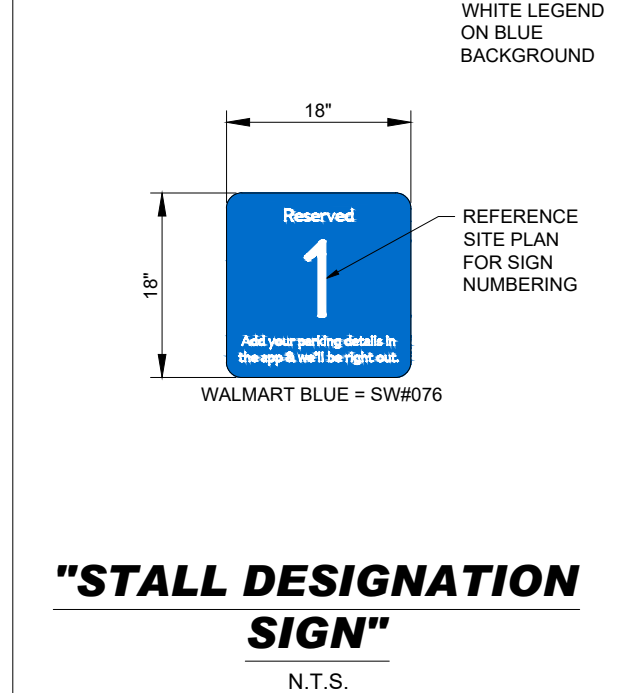
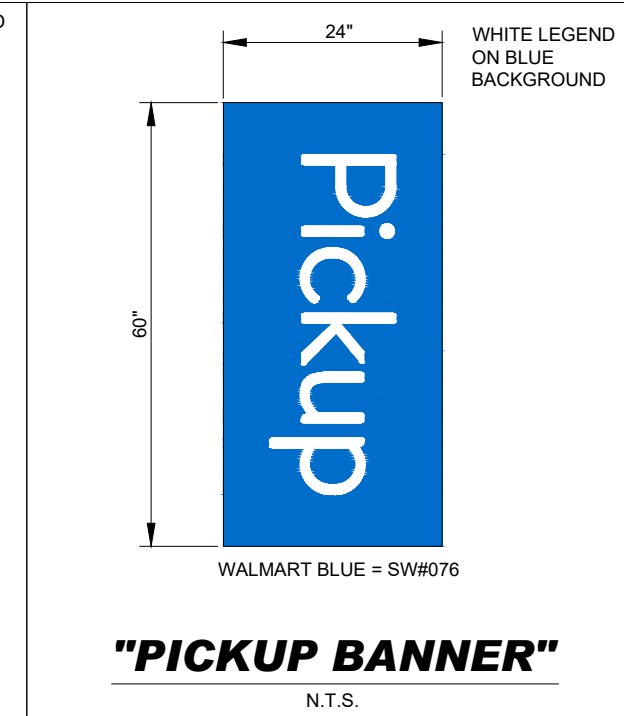
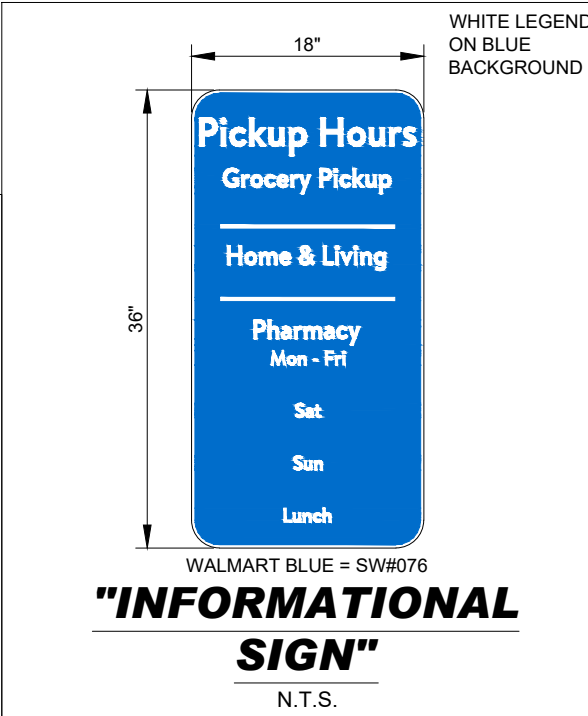
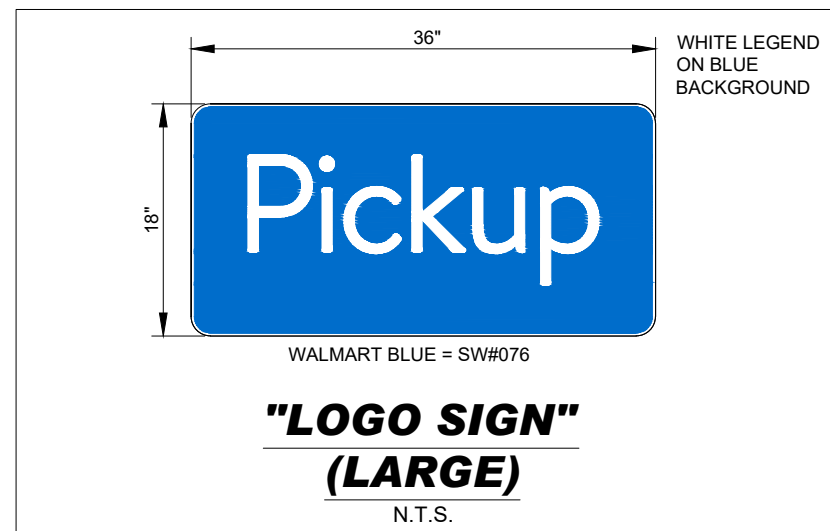
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SECP-1



DETAIL REFERENCE:
ALL DETAILS ON THIS SHEET HAVE BEEN PROVIDED/PREPARED BY OTHERS AND ARE FROM WALMART SHAREPOINT, DATE VARIES. REFER TO NOTES THIS SHEET.

- NOTES REGARDING DETAILS BY OTHERS:**
1. DETAILS PREPARED BY OTHERS ARE IDENTIFIED AS SUCH BY WAY OF A TITLE BLOCK, REFERENCE, LOGO, OR OTHER NOTATION.
 2. WHERE AN ORIGINAL DETAIL BY OTHERS HAS BEEN MODIFIED, THE MODIFICATIONS ARE IDENTIFIED BY REVISION CLOUDS.
 3. REFER TO OUTSIDE SOURCE NOTES ON THE GENERAL NOTES AND LEGEND SHEET.
 4. WHEN THE SOURCE OF THE DETAIL IS A REVIEWING/REGULATORY AGENCY, FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. WHEN APPROPRIATE, SHOP DRAWINGS SHALL BE FORWARDED TO THE REVIEWING/REGULATORY AGENCY PRIOR TO FABRICATION.

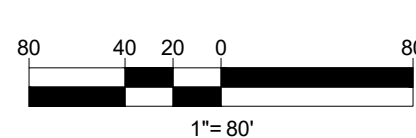
DETAILS BY OTHERS DISCLAIMER

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	0
WAITING SPACES RIGHT	18 X 24	0
WAITING SPACES AHEAD	18 X 24	0
RESERVED WAITING	18 X 24	0
PICKUP LEFT PHARMACY RIGHT	18 X 24	0
PICKUP/ PHARMACY AHEAD	18 X 24	0
STOP THANKS FOR ORDERING	18 X 36	0
PICKUP HOURS	18 X 36	31
RESERVED	18 X 18	31
PHONE NUMBER	8 X 18	31
VERTICAL PICKUP	18 X 36	31
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	0
PICKUP RIGHT	18 X 24	4
PICKUP BANNER AND MOUNTING HARDWARE	24 X 60	0
TEMPORARY PARKING SIGN WITH PYRAMID BASE	24 X 60	0

FINISH LEGEND	
P76	WALMART BLUE SW#076
P9E	SAFETY YELLOW

PATH OF TRAVEL FOR PICKUP CUSTOMER
(FROM PARCEL BOUNDARY TO PICKUP ENTRANCE)

NOTE TO CONTRACTOR:
REFERENCE SIGN SCHEDULE ON ARCHITECTURAL PLANS FOR QUANTITIES



OWNER
ELDBERSBURG SUSTAINABLE REDEVELOPMENT LLC
STE 975
1 W PENNSYLVANIA AVE
TOWSON MD 21204

DEVELOPER
WALMART REAL ESTATE BUSINESS TRUST
814 RESPECT DR
BENTONVILLE, AR 72716
PHONE: 478-488-1151
CONTACT: LAURIE LAMMEY

SITE INFORMATION
ELECTION DISTRICT: 5TH
EXISTING USE: COMMERCIAL CENTER
PROPOSED USE: PLANNED COMMERCIAL CENTER
ZONE: C-3
TAX MAP 74, GRID 13, PARCEL 615
PREVIOUS COUNTY FILE NO'S.:
COUNTY FILE NO.

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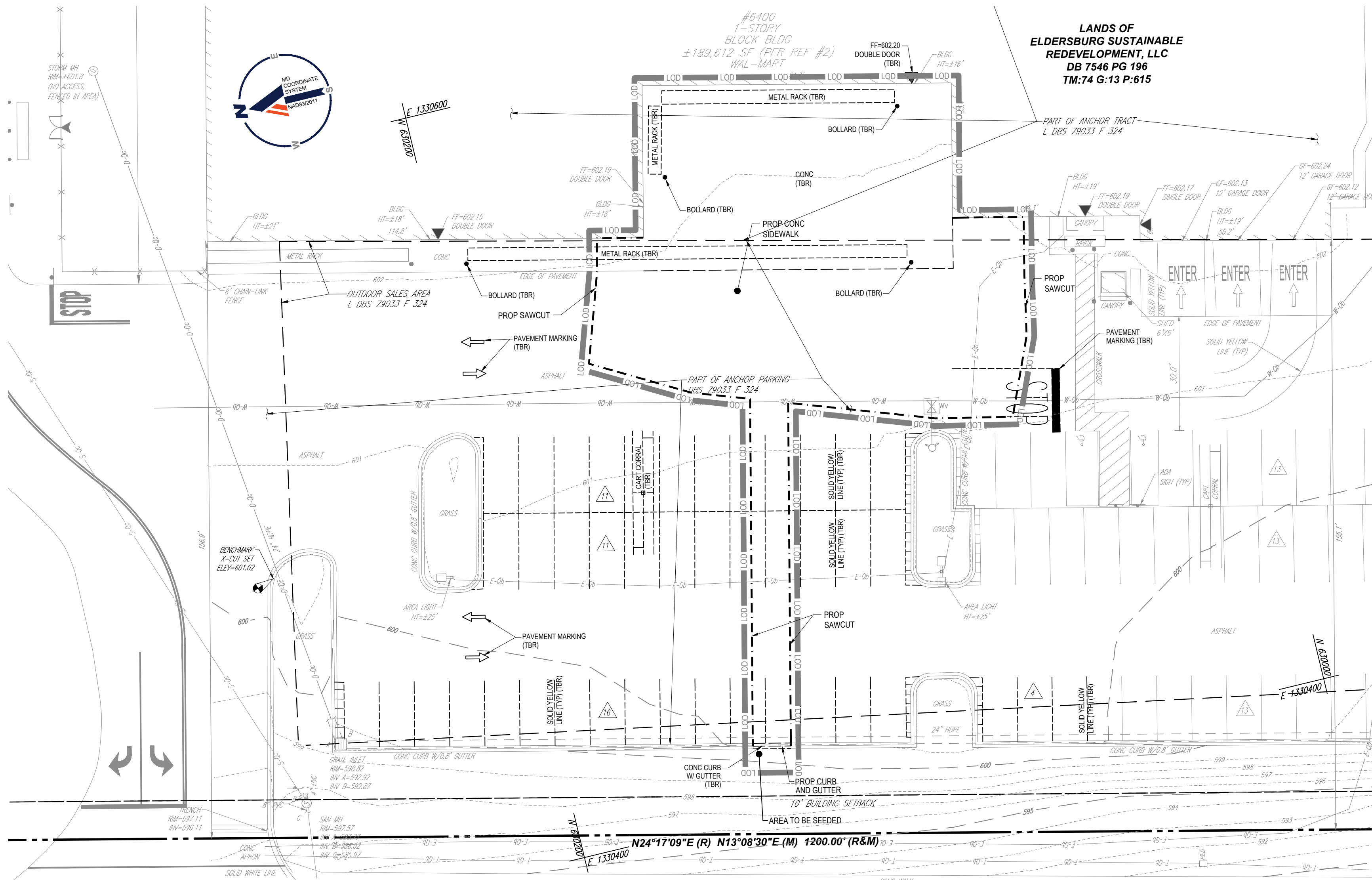
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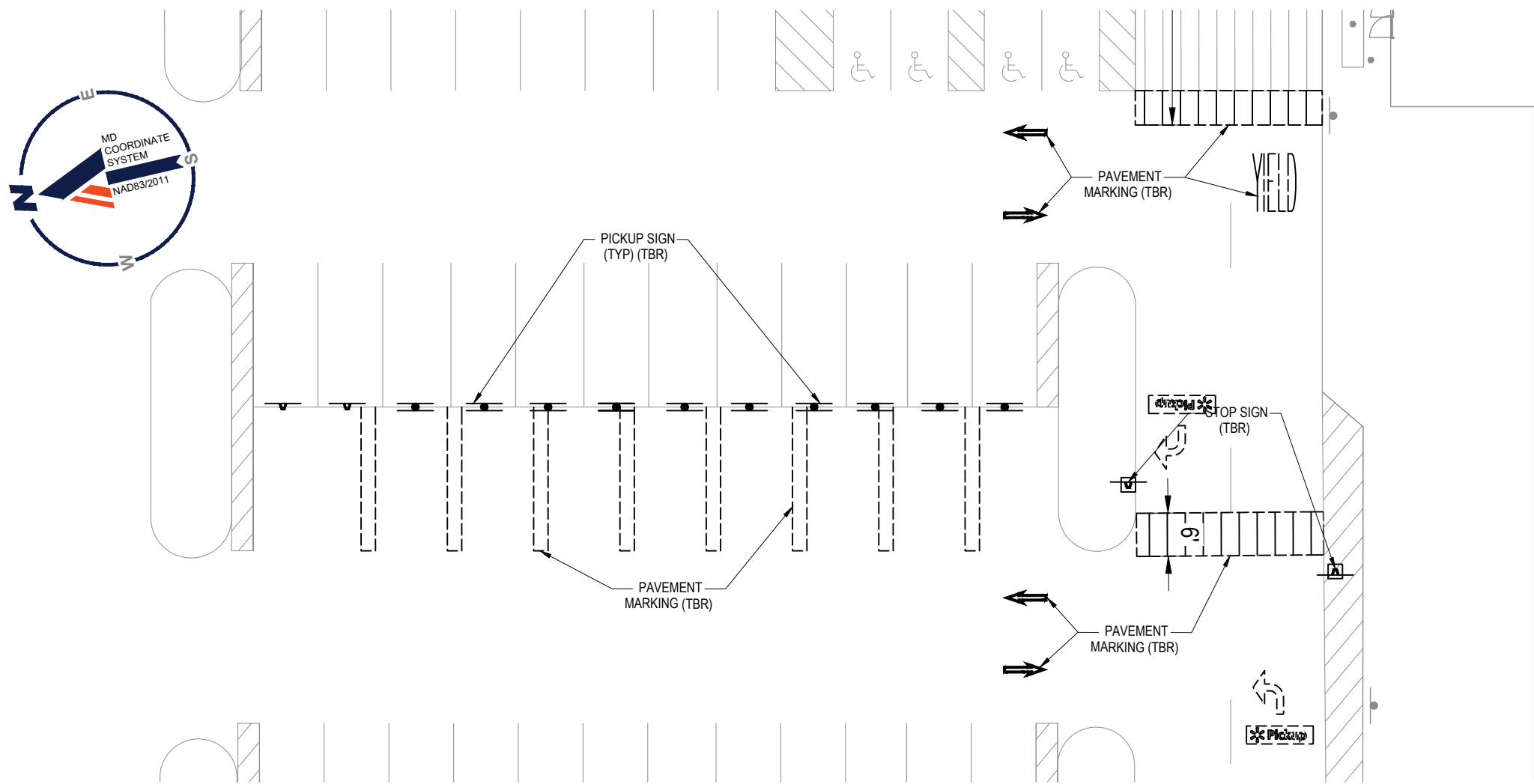
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SHEET TITLE

WF-1

WAYFINDING PLAN



PROPOSED OPD AREA
SCALE: 1"=20'



EXISTING OPD AREA
SCALE: 1"=20'

SOILS INFORMATION				
SYMBOL	NAME	SLOPE	HYDROLOGIC GROUP	K VALUE > 0.35
U/B	URBAN LAND-UDORTHENTS COMPLEX	0% TO 8%	D	N/A

UTILITY NOTE

- CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) THE TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

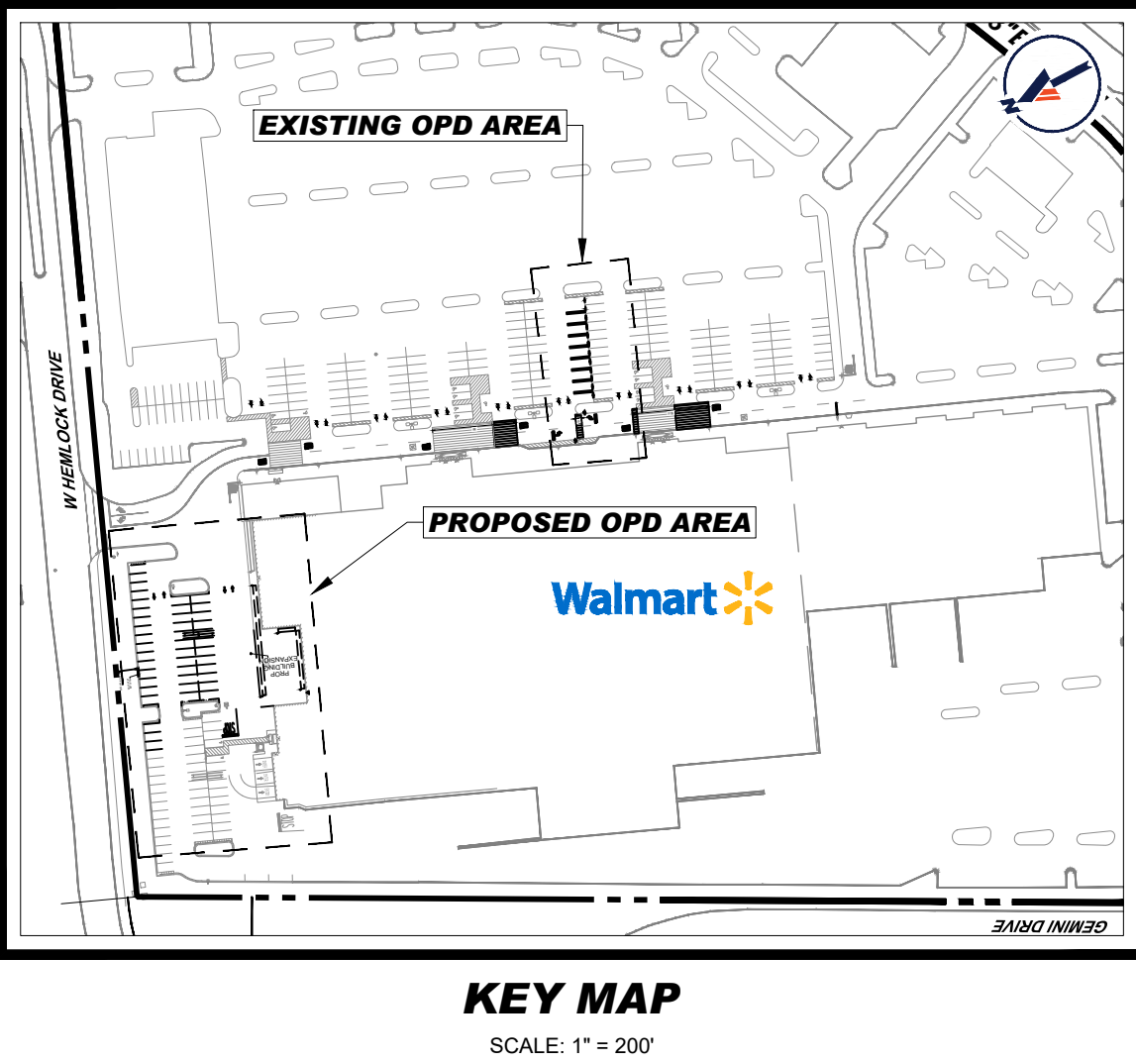
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTE:
THIS SITE PLAN WAS DEVELOPED BASED ON PLANS ENTITLED "ALTANSPPS LAND TITLE SURVEY; FOR WALMART #2436-276; 6400 RIDGE ROAD; 5TH ELECTION DISTRICT; CARROLL COUNTY, MARYLAND" AND SUPPLEMENTED WITH GOOGLE AERIAL AND SITE VISIT ON 03/21/2025. DEPICTION OF EXTENTS OF EXISTING FEATURES ARE APPROXIMATE. ACTUAL FIELD CONDITIONS AT THE TIME OF CONSTRUCTION MAY VARY.

REFER TO GENERAL NOTES SHEET
FOR ADDITIONAL INFORMATION
(SHEET NS-1)

SURVEY NOTES:

- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. NO AS-BUILT OF PRIVATE UTILITIES SUCH AS, BUT NOT LIMITED TO, UNDERGROUND IRRIGATION SYSTEMS WAS CONDUCTED.
- APPROXIMATE LOCATION OF UNDERGROUND UTILITIES ARE SHOWN PER PRIVATE UTILITY MARKOUT PERFORMED BY INSIGHT, LLC ON FEBRUARY 24, 2025 AND FIELD LOCATED WITH CONVENTIONAL FIELD SURVEY METHODS UNLESS OTHERWISE NOTED.
- THE UNDERGROUND UTILITY INFORMATION SHOWN HEREIN IS IDENTIFIED ON A QUALITY LEVEL SYSTEM. DIFFERENT QUALITY LEVELS INDICATE THE ACCURACY OF SAID UNDERGROUND UTILITY INFORMATION. THE DEFINITION OF EACH QUALITY LEVEL IS OUTLINED BELOW (ALL QUALITY LEVELS MAY NOT BE SHOWN HEREIN):
QUALITY LEVEL C - UTILITY FEATURES (MANHOLES, COVERS, ETC.) LOCATED AT THE SURFACE. SUPPLEMENTED WITH QUALITY LEVEL D.
QUALITY LEVEL B - UTILITY LINES MARKED BY OTHERS VIA ELECTROMAGNETIC LOCATING GROUND PENETRATING TECHNOLOGY AND FIELD LOCATION.
QUALITY LEVEL A - UTILITY LINES THAT HAVE BEEN EXPOSED THROUGH NONDESTRUCTIVE EXCAVATION METHODS TO OBTAIN VISUAL EVIDENCE AS WELL AS BOTH HORIZONTAL AND VERTICAL LOCATION.
- THIS SURVEY WAS PERFORMED IN THE FIELD ON MARCH 17, 2025 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
- ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED TO THE CARROLL COUNTY SURVEY CONTROL NO. BLOCKBUSTER WITH A PUBLISHED ELEVATION OF 582.86 FEET.
- THE SURVEYED AREA IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 2.0% ANNUAL CHANCE FLOODPLAIN) PER MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, CARROLL COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 318 OF 450", MAP NUMBER 24013C0318D, WITH A MAP EFFECTIVE DATE OF OCTOBER 02, 2015.
- ZONING: C-3 - (COMMERCIAL HIGH INTENSITY)
BUILDING REQUIREMENTS
BUILDING HEIGHT (MAX.) 50 FEET
BUILDING SETBACKS
FRONT 10 FEET
SIDE 10 FEET
REAR 15 FEET
ALL ZONING INFORMATION WAS PROVIDED IN A ENGINEERING MEMORANDUM PREPARED BY BOHLER, DATED MARCH 3, 2025 AND MUST BE VERIFIED PRIOR TO USE OR RELIANCE UPON SAME, TO CONFIRM THE ZONING INFORMATION REPRESENTS AND DEPICTS THE THEN-CURRENT SITE-SPECIFIC INFORMATION. SHOULD THERE BE ANY CHANGE IN USE, SETBACKS) AND/OR SET BACK REQUIREMENTS, ZONING CLASSIFICATION AND/OR ANY OTHER CHANGE OR VARIATION FROM THE CONDITIONS RECORDED HEREIN, THE CLIENT MUST VERIFY COMPLIANCE WITH THE USE, SET BACK, ZONING CLASSIFICATION AND/OR ORDINANCE, REGULATION OR LEGAL REQUIREMENT, PRIOR TO USING OR RELYING UPON THE FINDINGS RECORDED HEREIN, OR REFERRING SAME AS RELATED TO THE PROPERTY, PROJECT AND/OR DEVELOPMENT.
- NO SURVEY OF SUBTERRANEAN STRUCTURES OR INTERIOR SPACES SUCH AS FOOTINGS, FOUNDATIONS, VAULTS OR BASEMENTS WAS PERFORMED AS PART OF THIS LAND SURVEY, AND THIS PLAN SHOULD NOT BE CONSTRUED AS CERTIFICATION TO THE EXISTENCE OR LOCATION OF THE SAME.
- BOHLER IS NOT AWARE OF ANY EASEMENTS OR ENCUMBRANCES NOT REFLECTED IN THE TITLE COMMITMENT PROVIDED. NO TITLE SEARCH HAS BEEN CONDUCTED BY BOHLER.
- THERE WAS NO OBSERVED EVIDENCE OF BURIAL GROUNDS, CEMETERIES, GRAVES, OR GRAVEYARDS IN THE PROCESS OF CONDUCTING THE FIELD WORK.



KEY MAP
SCALE: 1" = 200'

REVISIONS	BY

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WALMART REAL ESTATE BUSINESS TRUST
814 RESPECT DR
BENTONVILLE, AR 72716

Walmart
Supercenter

DRAWN BN
CHECKED BAB
DATE 02/02/2026
JOB No. MDA240185.00
SHEET TITLE

DM-1

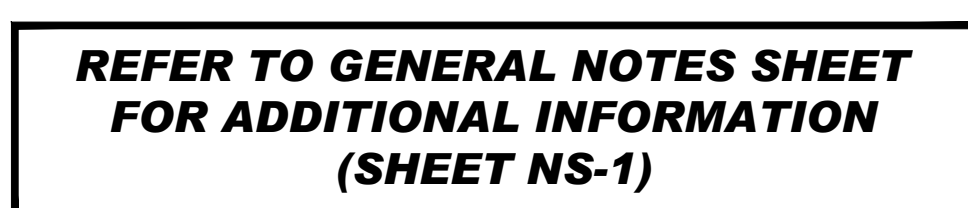


SP-1

NOTES:

1. THIS STORE IS WITHIN THE ELDSBURG COMMONS PLANNED BUSINESS CENTER WHICH IS REQUIRED TO BE PARKED AT 5.5 SPACES PER 1000 SF BUT AN ADMINISTRATIVE VARIANCE WAS GRANTED TO REDUCE THE REQUIRED PARKING BY 29 SPACES IN 2013 PER CASE NO. ZA-1473.
2. SQUARE FOOTAGES ASSUMES NO OTHER BUILDINGS HAVE BEEN MODIFIED OR EXPANDED.
3. RATIO BASED ON THE PLANNED BUSINESS CENTER SQUARE FOOTAGE (EXISTING SQUARE FOOTAGE = 293,925 SF).
4. BARNHART BUILDING AREA DATA SHOWN PER AMANDA CURRY, WID PARTNERS, RECEIVED 06/11/2025.
5. ECR INFORMATION SHOWN PER CHASE FOSTER, WALMART, RECEIVED 02/05/2025.
6. PARKING COUNTS SHOWN PER PARKING OCCUPANCY STUDY BY THE TRAFFIC GROUP, INC. COMPLETED ON JULY 2025.

1. EXISTING ZONING: C-3 - COMMERCIAL HIGH INTENSITY DISTRICT
2. TOTAL SITE AREA: 29,456 AC OR 1,283,103 SF
3. TAX MAP- 74, GRID 13, PARCEL 615
4. THE NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION IS A FIRE HYDRANT LOCATED ACROSS THE DRIVE AISLE OF THE PARKING LOT FROM THE EXISTING WALMART AUTO CARE CENTER AND PROPOSED EXPANSION.
5. EXISTING USE: PLANNED COMMERCIAL CENTER
6. PROPOSED USE: PLANNED COMMERCIAL CENTER
7. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, CARROLL COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 318 OF 450", MAP NUMBER 2401300318D, WITH A MAP EFFECTIVE DATE OF OCTOBER 2, 2015.
8. THERE ARE NO KNOWN HISTORIC STRUCTURES ON-SITE.
9. THERE ARE NO KNOWN RARE, THREATENED, OR ENDANGERED PLANTS OR ANIMAL SPECIES ON-SITE.
10. THERE ARE NO EXISTING WETLANDS AND THEIR ASSOCIATED BUFFERS ON SITE.
11. THIS SITE IS LOCATED WITHIN A SURFACE WATERSHED AREA AS DESIGNATED BY THE CARROLL COUNTY WATER RESOURCE MANAGEMENT MANUAL. THIS DEVELOPMENT SHALL COMPLY WITH THE CARROLL COUNTY WATER RESOURCE MANAGEMENT MANUAL, SECTION IV-A 1-10, REGULATED SUBSTANCE STORAGE AND USE.
12. FOREST CONSERVATION WAS ADDRESSED WITH SITE PLAN S-21-0001 FOR THE SHOPPING CENTER.
13. ZONING ADMINISTRATION CASE: 24-1A75 - TO PERMIT 1,587 PARKING SPACES IN LIEU OF THE REQUIRED 1,616 PARKING SPACES - GRANTED ON 11/6/2013



SEALCOAT NOTE:
CONTRACTOR SHALL SEAL ALL SEAL COAT ON EXISTING ASPHALT PAVING AT ANY STRIPPED AREA THAT IS PART OF THE PICKUP SCOPE OF WORK AND ADDITIONAL ASSOCIATED PARKING SPACES REQUIRED TO BE STRIPPED AS SHOWN ON THESE PLANS. FOR EXISTING CONCRETE SURFACES, GC IS TO PREPARE THE SURFACE FOR ONLY ONE COAT. WHEN EXISTING PAVEMENT MARKINGS ARE IN CONFLICT OR ARE CALLED OUT TO BE REMOVED, PAVEMENT MARKING REMOVAL SHALL OCCUR PER SHEET CSES-1, SECTION TITLED "PAVEMENT MARKINGS SPECIFICATION", PART 3, SECTIONS 3.2 & 3.3.

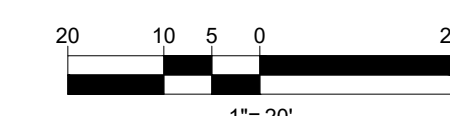
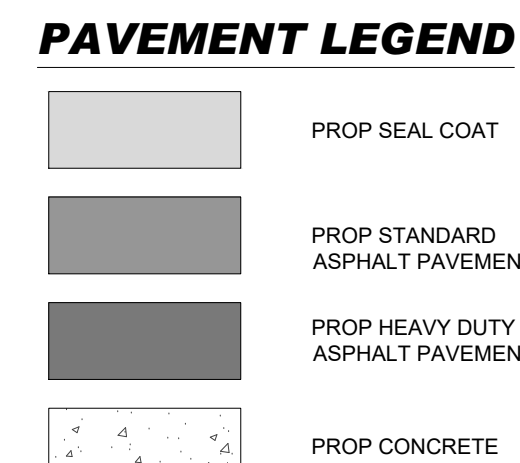
ALL PICKUP WAY FINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER FOR ALL SIGNS. PICKUP SIGNS ARE TO BE ORDERED THROUGH THE WALMART PURCHASE USING THE SIGN SHOP ORDERS APPLICATION.

OWNER
ELDRSBERG SUSTAINABLE
REDEVELOPMENT LLC
STE 975
1 W PENNSYLVANIA AVE
TOWSON MD 21204

DEVELOPER
WALMART REAL ESTATE
BUSINESS TR I
814 RESPECT DR
BENTONVILLE, AR 72716
PHONE: 479-488-1115
CONTACT: LAURIE LAHMEY

SITE INFORMATION

ELECTION DISTRICT: 5TH
EXISTING USE: COMMERCIAL CENTER
PROPOSED USE: PLANNED COMMERCIAL CENTER
ZONE: C-3
TAX MAP 74, GRID 13, PARCEL 615
PREVIOUS COUNTY FILE NO.'S.:
COUNTY FILE NO.



CONCEPT SITE AND CONCEPT SWM PLAN

A
B
C
D
E

1

2

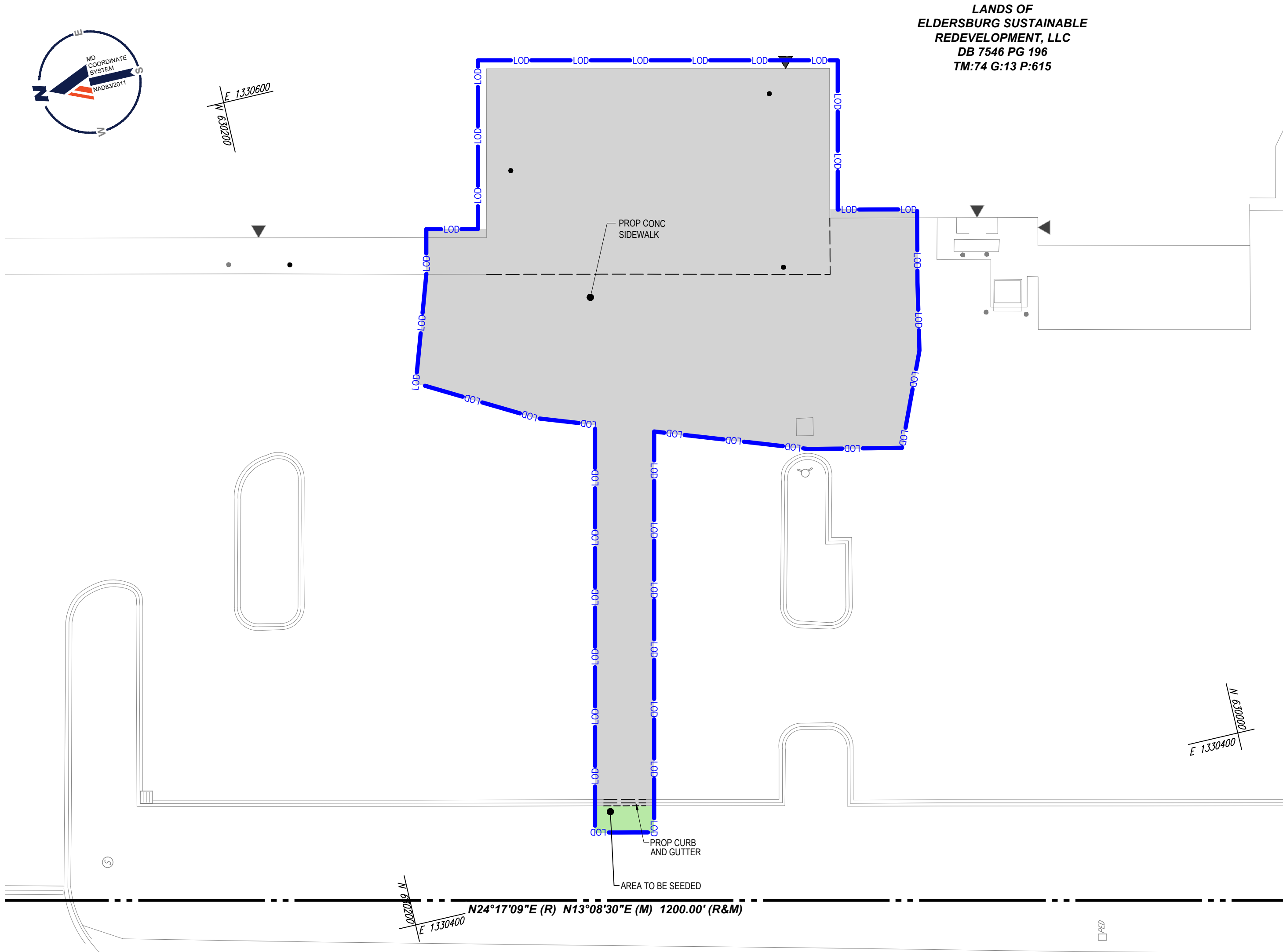
3

4

5

6

7



PRE-DEVELOPMENT COVERAGE MAP

SCALE: 1"=20'

	IMPERVIOUS AREA: 9,926 SF OR 0.23 AC
	MEADOW: 90 SF OR 0.00 AC
SITE TOTAL AREA = 10,016 SF OR 0.23 AC	

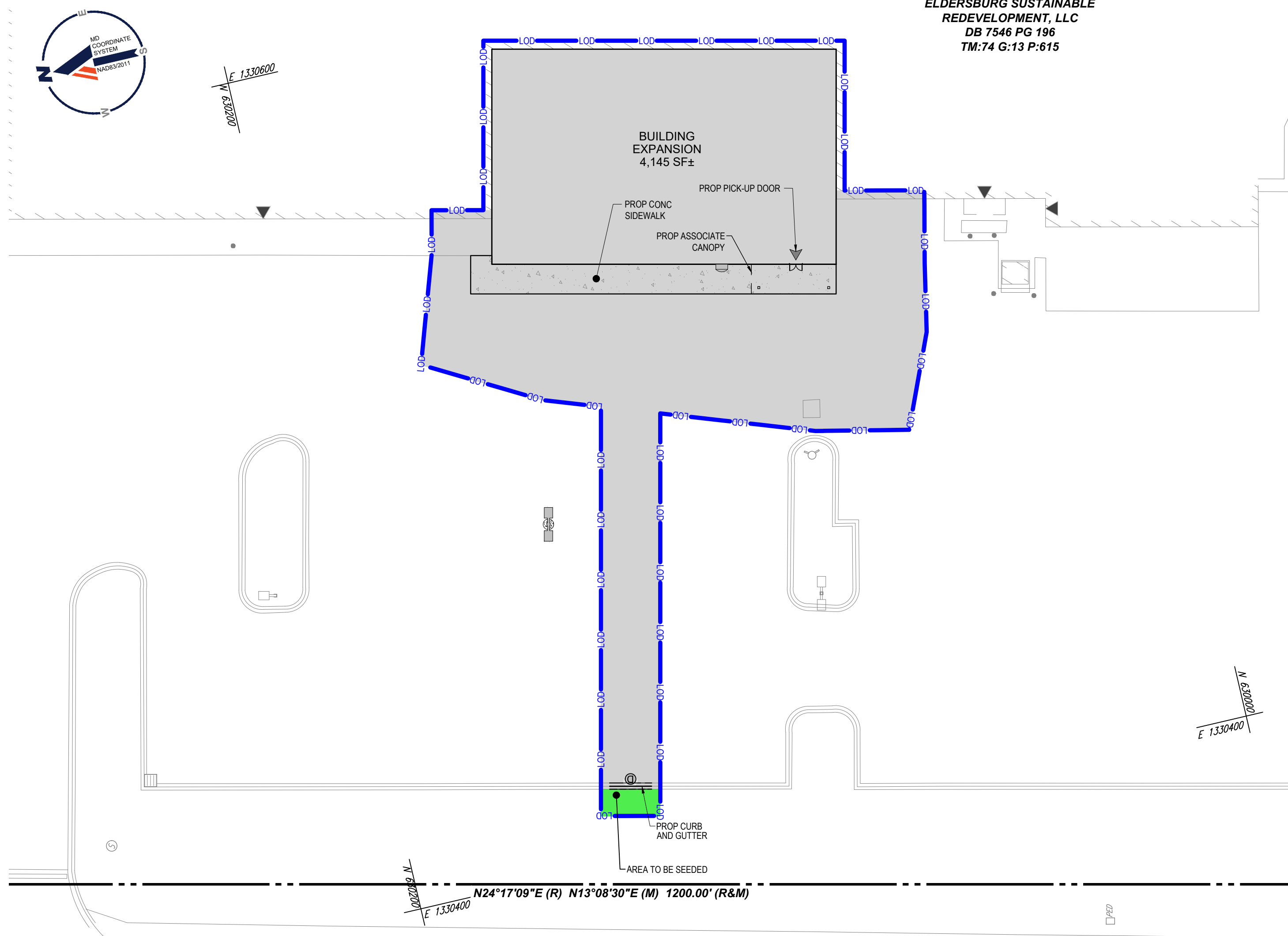
SOILS INFORMATION				
SYMBOL	NAME	SLOPE	HYDROLOGIC GROUP	K VALUE > 0.35
U/B	URBAN LAND-UDORTHENTS COMPLEX	0% TO 8%	D	N/A

LEGEND

LIMIT OF DISTURBANCE (SITE) = 10,016 SF OR 0.23 AC

NOTE

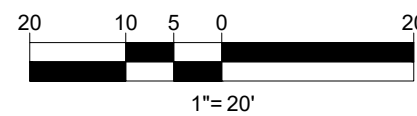
THIS SITE PAID A FEE IN LIEU TOWARD THE RETROFIT OF TWO STORMWATER MANAGEMENT REGIONAL FACILITIES CARROLLTOWNE 2-A AND ELDERWOOD. THE ELDERSBURG COMMONS SITE PROVIDED PRETREATMENT IN THE STORM DRAIN SYSTEM THROUGH DEEPENING THE MANHOLES UNDER S-14-032. THIS PROJECT'S LOD IS ENCOMPASSED ENTIRELY WITHIN THE LOD OF S-14-032



POST-DEVELOPMENT COVERAGE MAP

SCALE: 1"=20'

	IMPERVIOUS AREA: 9,926 SF OR 0.23 AC
	GRASS: 90 SF OR 0.00 AC
SITE TOTAL AREA = 10,016 SF OR 0.23 AC	



OWNER ELDERSBURG SUSTAINABLE REDEVELOPMENT LLC STE 975 1 W PENNSYLVANIA AVE TOWSON MD 21204
DEVELOPER WALMART REAL ESTATE BUSINESS TRUST 814 RESPECT DR. BENTONVILLE, AR 72716 PHONE: 479-488-1151 CONTACT: LAURIE LAMMEY
SITE INFORMATION ELECTION DISTRICT: 5TH EXISTING USE: COMMERCIAL CENTER PROPOSED USE: PLANNED COMMERCIAL CENTER ZONE: C-3 TAX MAP 74, GRID 13, PARCEL 615 PREVIOUS COUNTY FILE NOS.: COUNTY FILE NO.

QUALITY COVERAGE MAP

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COV-1

SITE DEMOLITION SPECIFICATION

PART 1 - GENERAL
1.1 SUMMARY
A. SECTION INCLUDES:
1. DEMOLITION OF STRUCTURES, PAVING, AND UTILITIES.
2. PATCHING AND FILLING VOIDS CREATED AS A RESULT OF REMOVALS OR DEMOLITION.
1.2 REGULATORY REQUIREMENTS
A. COMPLIANCE WITH ALL LAWS, INCLUDING SAFETY LAWS, ENVIRONMENTAL LAWS, STORMWATER LAWS AND WORKER VERIFICATION LAWS AS WELL AS REQUIREMENTS FOUND WITHIN THE CONTRACT DOCUMENTS AND THESE SPECIFICATIONS, THAT PERTAIN TO SAFETY COMPLIANCE, ENVIRONMENTAL COMPLIANCE, STORMWATER COMPLIANCE AND WORKER VERIFICATION COMPLIANCE. OBTAIN REQUIRED PERMITS AND LICENSES FROM APPROPRIATE AUTHORITIES. PAY ASSOCIATED FEES INCLUDING DISPOSAL CHARGES.
B. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
C. DO NOT CLOSE OR OBSTRUCT PUBLIC OR PRIVATE ROADWAYS, SIDEWALKS, OR FIRE HYDRANTS WITHOUT APPROPRIATE PERMITS OR WRITTEN AUTHORIZATION.
D. IF HAZARDOUS, CONTAMINATED MATERIALS OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE WAL-MART CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.
1.3 PROJECT CONDITIONS
A. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER AS REASONABLY PRACTICAL.
B. UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS OR SPECIFIED BY THE OWNER, ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR SHALL BE REMOVED FROM SITE AND STRUCTURES. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED AND SHALL NOT INTERFERE WITH OTHER WORK SPECIFIED.
PART 2 - PRODUCTS
2.1 FILL MATERIALS
A. FILL MATERIAL SHALL BE AGGREGATE FILL MATERIALS CONSISTING OF STONE, GRAVEL, OR SAND FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER.
2.2 CONCRETE
A. MIX CONCRETE AND DELIVER IN ACCORDANCE WITH ASTM C 84.
B. DESIGN MIX TO PRODUCE NORMAL WEIGHT CONCRETE CONSISTING OF PORTLAND CEMENT, AGGREGATE, WATER, REDUCING ADMIXTURE, AIR, ENTRAINING ADMIXTURE, AND WATER TO PRODUCE FOLLOWING:
1. COMPRESSIVE STRENGTH: 3,500 PSI, MINIMUM AT 28 DAYS, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
2. SLUMP RANGE: 1 TO 3-INCHES AT TIME OF PLACEMENT
3. AIR ENTRAINMENT: 5 TO 8 PERCENT
PART 3 - EXECUTION
3.1 PREPARATION
A. PROVIDE, ERECT, AND MAINTAIN EROSION CONTROL DEVICES, TEMPORARY BARRIERS, AND SECURITY DEVICES AT LOCATIONS INDICATED ON CONSTRUCTION DRAWINGS. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
B. PROTECT EXISTING LANDSCAPING MATERIALS, APPURTENANCES, AND STRUCTURES, WHICH ARE NOT TO BE DEMOLISHED. REPAIR DAMAGE TO EXISTING ITEMS TO REMAIN CAUSED BY DEMOLITION OPERATIONS.
C. PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING AS NECESSARY.
D. MARK LOCATION OF UTILITIES. PROTECT AND MAINTAIN IN SAFE AND OPERABLE CONDITION UTILITIES THAT ARE TO REMAIN. PREVENT INTERRUPTION OF EXISTING UTILITY SERVICE TO OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES AND OWNER.
E. FOR WORK ON OPERATING WALMART SITES, PRIOR TO ANY UNDERGROUND EXCAVATION, CONTRACTOR IS EXPECTED TO OBTAIN CURRENT AND REPRESENTATIVE UNDERGROUND UTILITY PLANS FROM WALMART FOR PRIVATE UTILITIES THAT ARE NOT LOCATED BY OTHERS. THIS IS SPECIFICALLY INTENDED TO PROVIDE APPROXIMATE LOCATIONS FOR WALMART PRIVATE UTILITIES INCLUDING WATER, SEWER, ELECTRICAL, TELEPHONE AND DATA SERVICES.
F. NOTIFY ADJACENT PROPERTY OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGES, OR OTHER DISRUPTIONS. OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNERS WHEN DEMOLITION EQUIPMENT WILL TRAVERSE, INFRINGE UPON, OR LIMIT ACCESS TO THEIR PROPERTY. COORDINATE NOTICE WITH OWNER.
3.2 GENERAL DEMOLITION REQUIREMENTS
A. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES OR PAVEMENTS TO REMAIN.
B. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION. DO NOT RESUME OPERATIONS UNTIL DIRECTED BY AUTHORITY.
C. CONDUCT OPERATIONS WITH MINIMUM OF INTERFERENCE TO PUBLIC OR PRIVATE ACCESS. MAINTAIN INGRESS AND EGRESS AT ALL TIMES OTHER THAN IN SPECIFIC AREAS WHERE WORK IS IN PROGRESS.
D. SPRINKLE WORK WITH WATER TO MINIMIZE DUST. PROVIDE HOSES AND WATER CONNECTIONS FOR THIS PURPOSE.
E. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
F. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF WORK.
3.3 DEMOLITION
A. DEMOLISH SITE IMPROVEMENTS DESIGNATED TO BE REMOVED AS SHOWN ON THE DRAWINGS. SITE IMPROVEMENTS SHALL INCLUDE BUT NOT BE LIMITED TO STRUCTURES, FOUNDATIONS, PAVEMENTS, CURBS AND GUTTERS, DRAINAGE STRUCTURES, UTILITIES, SIGNAGE OR LANDSCAPING.
B. DISCONNECT AND CAP OR REMOVE UTILITIES TO BE ABANDONED AS SHOWN ON THE DRAWINGS.
C. FILL OR REMOVE PIPING AND APPURTENANCES AS SHOWN.
D. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS ON GRADE THAT ARE 2-FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT MOISTURE DRAINAGE. REMOVE SLABS-ON-GRADE AND BELOW GRADE CONSTRUCTION WITHIN 2-FEET OF PROPOSED SUBGRADE.
3.4 PATCHING
A. WHERE IMPROVEMENTS ARE REMOVED FROM PAVED AREAS, PAVEMENTS SHALL BE SAWCUT IN STRAIGHT LINES AT THE PERIMETER AND PATCHED. DAMAGED PAVEMENT ADJACENT TO REMOVED IMPROVEMENTS SHALL ALSO BE REMOVED AND PATCHED.
B. PAVEMENT PATCHES SHALL BE PAVED WITH MINIMUM 6" CONCRETE, BROOM FINISHED AND FLUSH WITH ADJACENT GRADES.
3.5 FILLING VOIDS
A. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OR REMOVAL OF STRUCTURES, ETC., USING AGGREGATE FILL MATERIALS CONSISTING OF STONE, GRAVEL, OR SAND FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER.
B. AREAS TO BE FILLED SHALL BE FREE OF STANDING WATER, FROST, FROZEN OR UNSUITABLE MATERIAL, TRASH, AND DEBRIS PRIOR TO FILL PLACEMENT.
C. PLACE FILL MATERIALS IN LIFTS NOT TO EXCEED 6 INCHES LOOSE MEASURE AND COMPACTED TO 95 PERCENT OF MAXIMUM LABORATORY DENSITY PER ASTM D698 WITH MOISTURE CONTENT OF NOT LESS THAN 1 PERCENT BELOW AND NOT MORE THAN 3 PERCENT ABOVE OPTIMUM MOISTURE CONTENT.
D. GRADE SURFACE TO MATCH ADJACENT GRADES AND TO PROVIDE FLOW OF SURFACE DRAINAGE AFTER FILL PLACEMENT AND COMPACTION.
3.6 DISPOSAL OF DEMOLISHED MATERIALS
A. REMOVE FROM SITE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. LEAVE AREAS OF WORK IN CLEAN CONDITION.
B. NO BURNING OF ANY MATERIAL, DEBRIS, OR TRASH ON SITE OR OFF SITE WILL BE ALLOWED.
C. TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES WITH APPROPRIATE VEHICLES AND DISPOSE OFF-SITE TO AREAS THAT ARE APPROVED FOR DISPOSAL BY GOVERNING AUTHORITIES AND APPROPRIATE PROPERTY OWNERS.
END OF SECTION

PAVEMENT MARKINGS SPECIFICATION

PART 1 - GENERAL
1.1 SUMMARY
A. SECTION INCLUDES:
1. PAINTING AND MARKING OF PAVEMENTS, CURBS, AND GUARD POSTS (BOLLARDS).
1.2 REFERENCES
A. THE PUBLICATIONS LISTED BELOW FORM A PART OF THIS SPECIFICATION TO THE EXTENT REFERENCED. PUBLICATIONS ARE REFERENCED WITHIN THE TEXT BY THE BASIC DESIGNATION ONLY.
B. AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION (AASHTO):
1. AASHTO M247 - GLASS BEADS USED IN TRAFFIC PAINTS
2. AASHTO M248 - READY-MIXED WHITE AND YELLOW TRAFFIC PAINTS
C. MASTER PAINTER'S INSTITUTE (MPI):
1. MPI 32 - TRAFFIC MARKING PAINT, SOLVENT BASED.
2. MPI 97 - TRAFFIC MARKING PAINT, LATEX.
D. ASTM INTERNATIONAL (ASTM):
1. ASTM D4414 - STANDARD PRACTICE FOR MEASUREMENT OF WET FILM THICKNESS BY NOTCHED GAUGES.
E. FEDERAL SPECIFICATIONS (FS):
1. FS A-A-2886 - PAINT, TRAFFIC, SOLVENT BASED (SUPERSEDES FS TT-P-85 AND FS TT-P-115, TYPE I)
2. FS TT-B-1325 - BEADS (GLASS SPHERES) RETRO-REFLECTIVE
3. FS TT-P-1952 - PAINT, TRAFFIC AND AIRFIELD MARKING, WATERBORNE
1.3 PROJECT CONDITIONS
A. MAINTAIN ACCESS FOR VEHICULAR AND PEDESTRIAN TRAFFIC AS REQUIRED FOR OTHER CONSTRUCTION ACTIVITIES. UTILIZE FLAGMEN, BARRICADES, WARNING SIGNS, AND WARNING LIGHTS AS REQUIRED.
PART 2 - PRODUCTS
2.1 MATERIALS
A. PAINT SHALL BE WATERBORNE OR SOLVENT BORNE, COLORS AS SHOWN OR SPECIFIED HEREIN. PAVEMENT MARKING PAINTS SHALL COMPLY WITH APPLICABLE STATE AND LOCAL LAWS ENACTED TO ENSURE COMPLIANCE WITH FEDERAL CLEAN AIR STANDARDS. PAINT MATERIALS SHALL CONFORM TO THE RESTRICTIONS OF THE LOCAL AIR POLLUTION CONTROL DISTRICT.
B. WATERBORNE PAINT: PAINTS SHALL CONFORM TO FS TT-P-1952 AND HAVE MPI 97 APPROVAL.
C. SOLVENT BORNE PAINT: PAINT SHALL CONFORM TO FS A-A-2886 OR AASHTO M248 AND HAVE MPI 32 APPROVAL. PAINT SHALL BE NON-BLEEDING, QUICK DRYING, AND ALKYD PETROLEUM BASE PAINT SUITABLE FOR TRAFFIC, BEARING SURFACE AND BE MIXED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION FOR COLORS WHITE, YELLOW, BLUE, AND RED.
D. GLASS BEADS: AASHTO M 247, TYPE 1 OR FS TT-B-1325, TYPE 1, GRADATION A.
PART 3 - EXECUTION
3.1 EXAMINATION
A. EXAMINE THE WORK AREA AND CORRECT CONDITIONS DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
3.2 PREPARATION
A. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
B. WHERE EXISTING PAVEMENT MARKINGS ARE INDICATED ON CONSTRUCTION DRAWINGS TO BE REMOVED OR WOULD INTERFERE WITH ADHESION OF NEW PAINT, A MOTORIZED ABRASIVE DEVICE OR SODA BLASTING SHALL BE USED TO REMOVE THE MARKINGS. EQUIPMENT EMPLOYED SHALL NOT DAMAGE EXISTING PAVING OR CREATE SURFACES HAZARDOUS TO VEHICLE OR PEDESTRIAN TRAFFIC.
3.3 CLEANING EXISTING PAVEMENT MARKINGS
A. REMOVE EXISTING PAVEMENT MARKINGS WHICH ARE IN GOOD CONDITION BUT INTERFERE OR CONFLICT WITH THE NEWLY APPLIED MARKING PATTERNS AND AS NOTED ON PLANS. DETERIORATED OR OBSCURED MARKINGS THAT ARE NOT MISLEADING OR CONFUSING OR DO NOT INTERFERE WITH THE ADHESION OF THE NEW MARKING MATERIAL DO NOT REQUIRE REMOVAL. CONDUCT GRINDING, SODA BLASTING OR OTHER OPERATIONS IN SUCH A MANNER THAT THE FINISHED PAVEMENT SURFACE IS NOT DAMAGED OR LEFT IN A PATTERN THAT IS MISLEADING OR CONFUSING. USE DUST COLLECTION SYSTEM WHEN REMOVING EXISTING PAVEMENT MARKINGS. COMPLY WITH THE REQUIREMENTS OF SECTION 01351 REGULATORY COMPLIANCE SUPPLEMENT FOR MANAGEMENT AND DISPOSAL OF HAZARDOUS WASTES.
3.4 APPLICATION
A. APPLY TWO COATS OF SAME COLOR OF PAINT AS SPECIFIED BELOW, AT MANUFACTURER'S RECOMMENDED RATE, WITHOUT ADDITION OF THINNER, WITH MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS AND DRY FILM THICKNESS OF 7 ½ MILS PER COAT. PAINT SHALL BE APPLIED FOR A TOTAL DRY FILM THICKNESS OF 15 MILS. APPLY WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. AT SIDEWALK CURBS AND CROSSWALKS, USE STRAIGHTEDGE TO ENSURE UNIFORM, CLEAN, AND STRAIGHT STRIPE.
B. INSTALL PAVEMENT MARKINGS ACCORDING TO MANUFACTURER'S RECOMMENDED PROCEDURES FOR THE SPECIFIED MATERIAL.
C. FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:
1. PEDESTRIAN CROSSWALKS: WHITE
2. EXTERIOR SIDEWALK CURBS AND GUARD POSTS: YELLOW
3. EXTERIOR LIGHT POLE BASES: YELLOW (UNLESS OTHERWISE NOTED ON CONSTRUCTION DETAIL).
4. FIRE LANES: RED OR PER LOCAL CODE.
5. LANE STRIPING WHERE SEPARATING TRAFFIC MOVING IN OPPOSITE DIRECTIONS: YELLOW.
6. LANE STRIPING WHERE SEPARATING TRAFFIC MOVING IN THE SAME DIRECTION: WHITE.
7. ADA SYMBOLS: BLUE OR PER LOCAL CODE.
8. ADA PARKING SPACE MARKINGS AS SHOWN ON THE DRAWINGS.
9. PARKING STALL STRIPING: YELLOW, UNLESS OTHERWISE NOTED ON CONSTRUCTION DRAWINGS.
10. ASSOCIATE PARKING AREA: WHITE, UNLESS OTHERWISE NOTED ON CONSTRUCTION DRAWINGS.
D. APPLY GLASS BEADS AT PEDESTRIAN CROSSWALK STRIPING AND AT LANE STRIPING AND ARROWS AT DRIVEWAYS CONNECTING TO PUBLIC STREETS. BROADCAST GLASS BEADS UNIFORMLY INTO WET MARKINGS AT A RATE OF 6 LB/GAL.
3.5 FIELD QUALITY CONTROL
A. FIELD QUALITY CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FIELD QUALITY CONTROL TESTING AND INSPECTION SHALL BE AT THE DISCRETION OF THE CONTRACTOR AS NECESSARY TO ASSURE COMPLIANCE WITH CONTRACT REQUIREMENTS.
3.6 CLEANING
A. WASTE MATERIALS SHALL BE REMOVED AT THE END OF EACH WORKDAY. UPON COMPLETION OF THE WORK, ALL CONTAINERS AND DEBRIS SHALL BE REMOVED FROM THE SITE. PAINT SPOTS UPON ADJACENT SURFACES SHALL BE CAREFULLY REMOVED BY APPROVED PROCEDURES THAT WILL NOT DAMAGE THE SURFACES AND THE ENTIRE JOB LEFT CLEAN AND ACCEPTABLE.
END OF SECTION

TRAFFIC SIGNS AND SIGNALS SPECIFICATION

PART 1 - GENERAL
1.1 SUMMARY
A. SECTION INCLUDES:
1. TRAFFIC CONTROL SIGNS.
B. RELATED REQUIREMENTS:
1. SECTION 09900 - PAINTING. PAINTING FOR PAINTED POSTS WHERE SHOWN ON THE DRAWINGS.
1.2 REFERENCES
A. THE PUBLICATIONS LISTED BELOW FORM A PART OF THIS SPECIFICATION TO THE EXTENT REFERENCED. PUBLICATIONS ARE REFERENCED WITHIN THE TEXT BY THE BASIC DESIGNATION ONLY.
B. ASTM INTERNATIONAL (ASTM):
1. ASTM A53 - PIPE, STEEL, BLACK AND HOT_DIPPED, ZINC_COATED WELDED AND SEAMLESS.
2. ASTM C94 - READY MIX CONCRETE.
3. ASTM D4956 - RETROREFLECTIVE SHEETING FOR TRAFFIC CONTROL.
C. US DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION:
1. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
PART 2 - PRODUCTS
2.1 SIGNS
A. CONFORM TO US DEPARTMENT OF TRANSPORTATION MUTCD. SIGN CLASSIFICATION, TYPE, SIZE, AND COLOR SHALL BE AS SHOWN ON THE DRAWINGS.
B. RETROREFLECTIVITY: MICROPRISMATIC TYPE, DIAMOND GRADE REFLECTIVE SHEETING CONFORMING TO ASTM D 4956, TYPE XI.
2.2 POSTS
A. SQUARE POST: SQUARE TUBULAR STEEL SIGN POST, GALVANIZED, 12 GA, PERFORATED FULL-LENGTH WITH 7/16 INCH HOLES ON FOUR SIDES. POST SIZE SHALL BE AS SHOWN ON THE DRAWINGS.
B. STEEL PIPE: ASTM A 53, TYPE E (ELECTRIC-RESISTANCE WELDED) OR TYPE S (SEAMLESS), GRADE B, SCHEDULE 40, SIZE AS SHOWN ON THE DRAWINGS.
2.3 CONCRETE
A. MIX CONCRETE AND DELIVER IN ACCORDANCE WITH ASTM C 94.
B. DESIGN MIX TO PRODUCE NORMAL WEIGHT CONCRETE CONSISTING OF PORTLAND CEMENT, AGGREGATE, WATER, REDUCING ADMIXTURE, AIR, ENTRAINING ADMIXTURE, AND WATER TO PRODUCE FOLLOWING:
1. COMPRESSIVE STRENGTH: 3,500 PSI, MINIMUM AT 28 DAYS, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
2. SLUMP RANGE: 1 TO 3-INCHES AT TIME OF PLACEMENT
3. AIR ENTRAINMENT: 5 TO 8 PERCENT
PART 3 - EXECUTION
3.1 PREPARATION
A. FIELD VERIFY UNDERGROUND UTILITIES PRIOR TO SIGN INSTALLATION. PRIMARY UTILITIES OF CONCERN OF SHALLOW DEPTHS ARE LAWN SPRINKLER SYSTEMS, ELECTRIC, TELEPHONE, FIBER OPTIC, CABLE AND GAS.
3.2 INSTALLATION
A. INSTALL SIGNS AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH MUTCD AND MANUFACTURER'S INSTRUCTIONS.
B. INSTALL SIGNS OF THE TYPE AND AT LOCATIONS SHOWN ON THE DRAWINGS.
C. INSTALL POSTS OF THE TYPE AS SHOWN ON THE DRAWING.
D. WHERE SHOWN AS PAINTED, FIELD PAINT STEEL PIPE POSTS IN ACCORDANCE WITH SECTION 09900.
END OF SECTION

SEAL COAT SHALL BE APPLIED WHERE EXISTING MARKINGS ARE REMOVED.

SMALL PROJECT SEAL COAT SPECIFICATION:
IN GENERAL:
CRACK FILLING AND OIL SPOT TREATMENTS ARE NOT REQUIRED PRIOR TO SEAL COAT. OTHER THAN THESE EXCEPTIONS, PREPARE AND CLEAN AREA TO BE SEAL COATED CONSISTENT WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION.
APPROVED MATERIALS:
1) STAR PRODUCTS
• MICRO-PAVE PRO-BLEND WITH ADDED SAND
• SINGLE COAT
2) SEAL MASTER
• POLYMER MODIFIED MASTERSEAL WITH ADDED SAND
• SINGLE COAT
3) NEYRA
• NEYRA AE ASPHALT PAVEMENT SEALER WITH ADDED SAND
• SINGLE COAT
MATERIALS IDENTIFIED IN SPECIFICATION SECTION 02787 CAN BE USED. COAL TAR BASED SEAL COAT MATERIALS IN ANY FORM ARE PROHIBITED.

OWNER ELDELSBURG SUSTAINABLE REDEVELOPMENT LLC STE 975 1 W PENNSYLVANIA AVE TOWSON MD 21204
DEVELOPER WALMART REAL ESTATE BUSINESS TRUST 814 RESPECT DR BENTONVILLE, AR 72716 PHONE: 478-488-1151 CONTACT: LAURIE LAMMEY
SITE INFORMATION ELECTION DISTRICT: 5TH EXISTING USE: COMMERCIAL CENTER PROPOSED USE: PLANNED COMMERCIAL CENTER ZONE: C-3 TAX MAP 74, GRID 13, PARCEL 615 PREVIOUS COUNTY FILE NO'S:.. COUNTY FILE NO.

REVISIONS	BY



901 DULANEY VALLEY ROAD, SUITE 801
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Phone: (410) 821-7800
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MD@BohlerEng.com



PROFESSIONAL ENGINEER
MARYLAND LICENSE NO. 47227
PROFESSIONAL CERTIFICATION
BRITNEY A. BOSSE, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR SUPERVISED BY ME
AND THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND.
LICENSE NO. 47227 EXPIRATION DATE: 12/31/2026



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WALMART REAL ESTATE BUSINESS TRUST
814 RESPECT DR
BENTONVILLE, AR 72716



DRAWN BN
CHECKED BAB
DATE 02/02/2026
JOB No. MDA240185.00
SHEET TITLE

CSS-1

SEAL COAT SPECIFICATIONS

PART 1 - GENERAL

1.1 SUMMARY

- A. SECTION INCLUDES:
- 1. SEAL COATS USING A POLYMER-MODIFIED ASPHALT EMULSION BLENDED WITH FINE AGGREGATE.
- B. RELATED REQUIREMENTS:
- 1. SECTION 02740 - ASPHALTIC CONCRETE PAVING.
 - 2. SECTION 02785 - PAVEMENT MARKING

1.2 REFERENCES

- A. THE PUBLICATIONS LISTED BELOW FORM A PART OF THIS SPECIFICATION TO THE EXTENT REFERENCED. PUBLICATIONS ARE REFERENCED WITHIN THE TEXT BY THE BASIC DESIGNATION ONLY.
- B. ASTM INTERNATIONAL (ASTM)
- 1. ASTM C 136 - METHOD OF SIEVE ANALYSIS OF FINE AND COARSE AGGREGATE
 - 2. ASTM D 217 - METHOD FOR CONE PENETRATION OF LUBRICATING GREASE
 - 3. ASTM D 244 - TEST METHODS FOR EMULSIFIED ASPHALTS
 - 4. ASTM D 562 - METHOD FOR CONSISTENCY OF PAINTS MEASURING KREBS UNIT (KU) VISCOSITY USING A STORMER-TYPE VISCOMETER
 - 5. ASTM D 977 - EMULSIFIED ASPHALT
 - 6. ASTM D 2397 - CATIONIC EMULSIFIED ASPHALT
 - 7. ASTM D 2042 - METHOD FOR SOLUBILITY OF ASPHALT MATERIALS IN TRICHLOROETHYLENE
 - 8. ASTM D 3910 - PRACTICE FOR DESIGN, TESTING, AND CONSTRUCTION OF SLURRY SEAL
 - 9. ASTM D 6690 - JOINT AND CRACK SEALANTS, HOT APPLIED, FOR CONCRETE AND ASPHALT PAVEMENTS

1.3 ADMINISTRATIVE REQUIREMENTS

- A. PRE-INSTALLATION MEETING: CONVENE A PRE-INSTALLATION MEETING AT THE SITE AT LEAST TWO WEEKS PRIOR TO COMMENCING WORK OF THIS SECTION. REQUIRE ATTENDANCE OF PARTIES DIRECTLY AFFECTING WORK OF THIS SECTION, INCLUDING, BUT NOT LIMITED TO, THE OWNER'S REPRESENTATIVE, CTL'S REPRESENTATIVE AND INSPECTOR, CONTRACTOR, AND JOB FOREMAN.
1. CONTACT WAL-MART CONSTRUCTION MANAGER THREE WEEKS PRIOR TO PRE-INSTALLATION CONFERENCE TO CONFIRM SCHEDULE.
2. RECORD DISCUSSIONS OF MEETING AND DECISIONS AND AGREEMENTS REACHED, AND FURNISH COPY OF RECORD TO EACH PARTY ATTENDING. REVIEW FORESEEABLE METHODS AND PROCEDURES RELATED TO PAVING WORK, INCLUDING THE FOLLOWING:
- a. REVIEW PREPARATION AND INSTALLATION PROCEDURES AND COORDINATING AND SCHEDULING REQUIRED WITH RELATED WORK.
 - b. REVIEW PROPOSED SOURCES OF MATERIALS.
 - c. TOUR, INSPECT, AND DISCUSS CONDITION OF EXISTING PAVEMENT AND OTHER PREPARATORY WORK SUCH AS PATCHING, CRACK SEALING, AND OIL SPOT PRIMING/REPAIR.
3. REVIEW REQUIREMENTS FOR PROTECTING PAVING WORK, INCLUDING RESTRICTION OF TRAFFIC DURING INSTALLATION AND CURING PERIOD.
- e. REVIEW AND FINALIZE CONSTRUCTION SCHEDULE AND VERIFY AVAILABILITY OF MATERIALS, INSTALLER'S PERSONNEL, EQUIPMENT, AND FACILITIES NEEDED TO MAKE PROGRESS AND AVOID DELAYS.
 - f. REVIEW PAVING REQUIREMENTS (DRAWINGS, SPECIFICATIONS, AND OTHER CONTRACT DOCUMENTS).
 - g. REVIEW REQUIRED SUBMITTALS, BOTH COMPLETED AND YET TO BE COMPLETED.
 - h. REVIEW REQUIRED INSPECTIONS, TESTING PROCEDURES.
 - i. REVIEW WEATHER AND FORECASTED WEATHER CONDITIONS, AND PROCEDURES FOR COPING WITH UNFAVORABLE CONDITIONS.
 - j. REVIEW HEALTH AND SAFETY PRECAUTIONS RELATING TO HANDLING AND PLACEMENT OF SEAL COAT.

1.4 QUALITY ASSURANCE

- A. CONTRACTOR QUALIFICATIONS: THE SEAL COAT APPLICATOR SHALL HAVE NOT LESS THAN 3 YEARS DOCUMENTED EXPERIENCE IN THE APPLICATION OF EMULSION SEAL COATS.

1.5 SUBMITTALS

- A. PRODUCT DATA: SUBMIT THE MANUFACTURER'S PRODUCT INFORMATION FOR OIL SPOT PRIMER.
- B. CERTIFICATES:
- 1. SUBMIT MANUFACTURER'S CERTIFICATION THAT EACH CONSIGNMENT OF EMULSION SHIPPED TO THE PROJECT MEETS THE REQUIREMENTS OF THE APPLICABLE SPECIFICATION FOR THE EMULSION SPECIFIED, EXCEPT THAT THE WATER CONTENT SHALL NOT EXCEED 50 PERCENT. THE CERTIFICATION SHALL ALSO INDICATE THE SOLIDS CONTENT OF THE EMULSION AND THE DATE THE TESTS WERE CONDUCTED.
 - 2. SUBMIT CERTIFICATION OF PLACEMENT IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS AS SPECIFIED IN PART 3 FIELD QUALITY CONTROL.
- C. QUALIFICATION STATEMENTS: SUBMIT CONTRACTOR QUALIFICATIONS CERTIFICATION.
- D. MIX DESIGN:
- 1. SUBMIT MIX DESIGN AND EMULSION PROPERTIES TO THE CIVIL ENGINEERING CONSULTANT OF RECORD AT LEAST 30 DAYS PRIOR TO BEGINNING SEALING OPERATIONS. MIX DESIGNS OVER ONE YEAR OLD WILL NOT BE ACCEPTED.
 - 2. SUBMIT APPROVED MIX DESIGNS AND LABORATORY TEST RESULTS TO CTL SIGNED BY THE MATERIALS PRODUCER AND CONTRACTOR CERTIFYING MATERIALS AND MIX RATIOS CONFORM TO THE REQUIREMENTS SPECIFIED HEREIN.
- E. CALIBRATION RESULTS: SUBMIT REPORT OF SPREADING EQUIPMENT CALIBRATION TESTS.

1.6 SITE CONDITIONS

- A. WEATHER LIMITATIONS: APPLY SEAL COAT ONLY UNDER THE FOLLOWING WEATHER CONDITIONS:
- 1. THE ATMOSPHERIC TEMPERATURE IS BETWEEN 50 AND 90 F AND IS EXPECTED TO REMAIN ABOVE 50 F FOR 24 HOURS.
 - 2. PAVEMENT TEMPERATURE IS ABOVE 55 F.
 - 3. SURFACE IS DRY AND NO MOISTURE IS EXPECTED WITHIN 24 HOURS.
 - 4. WEATHER AND WIND CONDITIONS ARE SUCH THAT OVERSPRAY IS PREVENTABLE AND WILL ALLOW PROPER CURING AND OPENING TO TRAFFIC WITHIN A REASONABLE TIME.
- B. MAINTAIN ACCESS FOR VEHICULAR AND PEDESTRIAN TRAFFIC AS REQUIRED BY THE WAL-MART CONSTRUCTION MANAGER. UTILIZE TEMPORARY STRIPING, FLAGMEN, BARRICADES, WARNING SIGNS, AND WARNING LIGHTS AS REQUIRED.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE SEAL COAT PRODUCTS BY ONE OF THE FOLLOWING:
- 1. SEALMASTER PAVEMENT PRODUCTS & EQUIPMENT, (800) 395-7325.
 - 2. STAR SPECIALTY TECHNOLOGY AND RESEARCH, COLUMBUS, OH (800) 759-1912.
 - 3. NEYRA INDUSTRIES, CINCINNATI, OH (800) 543-7077

2.2 PRODUCTS

- A. WATER-BASED, POLYMER MODIFIED ASPHALT EMULSION SEAL COAT FORMULATED FOR SITE-MIXING WITH WATER AND AGGREGATE PER ASTM 8099. PROVIDE ONE OF THE FOLLOWING:
- 1. POLYMER MODIFIED MASTERSEAL (PMM), BY SEALMASTER, WITH ADDED SAND
 - 2. MICRO-PAVE PRO-BLEND PROFESSIONAL GRADE ASPHALT EMULSION PAVEMENT SEALER, BY STAR, WITH ADDED SAND
 - 3. NEYRA AE ASPHALT PAVEMENT SEALER, BY NEYRA, WITH ADDED SAND
 - 4. OR, OWNER APPROVED EQUIVALENT

2.3 MATERIALS

- A. AGGREGATE: AGGREGATE SHALL BE 100 PERCENT PASSING THE NO. 16 (1.18 MM) SIEVE WHEN TESTED IN ACCORDANCE WITH ASTM C 136. AGGREGATE SHALL CONSIST OF HARD, WASHED, DRY NATURAL OR MANUFACTURED PARTICLES FREE OF DUST, TRASH, CLAY, ORGANIC MATERIALS OR OTHER CONTAMINANTS.
- B. SAND: SAND SHALL BE CLEAN, HARD, AND IRREGULAR SILICA SAND, FREE OF DUST, TRASH, CLAY, ORGANIC MATERIALS OR OTHER CONTAMINANTS. WHEN TESTED IN ACCORDANCE WITH ASTM C 136, SAND WITH AFS RATING OF 50 TO 70, WITH LESS THAN 2% RETAINED ON 30 MESH, LESS THAN 10% RETAINED ON 140 MESH, AND LESS THAN 0.3% RETAINED ON 200 MESH SCREEN, IS RECOMMENDED.
- C. ASPHALT EMULSION: COMPLY WITH ASTM D977 OR ASTM D2397 FOR SS-1H OR CSS-1H. THE PENETRATION OF THE RESIDUE FROM THE DISTILLATION TEST SHALL BE 20 TO 60. CLAY STABILIZED EMULSION, WITH A PH NOT GREATER THAN 7.0, AND SOLIDS CONTENT NOT LESS THAN 45 PERCENT MAY BE USED. THE POLYMER MATERIAL SHALL BE MILLED OR BLENDED INTO THE ASPHALT OR EMULSIFIER SOLUTION PRIOR TO THE EMULSIFICATION PROCESS. THE MINIMUM AMOUNT AND TYPE OF POLYMER MODIFIER SHALL BE DETERMINED BY THE LABORATORY PERFORMING THE MIX DESIGN.
- D. COAL TAR: COAL TAR EMULSION OR COAL TAR/ASPHALT EMULSION SHALL NOT BE USED AS A SUBSTITUTE FOR ASPHALT EMULSION.
- E. POLYCYCLIC AROMATIC HYDROCARBON (PAH): PRODUCTS MUST CONTAIN LESS THAN 0.1% (1,000 PPM) POLYCYCLIC AROMATIC HYDROCARBON (PAH) CONTENT BY WEIGHT.
- F. WATER: WATER SHALL BE POTABLE AND FREE OF HARMFUL SOLUBLE SALTS OR REACTIVE CHEMICALS AND ANY OTHER CONTAMINANTS AND AT LEAST 50 F.
- G. ADDITIVES: ADDITIVES SHALL BE INCLUDED AND APPROVED AS PART OF THE MIX DESIGN AND BE COMPATIBLE WITH THE OTHER COMPONENTS OF THE MIX.
- H. CRACK SEALANT: CRACK SEALANT SHALL CONFORM TO ASTM D6690, TYPE II OR HIGHER AND COMPATIBLE WITH THE SPECIFIED SEAL COAT EMULSION.
- I. OIL SPOT PRIMER: OIL SPOT PRIMER SHALL BE A QUICK DRYING LATEX EMULSION WITH SUITABLE ADMIXTURES MANUFACTURED SPECIFICALLY FOR THE PURPOSE OF ISOLATING THE ASPHALT SEALCOAT FROM ANY RESIDUAL OILS, PETROLEUM GREASE, AND GASOLINE STAINED PAVEMENT. THE OIL SPOT PRIMER SHALL BE CERTIFIED FOR COMPATIBILITY WITH THE SPECIFIED EMULSION BY THE MANUFACTURER OF THE EMULSION.
- J. PAVEMENT PRIMER/TACK COAT: PAVEMENT PRIMER/TACK COAT SHALL CONSIST OF ONE PART SS1H EMULSION DILUTED WITH FOUR PARTS WATER APPLIED AT AN UNDILUTED EMULSION RATE OF 0.05 TO 0.10 GAL/SY (DILUTED EMULSION RATE OF 0.25 TO 0.50 GAL/SY).

2.4 COMPOSITION

- A. COMPOSITION: SEAL COAT SHALL CONSIST OF A MIXTURE OF THE SPECIFIED EMULSION, WATER, AGGREGATE, AND ADDITIVES AND BE PROPORTIONED TO MEET THE REQUIREMENTS SHOWN IN THE FOLLOWING TABLE 1.

TABLE 1 - UNDILUTED SEAL COAT DESIGN PROPERTIES

METHOD	MINIMUM	MAXIMUM
WEIGHT (PER GALLON), ASTM D 244, LBS	9.0	
CONE PENETRATION, ASTM D 217, MM	340	700
% NON-VOLATILE ¹	50	
% NON-VOLATILE RESIDUE SOLUBLE IN TRICHLOROETHYLENE, ASTM D 2042	10	35
WET TRACK ABRASION LOSS, ASTM D 3910, G		35
VISCOSITY, ASTM D 562, KU	75	
DRIED FILM COLOR	BLACK	

¹WEIGH 10 G OF HOMOGENEOUS PRODUCT INTO A PREVIOUSLY TARED, SMALL OINTMENT CAN. PLACE IN AN OVEN AT 325°F FOR 90 MINUTES. COOL, REWEIGH AND CALCULATE NON-VOLATILE RESIDUE AS A PERCENT OF THE ORIGINAL MASS.

SEAL COAT SPECIFICATIONS

2.5 EQUIPMENT

- A. DISTRIBUTORS: DISTRIBUTORS OR SPRAY UNITS USED FOR THE SPRAY APPLICATION OF THE SEAL COAT SHALL BE SELF PROPELLED AND CAPABLE OF UNIFORMLY APPLYING 0.10 TO 0.30 GALLONS PER SQUARE YARD OF MATERIAL OVER THE REQUIRED WIDTH OF APPLICATION. DISTRIBUTORS SHALL BE EQUIPPED WITH TACHOMETERS, PRESSURE GAUGES, AND VOLUME MEASURING DEVICES. THE MIX TANK SHALL HAVE A MECHANICALLY POWERED, FULL SWEEP, MIXER WITH SUFFICIENT POWER TO MOVE AND HOMOGENEOUSLY MIX THE ENTIRE CONTENTS OF THE TANK.
- B. SPRAY NOZZLES: NOZZLES SHALL BE FREE FROM CLOGS AND DEBRIS AND SET AT THE SAME ANGLE.
- C. MIXING EQUIPMENT: THE MIXING MACHINE SHALL HAVE A CONTINUOUS FLOW MIXING UNIT CAPABLE OF ACCURATELY DELIVERING A PREDETERMINED PROPORTION OF AGGREGATE, WATER, AND EMULSION, AND OF DISCHARGING THE THOROUGHLY MIXED PRODUCT ON A CONTINUOUS BASIS. THE MIXING UNIT SHALL BE CAPABLE OF THOROUGHLY BLENDING ALL INGREDIENTS TOGETHER AND DISCHARGING THE MATERIAL WITHOUT SEGREGATION.
- D. SPREADING EQUIPMENT: SPREADING EQUIPMENT SHALL BE A MECHANICAL TYPE SQUEEGEE/BRUSH DISTRIBUTOR ATTACHED TO THE MIXING MACHINE, EQUIPPED WITH FLEXIBLE MATERIAL IN CONTACT WITH THE SURFACE TO PREVENT LOSS OF SLURRY FROM THE SPREADER BOX. IT SHALL BE MAINTAINED TO PREVENT LOSS OF SLURRY ON VARYING GRADES AND ADJUSTED TO ASSURE UNIFORM SPREAD. THERE SHALL BE A LATERAL CONTROL DEVICE AND A FLEXIBLE STRIKE OFF CAPABLE OF BEING ADJUSTED TO LAY THE SLURRY AT THE SPECIFIED RATE OF APPLICATION. THE SPREADER BOX SHALL HAVE AN ADJUSTABLE WIDTH. THE BOX SHALL BE KEPT CLEAN. EMULSION AND AGGREGATE BUILD UP ON THE BOX SHALL NOT BE PERMITTED.
- E. CLEAN EQUIPMENT WITH A PETROLEUM SOLVENT IF PREVIOUSLY USED WITH A DIFFERENT MATERIAL.
- F. HAND SQUEEGEE OR BRUSH APPLICATION: HAND SPREADING APPLICATION SHALL BE USED ONLY IN PLACES NOT ACCESSIBLE TO THE MECHANIZED EQUIPMENT OR TO ACCOMMODATE NEAT TRIM WORK AT CURBS, ETC. MATERIAL THAT IS APPLIED BY HAND SHALL MEET THE SAME STANDARDS AS THAT APPLIED BY MACHINE.
- G. CALIBRATION: SPREADING EQUIPMENT SHALL BE PROVIDED WITH A METHOD OF CALIBRATION BY THE MANUFACTURER. EQUIPMENT SHALL BE CALIBRATED TO ASSURE THAT IT WILL PRODUCE AND APPLY A MIX THAT CONFORMS TO THE JOB MIX FORMULA. CALIBRATIONS SHALL BE MADE WITH THE APPROVED JOB MATERIALS PRIOR TO APPLICATION OF THE SEAL COAT.

2.6 PREPARATION

- A. A PERIOD OF AT LEAST 60 DAYS AT +70 F DAYTIME TEMPERATURES SHALL ELAPSE BETWEEN THE PLACEMENT OF A HOT MIXED ASPHALT CONCRETE SURFACE COURSE AND THE APPLICATION OF THE SEAL COAT EXCEPT AS PERMITTED FOR REMEDIATION PATCHING BELOW.
- B. REMEDIATE DISTRESSED AREAS OF EXISTING PAVEMENT BY SAW-CUTTING AND REMOVING EXISTING PAVEMENT, REGRADING AND COMPACTING THE UNDERLYING BASE COURSE AND REPLACING WITH FULL DEPTH ASPHALT AT LOCATIONS AND AS SHOWN ON THE DRAWINGS.
- 1. REPAIRS NOT SPECIFICALLY SHOWN ON THE PLANS BUT CONSIDERED NECESSARY BY THE CEC, THE GEOTECHNICAL ENGINEER, OR THE CTL SHALL BE IDENTIFIED AND SUBMITTED AS AN RFI TO THE CONSTRUCTION MANAGER (CM) PRIOR TO COMMENCEMENT OF REPAIRS.
 - 2. REPAIRS SUBMITTED BY RFI AND APPROVED SHALL BE PERFORMED AS DIRECTED BY THE CEC. COST FOR SUCH WORK DIRECTED AND PERFORMED WILL BE PAID FOR IN ACCORDANCE WITH THE "CHANGES IN THE WORK" CLAUSE OF THE GENERAL CONDITIONS.
 - 3. REPAIRS SHALL BE COMPLETED 30 DAYS PRIOR TO THE APPLICATION OF THE SEAL COAT.
- C. LONGITUDINAL AND TRAVERSE CRACKS IN EXCESS OF 0.25 INCH, BUT LESS THAN 1 INCH SHALL BE SEALED WITH A CRACK SEALANT. CRACKS THAT CONTAIN WEED OR OTHER LIVE VEGETABLE MATTER SHALL BE TREATED WITH A LOCALLY APPROVED, NON-OIL BASED STERILANT PRIOR TO APPLYING THE CRACK FILLER.
- D. EXISTING CRACK SEALANTS IN THE PARKING LOT SHALL BE EVALUATED FOR COMPATIBILITY WITH THE SPECIFIED EMULSION. REPORT TO THE ENGINEER OF RECORD IF APPEARANCE OR PERFORMANCE OF THE SEAL COAT WILL BE COMPROMISED BY THE EXISTING CRACK SEALANT MATERIALS.
- E. REMOVE OIL DRIPPINGS OR GREASE BUILDUP DETERMINED BY THE CEC TO BE DETRIMENTAL TO THE SUBSEQUENT SEAL COAT PERFORMANCE BY SCRAPING EXCESSIVE BUILDUP AND BY STEAM CLEANING. PREVENT OIL CONTAMINATED WATER FROM ENTERING STORM SEWER INLETS. AFTER CLEANING, TREAT CLEANED AREAS WITH THE OIL SPOT PRIMER.
- F. IMMEDIATELY PRIOR TO APPLYING THE PRIMER AND SEAL COAT, THE SURFACE SHALL BE CLEARED OF ALL LOOSE MATERIAL, DIRT, DUST, GREASE, OIL, VEGETATION AND OTHER OBJECTIONABLE MATERIAL. IF WATER IS USED, CRACKS SHALL BE ALLOWED TO DRY THOROUGHLY BEFORE APPLYING THE SEAL COAT.
- G. PROTECT EXISTING MANHOLES, INLETS, VAULTS, VALVE BOXES, METER BOXES, ETC. AS NECESSARY TO MAINTAIN FREE ACCESSIBILITY UPON COMPLETION OF SEAL COAT APPLICATION. SURFACES ADJACENT TO SEAL COAT APPLICATION AREAS SUCH AS SIDEWALKS, CURB AND/OR GUTTER, STOREFRONTS, ETC. SHALL BE PROTECTED BY USE OF FELT PAPER ANCHORED WITH CLEAN AGGREGATE, OR BY SHIELDING COMPONENTS WITH PLYWOOD DURING APPLICATION.
- H. APPLY A PRIMER/TACK COAT AT A RATE OF 0.05 TO 0.10 GAL/SQ.YD. REMOVE LOOSE GRAVEL BY SWEEPING PRIOR TO APPLICATION OF PRIMER.
- I. COORDINATE LIMITS OF SEAL COAT APPLICATION OPERATIONS WITH OWNER'S CONSTRUCTION MANAGER AND STORE MANAGER TO AVOID INTERRUPTION TO STORE OPERATIONS. PROTECT ADJACENT AREAS OF THE PARKING LOT OUTSIDE OF CURRENT SEAL COAT APPLICATION LIMITS TO AVOID TRACKING ONTO ADJACENT AREAS. PARTITION OFF LIMITS OF CURRENT SEAL COAT OPERATIONS UNTIL SURFACE IS TRAFFIC READY.
- J. COORDINATE WITH STORE MANAGER TO DEACTIVATE LAWN SPRINKLER SYSTEMS LEAST 48 HOURS PRIOR TO PLACING THE SEAL COAT AND REMAIN OFF FOR AT LEAST 24 HOURS AFTER THE SEAL COAT APPLICATION.

2.7 APPLICATION

- A. ADD WATER AND SAND AT MANUFACTURER'S RECOMMENDED RATES AND MIX EMULSION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. APPLY SEAL COAT AT A TOTAL RATE (UNDILUTED) OF 0.22 GAL/SY.
- C. THE MINIMUM/MAXIMUM APPLICATION RATE SHALL BE BETWEEN 0.10 AND 0.17 GAL/SY PER APPLICATION.
- D. DAMPEN PAVEMENT WITH A FOG SPRAY OF WATER IF AMBIENT TEMPERATURES EXCEED 80°F. NO STANDING WATER SHALL REMAIN ON THE SURFACE.
- E. APPLY THE FIRST COAT UNIFORMLY IN A MANNER SUCH THAT THE COMBINED APPLICATION OF THE FIRST AND SECOND COATS EQUAL THE TOTAL RATE SPECIFIED ABOVE.
- F. SUSPEND APPLICATION WHEN THE DISTRIBUTION TANK HAS LESS THAN 100 GALLONS LEFT AND REFILL TO PREVENT IRREGULAR PATTERNS OR MISSES.
- G. EACH COAT SHALL BE ALLOWED TO DRY AND CURE INITIALLY A MINIMUM OF 2-4 HOURS BEFORE APPLYING ANY SUBSEQUENT COATS. THE INITIAL DRYING SHALL ALLOW EVAPORATION OF WATER OF THE APPLIED MIXTURE, RESULTING IN THE COATING BEING ABLE TO SUSTAIN LIGHT FOOT TRAFFIC. THE INITIAL CURING SHALL ENABLE THE MIXTURE TO WITHSTAND VEHICLE TRAFFIC WITHOUT DAMAGE TO THE SEAL COAT.
- H. APPLY THE SECOND COAT IN THE SAME MANNER AS OUTLINED FOR THE FIRST COAT.
- I. APPLY ADDITIONAL COATS IF AND WHERE NECESSARY AS DETERMINED BY THE CEC.
- 1. SUBMIT AN RFI IDENTIFYING EXTENT OF ADDITIONAL COATS FOR APPROVAL PRIOR TO APPLICATION.
 - 2. APPLY ADDITIONAL COATS IN ACCORDANCE WITH RFI APPROVAL. COST FOR SUCH ADDITIONAL WORK DIRECTED AND PERFORMED WILL BE PAID FOR IN ACCORDANCE WITH THE "CHANGES IN THE WORK" CLAUSE OF THE GENERAL CONDITIONS.
- J. THE FINISHED SURFACE SHALL PRESENT A UNIFORM TEXTURE WITH NO STREAKS.
- K. THE FINAL COAT SHALL BE ALLOWED TO DRY A MINIMUM OF EIGHT HOURS IN DRY DAYLIGHT CONDITIONS BEFORE OPENING TO TRAFFIC, AND INITIALLY CURE ENOUGH TO SUPPORT VEHICULAR TRAFFIC WITHOUT DAMAGE TO THE SEAL COAT.
- L. WHERE MARGINAL WEATHER CONDITIONS EXIST DURING THE EIGHT HOUR DRYING TIME, ADDITIONAL DRYING TIME SHALL BE ALLOWED. THE LENGTH OF TIME SHALL BE AS SPECIFIED BY THE SUPPLIER. THE SURFACE SHALL BE CHECKED AFTER THE ADDITIONAL DRYING TIME FOR TRAFFICABILITY BEFORE OPENING THE SECTION TO VEHICLE TRAFFIC.

2.8 FIELD QUALITY CONTROL

- A. CERTIFY IN WRITING THAT THE SEAL COAT PLACEMENT IS IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS.

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ELDBERSBURG SUSTAINABLE
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DEVELOPER
WALMART REAL ESTATE
BUSINESS TRUST
814 RESPECT DR
BENTONVILLE, AR 72716
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SITE INFORMATION
ELECTION DISTRICT: 5TH
EXISTING USE: COMMERCIAL CENTER
PROPOSED USE: PLANNED COMMERCIAL CENTER
ZONE: C-3
TAX MAP 74, GRID 13, PARCEL 615
PREVIOUS COUNTY FILE NO'S:..
COUNTY FILE NO.

REVISIONS	BY

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B.A. BOSSE
PROFESSIONAL ENGINEER
MARYLAND LICENSE NO. 47227
PROFESSIONAL CERTIFICATION
BRITNEY A. BOSSE, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME
AND THAT I AM A LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND.
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SPECIFICATIONS SHEET