

COUNTY'S GENERAL CONSTRUCTION NOTES:

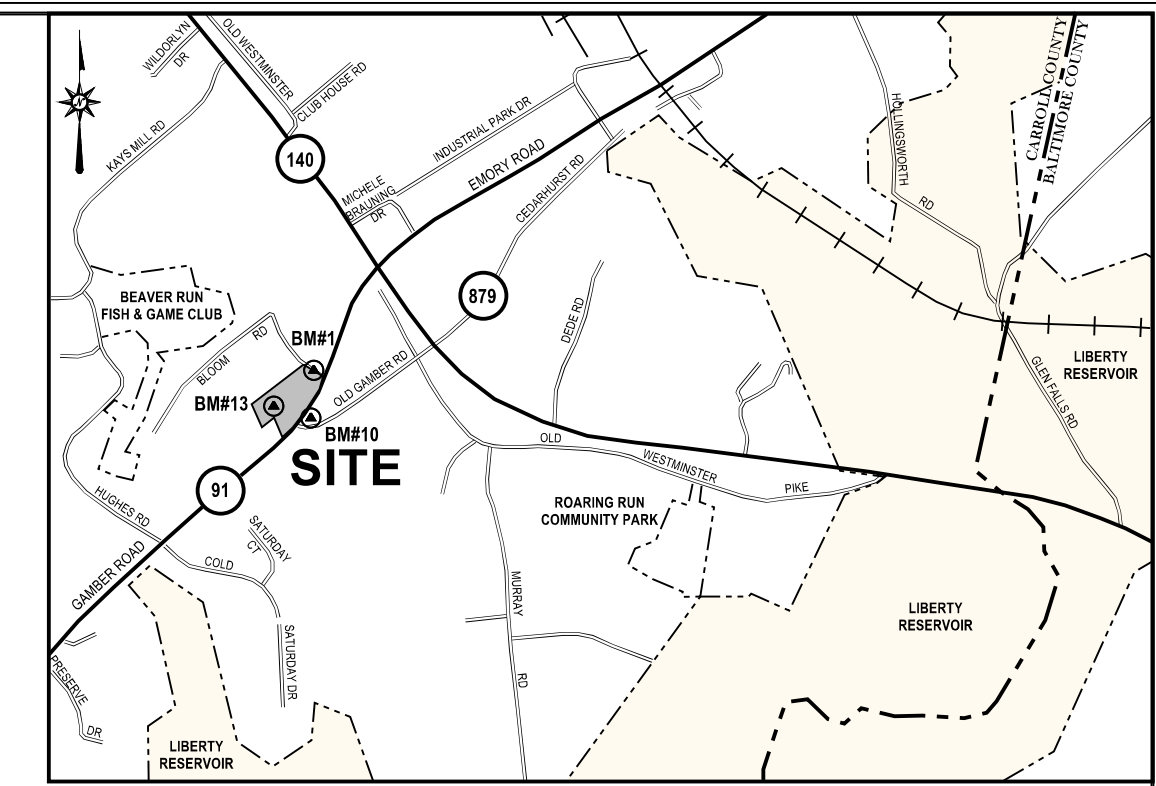
- Construction shall be performed in accordance with latest editions of the following, including all addenda, supplements or updates:
 - Design Manual - Volume One - Roads & Storm Drains, 1994 edition, of the Carroll County Department of Public Works.
 - Design Guide for Flexible Pavement, 2004, of the Carroll County Department of Public Works.
 - Book of Standards, Highway and Incidental Structures of the Maryland Department of Transportation, State Highway Administration.
 - Standard Specifications for Construction and Materials, 2008 edition, of the Maryland Department of Transportation, State Highway Administration.
 - Maryland Manual on Uniform Traffic Control Devices (MdMUTCD) 2009 Edition of the Maryland Department of Transportation, State Highway Administration.
 - 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control, published jointly by Maryland Department of the Environment - Water Management Administration, Natural Resources Conservation Service, and Maryland Association of Soil Conservation Districts.
- All of the above noted publications are included by reference as part of these construction plans.
- The Contractor shall notify the Carroll County Department of Public Works, Construction Inspection Division (410-386-2157) a minimum of three (3) working days before beginning work.
- Contractor shall furnish, place and maintain traffic control measures as shown in these plans and as specified in the MdMUTCD. Contractor shall immediately remove and replace devices which are damaged, do not function properly, or are determined by Construction Inspector to be unsuitable for their purpose. Traffic control devices may be removed only upon approval of Construction Inspector.
- Locations of existing utilities are shown only as notification to Contractor of the presence of underground utilities. Carroll County and the design engineer do not warrant or guarantee correctness or completeness of information shown. Contractor is responsible for contacting Miss Utility at 1-800-257-7777 for verifying existence and location of all utilities prior to beginning work. Any damage to existing utilities due to Contractor's operation shall be repaired immediately at Contractor's expense.
- Developer is responsible in all regards for relocation of any existing utilities.
- In case of discrepancy between scaled and figure dimensions, figure dimensions shall govern.
- If for any reason proposed facilities cannot be constructed in accordance with approved plans, Contractor must immediately inform Construction Inspector or Construction Inspection Division (410-386-2157) and shall not begin or continue work on those items. If the Department of Public Works determines plan revisions are necessary, no work shall be performed on the item(s) in question until revised plans issued by the design engineer are approved and issued for construction by the Bureau of Development Review.
- Failure to mention specifically the provision of any item(s), or performance of any work or procedure which would normally be required to complete the project, shall not relieve the Contractor of his responsibility to provide such item(s) or to perform such work or procedure.
- Construct earth fills for roads, embankments, and structures in accordance with Section 204 EMBANKMENT AND SUBGRADE of the MD SHA Standard Specifications for Construction and Materials. Compact the material that is 1 foot below the top of subgrade to at least 92% of maximum dry density using AASHTO T-180 method. Compaction of top 1 foot of fill shall not be less than 97.0% of maximum dry density using the same method.
- Developer is responsible for providing soil, base aggregate and hot mix asphalt compaction testing. A certified technician must be onsite at all times during fill operations. Compaction tests must be certified by a Professional Engineer registered in the State of Maryland. Copies of the soil compaction test results must be provided to, and approved by, the Construction Inspection Division prior to placement of curbs and/or base aggregate. Copies of base aggregate compaction test results must be provided to, and approved by, the Construction Inspection Division prior to placement of base hot mix asphalt.
- Inlet grates in sumps shall be constructed level at elevation given in structure schedule. Inlets on grade shall be adjusted so that slope of grate matches finished flow line of curb. Top elevation shall apply to centerline of grate at flow line of curb. Cross slope of the grate shall match the road cross slope.
- Pipe elevations shown on storm drain profiles are invert elevations unless otherwise noted.
- Where ditch or waterway stabilization matting of any type is specified, installation shall be in accordance with manufacturer's recommendations. Matting shall be placed on bottom and side slopes to provide 1.0' stabilized depth, unless otherwise indicated on plans.
- All existing paving disturbed by utility cuts shall be replaced in accordance with Carroll County Standard Plate 47, Option 1 or Option 3 in the Design Manual, Volume 1 or as noted in the Utility Permit.
- Construction vehicles, contractor or private, or construction materials or equipment shall not be parked, placed, or stored within any public right-of-way.

GENERAL SITE NOTES:

- EXISTING ZONING: C-2 (4.0000 AC.±) & R-40,000 (0.3993 AC.±)
- TOTAL AREA OF SITE: 4.3993 AC. +/-
- TOTAL DEVELOPED AREA: 191,633 SQ. FT.
- THE PROPERTY SHOWN HEREON IS OWNED BY ELINE PROPERTIES FINKSBURG, LLC, BY DEED DATED JULY 5, 2023, RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY, MARYLAND IN LIBER HD 11074 FOLIO 269, ETC.
- TAX MAP: 59, GRID: 16, PARCEL: 569.
- TOPOGRAPHY SHOWN HEREON (RELATIVE TO THE SITE) IS FIELD RUN, DATED MARCH 2024 AND PREPARED BY HANOVER LAND SERVICES, INC. (NAD 83 & NAVD88 VIA CARROLL COUNTY SURVEY CONTROL). ADDITIONAL CONTOURS SHOWN ON ADJOINERS AND SOUTH OF GAMBER ROAD ARE FROM CARROLL COUNTY LIDAR PRODUCTS.
- THE DIGITAL CONTOUR DATA SHOWN HEREON WAS DEVELOPED USING CARROLL COUNTY LIDAR PRODUCTS AND MAY NOT BE A SUITABLE SUBSTITUTE FOR A FIELD RUN SURVEY. CARROLL COUNTY DOES NOT WARRANT ITS ACCURACY FOR ANY PURPOSES.
- SOILS DATA SHOWN HEREON WAS TAKEN FROM USDA-NCRC WEB SOIL SURVEY FOR CARROLL COUNTY, MARYLAND, VERSION 22, SEPT. 6, 2024.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING & ZONING COMMISSION.
- THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING.
- LOCATION OF THE NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION: ONE EXISTING 10,000 GAL. FIRE PROTECTION TANK ON SITE, ALSO TWO 20,000 GAL. FIRE PROTECTION TANKS EXIST ON THE ADJACENT PROPERTY (GREATER BALTIMORE TEMPLE).

INSPECTION SEQUENCE NOTES:

- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY WORK.
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
 - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL WORK SHOWN ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
- THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.



VICINITY MAP
SCALE: 1" = 2,000'

LIST OF DRAWINGS

- TITLE SHEET
- EXISTING CONDITIONS
- SEDIMENT & EROSION CONTROL PLAN
- SITE LAYOUT & GRADING
- STORMWATER
- BUILDING ELEVATIONS

CONCEPT SITE DEVELOPMENT PLAN 1st AMENDED ELINE FUNERAL HOME

4TH ELECTION DISTRICT CARROLL COUNTY, MARYLAND

**THE PURPOSE OF THIS AMENDED SITE PLAN IS TO
ADD AN ACCESSORY GARAGE & PAVED DRIVEWAY.**

PARKING TABULATIONS:
NO ADDITIONAL PARKING REQUIRED

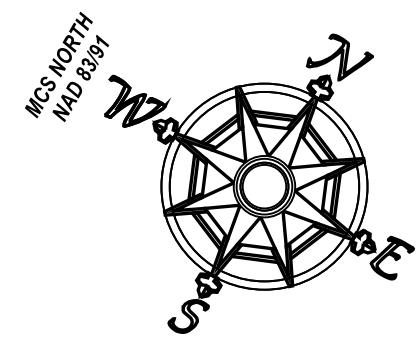
OWNER/DEVELOPER:
ELINE PROPERTIES FINKSBURG, LLC
C/O ELINE FUNERAL HOME
934 S. MAIN STREET
HAMPSTEAD, MARYLAND 21074
PHONE: 410-239-8163

BENCHMARKS:

BM#1	REBAR & CAP FOUND - TRAVERSE STA. BLOOM1 N 665020.6786, E 1342255.5013, EL. 543.18
BM#10	REBAR & CAP FOUND - TRAVERSE STA. #10 N 664540.8673, E 1342169.0178, EL. 511.18
BM#13	REBAR & CAP FOUND - TRAVERSE STA. #13 N 664677.9942, E 1341822.8901, EL. 535.52

CARROLL COUNTY PLANNING & ZONING COMMISSION BY: _____ DATE: _____	OWNER'S CERTIFICATION: I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGES IN THE WORK IS MADE. STEVEN W. ELINE ELINE PROPERTIES FINKSBURG, LLC NAME(S) PRINTED _____ DATE _____	CARROLL SOIL CONSERVATION DISTRICT THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT. APPROVED - CARROLL S.C.D. _____ DATE _____ ENGINEER/SURVEYOR I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL SOIL CONSERVATION DISTRICT. KEITH A. HEINDEL PROFESSIONAL LAND SURVEYOR #21189 LICENSE RENEWS 12/31/27 _____ DATE _____	OWNER(S)/DEVELOPER(S) I/WE CERTIFY THAT THIS PLAN OF SOIL EROSION AND SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I/WE ALSO AUTHORIZE PERIODIC ON-SITE EVALUATIONS BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES. DEVELOPER _____ DATE _____ STEVEN W. ELINE ELINE PROPERTIES FINKSBURG, LLC PHONE: 410-239-8163
REVISIONS			
HANOVER LAND SERVICES, INC. 194 E. Main Street, Westminster, MD 21157, Phone: 410-751-8795 555 Centennial Ave., Ste. 125, Hanover, PA 17331, Phone: 717-637-5674 http://hanoverlandservices.com			
		DRAWING NAME: TITLE SHEET	
		SCALE: AS SHOWN	
		DATE: 02/03/26	
		DRAWN BY: KAH	
		CHECK BY: KAH	
		JOB: W2030-23	
		SHEET: 1 OF 6	
		COUNTY FILE NO. : S-24-0003	

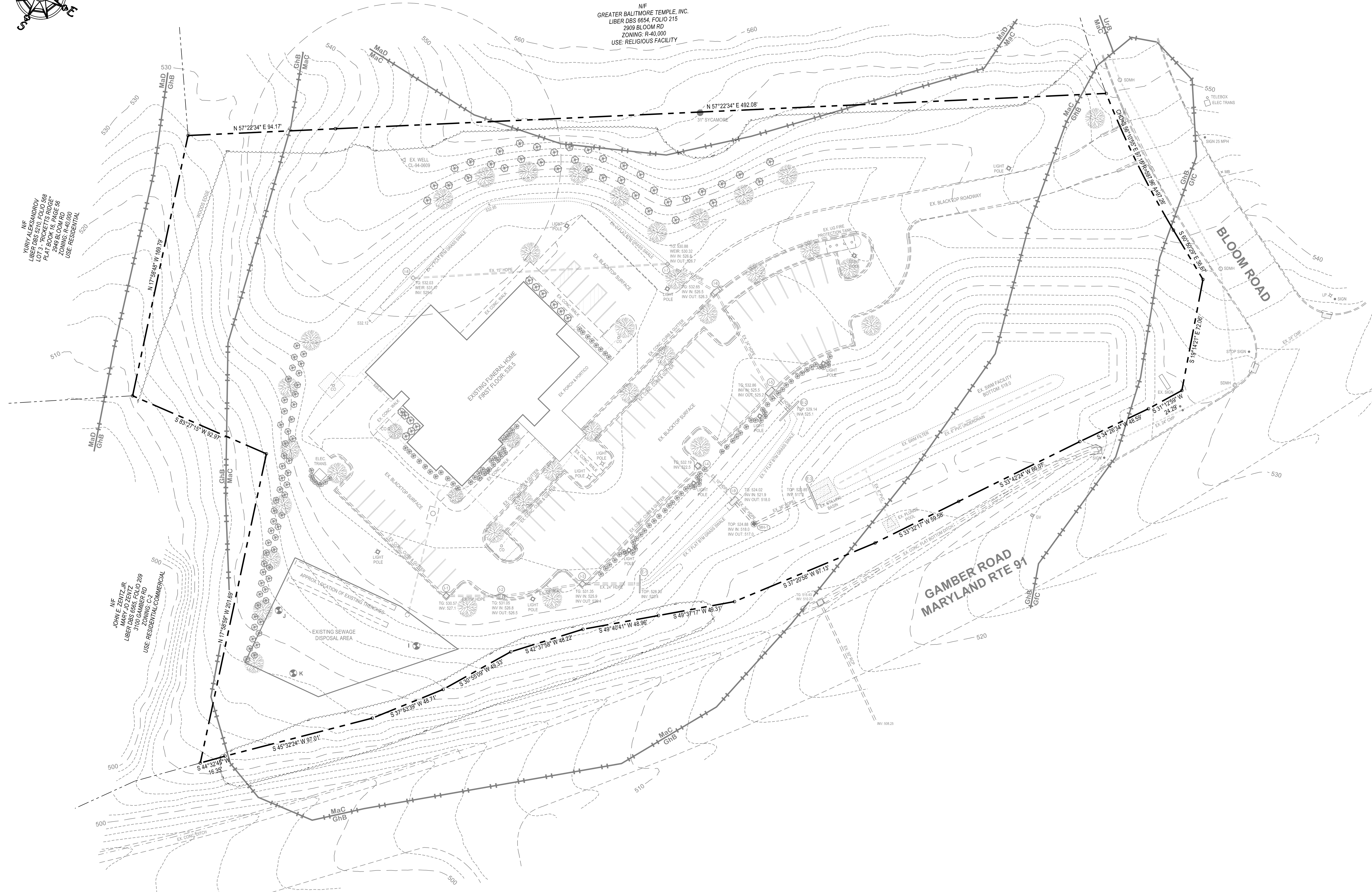
X:\Jobs\2023\W2030-23\TEXT PLANS\2801 BLOOM RD.TRY



NF
GREATER BALTIMORE TEMPLE, INC.
LIBER DBS 6654, FOLIO 215
2909 BLOOM RD
ZONING: R-40,000
USE: RELIGIOUS FACILITY

NF
KURY ALEX
LIBER DBS 6574, FOLIO 568
PLAT 16, PAGE 56
2940 S BLOOM RD
ZONING: COM RD
USE: RESIDENTIAL

NF
JOHNLE W
MARY JO ZELER
LIBER DBS 6685, FOLIO 209
310 GAMBER RD
ZONING: C2
USE: RESIDENTIAL COMMERCIAL



**EXISTING CONDITIONS PLAN
ELINE FUNERAL HOME
1ST AMENDED SITE PLAN**

4TH ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP: 59, GRID: 16, PARCEL: 969

OWNER/DEVELOPER:
ELINE PROPERTIES FINKSBURG, LLC
C/O ELINE FUNERAL HOME
934 S. MAIN STREET
HAMPSTEAD, MD 21074
PHONE: 410-239-8670

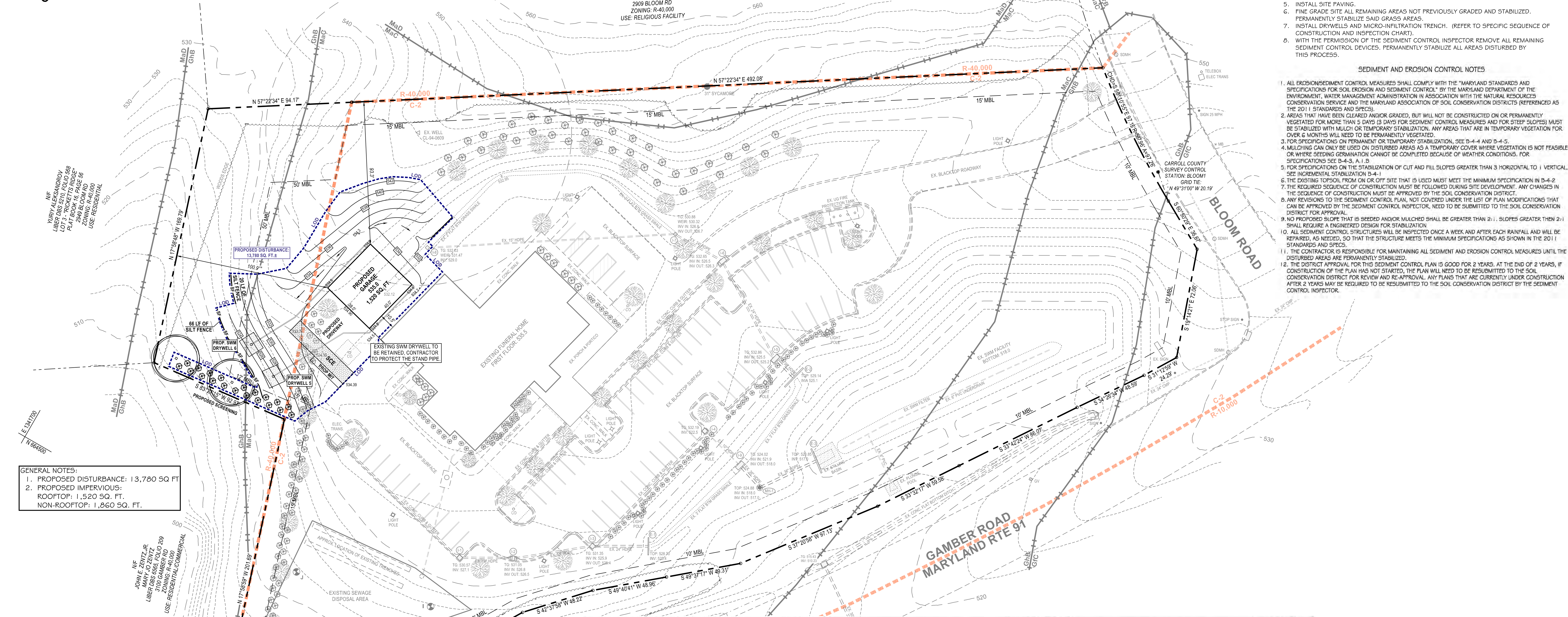
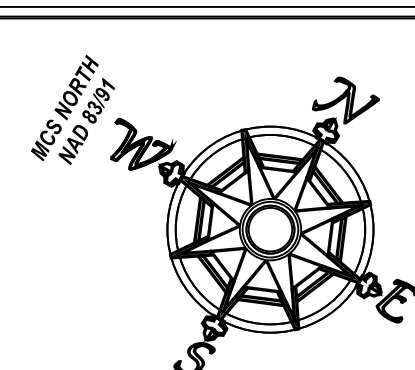


License Expires: 12/31/2025

HLS engineering land • designing the future
HANOVER LAND SERVICES, INC.
194 E. Main Street, Westminster, MD 21157, Phone: 410-751-8795
DRAWING NAME: BASE MAP 25
SCALE: 1"= 30' DATE: 03/03/26 DRAWN BY: KAH
JOB: W2030-23 CHECK BY: KAH SHEET: 2 OF 6

Keith A. Heindel
Professional Land Surveyor
Maryland No. 21189

COUNTY FILE NO.: S-24-0003

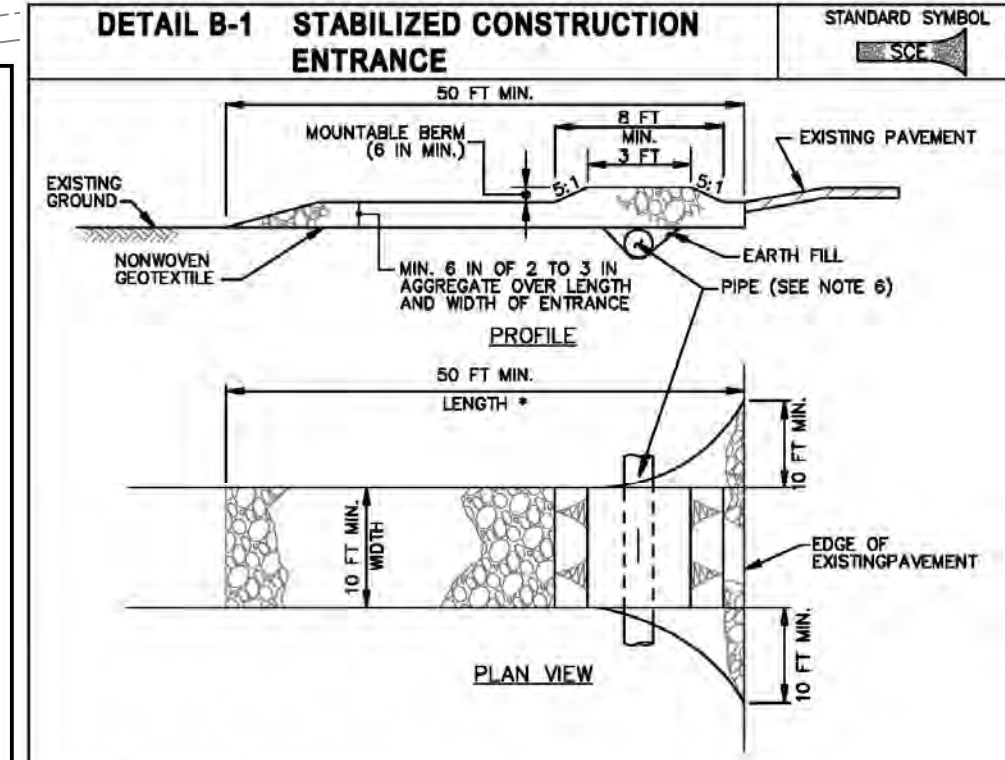


GENERAL NOTES:
 1. PROPOSED DISTURBANCE: 13,780 SQ. FT.
 2. PROPOSED IMPERVIOUS: ROOFTOP: 1,520 SQ. FT. NON-ROOFTOP: 1,860 SQ. FT.

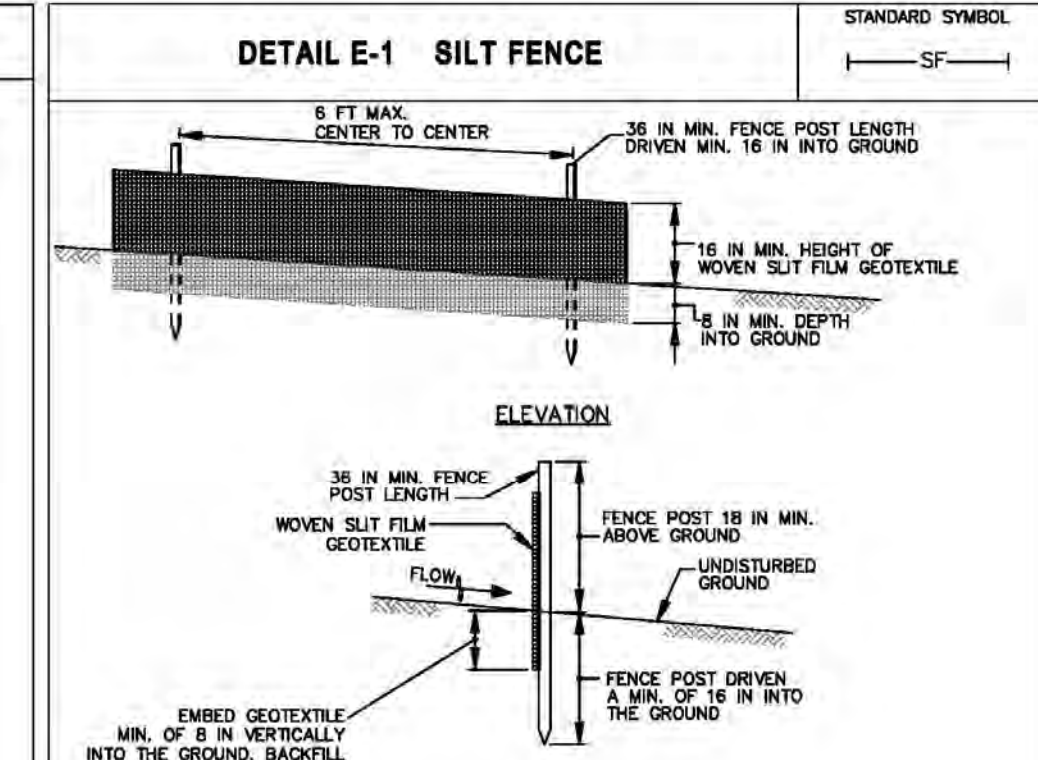
TEMPORARY SEEDING NOTES
 SCOPE: PLANTING SHORT TERM (NO MORE THAN 6 MONTHS) VEGETATION TO TEMPORARILY STABILIZE ANY AREAS WHERE SOIL DISTURBANCE HAS OCCURRED, UNTIL THE AREA CAN BE PERMANENTLY STABILIZED WITH VEGETATIVE OR NON-VEGETATIVE PRACTICES.
 STANDARDS: THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT - WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCE CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS.
 THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION B-4-2.
 FOR TEMPORARY STABILIZATION, FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT A RATE OF 436 LB. PER ACRE (10 LB. PER 1000 SQ. FT.) AND WILL MEET THE REQUIREMENTS IN SECTION B-4-2. LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB. PER SQ. FT.) AND SHALL MEET THE REQUIREMENTS IN SECTION B-4-2 AND B-4-4.
 SEED TYPE AND APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4-3 SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY THE TYPE AND RATE OF SEED USED. MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION B-4-3 a, b AND c AND WILL BE APPLIED ALONG WITH THE SEED OR IMMEDIATELY AFTER SEEDING.
 SEEDING MIXTURES SHALL BE SELECTED FROM OR WILL BE EQUAL TO THOSE ON TABLE B.1 (PAGE B.20).

PERMANENT SEEDING NOTES
 Scope: Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 6 months.
 Standards: The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.
 The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.
 For sites of 5 ac. or less of disturbance, the following fertilizer and lime rates shall apply. Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates:
 N = 45 lb. per acre (1 lb. per 1000 sq. ft.) P2O5 = 90 lb. per acre (2 lb. per 1000 sq. ft.) K2O = 90 lb. per acre (2 lb. per 1000 sq. ft.)
 Lime shall be applied at a rate of 2 tons per acre (90 lb. per 1000 sq. ft.)
 Seed type, turfgrass or soil application shall meet the requirements in section B-4-5. Seed tags shall be made available to the inspector to verify the type and application rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c, and will be applied along with seed or immediately after seeding.
 Seeding mixtures shall be selected from or will be equal to those on Table B-3. The seeding chart below will need to be placed on and filled in on the sediment control plan.

Hardness Zone (from Figure B.3):		Seeding Dates		Fertilizer Rate (10-20-20)		Lime Rate	
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P2O5	K2O
1	annual ryegrass	40	2-15 to 4-30 8-15 to 11-30	1/4-1/2 in	45 pounds per acre (1.0 lb/1000 sq ft)	90 lb/ac (2 lb/1000 sq ft)	90 lb/ac (2 lb/1000 sq ft)
2	annual ryegrass	40	2-15 to 4-30 8-15 to 11-30	1/4-1/2 in	45 pounds per acre (1.0 lb/1000 sq ft)	90 lb/ac (2 lb/1000 sq ft)	90 lb/ac (2 lb/1000 sq ft)



CONSTRUCTION SPECIFICATIONS
 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE ENTRANCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOTS). USE MINIMUM WIDTH OF 10 FEET. FLARE SIZE TO FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE ENTRANCE UNDER THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE ENTRANCE WITH A MOUNTABLE BEAM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY. A PIPE IS NOT NECESSARY. A MOUNTABLE BEAM IS REQUIRED WHEN THE ENTRANCE IS NOT LOCATED AT A HIGH SPOT.
 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
 4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
 5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MOUNTABLE BEAM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY WACCAWING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.



CONSTRUCTION SPECIFICATIONS
 1. USE WOOD POSTS 1 1/2 X 1 1/2 X 1/4 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "V" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
 2. USE 36 INCH MINIMUM POSTS DRIVEN 18 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
 3. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
 4. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 5. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
 6. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN, OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
 7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM COMING AROUND THE ENDS OF THE SILT FENCE.
 8. REMOVE ACCUMULATED SOIL AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 20% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN IF UNDERMINING OCCURS, REINSTALL FENCE.

CONSTRUCTION SPECIFICATIONS
 1. USE WOOD POSTS 1 1/2 X 1 1/2 X 1/4 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "V" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
 2. USE 36 INCH MINIMUM POSTS DRIVEN 18 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
 3. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
 4. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 5. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
 6. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN, OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
 7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM COMING AROUND THE ENDS OF THE SILT FENCE.
 8. REMOVE ACCUMULATED SOIL AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 20% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN IF UNDERMINING OCCURS, REINSTALL FENCE.

- REQUIRED SEQUENCE OF CONSTRUCTION:**
- CONTACT THE SEDIMENT CONTROL INSPECTOR 24 HOURS PRIOR TO ANY WORK BEING PERFORMED TO ARRANGE A PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF SWM AND SEDIMENT CONTROL INSPECTOR AT (410) 386-2100 AT LEAST (3) THREE WORKING DAYS PRIOR TO BEGINNING WORK.
 - CLEAR AND GRUB, INSTALL SILT FENCE & STABILIZED CONSTRUCTION ENTRANCE. ADDITIONAL SEDIMENT CONTROL FACILITIES MAY BE REQUIRED AS DIRECTED.
 - WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, BEGIN EARTHMOVING ACTIVITIES.
 - CONSTRUCT THE GARAGE, INSTALL DOWNSPOUTS & ROOF LEADERS.
 - INSTALL SITE PAVING.
 - FINE GRADE SITE ALL REMAINING AREAS NOT PREVIOUSLY GRADED AND STABILIZED. PERMANENTLY STABILIZE SAID GRASS AREAS.
 - INSTALL DRYWELLS AND MICRO-INFILTRATION TRENCH. (REFER TO SPECIFIC SEQUENCE OF CONSTRUCTION AND INSPECTION CHART).
 - WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES. PERMANENTLY STABILIZE ALL AREAS DISTURBED BY THIS PROCESS.

- SEDIMENT AND EROSION CONTROL NOTES**
- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION IN ASSOCIATION WITH THE NATURAL RESOURCES CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS (REFERENCED AS THE 2011 STANDARDS AND SPECS).
 - AREAS THAT HAVE BEEN CLEARED AND/OR GRADED, BUT WILL NOT BE CONSTRUCTED ON OR PERMANENTLY VEGETATED FOR MORE THAN 5 DAYS (3 DAYS FOR SEDIMENT CONTROL MEASURES AND FOR STEEP SLOPES) MUST BE STABILIZED WITH MULCH OR TEMPORARY STABILIZATION. ANY AREAS THAT ARE IN TEMPORARY VEGETATION FOR OVER 6 MONTHS WILL NEED TO BE PERMANENTLY VEGETATED.
 - FOR SPECIFICATIONS ON PERMANENT OR TEMPORARY STABILIZATION, SEE B-4-4 AND B-4-5.
 - MULCHING CAN ONLY BE USED ON DISTURBED AREAS AS A TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING GERMINATION CANNOT BE COMPLETED BECAUSE OF WEATHER CONDITIONS. FOR SPECIFICATIONS SEE B-4-3, A, 1, B.
 - FOR SPECIFICATIONS ON THE STABILIZATION OF CUT AND FILL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL, SEE INCREMENTAL STABILIZATION B-4-1.
 - THE EXISTING TOPSOIL FROM ON OR OFF SITE THAT IS USED MUST MEET THE MINIMUM SPECIFICATION IN B-4-2.
 - THE REQUIRED SEQUENCE OF CONSTRUCTION MUST BE FOLLOWED DURING SITE DEVELOPMENT. ANY CHANGES IN THE SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - ANY REVISIONS TO THE SEDIMENT CONTROL PLAN, NOT COVERED UNDER THE LIST OF PLAN MODIFICATIONS THAT CAN BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR, NEED TO BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR APPROVAL.
 - NO PROPOSED SLOPE THAT IS SEEDING AND/OR MULCHED SHALL BE GREATER THAN 2:1. SLOPES GREATER THAN 2:1 SHALL REQUIRE AN ENGINEERED DESIGN FOR STABILIZATION.
 - ALL SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL AND WILL BE REPAIRED, AS NEEDED, SO THAT THE STRUCTURE MEETS THE MINIMUM SPECIFICATIONS AS SHOWN IN THE 2011 STANDARDS AND SPECS.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED.
 - THE DISTRICT APPROVAL FOR THIS SEDIMENT CONTROL PLAN IS GOOD FOR 2 YEARS. AT THE END OF 2 YEARS, IF CONSTRUCTION OF THE PLAN HAS NOT STARTED, THE PLAN WILL NEED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR REVIEW AND RE-APPROVAL. ANY PLANS THAT ARE CURRENTLY UNDER CONSTRUCTION AFTER 2 YEARS MAY BE REQUIRED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT BY THE SEDIMENT CONTROL INSPECTOR.

SEDIMENT & EROSION CONTROL PLAN
ELINE FUNERAL HOME

4TH ELECTION DISTRICT CARROLL COUNTY, MARYLAND
 TAX MAP: 59, GRID: 16, PARCEL: 589

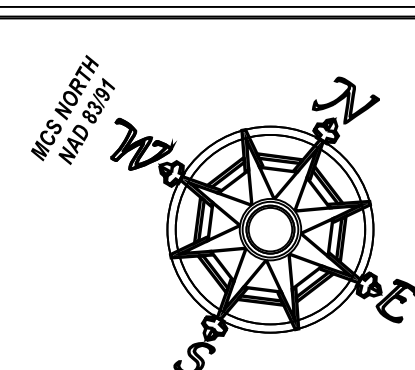
OWNER/DEVELOPER:
 ELINE PROPERTIES FINKSBURG, LLC
 C/O ELINE FUNERAL HOME
 934 S. MAIN STREET
 HAMPSTEAD, MD 21074
 PHONE: 410-239-8163

Scale: 30' 0 30' 60'

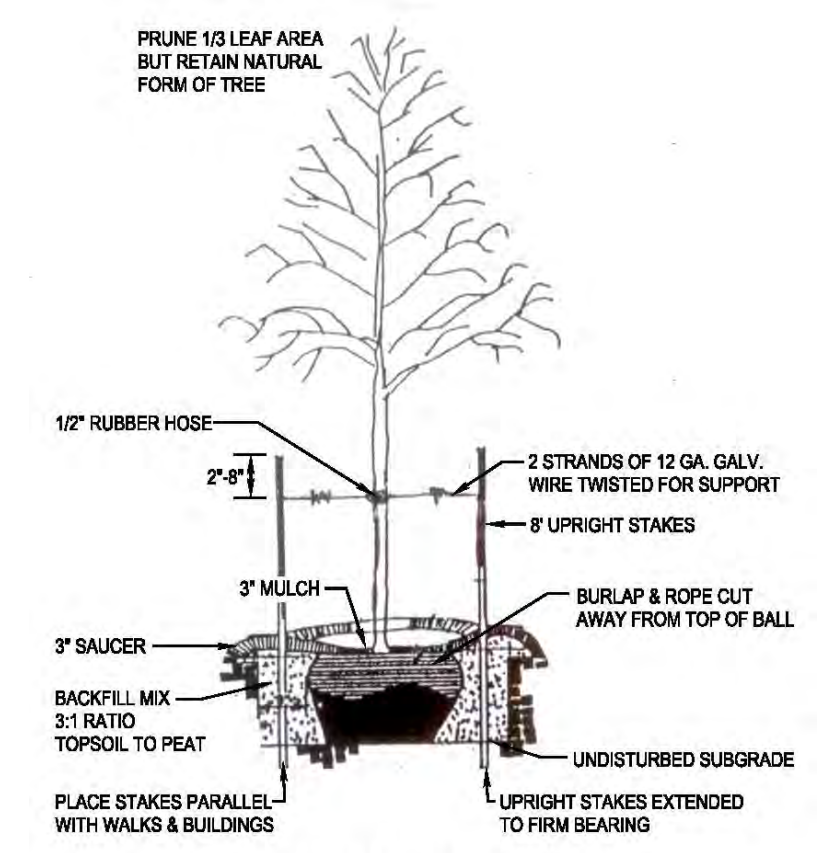
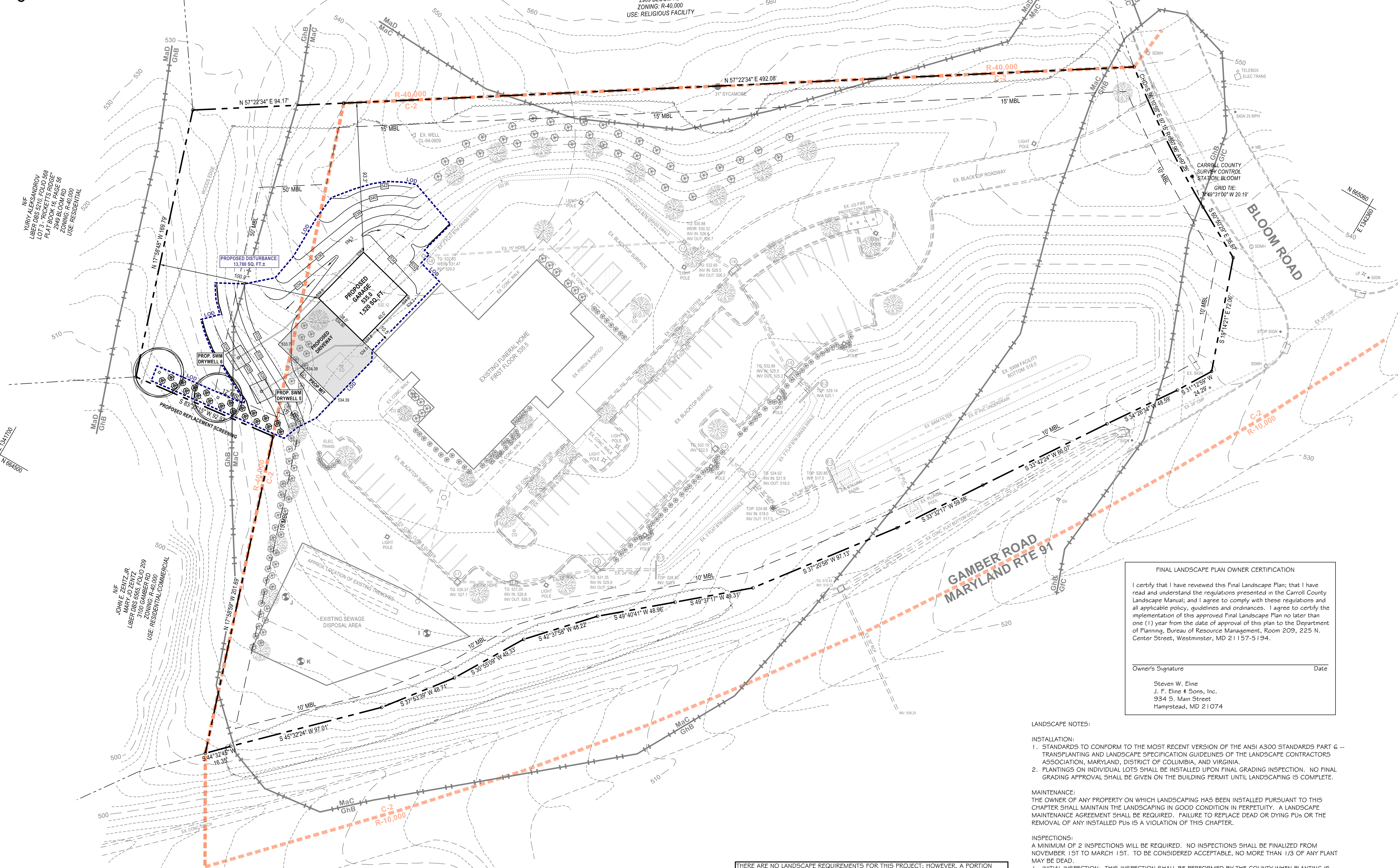
License Renew: 12/31/21

HLS engineering land + designing the future
 HANOVER LAND SERVICES, INC.
 194 E. Main Street, Westminster, MD 21157, Phone: 410-751-8795
 DRAWING NAME: SED CONTROL 25
 SCALE: 1"= 30' DATE: 03/03/25 DRAWN BY: KAH
 JOB: W230-23 CHECK BY: KAH SHEET: 3 OF 6

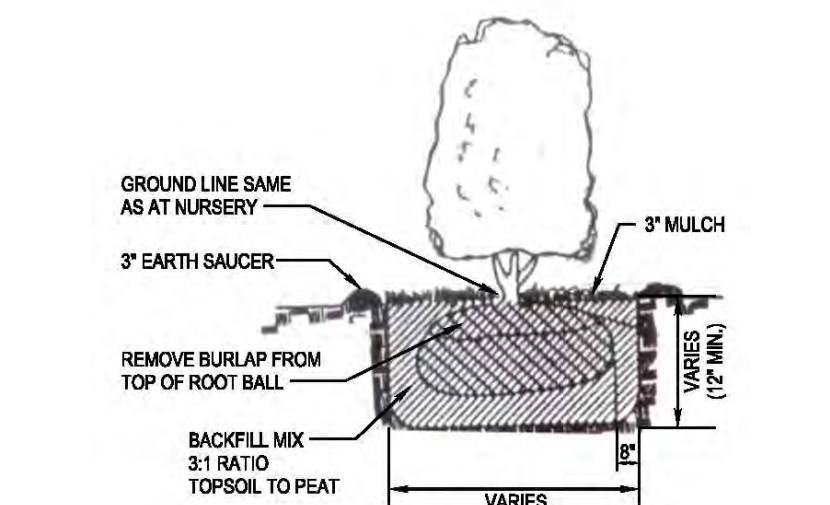
County File No.: S-24-0003



NF
 GREATER BALTIMORE TEMPLE, INC.
 LIBER DBS 6654, FOLIO 215
 2909 BLOOM RD
 ZONING: R-40,000
 USE: RELIGIOUS FACILITY



TREE PLANTING DETAIL
 NOT TO SCALE



SHRUB PLANTING DETAIL
 NOT TO SCALE

FINAL LANDSCAPE PLAN OWNER CERTIFICATION

I certify that I have reviewed this Final Landscape Plan; that I have read and understand the regulations presented in the Carroll County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan no later than one (1) year from the date of approval of this plan to the Department of Planning, Bureau of Resource Management, Room 209, 225 N. Center Street, Westminster, MD 21157-5194.

Owner's Signature _____ Date _____

Steven W. Eline
 J. F. Eline & Sons, Inc.
 934 S. Main Street
 Hampstead, MD 21074

- LANDSCAPE NOTES:**
- INSTALLATION:**
- STANDARDS TO CONFORM TO THE MOST RECENT VERSION OF THE ANSI A300 STANDARDS PART 6 - TRANSPLANTING AND LANDSCAPE SPECIFICATION GUIDELINES OF THE LANDSCAPE CONTRACTORS ASSOCIATION, MARYLAND, DISTRICT OF COLUMBIA, AND VIRGINIA.
 - PLANTINGS ON INDIVIDUAL LOTS SHALL BE INSTALLED UPON FINAL GRADING INSPECTION. NO FINAL GRADING APPROVAL SHALL BE GIVEN ON THE BUILDING PERMIT UNTIL LANDSCAPING IS COMPLETE.
- MAINTENANCE:**
- THE OWNER OF ANY PROPERTY ON WHICH LANDSCAPING HAS BEEN INSTALLED PURSUANT TO THIS CHAPTER SHALL MAINTAIN THE LANDSCAPING IN GOOD CONDITION IN PERPETUITY. A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE REQUIRED. FAILURE TO REPLACE DEAD OR DYING PLANTS OR THE REMOVAL OF ANY INSTALLED PLANTS IS A VIOLATION OF THIS CHAPTER.
- INSPECTIONS:**
- A MINIMUM OF 2 INSPECTIONS WILL BE REQUIRED. NO INSPECTIONS SHALL BE FINALIZED FROM NOVEMBER 1ST TO MARCH 1ST. TO BE CONSIDERED ACCEPTABLE, NO MORE THAN 1/3 OF ANY PLANT MAY BE DEAD.
- INITIAL INSPECTION: THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY WHEN PLANTING IS COMPLETED TO VERIFY COMPLIANCE WITH THE APPROVED PLANTING PLAN.
 - FINAL INSPECTION: THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY 12 MONTHS AFTER THE INITIAL PLANTING.
- LANDSCAPE SPECIFICATIONS:**
- ALL PLANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH THE LATEST EDITION OF HORTUS THIRD, BY "THE STAFF OF THE HORTORIUM".
- ALL NURSERY STOCK SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN, INC., STANDARDS AS DESCRIBED IN AMERICAN STANDARD FOR NURSERY STOCK, CURRENT ANSI Z60.1 SPECIFICATIONS.
- LANDSCAPE SPECIFICATIONS SHALL CONFORM TO LANDSCAPE GUIDELINES FOR MARYLAND, WASHINGTON DC, AND VIRGINIA, LATEST EDITION. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GUIDELINES.
- THREE (3) INCHES OF TOPSOIL IS REQUIRED ON ALL DISTURBED AREAS TO BE LANDSCAPED, SEEDED, OR SODDED.

THERE ARE NO LANDSCAPE REQUIREMENTS FOR THIS PROJECT; HOWEVER, A PORTION OF THE EXISTING SCREENING IS TO BE REMOVED FOR THE CONSTRUCTION OF THE GARAGE AND PAVING, THEREFORE THE OWNER WILL BE REQUIRED TO EITHER REPLANT THOSE PLANTINGS TO BE REMOVED, OR REPLACE THEM WITH NEW NURSERY STOCK, AS SHOWN ON THIS PLAN.

LANDSCAPE SCREENING SCHEDULE

PLANT SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	INSTALL SIZE	ROOT	SPACING	P.U.
	20	Thuja occidentalis 'Pyramidalis' Pyramidal Arbor Vitae	5-6 ft. tall	B x B	8-9 ft o.c.	10
	2	Acer rubrum 'October Glory' October Glory Maple	2-1/2" cal.	B x B		2

SITE LAYOUT & GRADING PLAN & LANDSCAPE PLAN
ELINE FUNERAL HOME

4TH ELECTION DISTRICT CARROLL COUNTY, MARYLAND
 TAX MAP: 58, GRID: 16, PARCEL: 589

OWNER/DEVELOPER:
 ELINE PROPERTIES FINKSBURG, LLC
 C/O ELINE FUNERAL HOME
 934 S. MAIN STREET
 HAMPSTEAD, MD 21074
 PHONE: 410-239-8163



License Expires: 12/31/27

HLS engineering land + designing the future

HANOVER LAND SERVICES, INC.
 194 E. Main Street, Westminster, MD 21157, Phone: 410-751-8795

DRAWING NAME: SITE PLAN 25
 SCALE: 1"= 30' DATE: 03/03/26 DRAWN BY: KAH
 JOB: W2030-23 CHECK BY: KAH SHEET: 4 OF 6

Keith A. Heindel
 Professional Land Surveyor
 Maryland No. 21189

COUNTY FILE NO.: S-24-0003

STORMWATER MAINTENANCE SCHEDULE
DRYWELL

MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Vegetative Cover and Erosion	Check overflow area for channelizing and bare spots.	Re-seed or re-plant in accordance with approved landscaping plans. Re-grade if concentrated flow is causing rills or gulching over the facility.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Leaves and Debris	Check that gutters, downspouts and screens are clear of leaves and debris.	Clean out gutters, downspouts and screens and dispose of leaves and debris in an acceptable manner.
Inflow and Overflow	Check for misalignments, broken pipes, and blockages. Inlet pipe and surcharge overflow "Y" or "T" must be in good condition.	Repair any broken or faulty piping. Clear out any blockages.
Dewatering	Check observation wells for water level. Water stored in stone must dewater within 48 hours of rainfall. Noticeable odors or the presence of algae or stained water are indicators of anaerobic conditions and inadequate dewatering of the facility.	Excavate, remove, clean, and replace stone and sand in accordance with approved plans.
ANNUAL INSPECTION		
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Overall Function of Facility	Check that flow conveyance is operating as designed.	Repair to good condition according to specifications on the approved plans.

STORMWATER MANAGEMENT MAINTENANCE AGREEMENT SCHEDULE

- The Stormwater Management Facility/Facilities shown on these plans shall be constructed and maintained by the owner(s).
- Owner, his heirs and assigns shall be responsible for continuous maintenance of the facility/facilities, which shall include such items as mowing, cleaning and removing sediment, trees, shrubs and debris. Requirements and schedules for specific types of facilities and practices as listed on the plans are hereby included. The time period for this continuous maintenance shall be on "as-needed" basis but shall not be delayed longer than thirty (30) days.
- Owner, his heirs or assigns shall be responsible for any structural damages or failure which may occur as a result of negligence, accident or misuse. In the event of structural damage, owner shall be responsible to make the necessary repairs as quickly as possible but in any case within thirty (30) days.
- If after notice by the County/Town/City to correct a violation requiring maintenance work, satisfactory corrections are not made by the owner(s) within thirty (30) days, the County/Town/City may perform all necessary work to place the facility in proper working condition. The owner(s) of the facility shall be assessed the cost of the work and any penalties. These monies shall be collected from a bond, which the developer is required to post with the County/Town/City to cover such expenses until "completion of the facility". "Completion of the facility" is construed to mean that all contributory drainage areas are paved or supporting a 2" stand of dense grass and that the Carroll County Bureau of Resource Management has inspected construction and a registered professional engineer has certified that the "As-Built" plans meet the plans and specifications for construction. After "completion of the facility" the monies may be collected by placing a lien on the property, or by including the costs and penalties on the property tax bill and collecting them as ordinary taxes by the County/Town/City.
- Owner(s) shall grant right-of-entry to authorized County/Town/City personnel for purposes of inspection, monitoring and/or repair. Site visits for inspectors and/or monitoring shall be conducted only during normal County working hours (8:00 a.m. to 5:00 p.m., Monday to Friday).
- This agreement including right-of-entry for inspection/maintenance and repair shall be recorded in the Land Records of the County.

STAGE	ENGINEER'S APPROVAL
	INITIALS DATE
1. ENSURE DRAINAGE AREA IS PAVED AND STABILIZED WITH 2" OF DENSE GRASS.	
2. EXCAVATE TRENCH TO PLAN DIMENSIONS.	
3. PLACE CLASS SD GEOTEXTILE ON SIDES OF TRENCH.	
4. PLACE C-33 SAND LAYER.	
5. PLACE NO. 2 WASHED STONE.	
6. PLACE CLASS E GEOTEXTILE OVER NO. 2 STONE.	
7. PLACE NO. 2 WASHED STONE OR DECORATIVE STONE OVER GEOTEXTILE.	
8. SUBMIT AS-BUILT PAPER CERTIFICATION TO CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT WITHIN 30 DAYS OF CONSTRUCTION COMPLETION.	

* PLEASE NOTIFY CERTIFYING ENGINEER 24 HOURS PRIOR TO CONSTRUCTION *

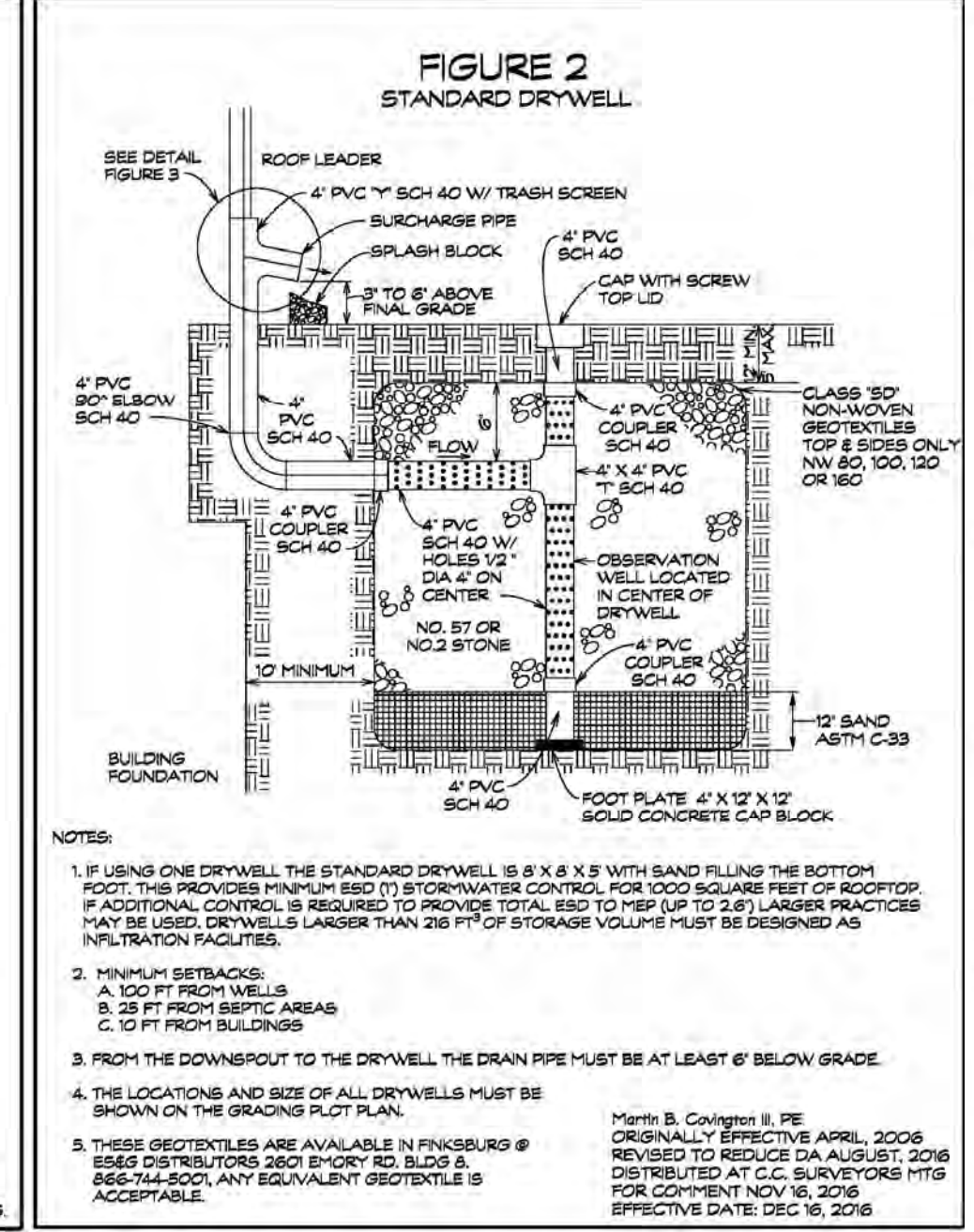
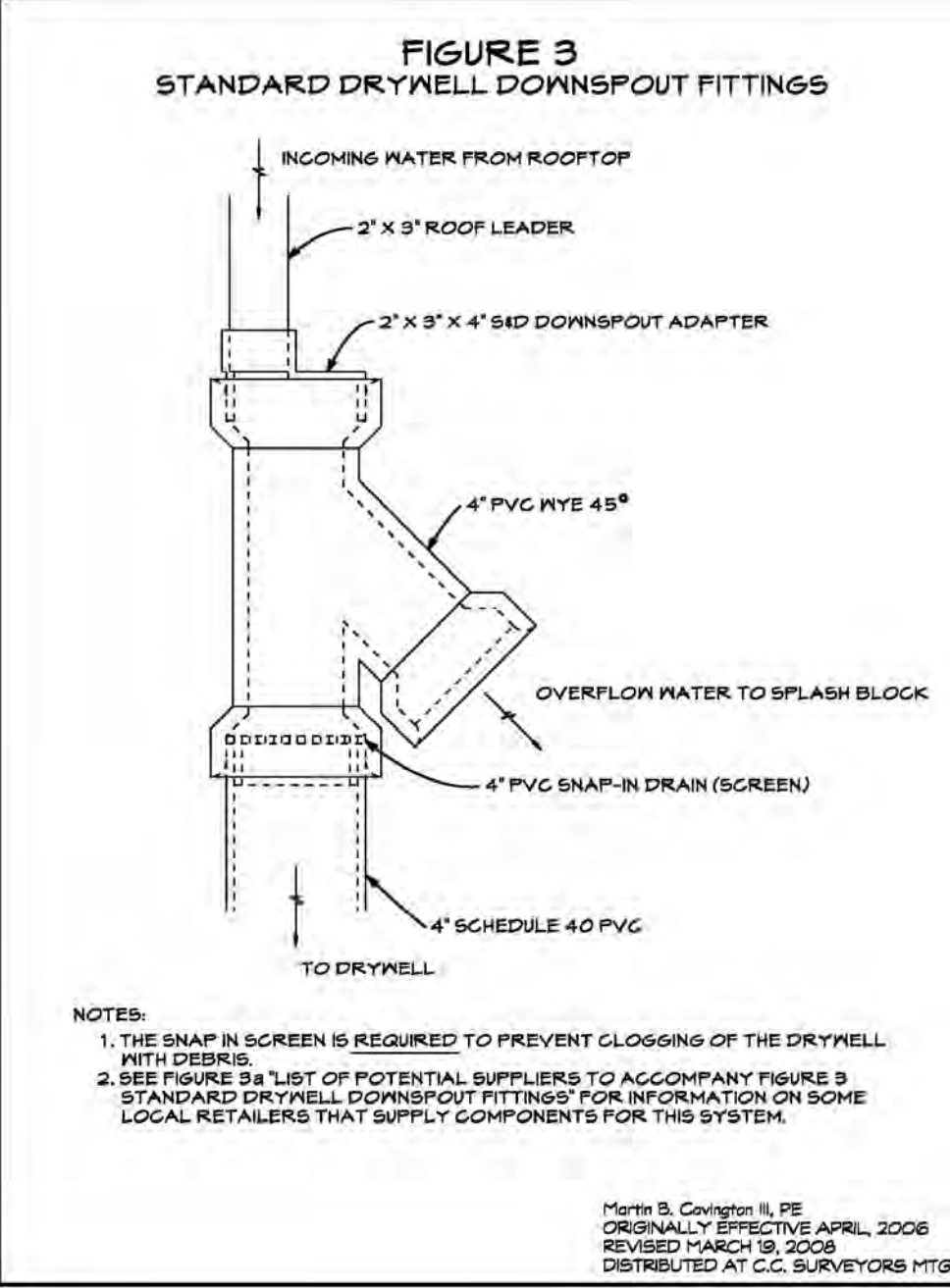
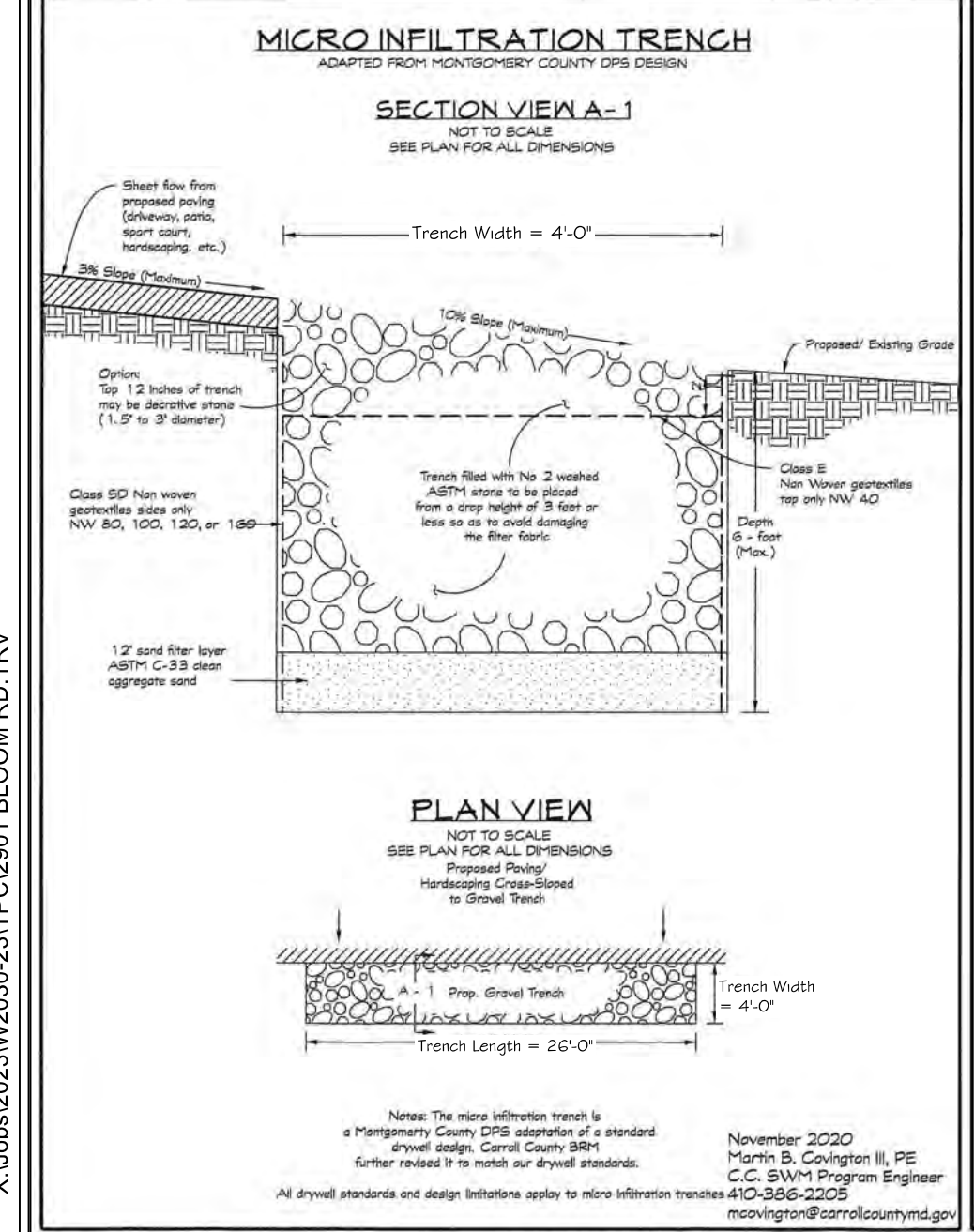
CERTIFYING ENGINEER'S NAME: _____
CERTIFYING ENGINEER'S PHONE NUMBER: _____

- SWM SEQUENCE OF CONSTRUCTION
- MICRO-INFILTRATION TRENCH
- CONTACT CERTIFYING PROFESSIONAL ENGINEER / PROFESSIONAL LAND SURVEYOR A MINIMUM OF 24 HOURS PRIOR TO BEGINNING EXCAVATION OF TRENCH. HAVE ALL MATERIALS ON SITE.
 - CONSTRUCT TRENCH PER STANDARD DETAILS AND INSPECTION CHART UNDER SUPERVISION OF CERTIFYING PROFESSIONAL ENGINEER.
 - SUBMIT AS-BUILT CERTIFICATION TO CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT FOR BOND RELEASE.



- PROPOSED DISTURBANCE: 13,780 SQ. FT.
- PROPOSED IMPERVIOUS: ROOFTOP: 1,520 SQ. FT. NON-ROOFTOP: 1,860 SQ. FT.

- REQUIRED SEQUENCE OF CONSTRUCTION:
- CONTACT THE SEDIMENT CONTROL INSPECTOR 24 HOURS PRIOR TO ANY WORK BEING PERFORMED TO ARRANGE A PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF SWM AND SEDIMENT CONTROL INSPECTOR AT (410) 386-2100 AT LEAST (3) THREE WORKING DAYS PRIOR TO BEGINNING WORK.
 - CLEAR AND GRUB. INSTALL SILT FENCE & STABILIZED CONSTRUCTION ENTRANCE. ADDITIONAL SEDIMENT CONTROL FACILITIES MAY BE REQUIRED AS DIRECTED.
 - WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, BEGIN EARTHMOVING ACTIVITIES.
 - CONSTRUCT THE GARAGE. INSTALL DOWNSPOUTS & ROOF LEADERS.
 - INSTALL SITE PAVING.
 - FINE GRADE SITE ALL REMAINING AREAS NOT PREVIOUSLY GRADED AND STABILIZED. PERMANENTLY STABILIZE SAID GRASS AREAS.
 - INSTALL DRYWELLS AND MICRO-INFILTRATION TRENCH. (REFER TO SPECIFIC SEQUENCE OF CONSTRUCTION AND INSPECTION CHART)
 - WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES. PERMANENTLY STABILIZE ALL AREAS DISTURBED BY THIS PROCESS.



MONTHLY INSPECTION		
INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION
DEBRIS AND TRASH	CHECK FOR TRASH AND DEBRIS IN FACILITY AND AREA AROUND FACILITY.	REMOVE ALL TRASH AND DEBRIS AND DISPOSE IN AN ACCEPTABLE MANNER.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
DEWATERING	CHECK PONDING LEVEL. SURFACE STORAGE MUST DEWATER WITHIN 48 HOURS OF RAINFALL. NOTICEABLE ODORS, STAINED WATER ON THE FILTER SURFACE OR AT THE OUTLET, OR THE PRESENCE OF ALGAE OR AQUATIC VEGETATION ARE INDICATORS OF ANAEROBIC CONDITIONS AND INADEQUATE DEWATERING OF THE FACILITY.	REMOVE AND REPLACE TOP LAYER OF STONE, ANY ACCUMULATED SEDIMENT AND DEBRIS, AND CLASS E GEOTEXTILE IF THE FACILITY DOES NOT FUNCTION AS INTENDED AFTER THE ABOVE ACTION. THE ENTIRE SYSTEM MAY NEED REFURISHING.
BROBION	CHECK THAT SHEET PILING IS BEING MAINTAINED INTO AND OUT OF PRACTICE. CHECK TRENCH SURFACE AND SIDE SLOPES FOR EROSION, RILLS, GULLIES, AND RUNOFF CHANNELIZATION.	RE-GRADE IF CONCENTRATED FLOW IS CAUSING RILLS OR GULLING THROUGH THE FACILITY. GRADE VEGETATE, AND/OR ARMOR TO PREVENT FURTHER EROSION IN ACCORDANCE WITH APPROVED PLANS.
SEDIMENT ACCUMULATION	CHECK FOR ACCUMULATED SEDIMENT IN CONVEYANCE SYSTEMS. CHECK FOR ACCUMULATED SEDIMENT ON TRENCH SURFACE. CHECK FOR CLOSED OPENINGS.	REMOVE AND REPLACE TOP LAYER OF STONE, ANY ACCUMULATED SEDIMENT AND DEBRIS, AND CLASS E GEOTEXTILE. DISPOSE OF ALL SEDIMENT IN AN ACCEPTABLE LOCATION.
ANNUAL INSPECTION		
MAINTENANCE ACCESS	CHECK FOR ACCESSIBILITY TO FACILITY.	PREVENT EXCESSIVE VEGETATIVE GROWTH, EROSION, AND OBSTRUCTIONS ON ACCESS WAY.
OVERALL FUNCTION OF FACILITY	CHECK THAT PRACTICE IS FUNCTIONING AS DESIGNED.	REPAIR TO GOOD CONDITION ACCORDING TO SPECIFICATIONS ON THE APPROVED PLANS.

ENGINEER'S DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

MELANIE L. REPP
PROFESSIONAL ENGINEER NO. 43203
EXPIRATION DATE: 12/20/2026

DATE _____

DEVELOPER'S / LANDOWNER'S CERTIFICATION

WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. WE ALSO UNDERSTAND THAT IT IS OUR RESPONSIBILITY TO HAVE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY. WE ALSO CERTIFY THAT THIS STORMWATER MANAGEMENT FACILITY WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH SECTIONS 151.095 AND 151.096 OF THE CODE OF PUBLIC LAWS AND ORDINANCES OF CARROLL COUNTY.

STEVEN W. ELINE FOR ELINE PROPERTIES FINKSBURG, LLC
DATE _____

ENGINEER'S "AS-BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT THIS FACILITY WAS INSPECTED IN ACCORDANCE WITH SECTIONS 151.095 AND 151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED _____ DATE _____

STORMWATER MANAGEMENT PLAN
ELINE FUNERAL HOME
4TH ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP: 59, GRID: 16, PARCEL: 589

OWNER/DEVELOPER:
ELINE PROPERTIES FINKSBURG, LLC
C/O ELINE FUNERAL HOME
934 S. MAIN STREET
HAMPSTEAD, MD 21074
PHONE: 410-239-8163

30' 0 30' 60'

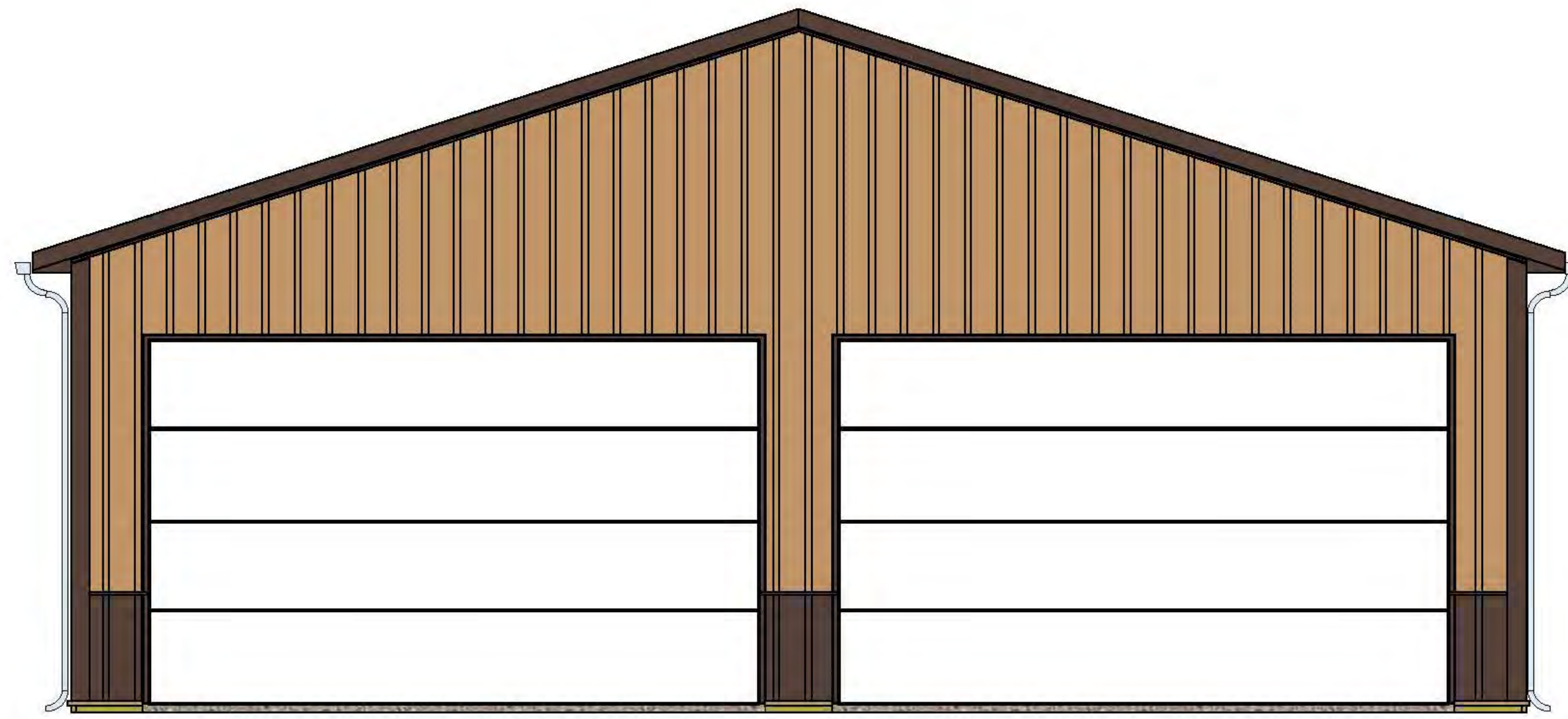
License Renew: 12/31/21

HLS engineering land + designing the future
HANOVER LAND SERVICES, INC.
154 E. Main Street, Westminster, MD 21157, Phone: 410-751-8795

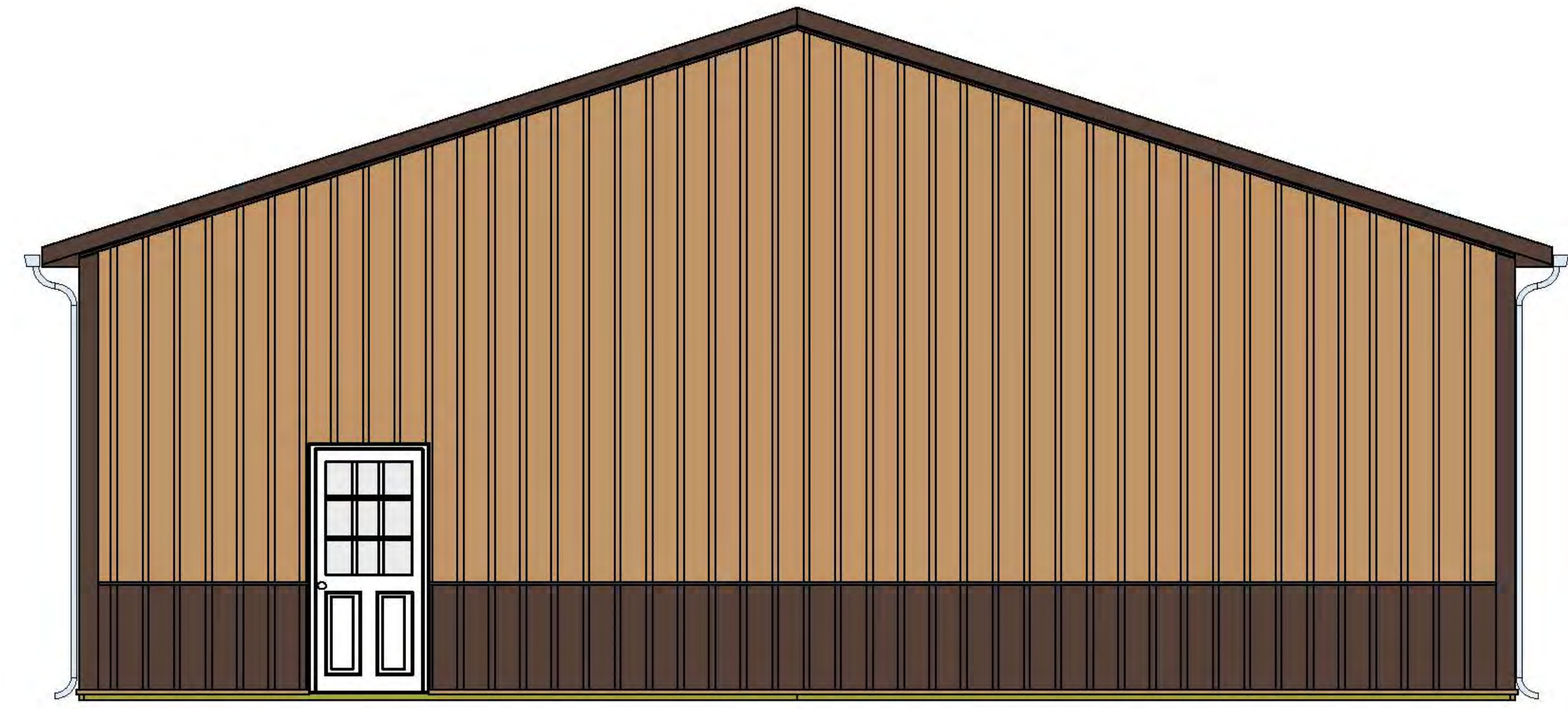
DRAWING NAME: SWM 25
SCALE: 1"= 30' DATE: 03/03/26 DRAWN BY: KAH
JOB: W2030-23 CHECK BY: KAH SHEET: 5 OF 6

Keith A. Heindel
Professional Land Surveyor
Maryland No. 21189

COUNTY FILE NO.: S-24-0003



FRONT ELEVATION
NOT TO SCALE



REAR ELEVATION
NOT TO SCALE



LEFT SIDE ELEVATION
NOT TO SCALE



RIGHT SIDE ELEVATION
NOT TO SCALE

**GARAGE ELEVATIONS
ELINE FUNERAL HOME
1ST AMENDED SITE PLAN**

4TH ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP: 59, GRID: 16, PARCEL: 569

OWNER/DEVELOPER:
ELINE PROPERTIES FINKSBURG, LLC
C/O ELINE FUNERAL HOME
934 S. MAIN STREET
HAMPSTEAD, MD 21074
PHONE: 410-239-8163

License Renewals: 12/31/2027

HLS engineering land • designing the future
HANOVER LAND SERVICES, INC.
194 E. Main Street, Westminster, MD 21157, Phone: 410-751-8795
DRAWING NAME: BLDG ELEV
SCALE: NTS DATE: 03/03/26 DRAWN BY: KAH
JOB: W2030-23 CHECK BY: KAH SHEET: 1/1

Keith A. Heindel
Professional Land Surveyor
Maryland No. 21189

COUNTY FILE NO. : S-24-0003