

T:\2021\Facilities\20211253.005A Beaty Property Reservoir Run\CIVIL\CADD\Drawings\20211253.005A (C-1&2) Cover & Abrev Sheet.dwg Apr 22, 2025 10:18am fhanghr

SITE DETAILS

1. EXISTING ZONING: R-20,000 - RESIDENTIAL DISTRICT
2. TOTAL AREA OF SITE: 20.71 AC (902,053.37 S.F.)
3. EXISTING USE: FALLOW/ FARM
4. PROPOSED USE: 55+ RETIREMENT VILLAGE
5. THE PROPERTIES SHOWN HEREON IS OWNED BY:  
LONG MEADOW PARK, LLC  
2560 LORD BALTIMORE RD  
BALTIMORE, MD 21244
6. TAX MAP: 73  
PARCEL : 262  
GRID: #6
7. PROPERTY BOUNDARY AND EXISTING TOPOGRAPHY SHOWN PER FIELD SURVEY BY SAMS COMPANIES (FORMERLY MTPLS, INC.) DATED 11/2021.
8. LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION ARE EXISTING HYDRANTS LOCATED ON LONG MEADOW DR. AND ROLLING VIEW DR. ADDITIONAL HYDRANTS ARE PROPOSED ON SITE AS PART OF THIS SITE DEVELOPMENT PLAN TO ADDRESS FIRE PROTECTION REQUIREMENTS.
9. THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND WERE BASED ON ARCHIVAL DRAWINGS PROVIDED BY CARROLL COUNTY AND/OR THE STATE OF MARYLAND. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES TO THEIR OWN SATISFACTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY RESULTING FROM ANY INACCURACIES THEREON.
10. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES, AND NOT COMMENCE WORK UNTIL ALL UTILITIES HAVE BEEN CLEARLY MARKED.
11. THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
12. ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
13. THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF THE TIME LIMIT HAS BEEN ISSUED BY THE DIRECTOR OF PLANNING AND LAND MANAGEMENT.
14. NOTE: ALL PROPOSED SPOT ELEVATIONS ARE LOCATED AT BOTTOM OF CURB AND ALL DIMENSIONS ARE TO FACE OF CURB UNLESS LABELED OTHERWISE.
15. THE COORDINATES SHOWN HEREON ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM - NAD 83 (2011) AND ARE BASED UPON THE FOLLOWING CONTROL STATIONS:

DESIGNATION	NORTH (SFT)	EAST (SFT)	ELEV.
"BEVARD"	633722.46	1326946.06	615.11
"BEVARD AZ"	633573.26	1328331.51	583.43

16. THERE IS AN EXISTING COUNTY REGULATED FLOODPLAIN AS WELL AS WETLANDS, STREAMS AND ASSOCIATED BUFFERS ON SITE.
17. THE SITE IS APPROXIMATELY 10,000' FROM THE NEAREST PRODUCTION WELL.
18. NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY.
19. UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES ONCE APPROVAL HAS BEEN GRANTED.
20. ENTRANCE CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THAT OFFICE AT 410-386-2157 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING WORK IN OR ALONG ANY PUBLIC ROAD.
21. CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF UTILITIES AT 410-386-2164 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON PUBLIC WATER OR SEWER WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS.
22. THE SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND MANAGEMENT AREA, IF THE PROPOSED USE OF ANY BUILDING IS TO INCLUDE THE STORAGE OR USE OF REGULATED SUBSTANCES, THE REQUIREMENTS OF CHAPTER 154, WATER RESOURCE MANAGEMENT OF THE CARROLL COUNTY CODE OF PUBLIC LOCAL LAWS AND ORDINANCES MUST BE ADDRESSED.
21. VARIABLE WIDTH STREAM BUFFER DELINEATION AND SUBSEQUENT EASEMENT DEDICATION ARE BEING ADDRESSED UNDER ELDERSBURG CORPORATE PARK (S-23-0022) SITE PLAN. IF THIS PLAN IS APPROVED PRIOR TO SITE PLAN (S-23-0022), ALL REQUIREMENTS OF CHAPTER 154 MUST BE ADDRESSED ON THIS PLAN FOR ANY WATER RESOURCES ON SITE.
22. IMPACTS TO WATER RESOURCES RESULTING FROM THE ROAD CONSTRUCTION AND STREAM CROSSING ARE BEING ADDRESSED UNDER ELDERSBURG COPORATE PARK (S-23-0022) SITE PLANS. F THIS PLAN IS APPROVED PRIOR TO SITE PLAN (S-23-0022), ALL REQUIREMENTS OF CHAPTER 154 MUST BE ADDRESSED ON THIS PLAN FOR ANY WATER RESOURCES ON SITE.
23. THERE ARE NO TRAIL BLAZER ROUTE/ STOPS NEAR THE SUBJECT PROPERTY.
24. WHERE SIDEWALKS CROSS DRIVEWAYS THE MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2.00%.
25. GEORGETOWN BOULEVARD EXTENDED WILL BE CONSTRUCTED WITH ELDERSBURG CORPORATE PARK (S-23-0022).

CONCEPT SITE DEVELOPMENT PLANS  
FOR  
RESERVOIR RUN  
A RETIREMENT VILLAGE

TAX MAP# 73, GRID# 6, PARCEL# 246  
ELECTION DISTRICT: 5 CARROLL COUNTY, MARYLAND

SITE ADDRESS  
1701 BENNETT ROAD  
ELDERSBURG, MD 21784



LOCATION MAP  
SCALE: 1"=400'

PARKING TABULATION

USE: AGE RESTRICTED ADULT HOUSING

REQUIRED: 2 SPACES PER EACH DWELLING UNIT  
72 DWELLING UNITS X 2 = 144 SPACES

PROVIDED: 2 GARAGE SPACES + 2 DRIVEWAY SPACES = 4 SPACES PER DWELLING UNIT  
72 DWELLING UNITS X 4 = 288 SPACES  
29 OVERFLOW PARKING SPACES

TRIP GENERATION:

ITE TRIP GENERATION MANUAL (11<sup>TH</sup> EDITION) METHODOLOGY USED:

#252 SENIOR ADULT HOUSING - MULTIFAMILY (72 UNITS)

9 AM PEAK HOUR TRIPS  
8 PM PEAK HOUR TRIPS  
12 SATURDAY PEAK HOUR TRIPS  
233 AVERAGE DAILY TRIPS (ADT)

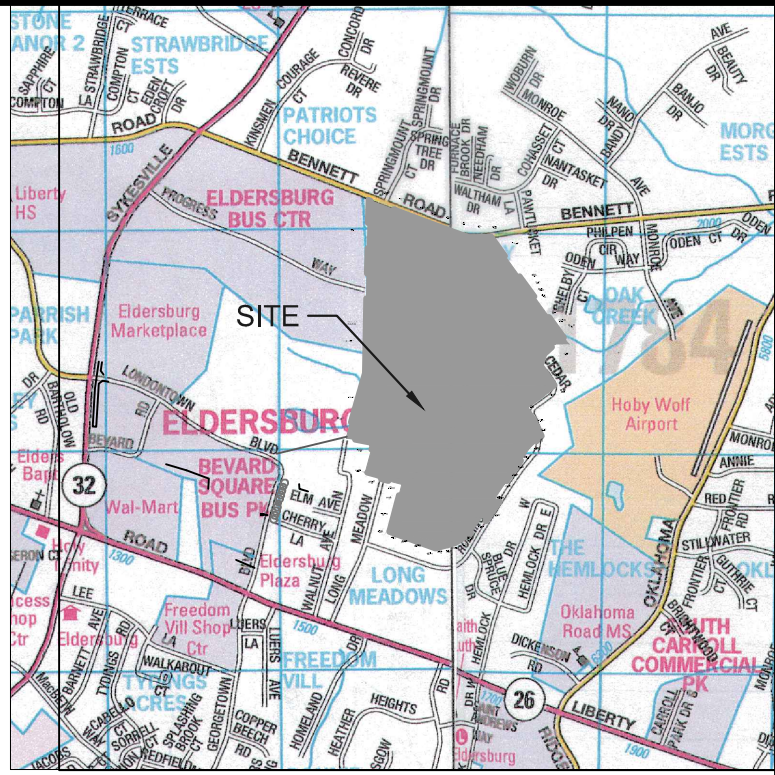
OWNER  
LONG MEADOW PARK LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

S-25-0007		
DATE	BY	REVISIONS

DATE: 3/24/2025	SCALE: AS SHOWN
PROJECT NUMBER: 20211253.005A	

PROFESSIONAL  
CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME AND  
THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.  
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026



VICINITY MAP  
SCALE: 1"=2000'

LIST OF DRAWINGS

1. COVER SHEET
2. ABBREVIATIONS AND LEGENDS SHEET
3. EXISTING CONDITIONS PLAN
4. SITE, UTILITY AND GRADING PLAN KEY SHEET
5. SITE, UTILITY AND GRADING PLAN SHEET
6. SITE, UTILITY AND GRADING PLAN SHEET
7. SITE, UTILITY AND GRADING PLAN SHEET
8. SITE, UTILITY AND GRADING PLAN SHEET
9. SITE DETAILS
10. SEDIMENT AND EROSION CONTROL KEY SHEET
11. SEDIMENT AND EROSION CONTROL PLAN SHEET
12. SEDIMENT AND EROSION CONTROL PLAN SHEET
13. SEDIMENT AND EROSION CONTROL PLAN SHEET
14. SEDIMENT AND EROSION CONTROL PLAN SHEET
15. SEDIMENT AND EROSION CONTROL SPECIFICATIONS
16. SEDIMENT AND EROSION CONTROL DETAILS
17. SEDIMENT AND EROSION CONTROL DETAILS
18. LANDSCAPE PLAN KEY SHEET
19. LANDSCAPE PLAN
20. LANDSCAPE PLAN
21. LANDSCAPE PLAN
22. LANDSCAPE PLAN
23. BUILDING ELEVATIONS AND LIGHTS PLAN

STORMWATER MANAGEMENT NOTE

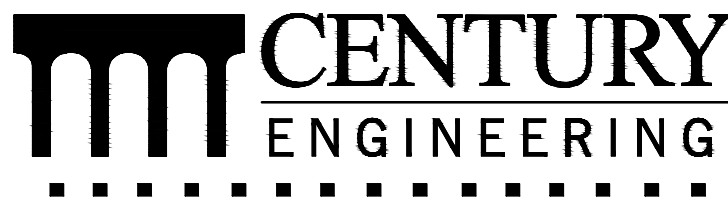
STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE CARROLL COUNTY POLICY FOR STORMWATER MANAGEMENT, AS SPECIFIED IN CHAPTER 151.015 THE CARROLL COUNTY CODE. THE STORMWATER FROM THIS SITE DRAINS INTO SNOWDENS RUN, A USE II STREAM. ACCORDINGLY, THE 100-YEAR STORM WILL BE MANAGED THROUGH A COMBINATION OF GRASS SWALES, SAND FILTERS, SUBMERGED GRAVEL WETLANDS, MICRO-BIORETENTION FACILITIES, AND QUANTITY PONDS.

WATER RESOURCE MANAGEMENT NOTE

THIS PROPERTY DOES NOT FALL WITHIN A TIER II WATERSHED. THE PROPERTY IS WITHIN A TIER III WATERSHED, SURFACE WATER PROTECTION WATERSHED, AND SURFACE WATER MANAGEMENT AREA.

DATA SOURCES

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.



A Kleinfelder Company

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Phone: 443.589.2400 www.centuryeng.com

CONCEPT SITE DEVELOPMENT PLANS  
FOR 55+ RETIREMENT VILLAGE

COVER SHEET

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD

PROFESSIONAL  
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME AND  
THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.

LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

DRAWING:



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GENERAL NOTES

1. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES:  
A. DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.  
B. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.  
C. BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.  
D. STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, 2008 EDITION, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.  
E. MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.  
F. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.
- ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.
2. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
3. CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
4. LOCATIONS OF EXISTING UTILITIES ARE SHOWN ONLY AS NOTIFICATION TO CONTRACTOR OF THE PRESENCE OF UNDERGROUND UTILITIES. CARROLL COUNTY AND THE DESIGN ENGINEER DO NOT WARRANT OR GUARANTEE CORRECTNESS OR COMPLETENESS OF INFORMATION SHOWN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY AT 1-800-257-7777 FOR VERIFYING EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY DAMAGE TO EXISTING UTILITIES DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
5. DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.
6. IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
7. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLICWORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.
8. FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.
9. CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.
10. DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.
11. INLET GRATES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.
12. PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
13. WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1.0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED ON PLANS.
14. ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED IN THE UTILITY PERMIT.
15. ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON THE TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE. AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.
16. OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROW MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.
17. THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.
18. PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.
19. CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY PUBLIC RIGHT-OF-WAY.

ABBREVIATIONS

APPROX.	APPROXIMATELY
AVE	AVENUE
BGE	BALTIMORE GAS & ELECTRIC
BL	BASELINE
C.O.	CLEANOUT
CAP	CONCRETE ARCH PIPE
cfs	CUBIC FEET PER SECOND
C.I.	CAST IRON
CL	CLEARANCE/CLEAR
C.L.F.	CHAIN LINK FENCE
CL IV	CLASS IV
CMAQ	CORRUGATED METAL ARCH PIPE
CMP	CORRUGATED METAL PIPE
CONC.	CONCRETE
C&P	CHESAPEAKE & POTOMAC
CL	CENTER LINE
D.	STORM DRAIN
D.C.	DETECTOR CHECK
D.I.	DUCTILE IRON
D.I.P./DIP	DUCTILE IRON PIPE
DEPT	DEPARTMENT
DWG	DRAWING
(E)	EAST
E.B.	EAST BOUND
ELEC	ELECTRIC
ELEV	ELEVATION
ESMT	EASEMENT
EX.	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF/FFE	FINISHED FLOOR ELEVATION
F.H.	FIRE HYDRANT
fps	FEET PER SECOND
G.	GAS
G.W.	GUY WIRE
GALV.	GALVANIZED
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HGL	HYDRAULIC GRADE LINE
H.B.	HAND BOX
HORIZ	HORIZONTAL
HWY	HIGHWAY
I.	INLET
INV.	INVERT
LN	LANE
LP	LOW PRESSURE
M/MH	MANHOLE (STORM DRAIN)
MIN.	MINIMUM
(N)	NORTH
N.B.	NORTH BOUND
N/A	NOT APPLICABLE
NAD	NORTH AMERICAN DATUM
NAVD	NORTH AMERICAN VERTICAL DATUM
OHE	OVERHEAD ELECTRIC
PKWY	PARKWAY
PR/PROP.	PROPOSED
PVC	POLYVINYL CHLORIDE
QTY.	QUANTITY
R/W	RIGHT-OF-WAY
RCCP	REINFORCED CIRCULAR CONCRETE PIPE
RET	RETAINING
REV	REVISION
RD	ROOF DRAIN
(S)	SOUTH
S./SAN.	SANITARY
S.B.	SOUTH BOUND
S.H.C	SANITARY HOUSE CONNECTION
S/W	SIDEWALK
SCH	SCHEDULE
SD.	STORM DRAIN
SMH	SANITARY MANHOLE
SQ.FT.	SQUARE FEET
ST.	STREET
STD.	STANDARD
TCB	TRAFFIC CONTROL BOX
TYP.	TYPICAL
U/G	UNDER GROUND
UK	UNKNOWN
VERT	VERTICAL
(W)	WEST
W.	WATER
W.B.	WEST BOUND
W/	WITH
WHC	WATER HOUSE CONNECTION
WM	WATER METER

SITE LEGEND

<div><div>ZONE: C-2</div><div>ZONE: I-1</div><div>N 30°52'32" W - 100.00'</div></div>	Zoning Line
<div><div></div><div></div></div>	Property line with Bearing & Distance
<div><div></div><div></div></div>	Adjoiner Property line
<div><div></div><div></div></div>	Existing Easement line
<div><div>-300</div><div></div></div>	Existing Field Run Major Contour
<div><div>-299</div><div></div></div>	Existing Field Run Minor Contour
<div><div>-300</div><div></div></div>	Existing GIS Major Contour
<div><div>-298</div><div></div></div>	Existing GIS Minor Contour
<div><div>13UC (A)</div><div>45UB (C)</div><div>  </div></div>	Existing Soils Limits with HSG Designation
<div><div>Ex 15" SD</div><div>SD</div><div><div></div></div></div>	Existing Storm Drain Line (Less than 24") with Manhole
<div><div>Ex 30" SD</div><div></div></div>	Existing Storm Drain Line (24" and Greater)
<div><div><div></div></div><div><div></div></div><div><div></div></div></div>	Existing Storm Drain Inlets
<div><div>Ex 8" S</div><div>S</div><div><div></div></div></div>	Existing Sanitary Sewer Line With Manhole
<div><div>Ex 8" W</div><div>W</div><div><div></div></div></div>	Existing Water Line With Valve
<div><div>Ex 8" GAS</div><div>G</div><div><div></div></div></div>	Existing Gas Line With Valve
<div><div>UGE</div><div></div></div>	Existing Underground Electric Lines
<div><div><div></div></div><div>OHE</div></div>	Existing Overhead Electric Lines with Pole
<div><div>X</div><div>X</div><div>X</div></div>	Existing Chainlink Fence
<div><div>//</div><div>//</div><div>//</div><div>//</div></div>	Existing Wood Fence
<div><div>==</div><div>==</div><div>==</div><div>==</div></div>	Existing Pavement Edge
<div><div>==</div><div>==</div><div>==</div><div>==</div></div>	Existing Curb & Gutter
<div><div>---</div><div>---</div><div>---</div><div>---</div></div>	Existing Sidewalk
<div><div></div></div>	Existing Structure
<div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div></div>	Existing Treeline
<div><div>//</div><div>//</div><div>//</div><div>//</div></div>	Existing Wood Fence
<div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></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NOTE: ALL ITEMS SHOWN IN LEGEND MAY NOT BE PRESENT ON ALL SHEETS; REFER TO INDIVIDUAL PLAN SHEETS FOR SUPPLEMENTAL PLAN-SPECIFIC LEGENDS.

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

OWNER  
LONG MEADOW PARK LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
PHONE NO: 410-369-1207

S-25-0007		
DATE	BY	REVISIONS

DATA SOURCES

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4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.

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ENGINEERING

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CONCEPT SITE DEVELOPMENT PLANS  
FOR 55+ RETIREMENT VILLAGE

LEGENDS & ABBREVIATIONS  
SHEET

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5    CARROLL COUNTY, MD

PROFESSIONAL  
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS  
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THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.

LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

DATE: 3/24/2025

SCALE: AS SHOWN

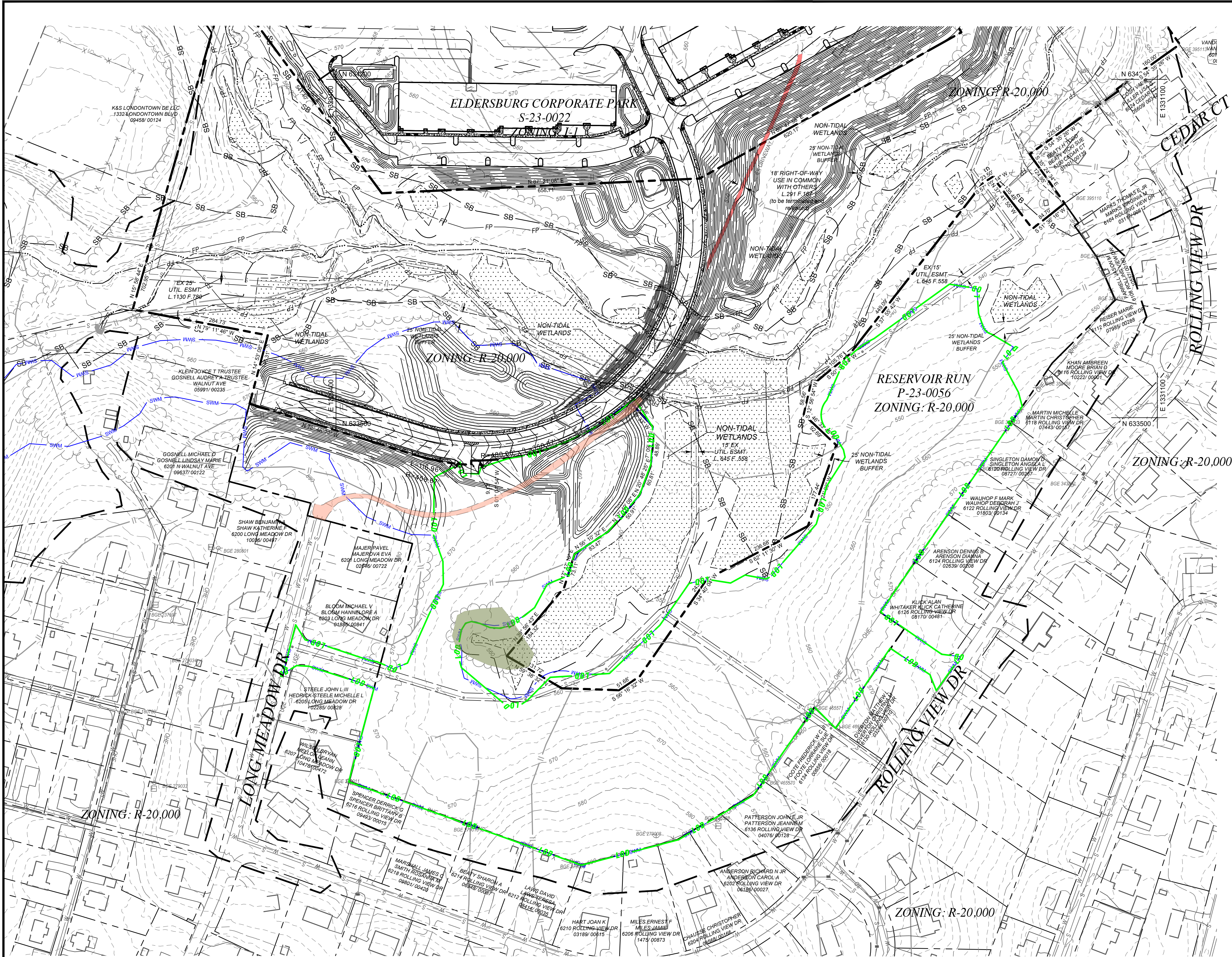
DRAWING:

PROJECT NUMBER: 20211253.005A

2 of 23



T:\2021\Facilities\20211253.005A Beaty Property Reservoir Run\CIVIL\CADD\Drawings\20211253.005A (C-344) Existing Conditions.dwg Apr 22, 2025 9:18am rlangrehr



## LEGEND

- Existing Impervious Areas within LOD
- Existing Wooded Areas within LOD
- EX. Meadow Within LOD
- LOD
- SWM
- Limit of Disturbance
- SWM Study Area (For ESD Computations)

REFER TO SHEET 2 FOR  
MASTER LEGEND.

R-20,000 ZONED AREA

Table 5.1 Natural Resources and the Corresponding Regulatory Authorities

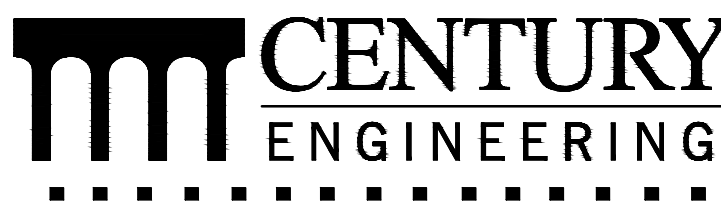
FEDERAL		STATE		LOCAL	
Wetlands	Not Present	Tidal and Non-Tidal Wetlands	Shown	Steep Slopes	Shown
Major Waterways	Not Present	Wetlands of Special State Concern	Not Present	Highly Erodible Soils	Not Present
Floodplains	Not Present	Wetland Buffers	Shown	Enhanced Stream Buffers	Not Present
		Stream Buffers	Shown	Topography/Slopes	Shown
		Perennial Streams	Shown	Springs	Not Present
		Floodplains	Shown	Seeps	Not Present
		Forests	Shown	Intermittent Streams	Not Present
		Forest Buffers	Not Present	Vegetative Cover	Shown
		Critical Area	Not Present	Soils	Shown
				Bedrock/Geology	Not Present
				Existing Drainage Areas	Shown

NRCS HYDROLOGIC SOIL GROUP - CARROL COUNTY, MARYLAND

MAP UNIT SYMBOL	MAP UNIT NAME	HSG RATING	k RATING	DRAINAGE CLASS
BaA	Beltsville silt loam, 0 to 2% slopes	C	0.37	Poorly Drained
GaC	Galla Loam, 8 to 15% slopes	B	0.49	Well Drained
GaD	Galla Loam, 15 to 25% slopes	B	0.49	Well Drained
GdB	Glenelg Loam, 3 to 8% slopes	B	0.24	Well Drained
GdC	Glenelg Loam, 8 to 15% slopes	B	0.24	Well Drained
GeC	Glenelg Channery Loam 8 to 15% slopes	B	0.24	Well Drained
GfB	Glenelg-Urban Land Complex, 0 to 8% slopes	B	0.28	Well Drained
GfC	Glenelg-Urban Land Complex, 8 to 15% slopes	B	0.28	Well Drained
GhB	Glenville Silt Loam, 3 to 8%	C/D	0.37	Moderately Well Drained
GkA	Glenville-Urban land Udorthents complex, 0 to 8% slopes	C	.37	Moderately Well Drained
MaB	Manor Loam, 3 to 8% slopes	B	0.24	Well Drained
MaC	Manor Loam, 8 to 15% slopes	B	0.28	Well Drained
MaD	Manor Loam, 15 to 25% slopes	B	0.28	Well Drained
MaF	Manor Loam, 25 to 45% slopes	B	0.24	Well Drained
UrB	Urban Land-Udorthents complex, 0 to 8% Slopes	D	No "k" Factor	No Drainage Class
WhB	Wheaton-Glenelg Complex, 0 to 8% slopes	B	0.37	Well Drained

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CONCEPT SITE DEVELOPMENT PLANS  
FOR 55+ RETIREMENT VILLAGE  
EXISTING CONDITIONS PLAN

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD

## PROFESSIONAL CERTIFICATION

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DATE: 3/24/2025 SCALE: AS SHOWN  
PROJECT NUMBER: 20211253.005A

DRAWING:

3 of 23

## PLAN

SCALE: 1"=100'



SCALE: 1" = 100'

## OWNER

LONG MEADOW PARK LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
PHONE NO: 410-369-1207

## DEVELOPER

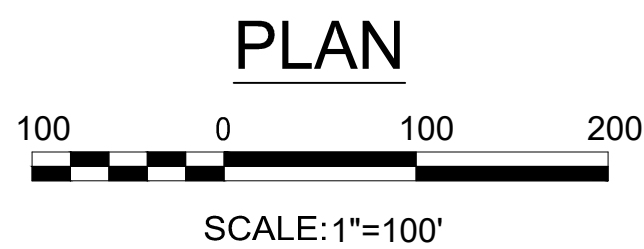
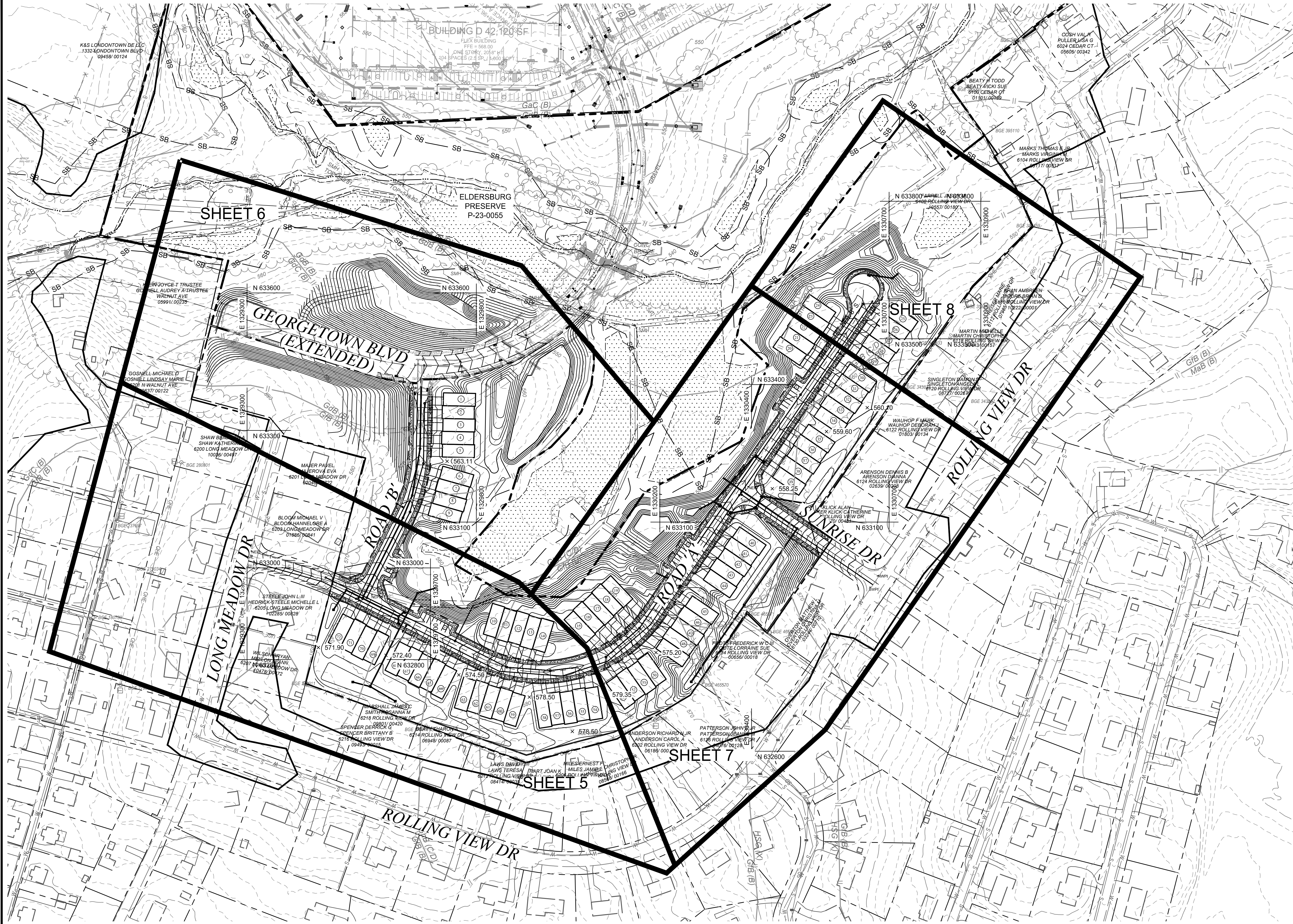
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S-25-0007

DATE	BY	REVISIONS



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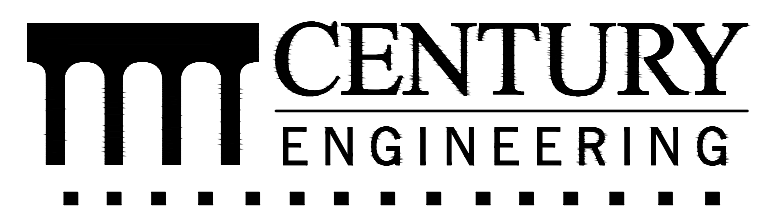
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## CONCEPT SITE DEVELOPMENT PLANS FOR 55+ RETIREMENT VILLAGE SITE, GRADING AND UTILITY KEY SHEET RESERVOIR RUN

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ELECTION DISTRICT: 5 CARROLL COUNTY, MD

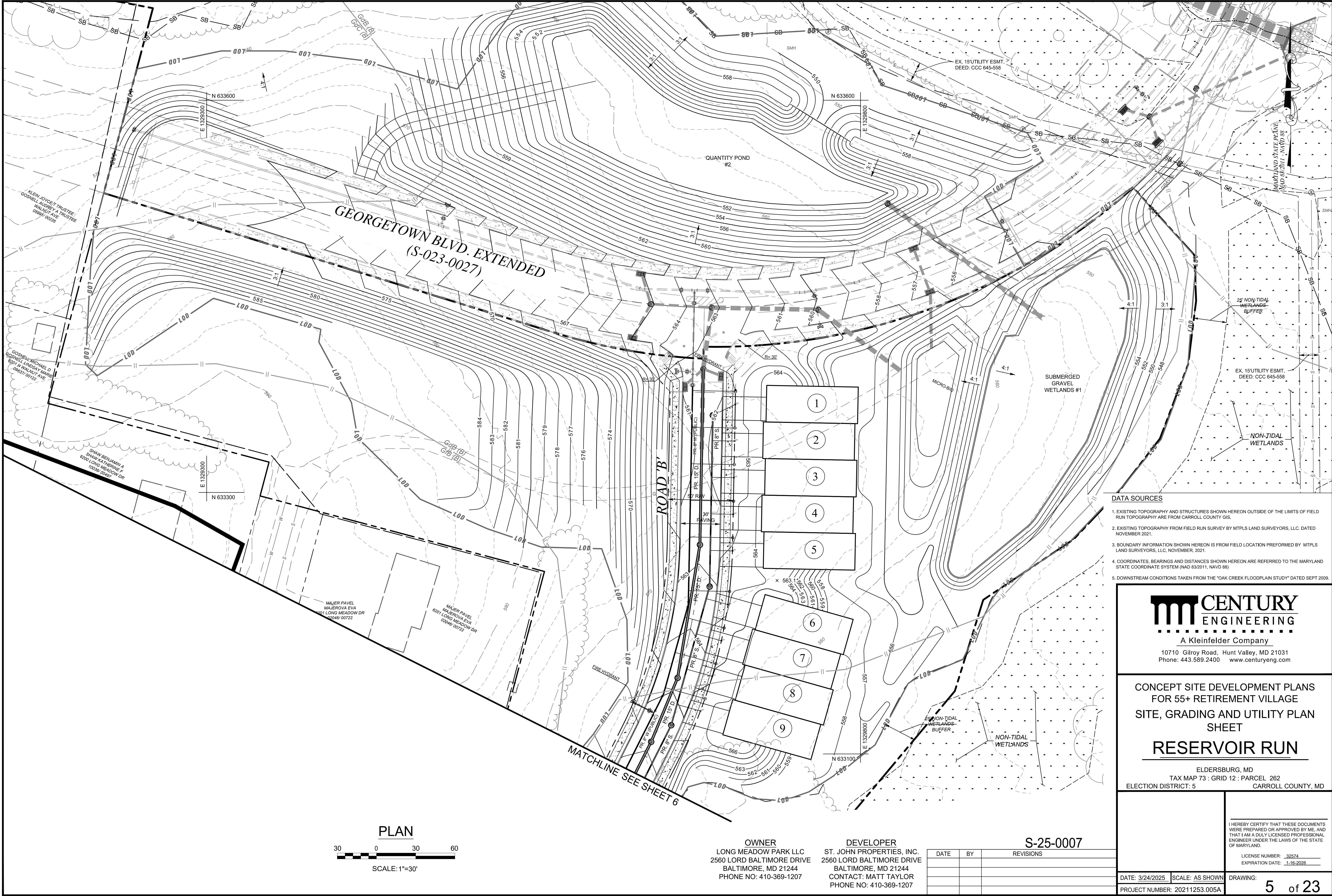
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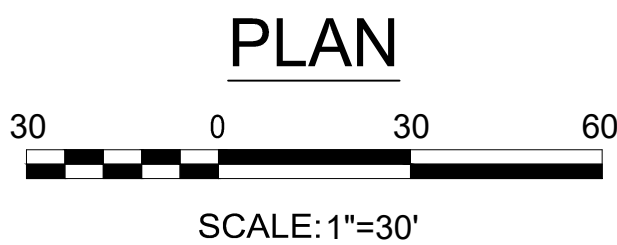
4 of 23

MARYLAND STATE PLANE  
NAD 83/2011 - NAVD 88





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CONCEPT SITE DEVELOPMENT PLANS  
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SITE, GRADING AND UTILITY PLAN  
SHEET

**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD

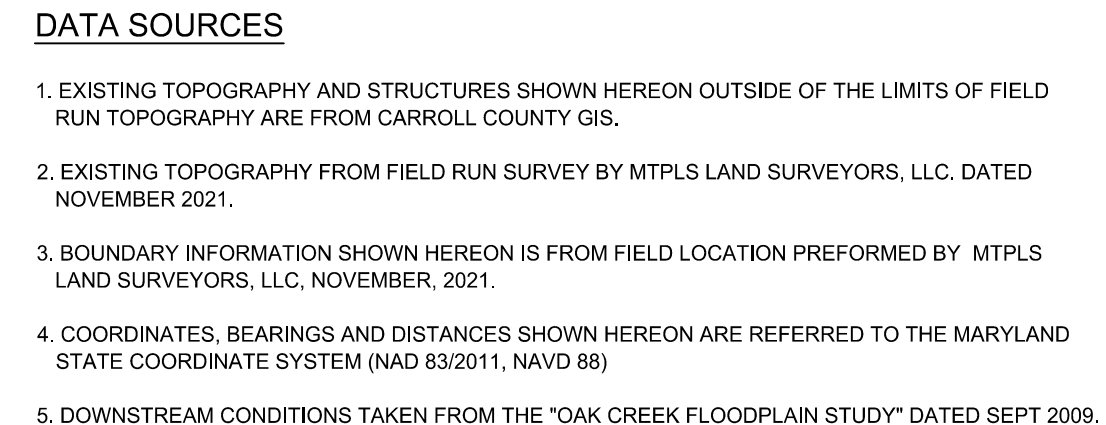
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LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

DATE: 3/24/2025 SCALE: AS SHOWN DRAWING: 5 of 23

PROJECT NUMBER: 20211253.005A






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**PLAN**



SCALE: 1"=30'

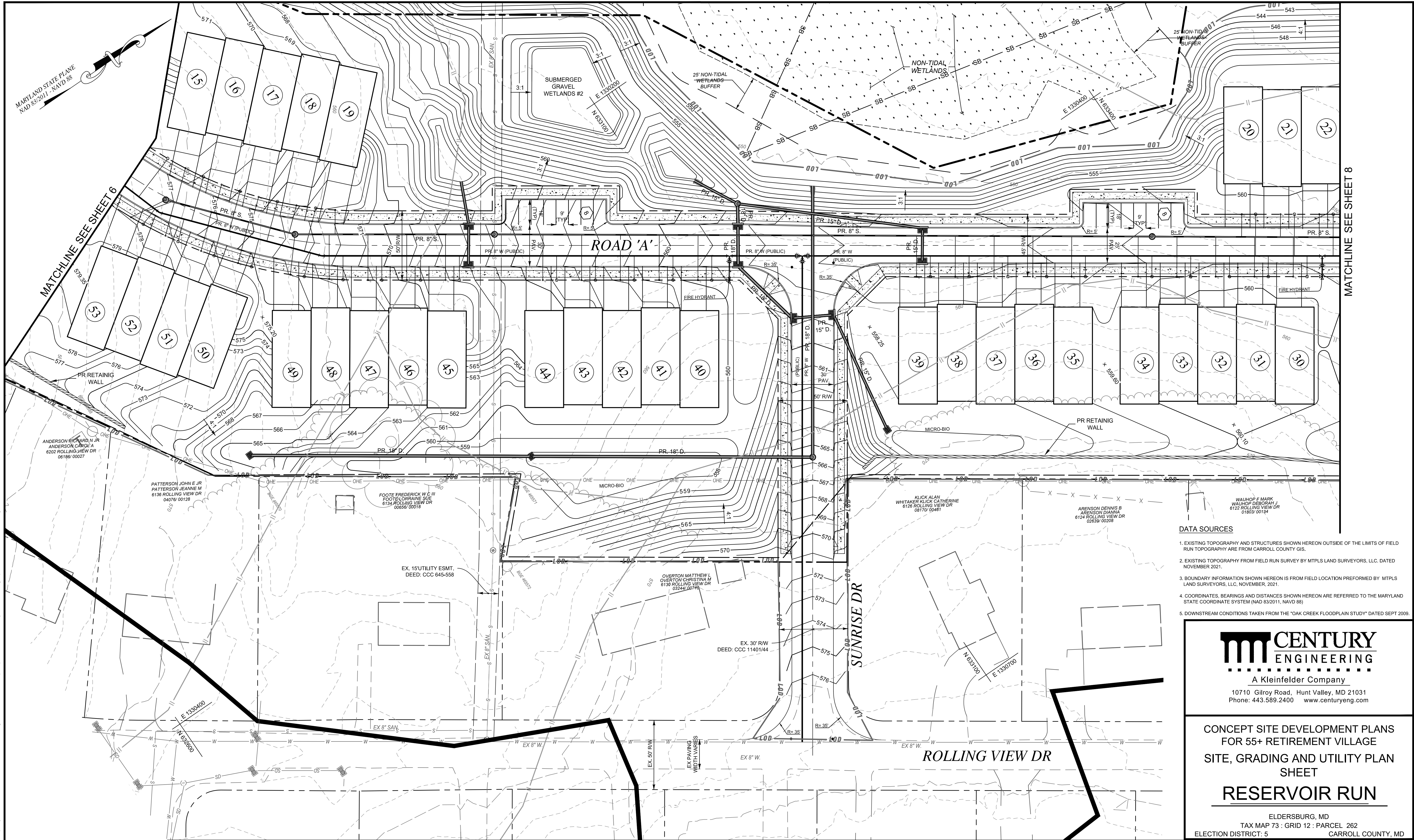
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BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

S-25-0007

DATE	BY	REVISIONS



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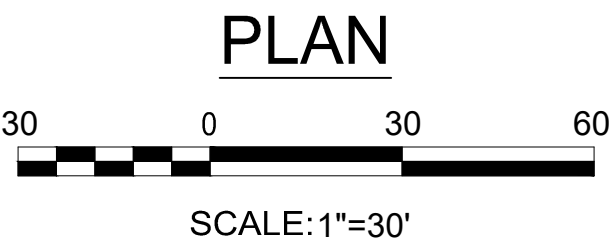


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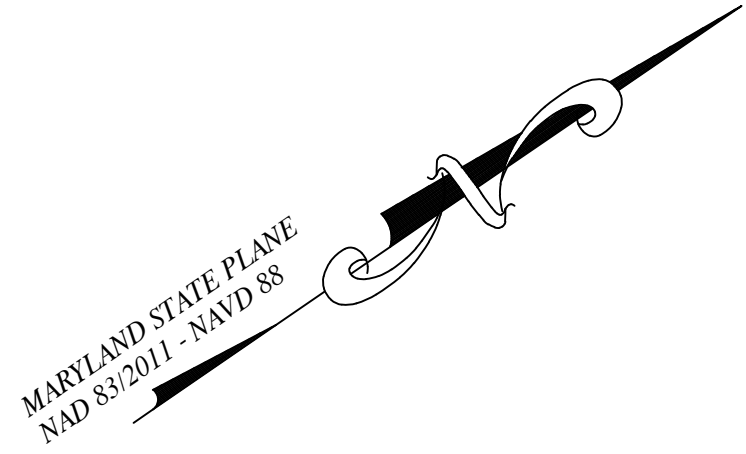
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ROLLING VIEW DR

PLAN



SCALE: 1"=30'

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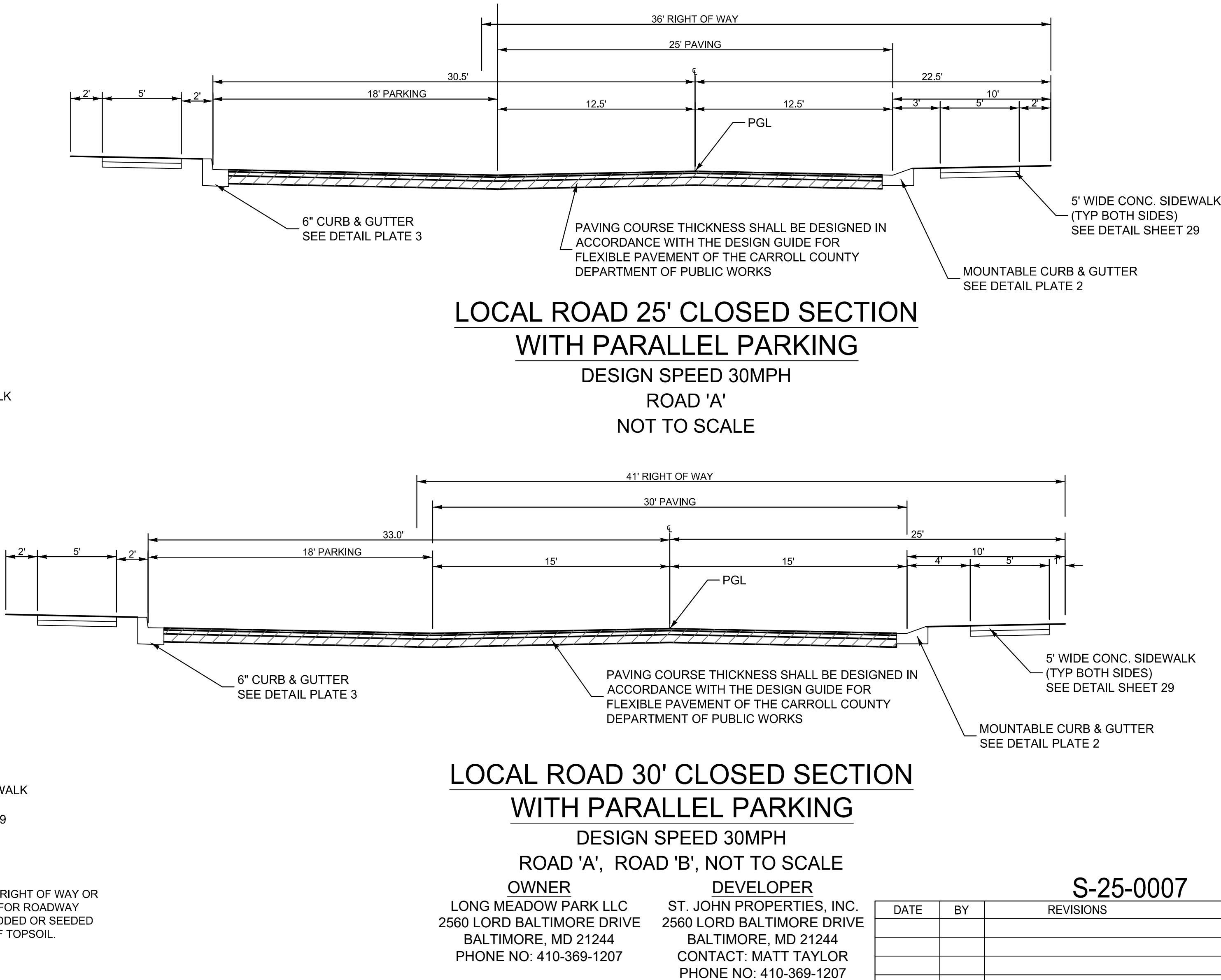
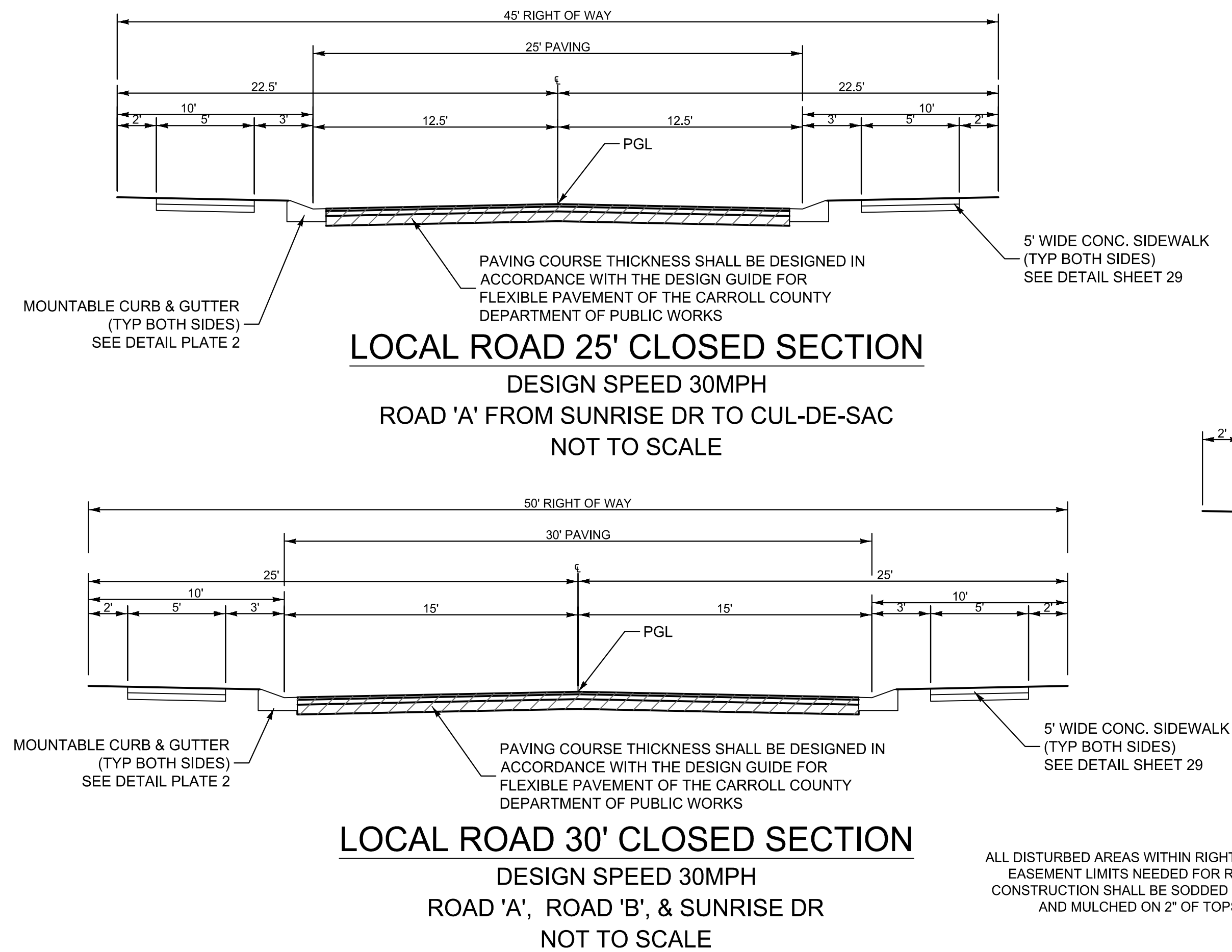
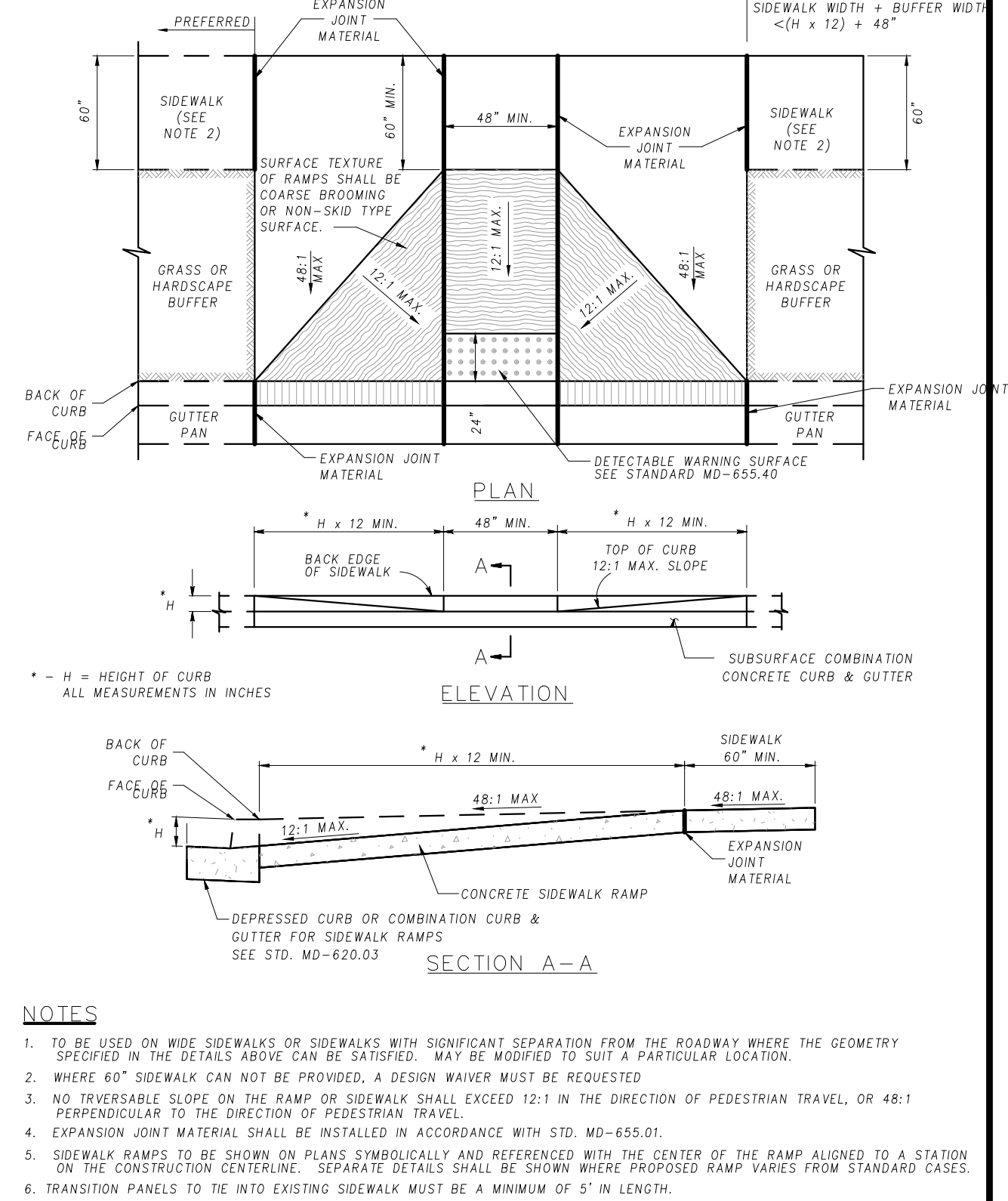
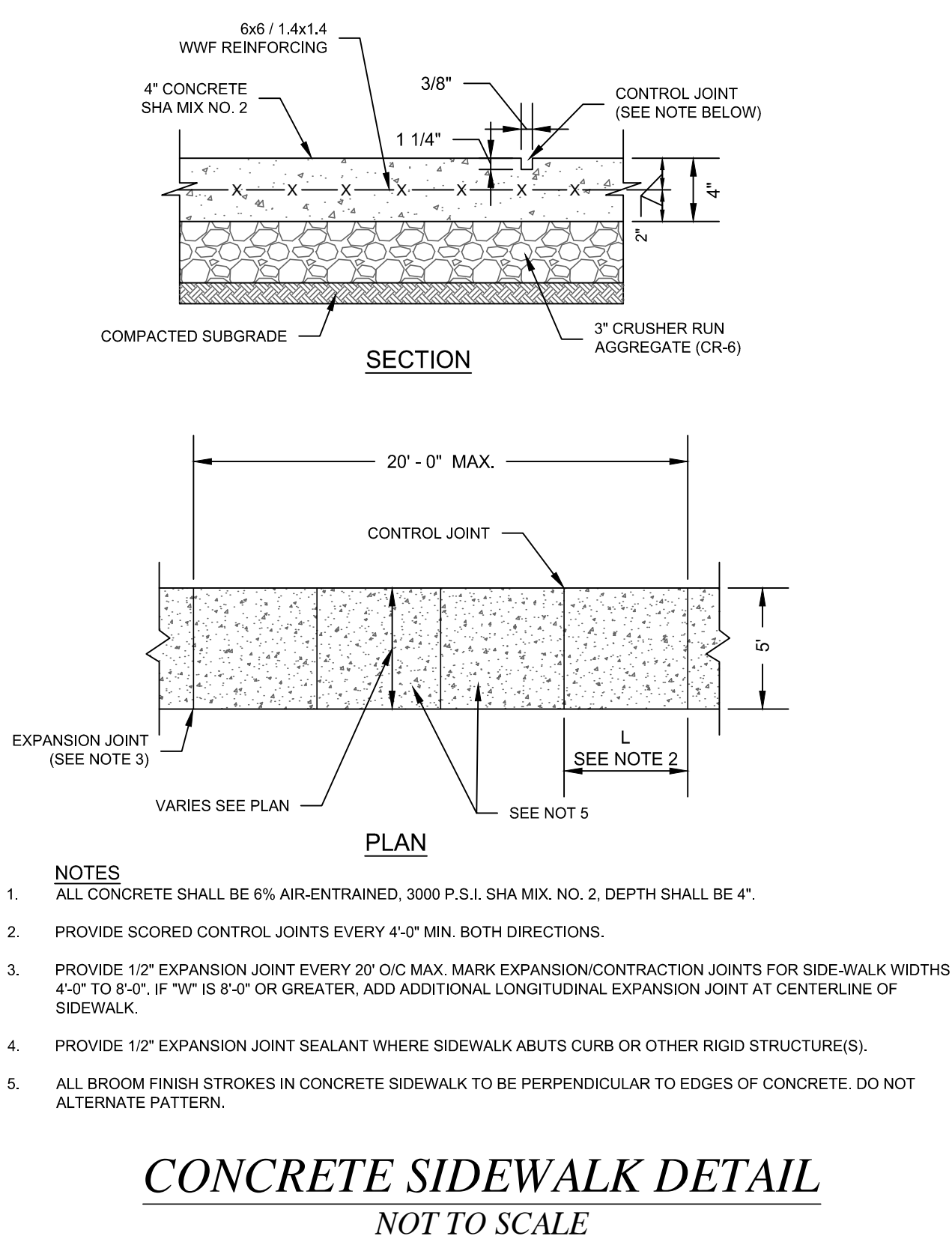
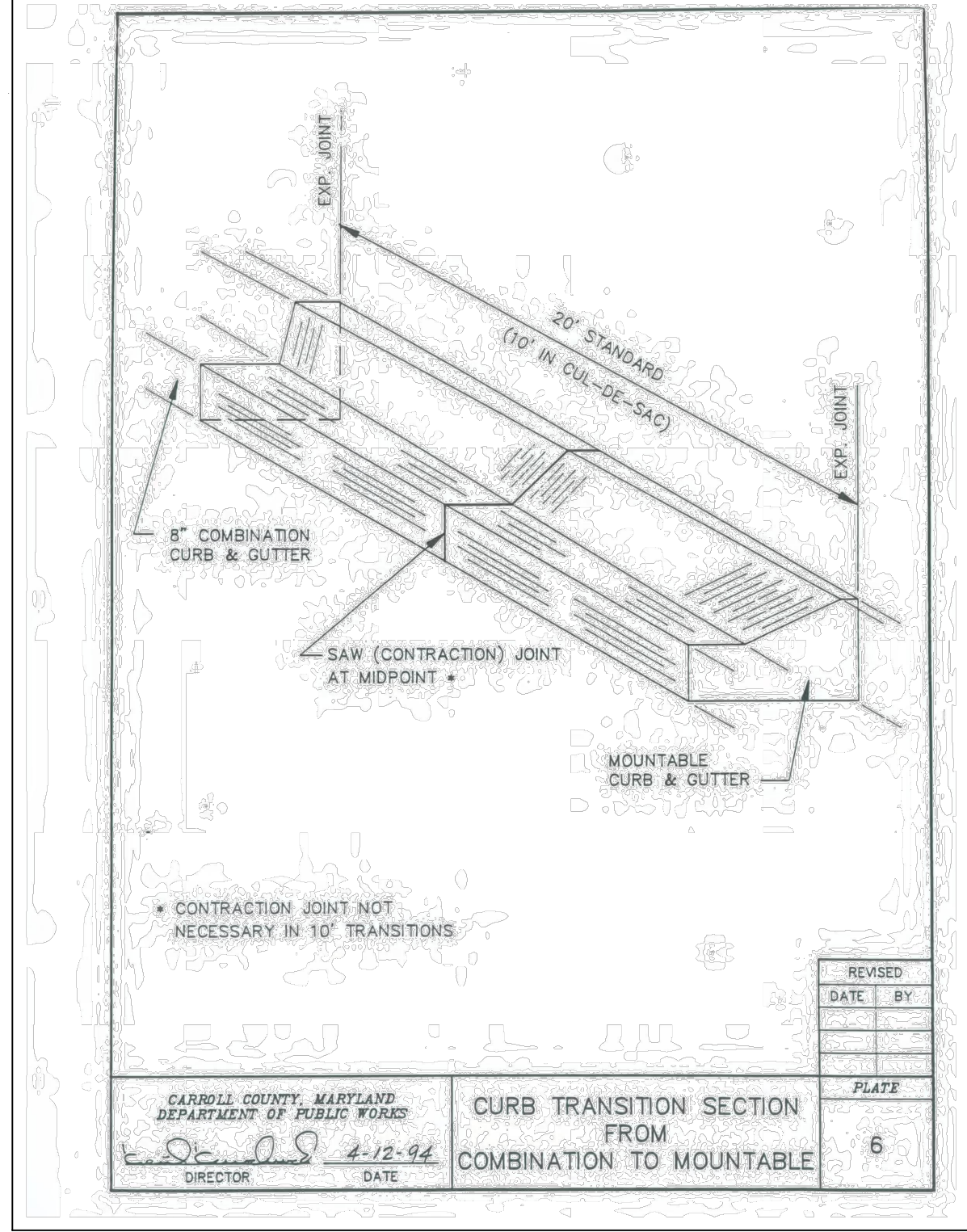
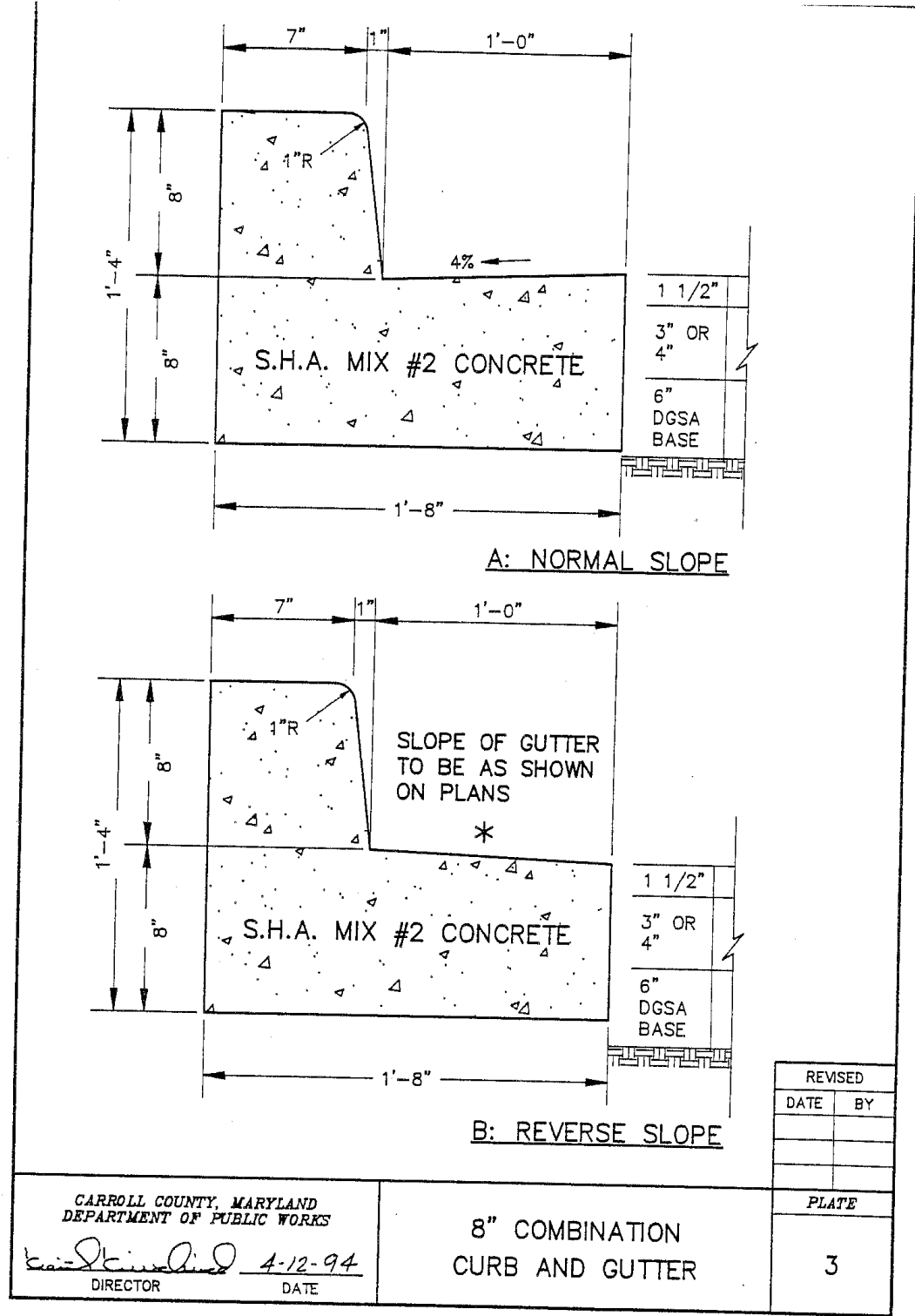
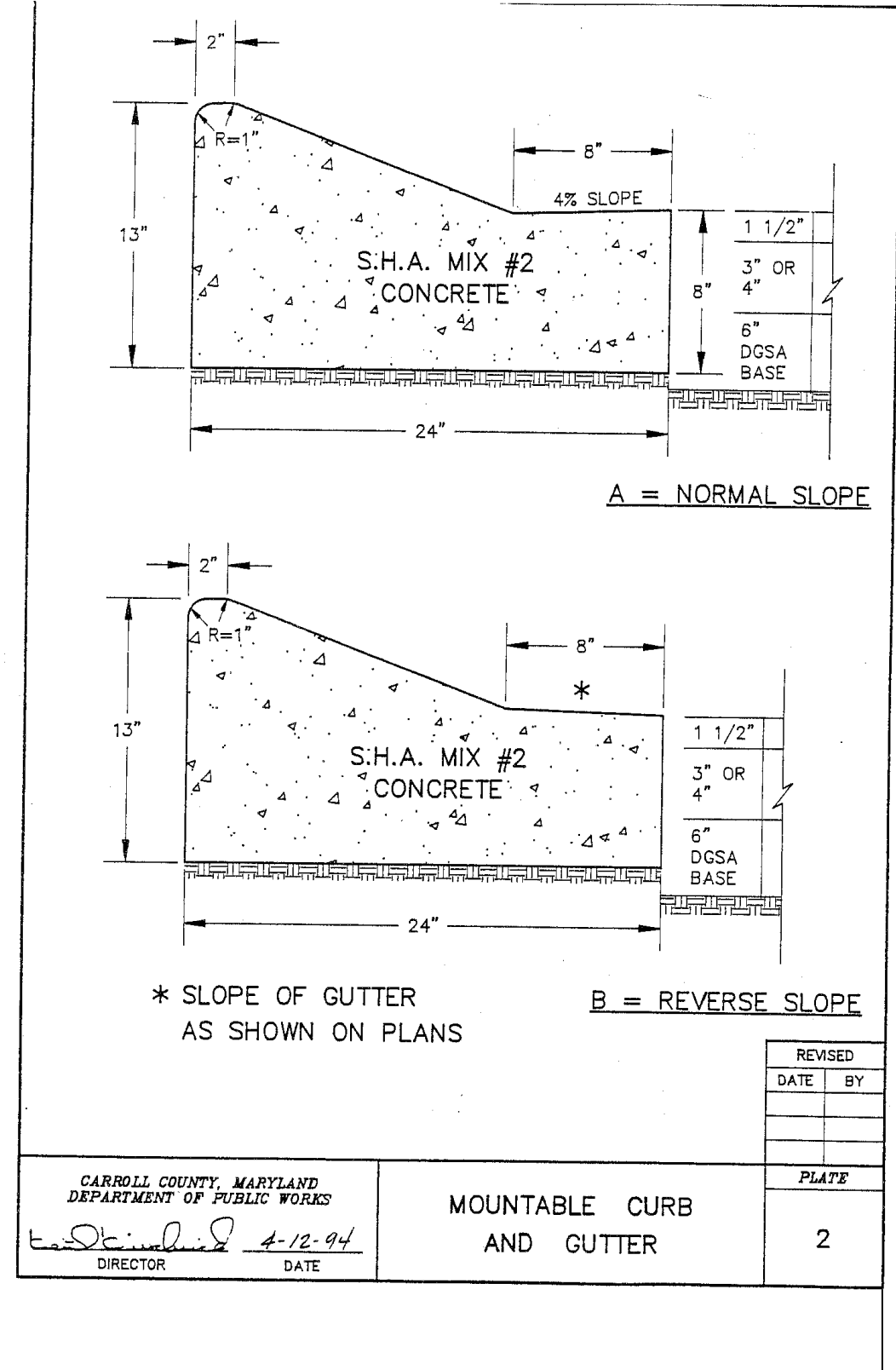
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RESERVOIR RUN

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Site Details

**RESERVOIR RUN**

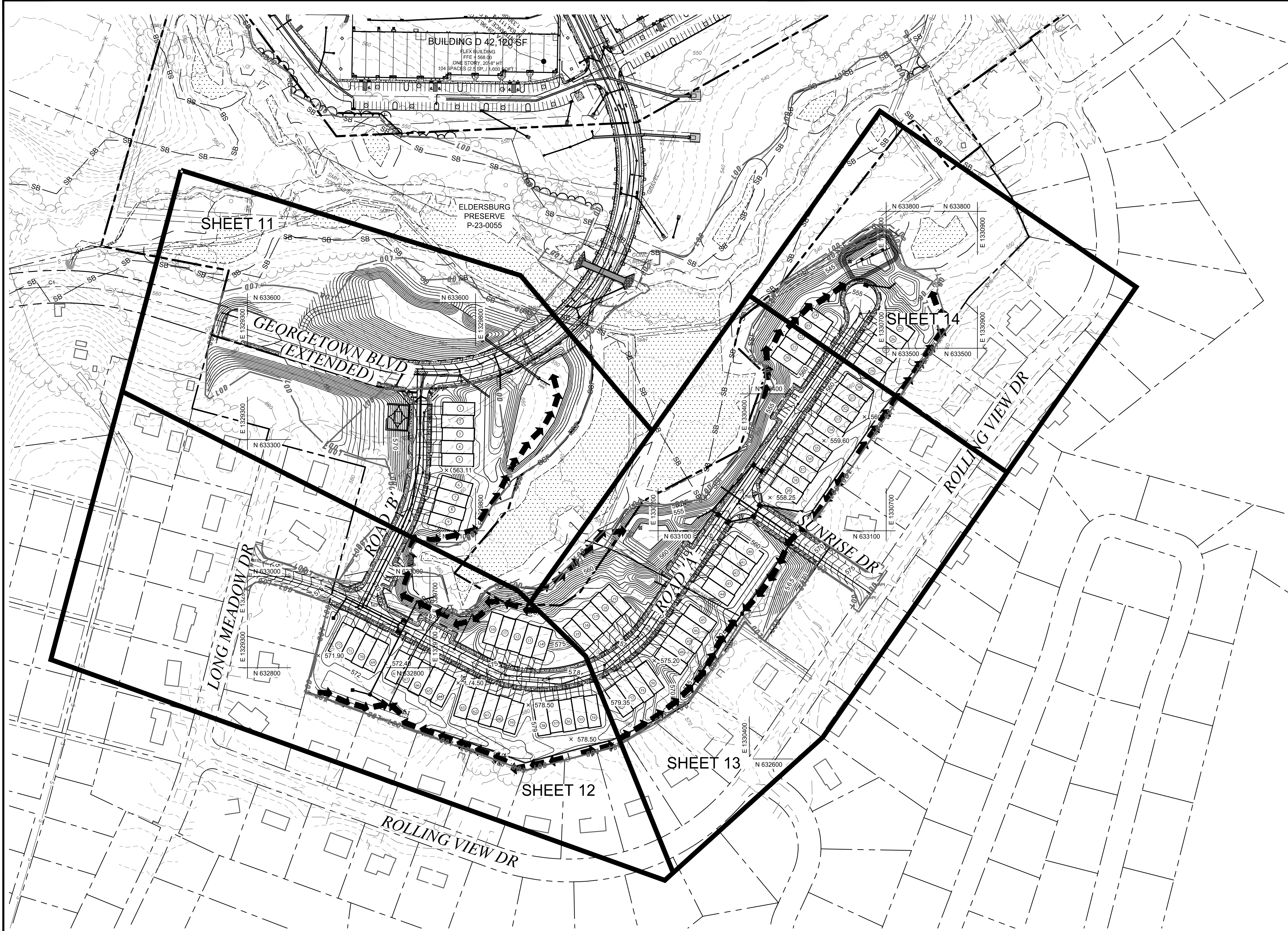
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PROJECT NUMBER: 211253.005A (





MARYLAND STATE PLANE  
NAD 83/2011 - NAVD 88

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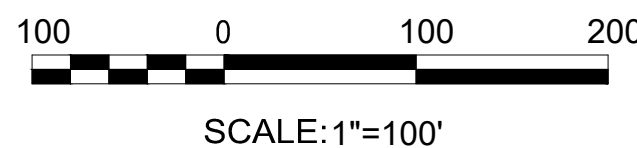
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2560 LORD BALTIMORE DRIVE  
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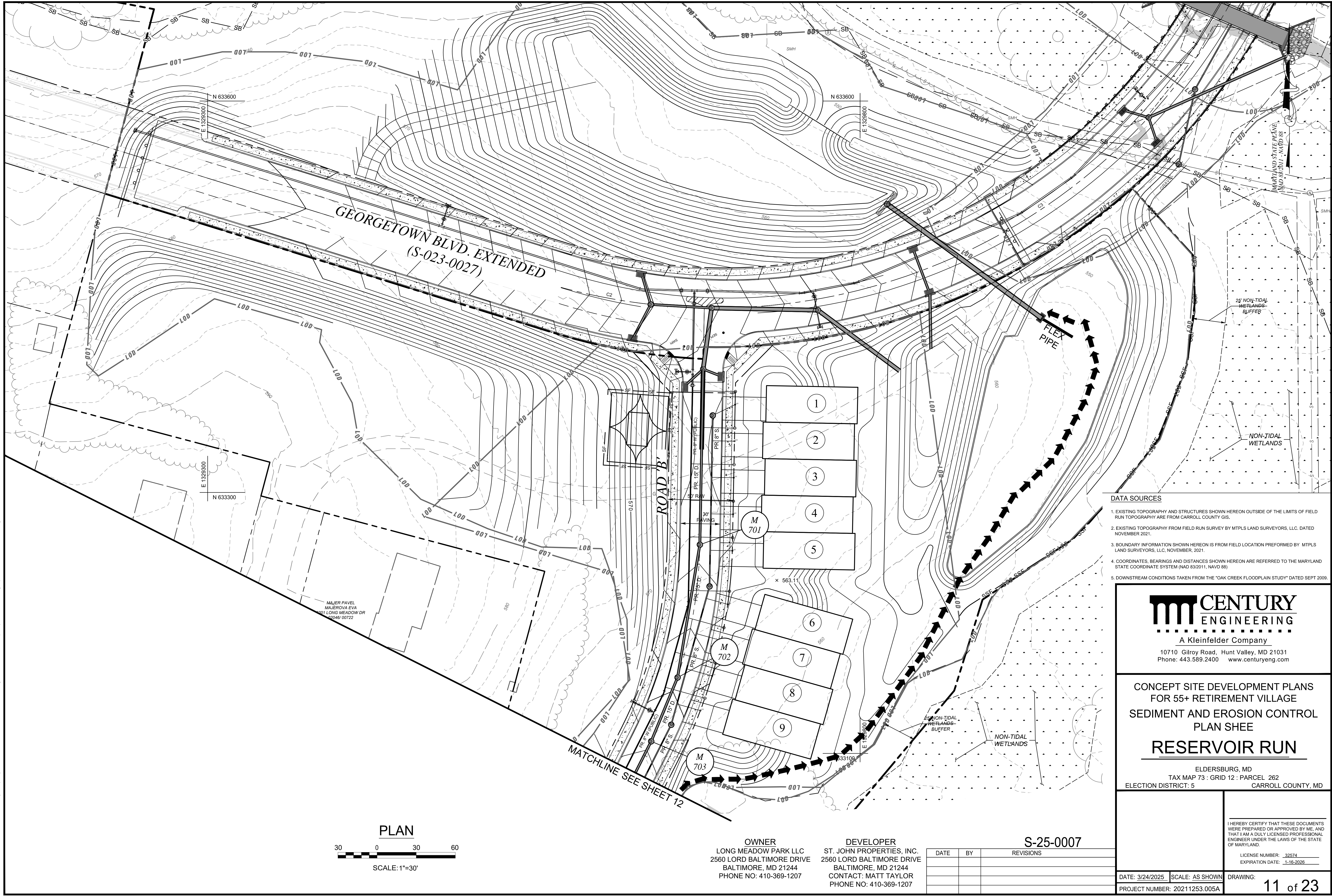
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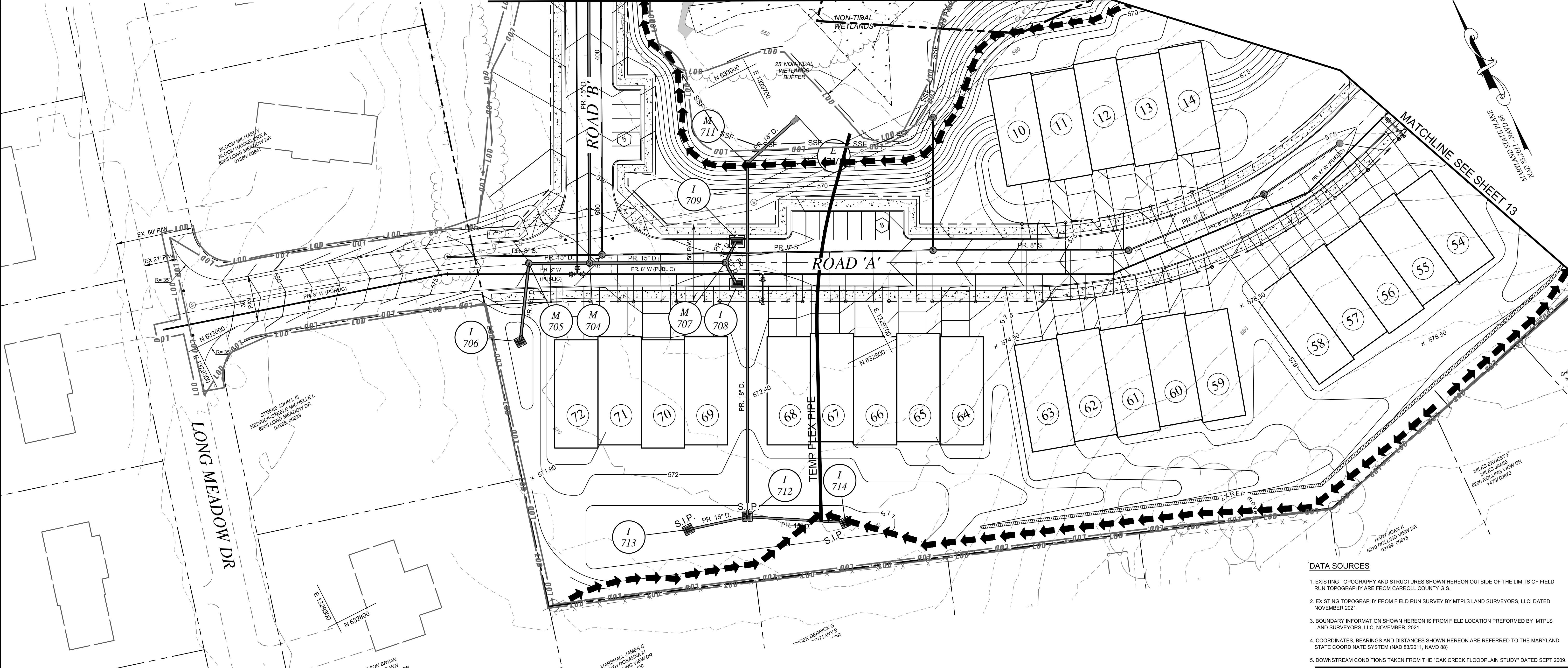
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MATCHLINE SEE SHEET 11



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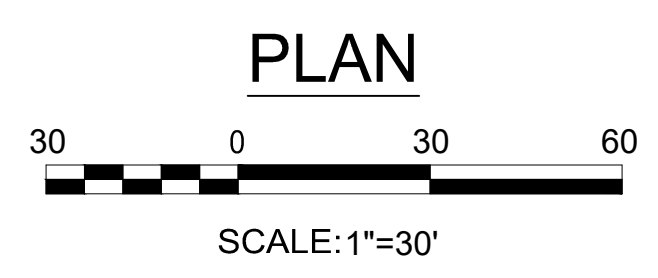
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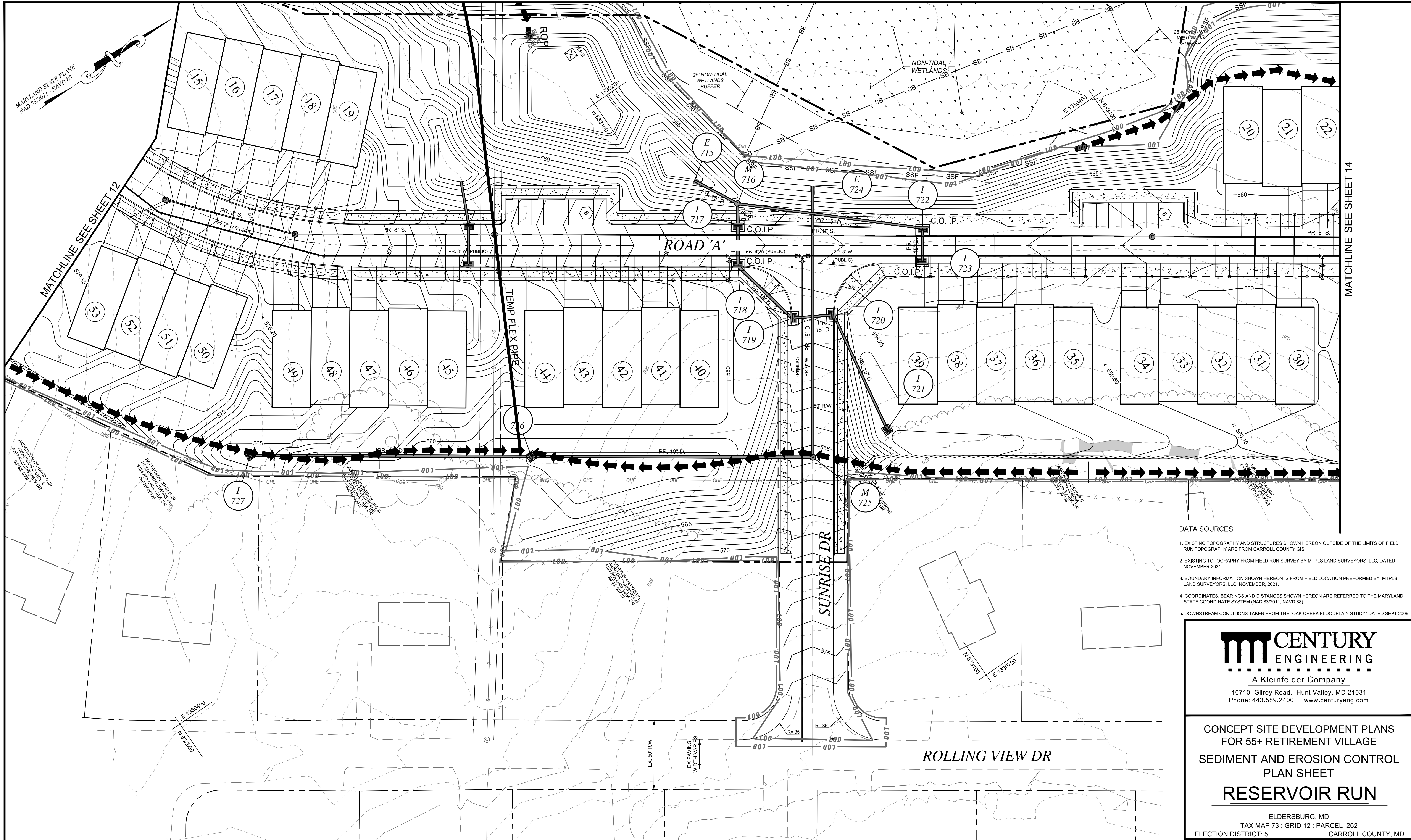
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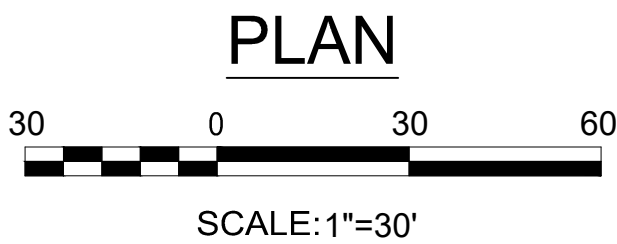


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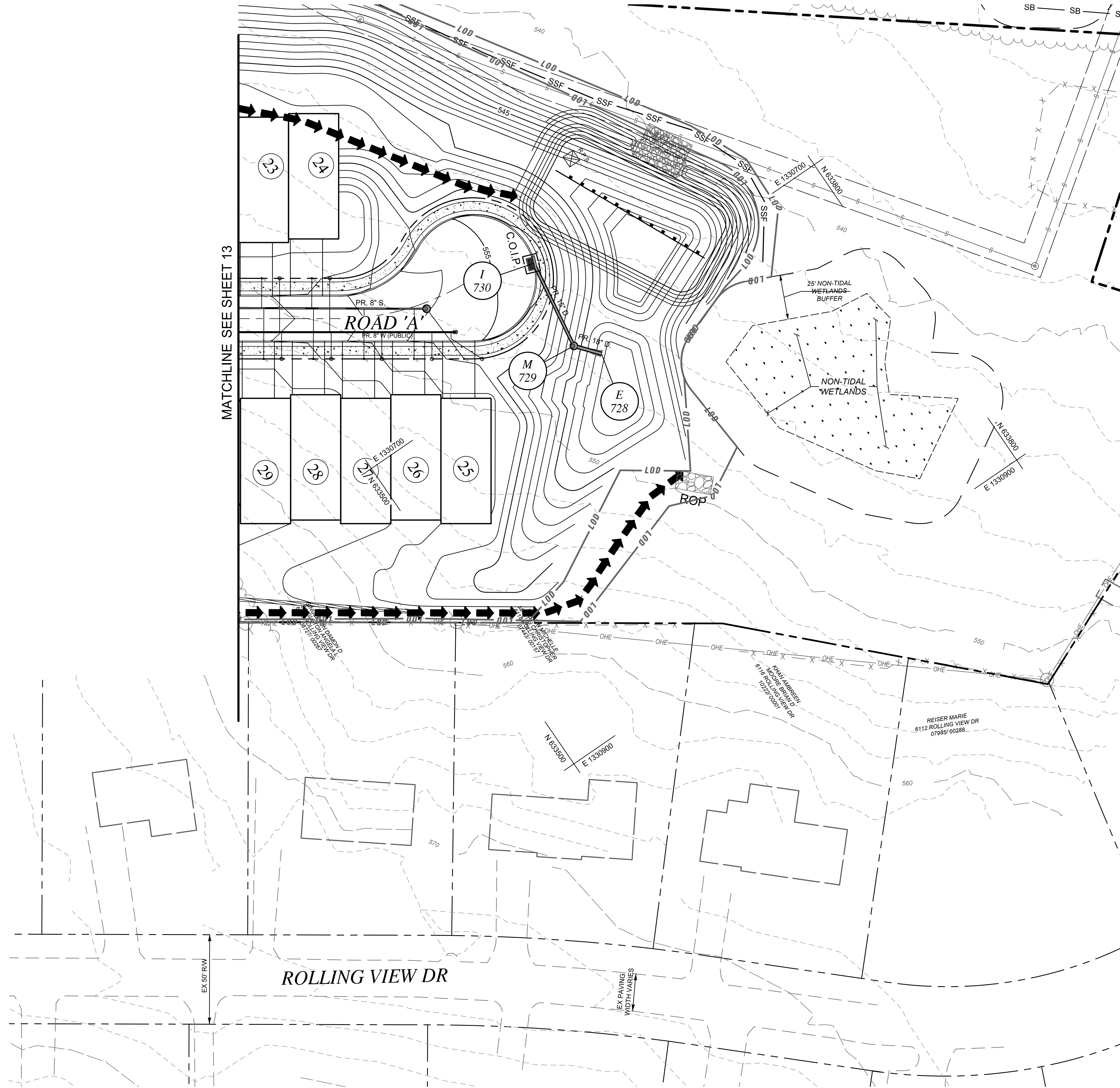
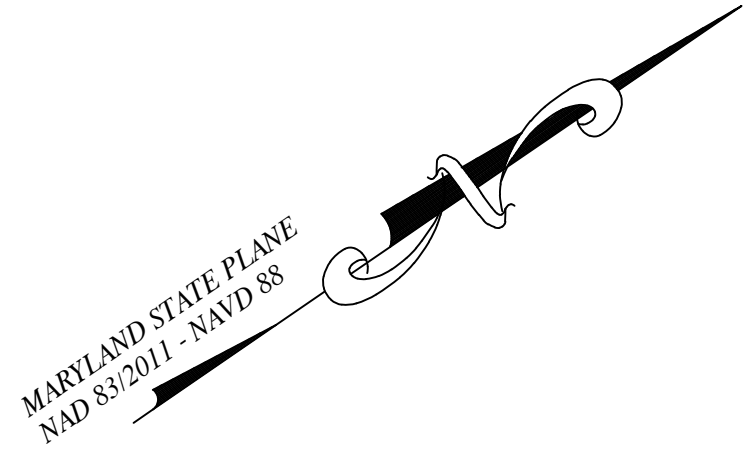
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PLAN



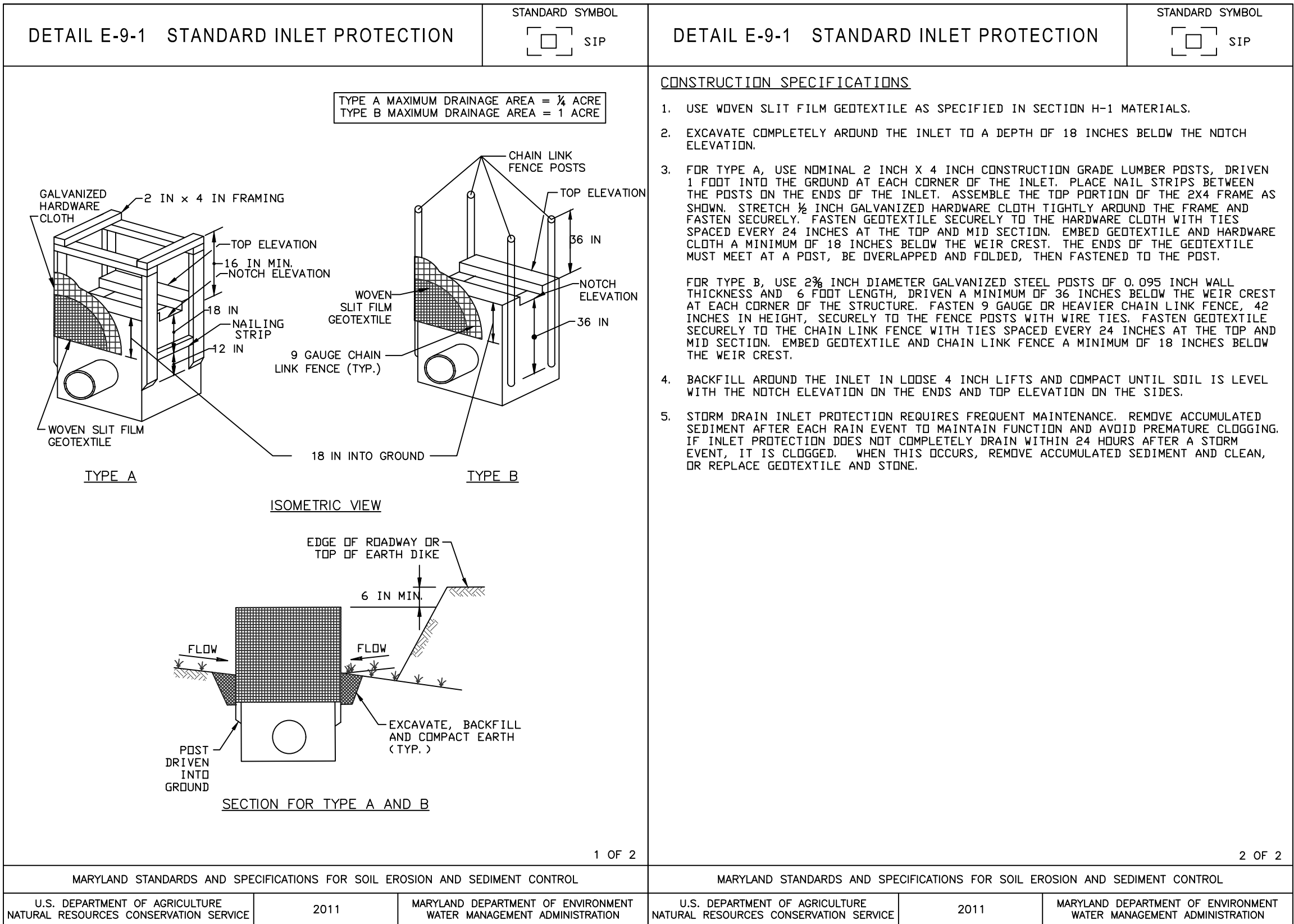
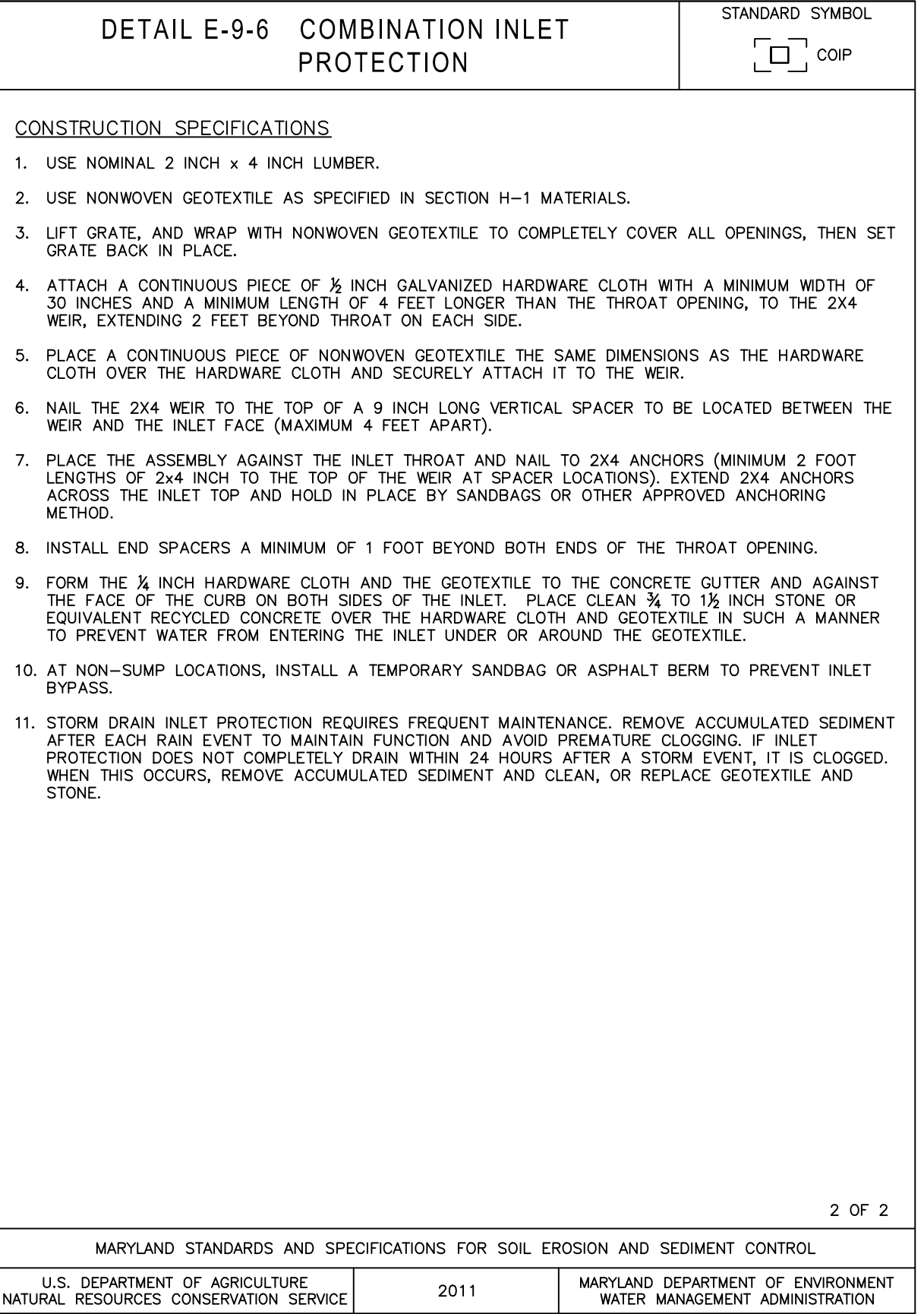
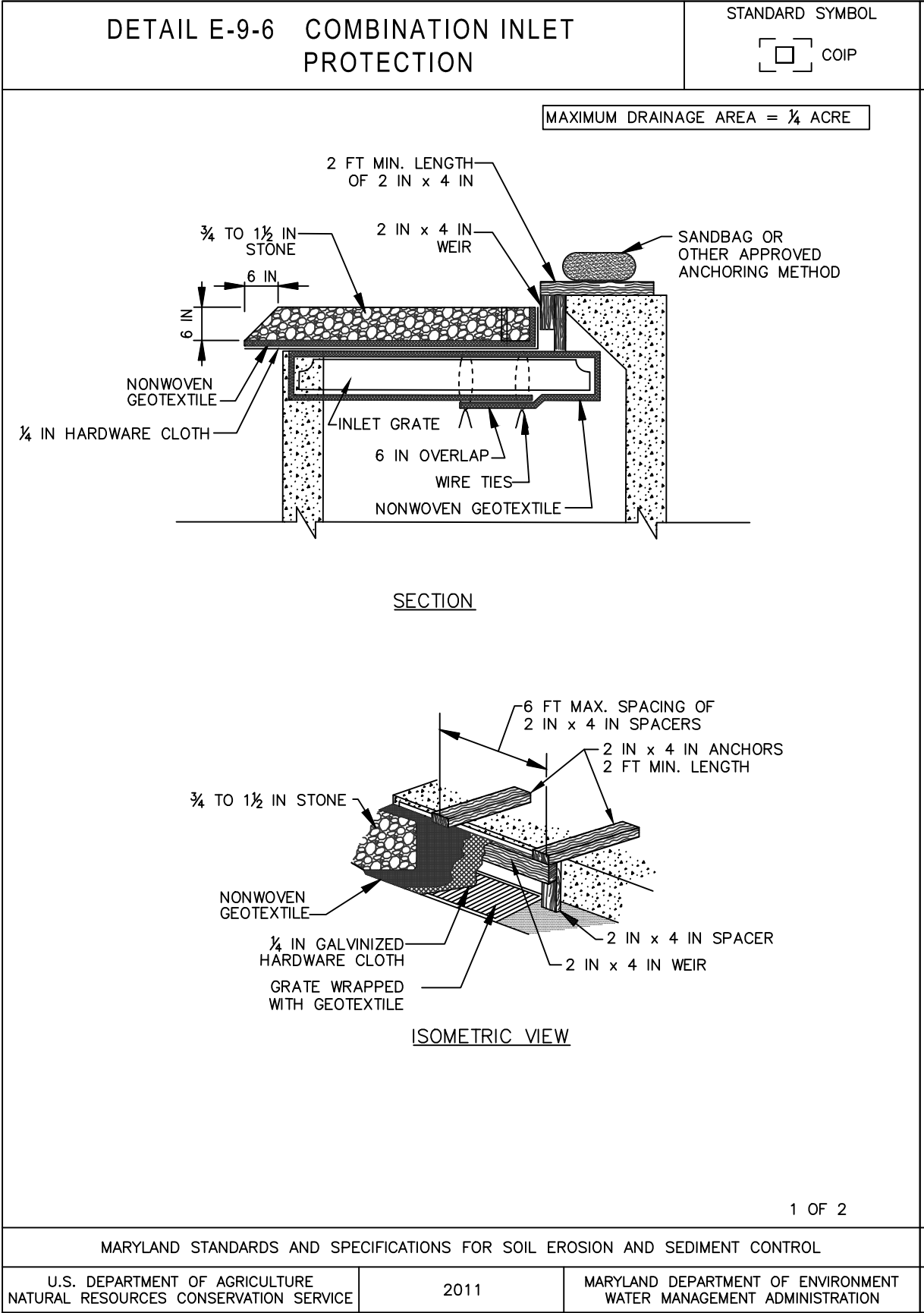
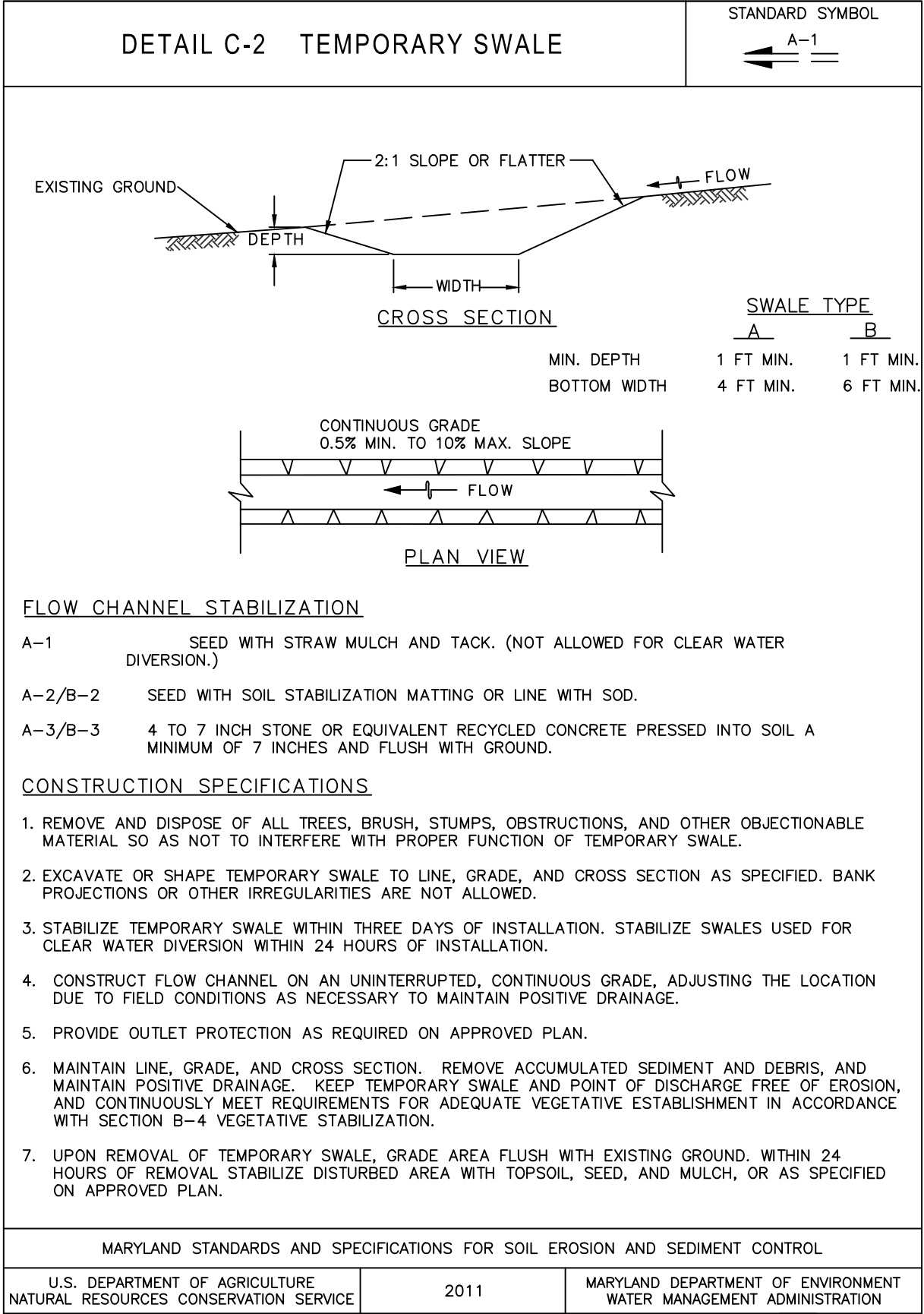
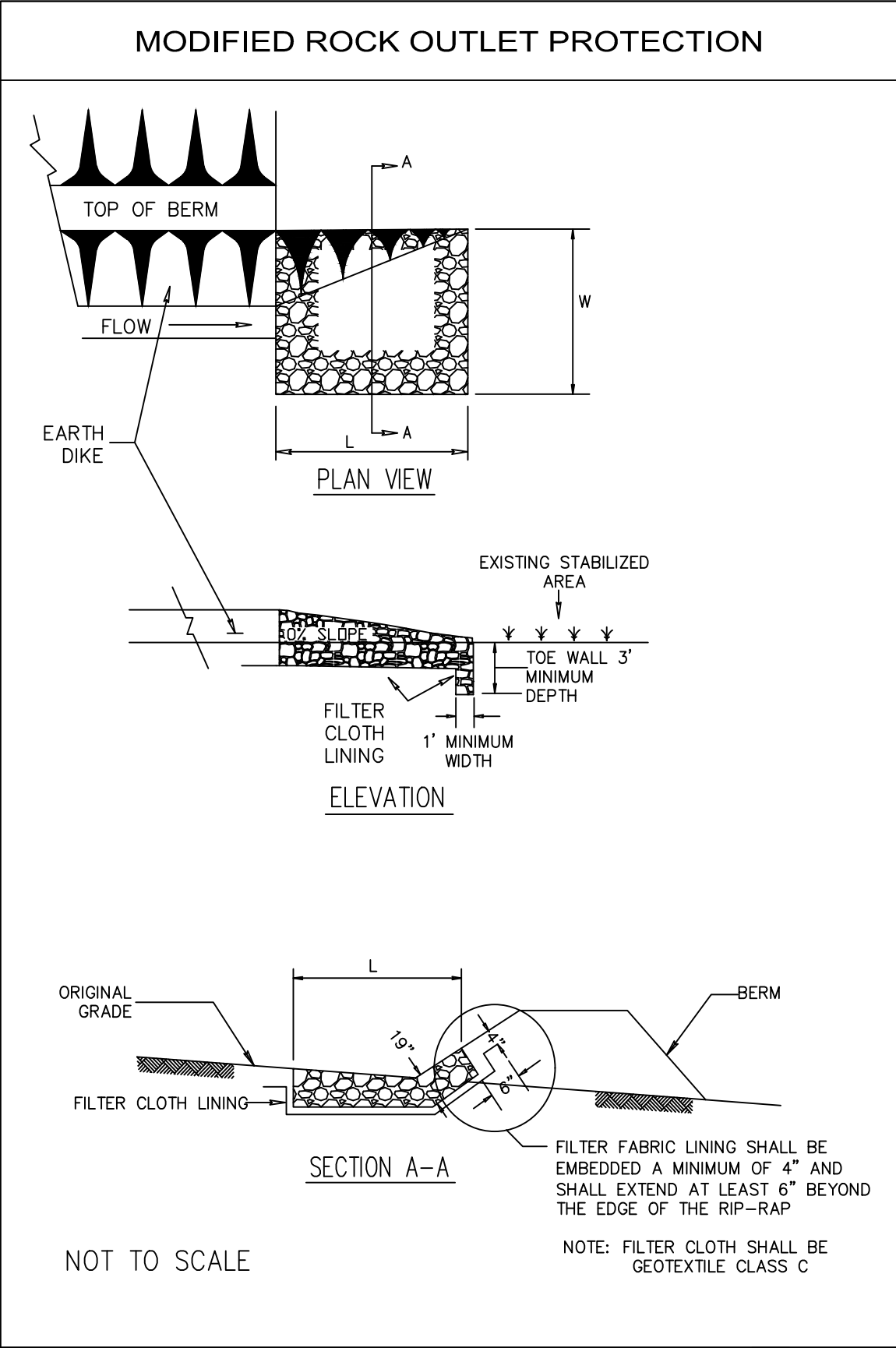
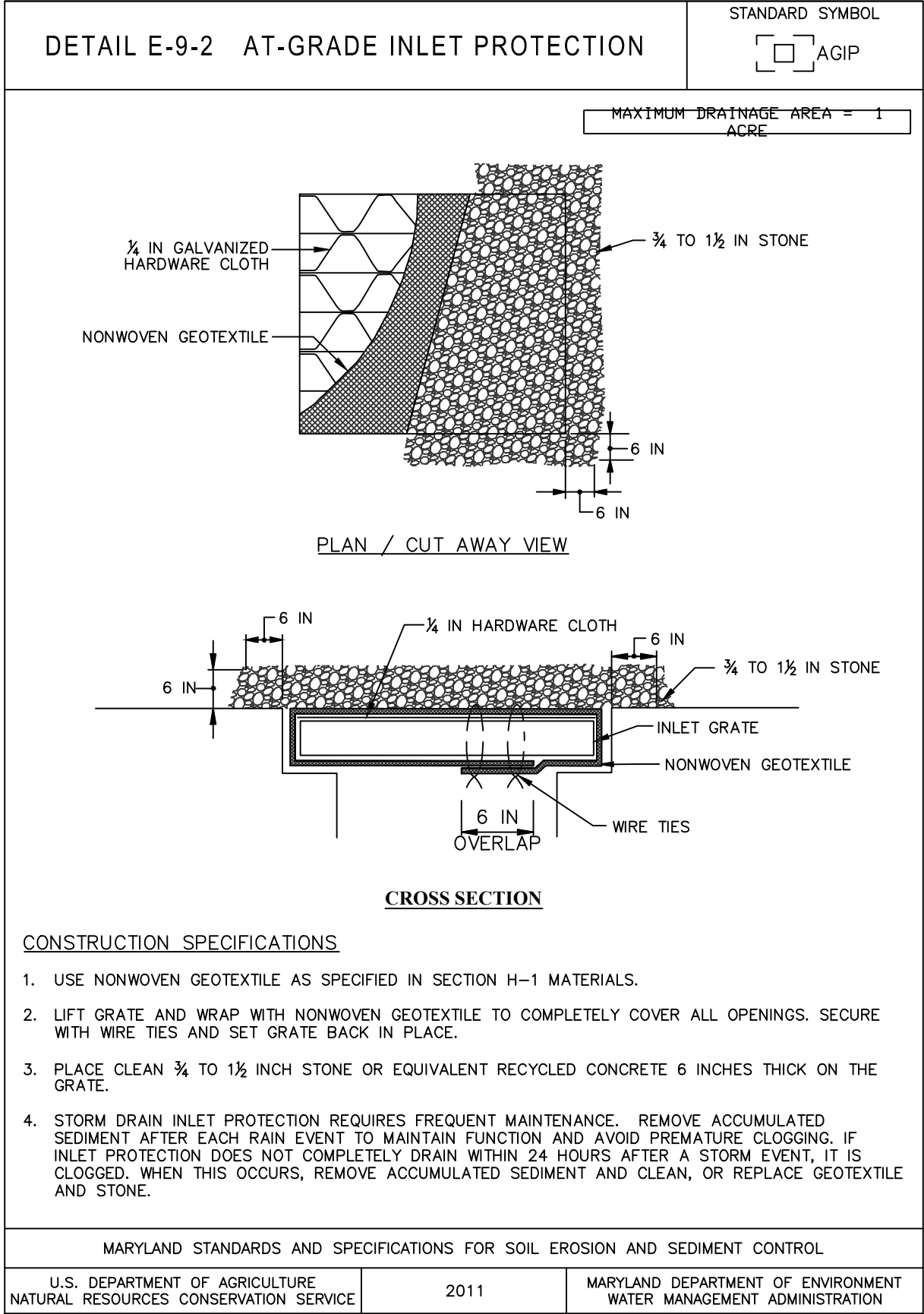
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**RESERVOIR RUN**

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S-25-0007

DATE	BY	REVISIONS

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PROJECT NUMBER: 20211253.005A

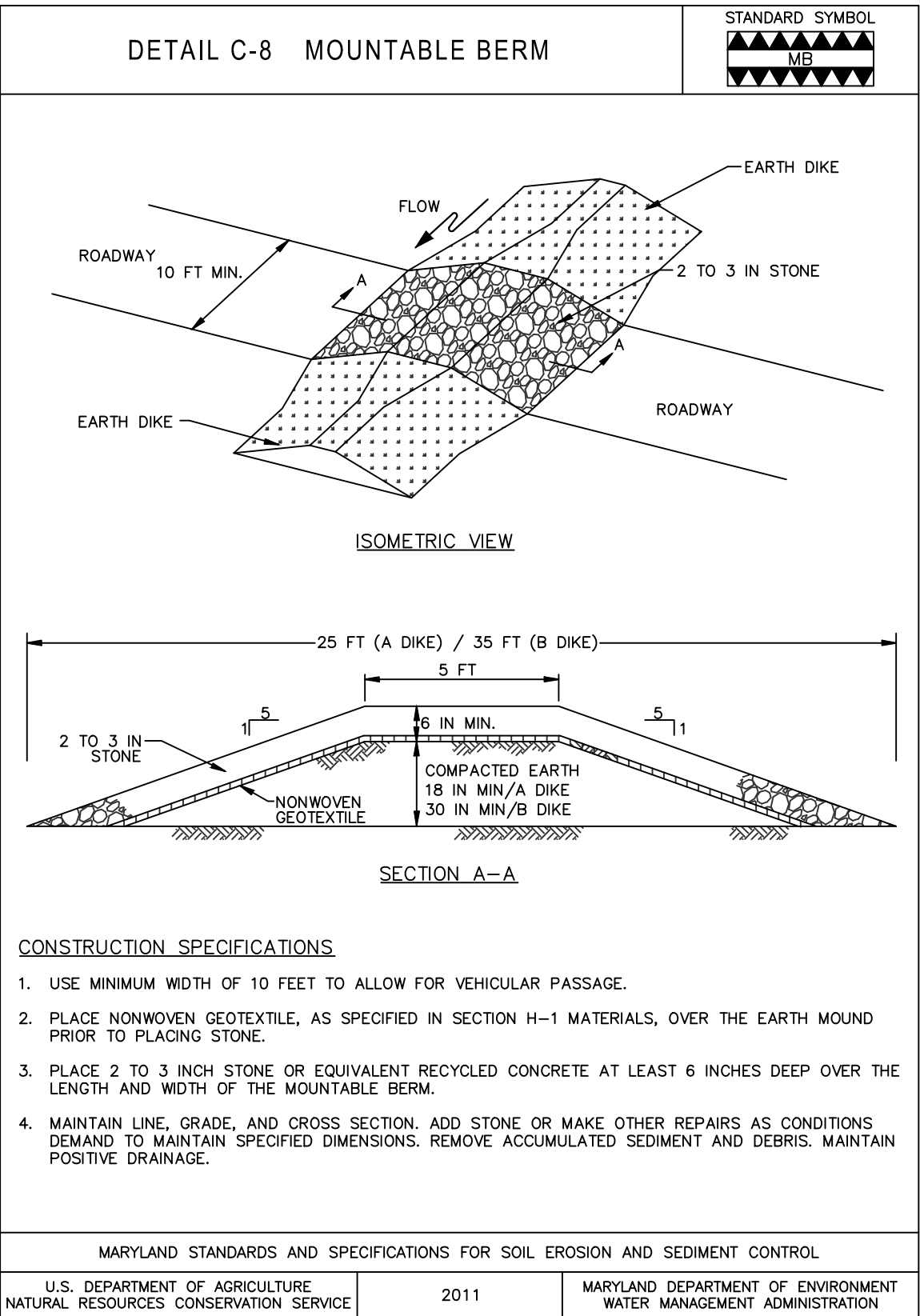
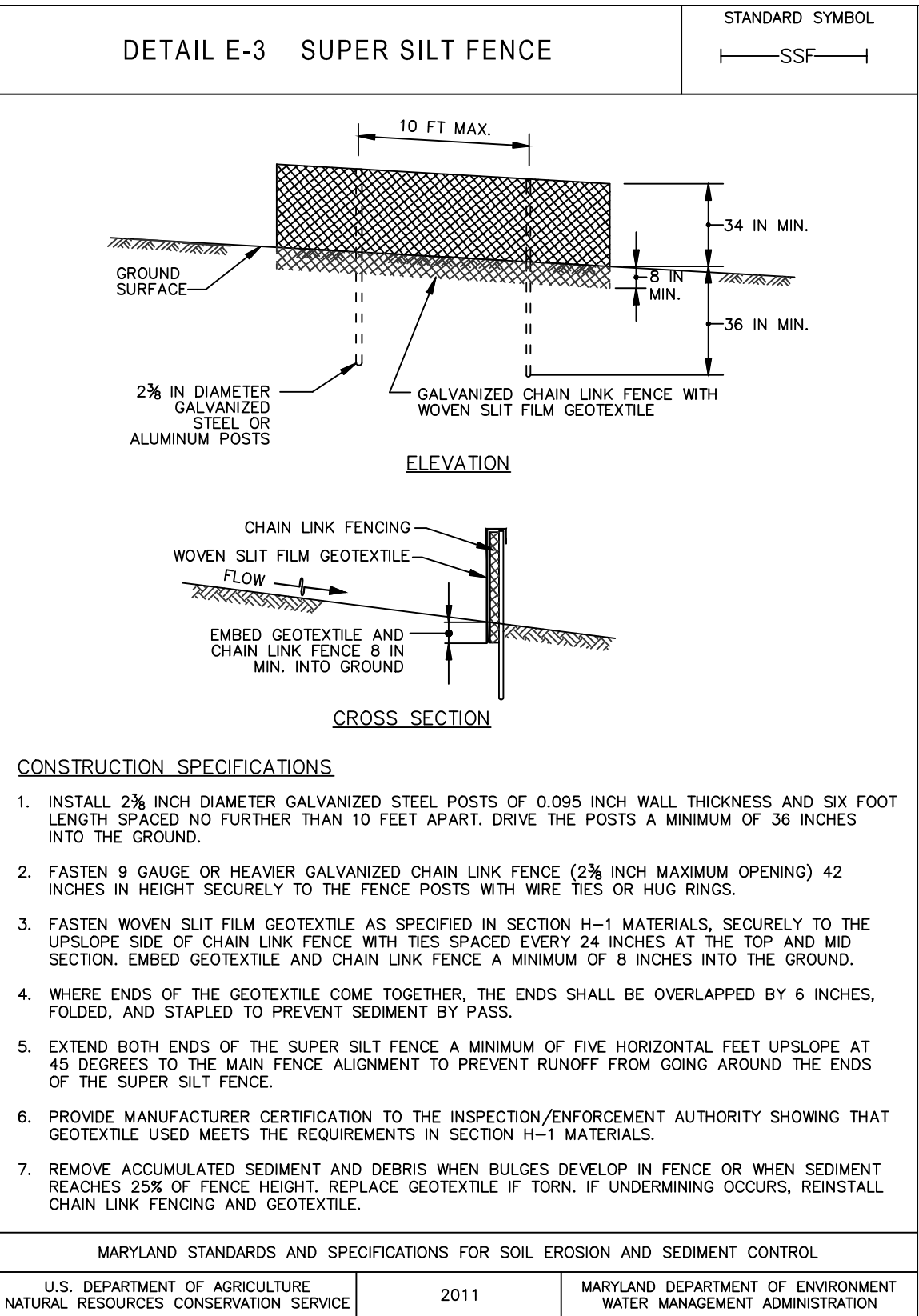
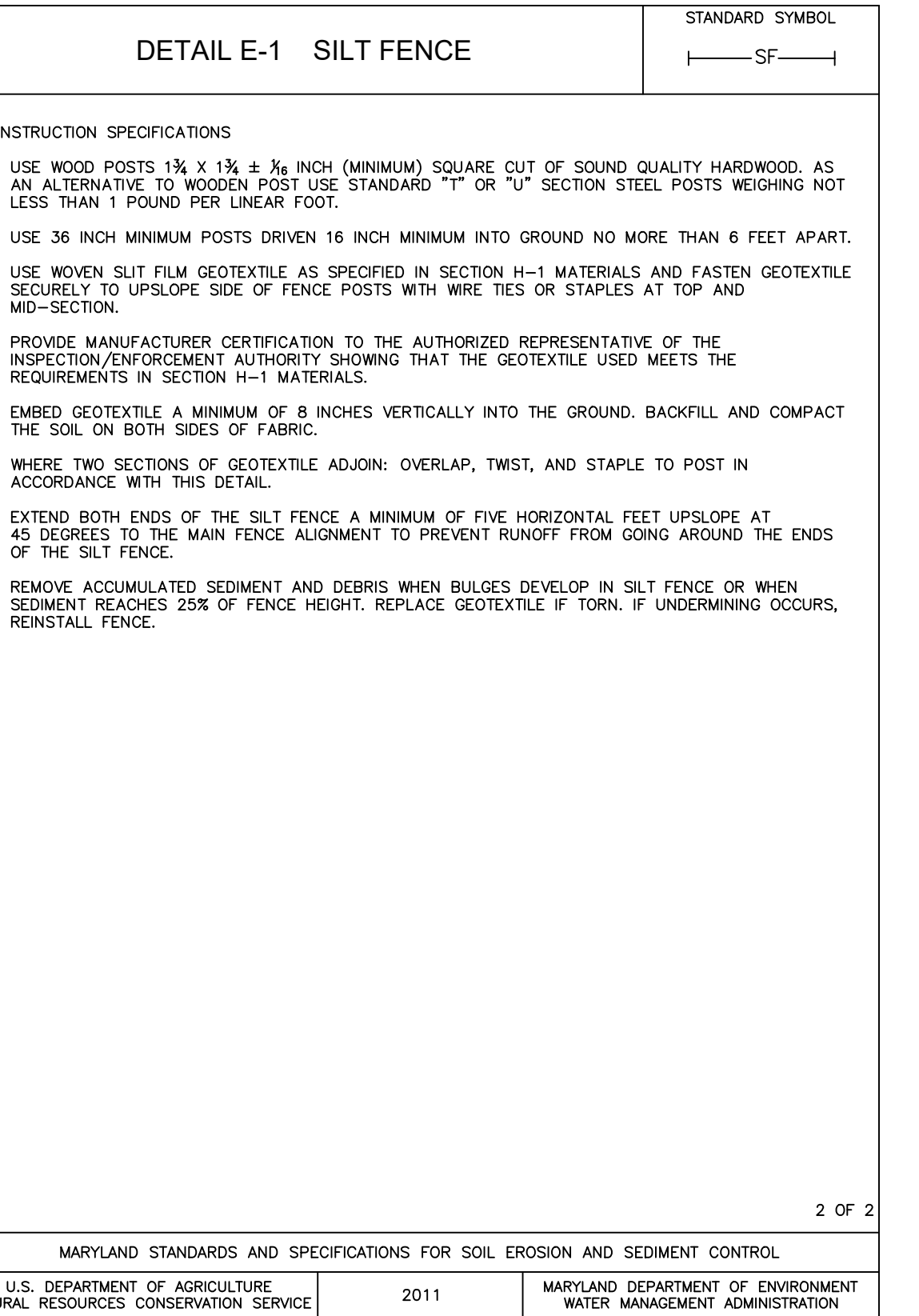
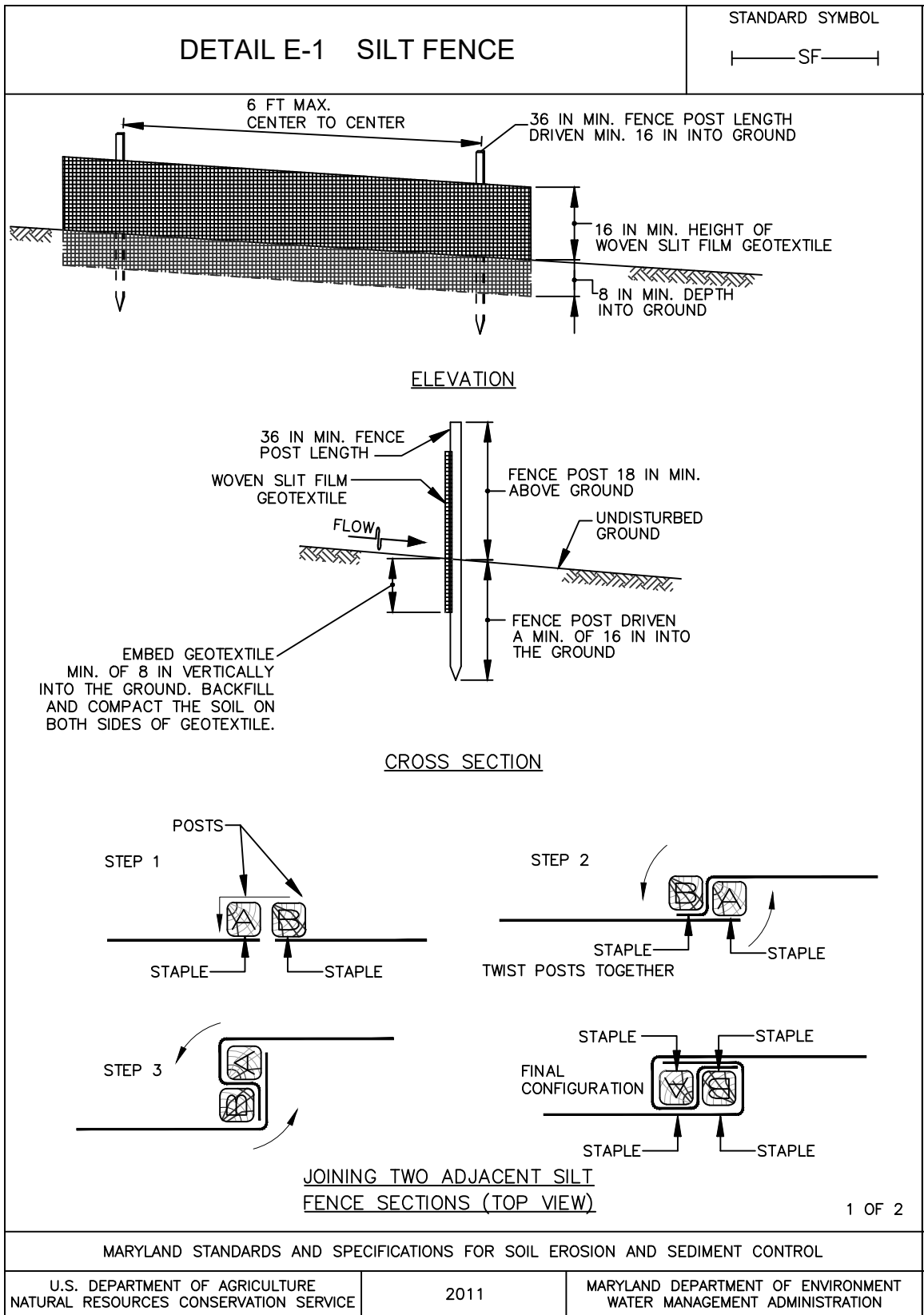
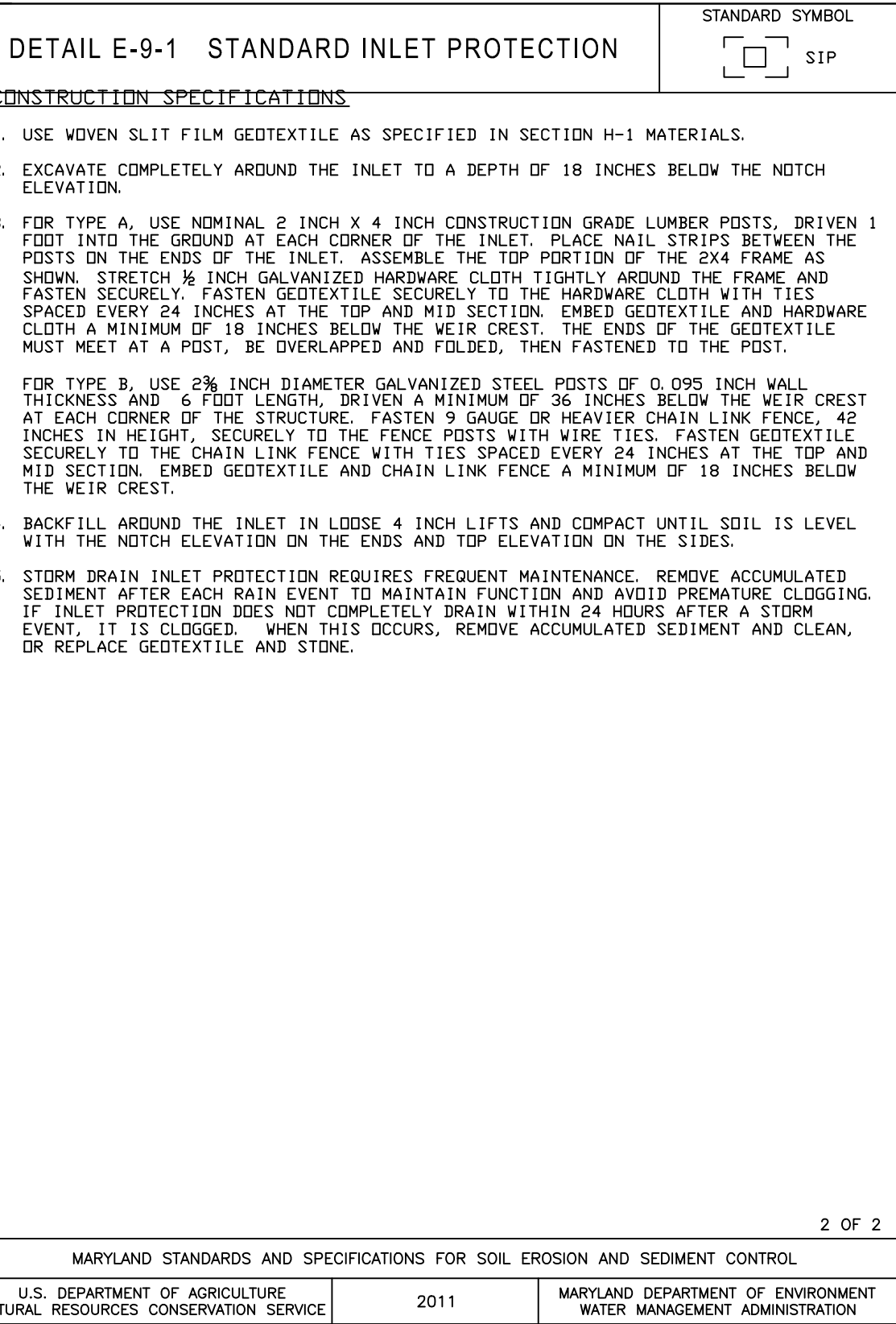
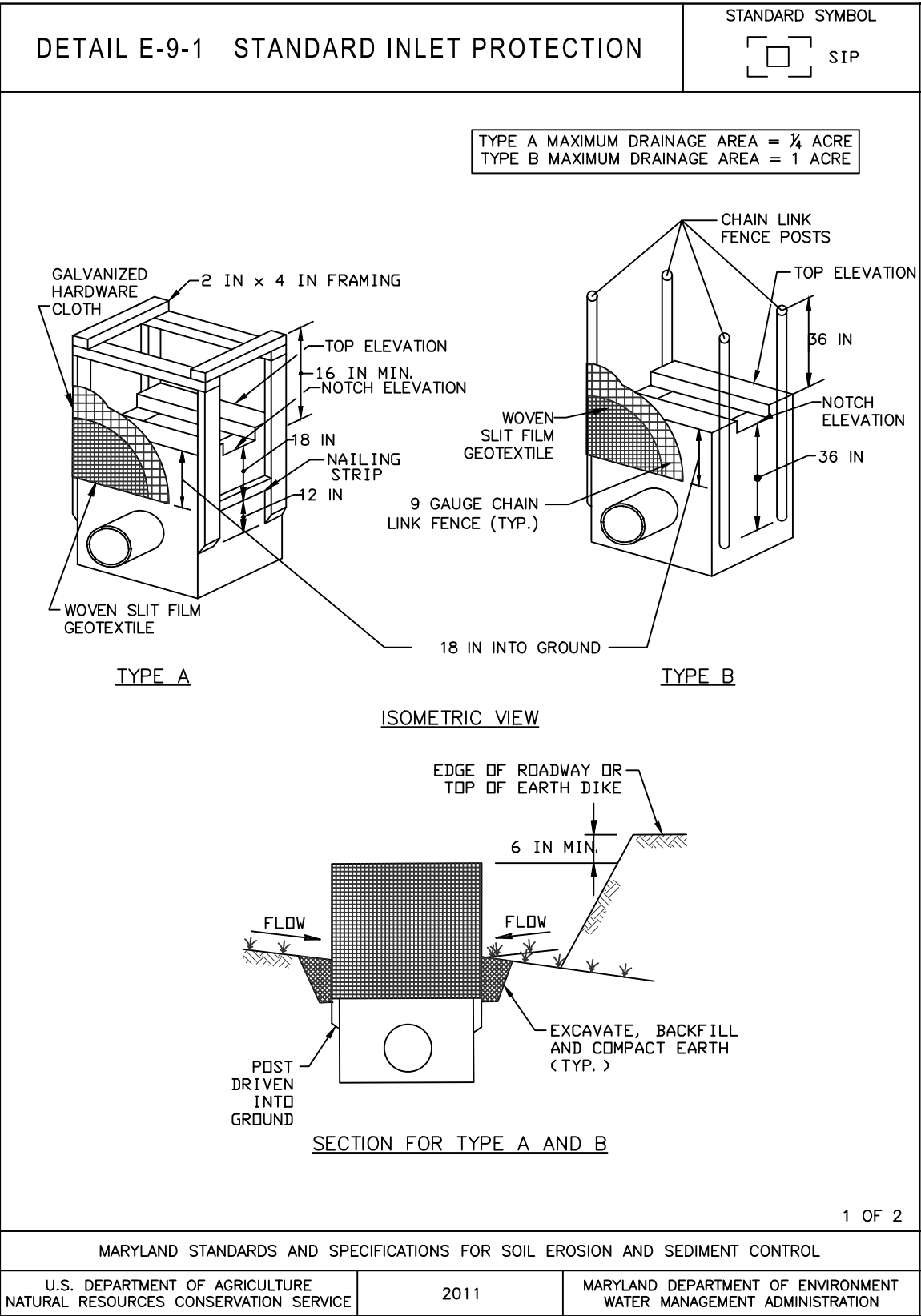
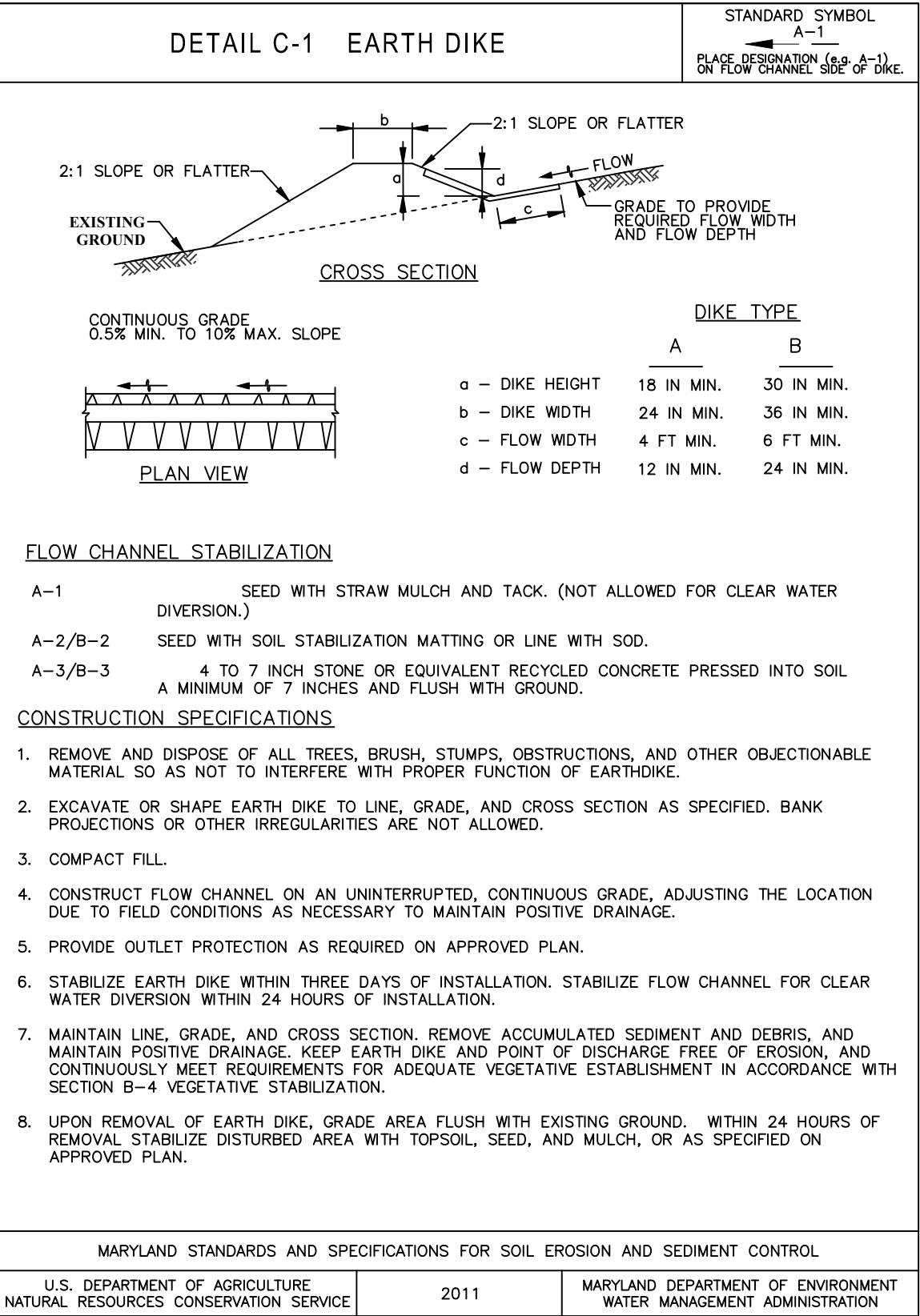
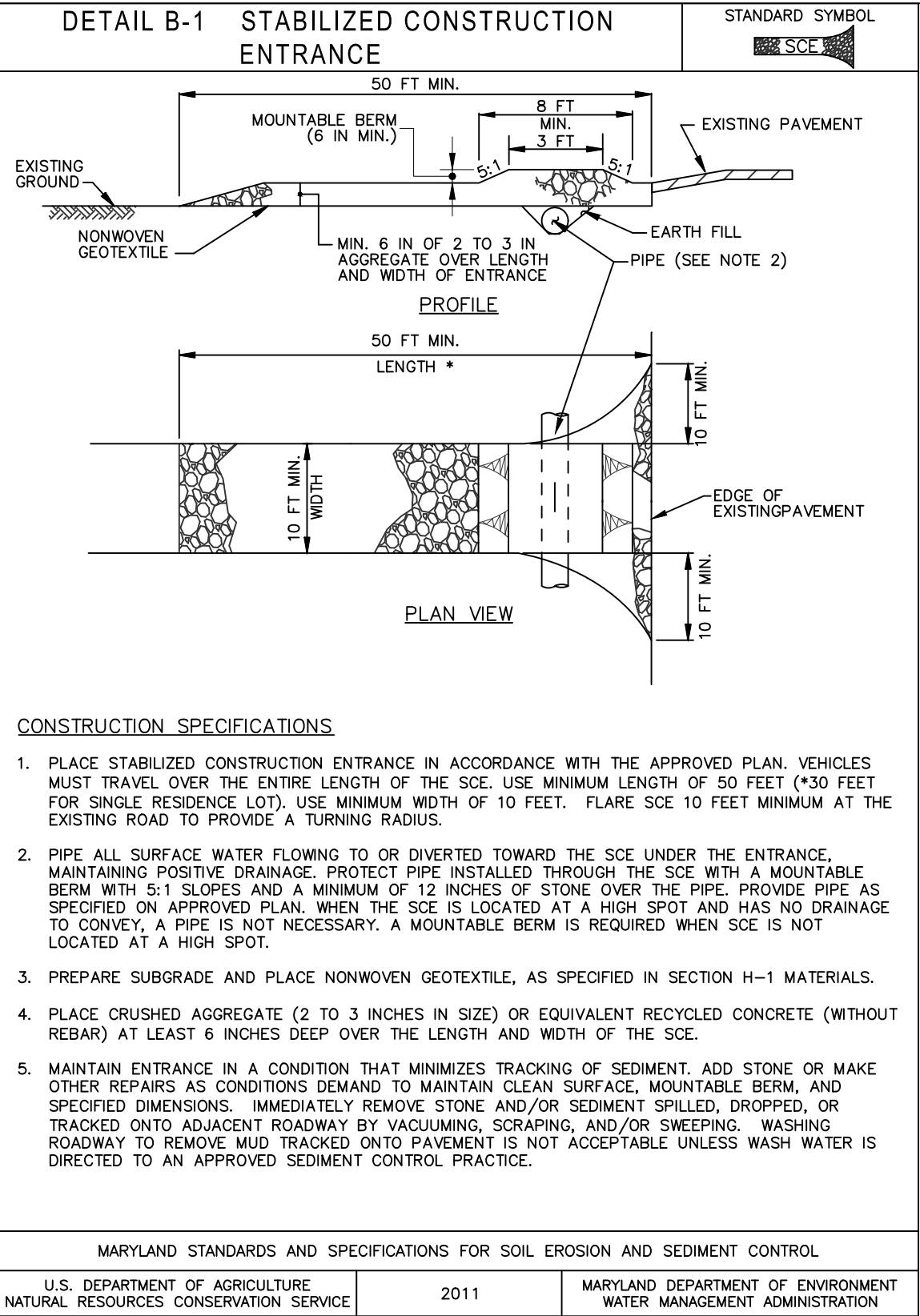
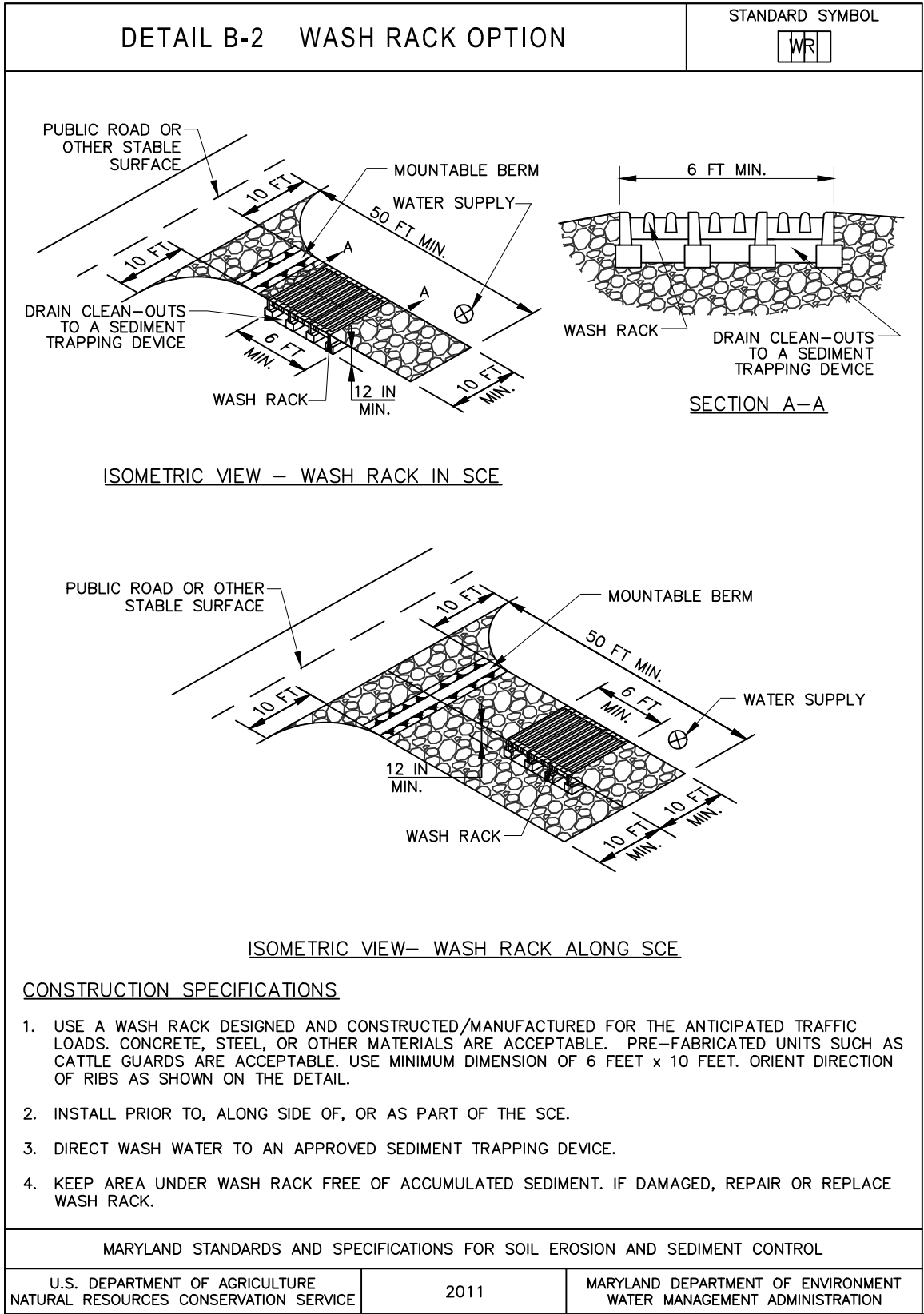
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LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

16 of 23



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#### DATA SOURCES

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**CENTURY ENGINEERING**

A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

### CONCEPT SITE DEVELOPMENT PLANS FOR 55+ RETIREMENT VILLAGE SEDIMENT AND EROSION CONTROL PLAN SHEET DETAILS RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD

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LICENSE NUMBER: 32574  
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DATE: 3/24/2025 SCALE: AS SHOWN DRAWING: 7 of 23

OWNER  
LONG MEADOW PARK LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
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CONTACT: MATT TAYLOR  
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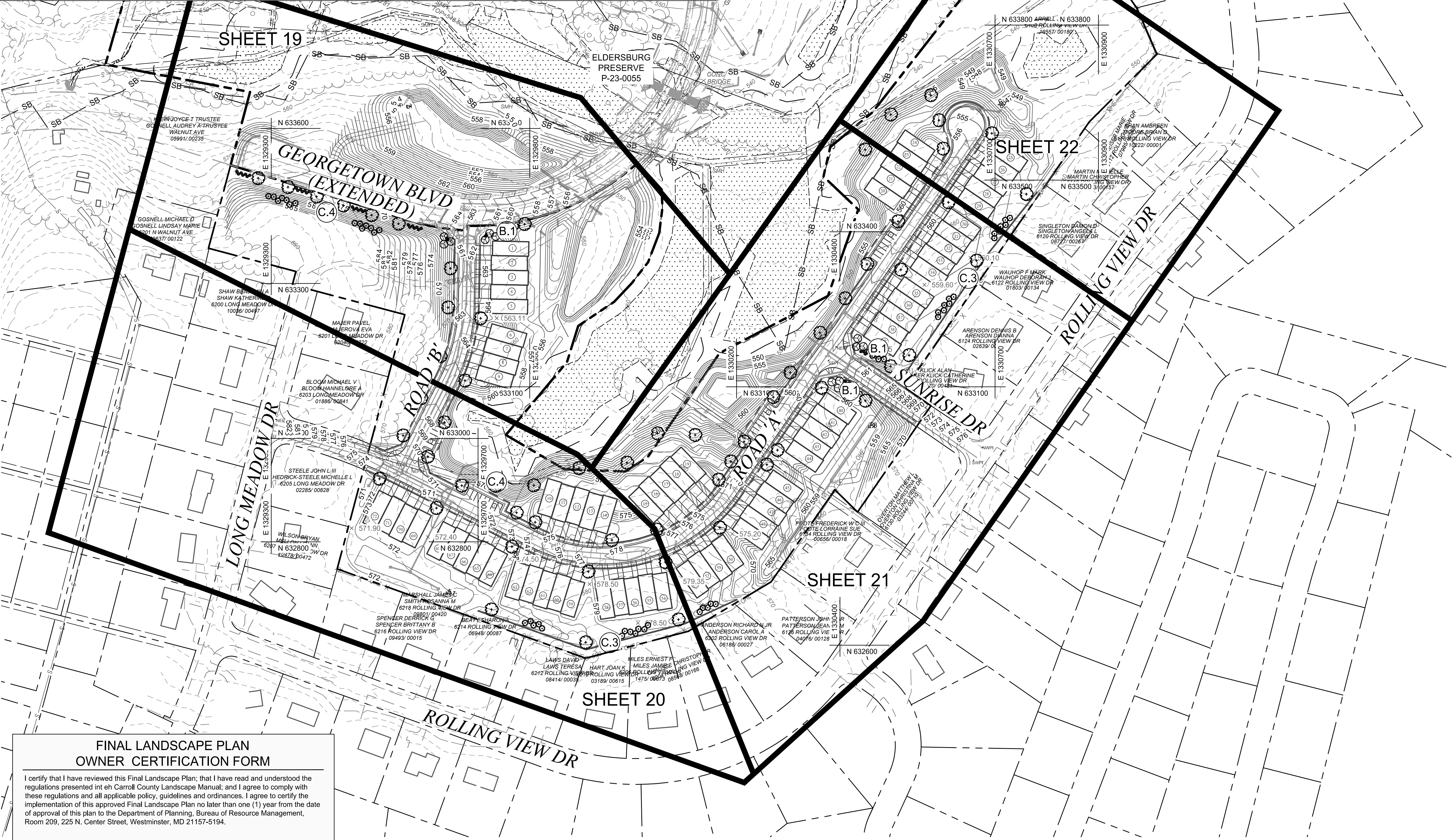


LANDSCAPE SCREENING REQUIREMENTS LEGEND

- (B.1) Rear / Side Yards Adjacent to Streets, Class 'A' Screening: 15' Landscape Area Planted at 1 PU / 20 LF
- (C.3) Retaining Wall: Planted at 1 PU / 25 LF
- (C.4) Slopes Greater Than 3:1, Exceeding 10 Feet in Height: Planted at 1 PU / 400 SQFT

PROPOSED PLANT UNITS		
PLANT TYPE	QUANTITY	PLANT UNITS
SHADE TREE	61	1 TREE / 1 PU = 61 PU
FLOWERING TREE	12	2 TREES / 1 PU = 6 PU
EVERGREEN TREE	60	2 TREES / 1 PU = 30 PU
SHURBS	49	5 SHRUBS / 1 PU = 9.8 PU
		TOTAL = 106.8 PU
*SEE SHEET 19 FOR LANDSCAPE QUANTITIES BREAKDOWN		

LANDSCAPE REQUIREMENTS PER CARROLL COUNTY LANDSCAPE MANUAL, APRIL 2013					
SECTION	REQUIREMENT	BASIS	CREDIT	REQUIRED PUs	PROVIDED PUs
2.I.B.1	REAR/SIDE YARDS ADJACENT TO STREETS, CLASS 'A' SCREENING: 15' LANDSCAPE AREA (1 PU / 20 LF)	210 LF	0 LF	210 / 20 = 10.5 PU	18.2 PU
2.III.C.3	RETAINING WALL: (1 PU / 25 LF)	980 LF	0 LF	980 / 25 = 39.2 PU	40.0 PU
2.III.C.4	SLOPES GREATER THAN 3:1, EXCEEDING 10' IN HEIGHT: (1 PU / 400 SQFT)	19,230 SQFT	0 LF	19,230 / 400 = 48.1 PU	48.6 PU
		TOTAL		97.8 PU	106.8 PU



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CONCEPT SITE DEVELOPMENT PLANS  
FOR 55+ RETIREMENT VILLAGE

CONCEPT LANDSCAPE PLAN

**RESERVOIR RUN**

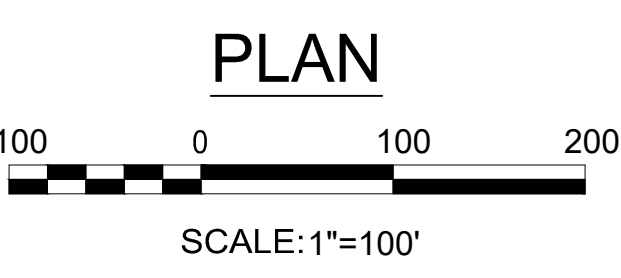
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DATE: 3/24/2025	SCALE: AS SHOWN
PROJECT NUMBER: 20211253.005A	DRAWING: 18 of 23

FINAL LANDSCAPE PLAN  
OWNER CERTIFICATION FORM

I certify that I have reviewed this Final Landscape Plan; that I have read and understood the regulations presented in the Carroll County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan no later than one (1) year from the date of approval of this plan to the Department of Planning, Bureau of Resource Management, Room 209, 225 N. Center Street, Westminster, MD 21157-5194.

Applicant Signature	Date	Print Name
Address	Street	Phone No.
City	State	Zip
File #		



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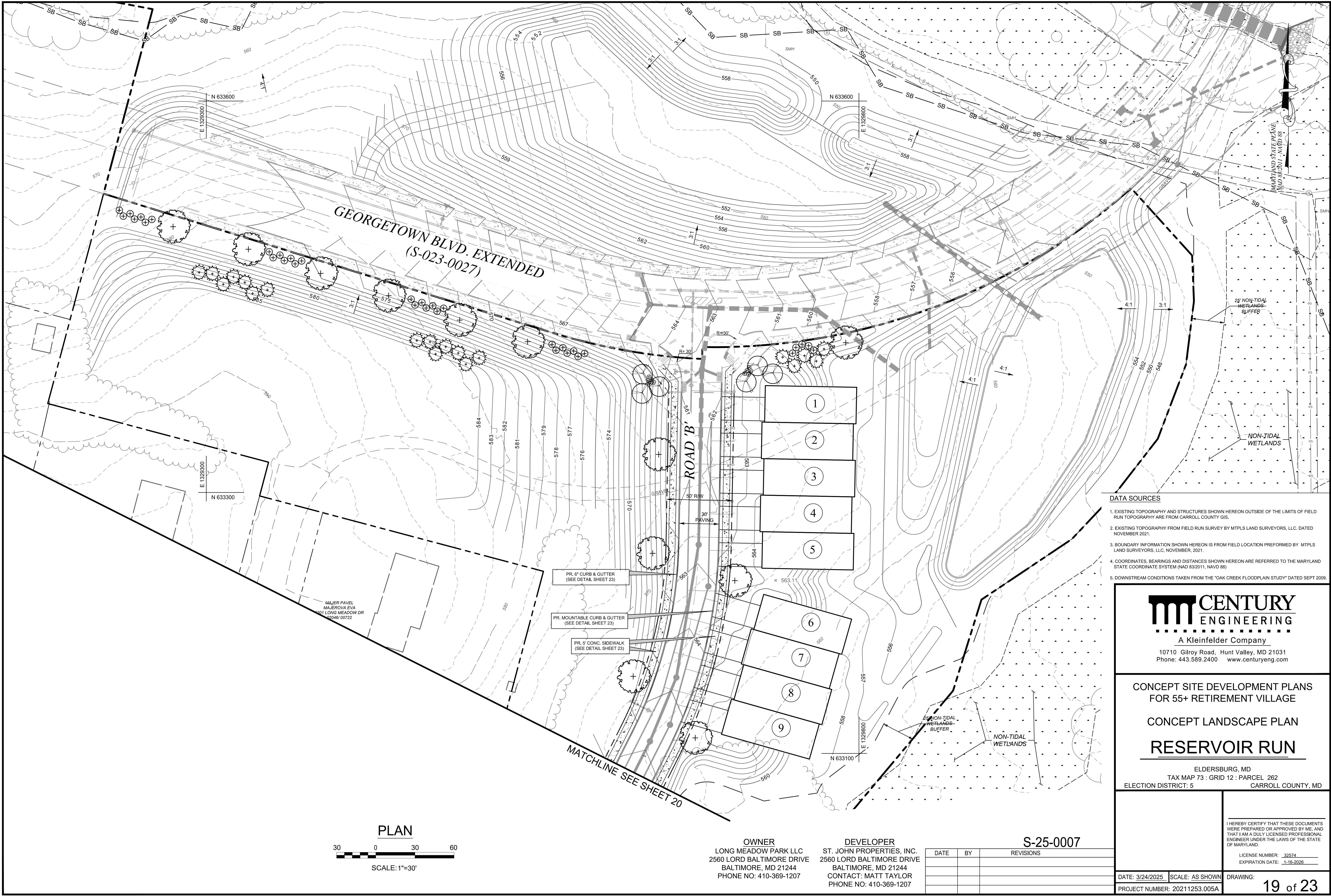
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CONCEPT SITE DEVELOPMENT PLANS  
FOR 55+ RETIREMENT VILLAGE

CONCEPT LANDSCAPE PLAN

**RESERVOIR RUN**

ELDERSBURG, MD  
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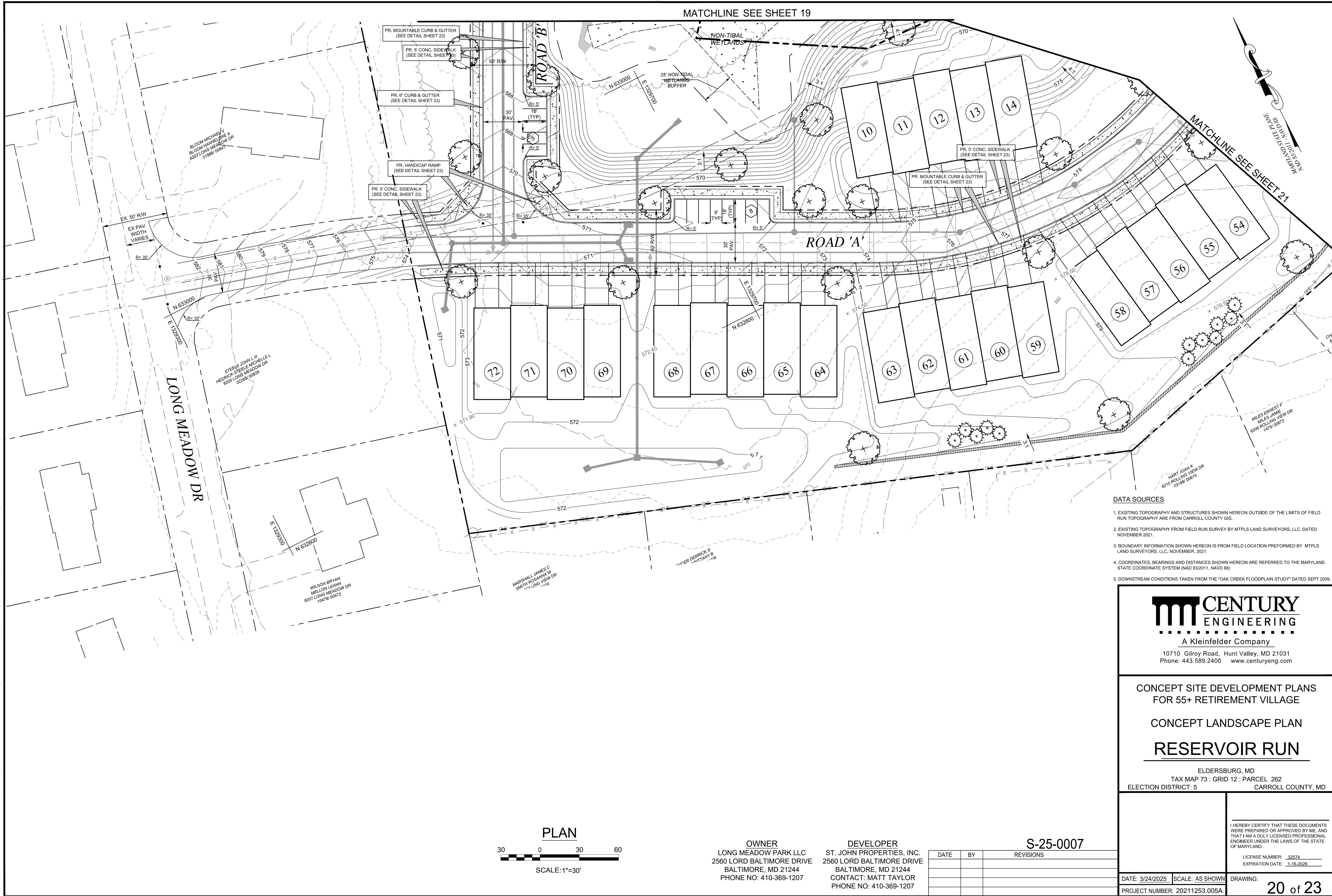
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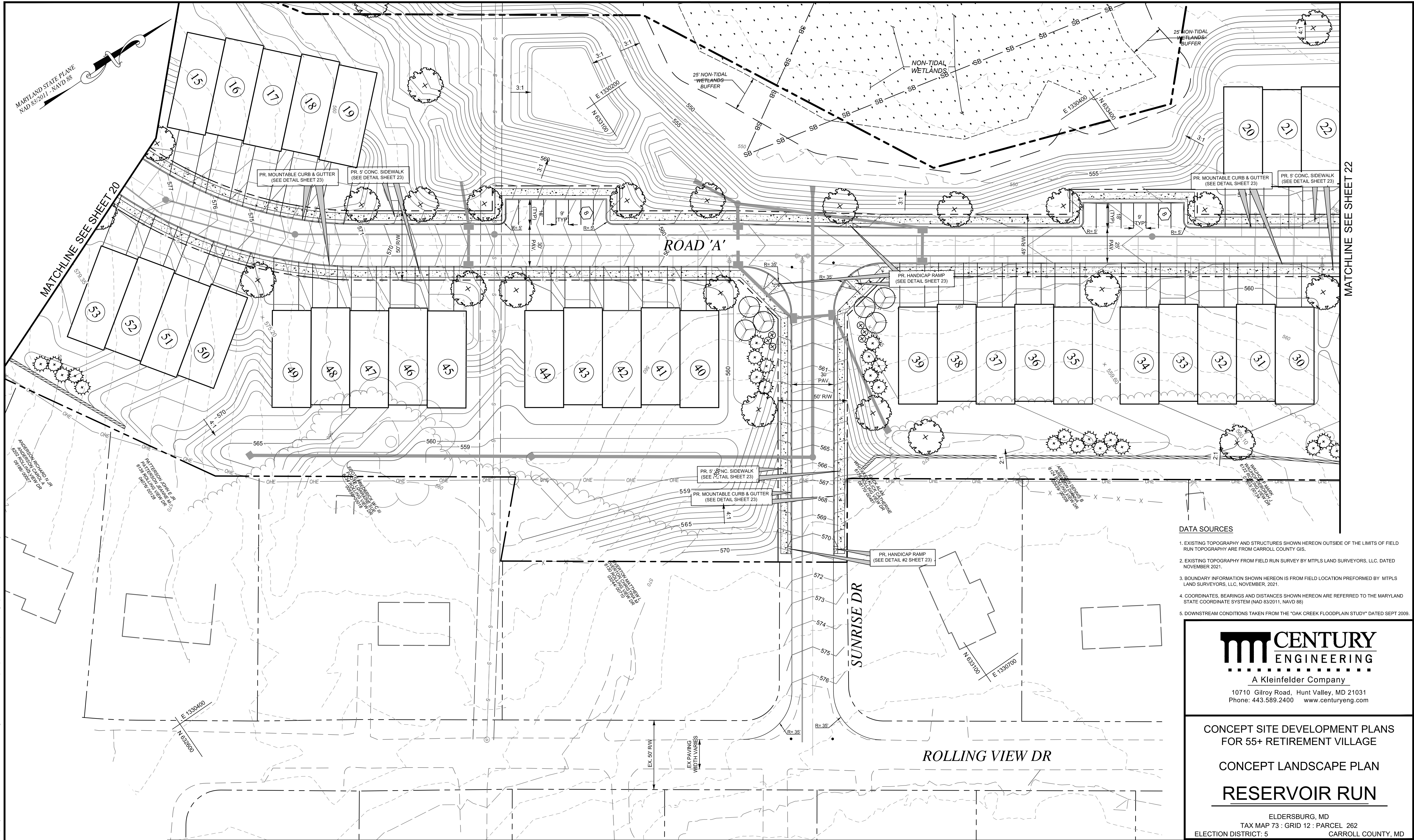
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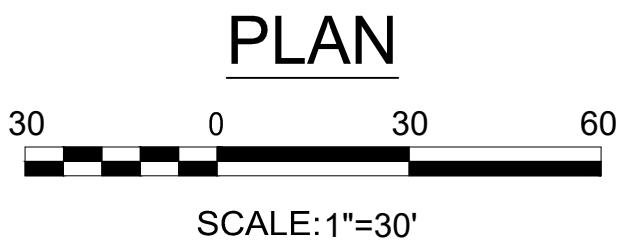
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CARROLL COUNTY LANDSCAPE SPECIFICATIONS

- All plants shall be identified in accordance with the latest Edition of Hortus Third, by "The Staff of the Hortorium".
- All nursery stock shall conform to American Association of Nurserymen, Inc., standards as described in American Standard for Nursery Stock, current ANSI Z-60.1 specifications.
- Landscape specifications shall conform to Landscape Contractors Association Specification Guidelines for Maryland, Washington, D.C., and Virginia, latest edition and Century Engineering, Inc. specifications. All nursery stock shall be planted in accordance with the procedures outlined in the guidelines.
- Three (3) inches of topsoil on all disturbed areas to be landscaped, seeded or sodded is required.
- A separate plan labeled "Landscape Plan" (may be combined with Forest Conservation Plan) is required. Landscape requirements may not be combined with the Forest Conservation Plan.

PLANTING NOTES

- Plant material substitutions will not be accepted without approval of the Landscape Architect.
- All Shrubs and groundcover areas shall be planted in continuous prepared planting beds.
- All shrub beds shall be mulched with hardwood mulch as detailed and specified except where noted on plans.
- Maintain positive drainage out of planting beds at a minimum of two percent slope.
- Plant quantities are provided for the convenience of the contractor. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All areas within contract limits disturbed during or prior to construction not designated to receive plantings and mulch shall be fine graded and seeded in accordance with planting and construction.
- The contractor shall notify Miss Utility, (800-257-7777) a minimum of three working days prior to planting and construction.
- Contractor shall test pit prior to plant installation.

IRRIGATION METHODS

- The use and maintenance of drip irrigation bags or rings around the trunks of newly-planted trees.
- Hand watering, with water sources provided through either or both of the following methods:
  - Exterior faucets on a building, located so that the farthest planting can be reached by a length of hose (100 feet recommended).
  - A quick-coupling system, with connections located so that the farthest planting can be reached by a length of hose (100 feet recommended).
  - A water tank or truck.
- An automatic irrigation system with a moisture-sensing device and/or rain shut-off switch. If using an automatic irrigation system, the following requirements shall be met:
  - All irrigation systems shall be designed to minimize vandalism.
  - Sprinklers must not over-spray onto pavement. Sprinkler and spray heads are not permitted for planting areas less than eight (8) feet in width, to prevent overspray and run-off. Other irrigation methods shall be specified in such areas.
  - Place lawn areas in a separate irrigation zone from shrub and groundcover beds so that each planting type can receive adequate irrigation without over-watering areas with lower irrigation needs.
  - Drip irrigation is recommended for shrub and groundcover beds. Drip irrigation shall be used in areas smaller than five (5) feet in any direction.
- The use of rainwater harvesting techniques combined with the use of harvested rainwater for landscape irrigation is encouraged.

NON-INVASIVE NOTE

- Non-invasive vegetation that is native or regionally appropriate for local growing conditions has been selected to promote biodiversity.

MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- A two year plant replacement warranty and two years of maintenance are required by the County.
- Lawn areas shall be mowed to a height of 2 to 3 inches and not allowed to reach a height of 4 inches before mowing.
- All curbs and walks shall be edged as needed.
- All lawn areas adjacent to building faces or structures shall be trimmed.
- A slow release nitrogen balanced fertilizer with a 2-1-1 ratio shall be applied at a rate of 2 pounds of nitrogen per 1000 square feet in September, October, and February.
- Lime shall be applied at the rate determined by a soils report.
- It is recommended that lawn areas be treated in mid-March to early April with pre-emergent herbicide (Betasan) or equal applied at the manufacturer's rate.
- A post-emergent herbicide (Trimec) or equal is recommended to be sprayed on lawn areas in the late spring or early fall. Follow manufacturer's rates and recommendations.
- Insecticides and fungicides are recommended for insect and disease control.
- Re-seed bare areas of lawn as necessary. Yearly aeration is recommended.
- All trash, litter, and debris shall be removed from lawn areas, parking lots, and shrub beds as needed.
- Mulch all shrub and groundcover beds yearly with 3 inches of shredded hardwood bark.
- Permit shrubs and trees to grow and enlarge to their design size. Consult project Landscape Architect for details.
- Prune trees in accordance with Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas.
- Maintenance of landscape areas includes, but is not limited to weeding, mulching, mowing, trimming, pruning, edging, cultivation, seeding, fertilization, watering, pest control, and any other maintenance necessary to ensure healthy, vigorous plant growth and well-kept property condition.
- Landscape elements such as walls and fences shall be constructed in a sound workmanlike manner with adequate support or footings and must be repaired or replaced as needed to preserve an attractive appearance and to function as intended.
- Any dead plants or plants which fail to show healthy growth must be removed and replaced within 60 days of identification of deteriorated health or notification by the County. Replacement may be delayed until the next growing season only if the 60 day period occurs during a time of year not suitable for planting.
- All replacement plants must meet the size and other characteristics of newly planted material as required in the manual.
- Trees and large shrubs must be adequately supported, when necessary to insure proper growth. Tree staking must be removed prior to final inspection, with the exception of plants replaced during the warranty period and not yet established.
- It is desirable to avoid excessive use of fertilizers and pesticides to minimize impacts on water quality. It is recommended that fertilizer application be need-based rather than as an automatic component of maintenance schedules and when appropriate, slow-release or natural fertilizers be selected over highly-soluble chemical fertilizers.
- The implementation of an Integrated Pest Management (IMP) program is recommended to prevent and treat pest problems.

STANDARDS & SPECIFICATIONS FOR PLANTING

TIMETABLE FOR PLANTING

ALL B&B AND CONTAINER PLANTING SHALL BE DONE BETWEEN MARCH 25 AND APRIL 30, FOR SPRING PLANTING, AND BETWEEN OCTOBER 15 AND DECEMBER 1 FOR FALL PLANTING.

PLANT MATERIAL

SEE PLANT LIST FOR EACH PLANTING AREA.

PLANTING SITE PREPARATION

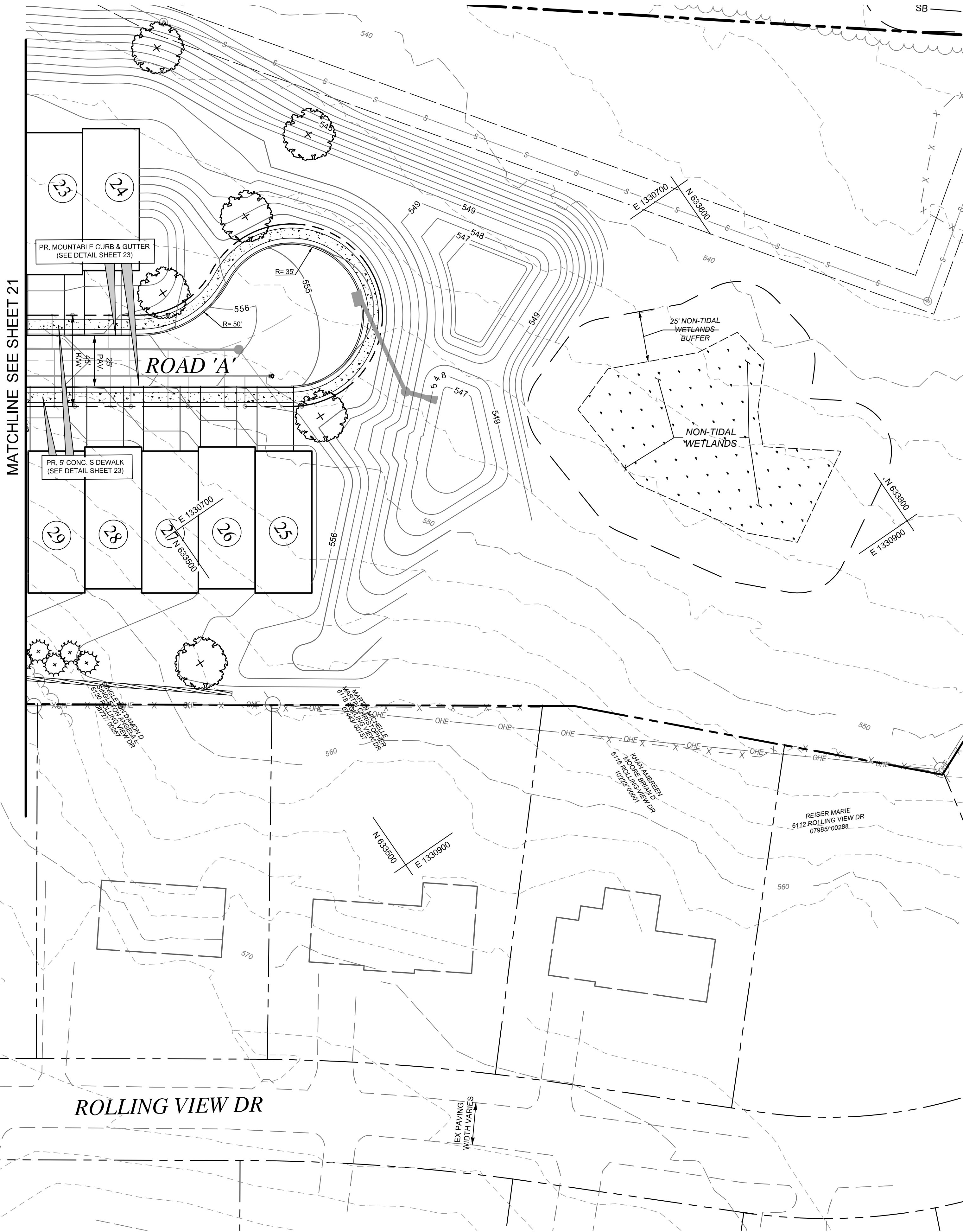
CONTRACTOR SHALL ERADICATE ALL INVASIVE PLANT MATERIAL WITHIN PLANTING AREAS PRIOR TO PLANTING. ONCE THE PLANTING AREA IS CLEAR OF INVASIVES, PREPARE A PLANTING PIT FOR EACH TREE AND SHRUB. THE AREA DISTURBED FOR THE PIT IS TO BE MULCHED WITH A SHREDDED HARDWOOD PRODUCT. SOIL TESTING IS RECOMMENDED FOR MACRONUTRIENT DEFICIENCIES AND pH LEVELS. PROPER SOIL AMENDMENTS SHOULD BE MADE IF DEEMED NECESSARY.

PLANT MATERIAL STORAGE

IT IS RECOMMENDED THAT PLANTING OCCUR WITHIN 24 HOURS OF DELIVERY TO THE SITE. PLANT MATERIALS LEFT UNPLANTED FOR MORE THAN 24 HOURS SHALL BE PROTECTED FROM DIRECT SUN AND WEATHER AND KEPT MOIST. PLANT MATERIAL SHOULD NOT BE LEFT UNPLANTED FOR MORE THAN TWO WEEKS.

PLANTING METHOD

SEE PLANTING DETAILS FOR EACH TYPE OF PLANT MATERIAL USED. ALL TREES SHALL BE INSTALLED WITH TREE SHELTERS.



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**RESERVOIR RUN**

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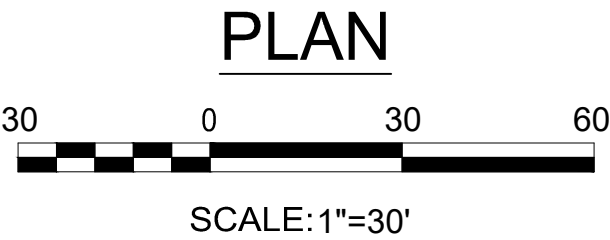
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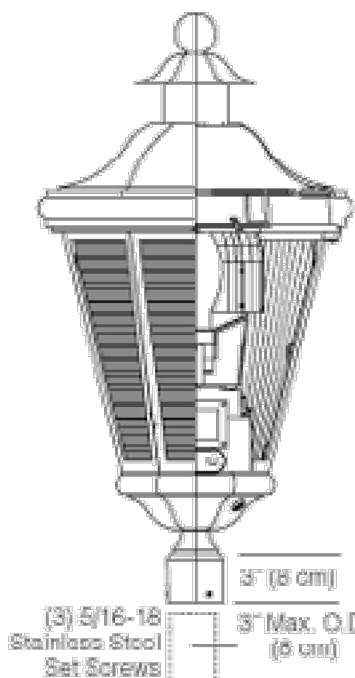


TOWNHOUSE REAR ELEVATION  
NOT TO SCALE

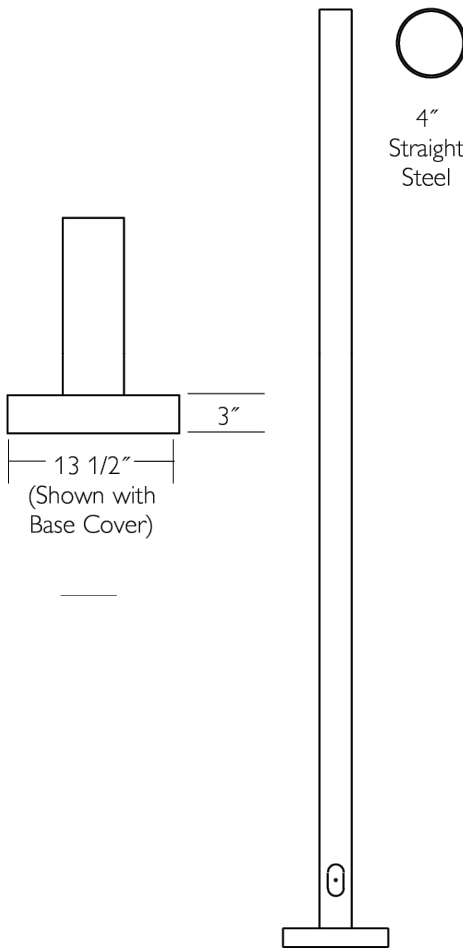


TOWNHOUSE FRONT ELEVATION  
NOT TO SCALE

\* 35' MAX HEIGHT



HADCO OLD WORLD LIGHT  
NOT TO SCALE



HADCO P170 LIGHT POLE (16')  
NOT TO SCALE

- DATA SOURCES**
1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
  2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
  3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
  4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
  5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.



**CENTURY**  
ENGINEERING

A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031  
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CONCEPT SITE DEVELOPMENT PLANS  
FOR 55+ RETIREMENT VILLAGE

BUILDING ELEVATIONS

**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5    CARROLL COUNTY, MD

I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME, AND  
THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.

LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

DATE: 3/24/2025    SCALE: AS SHOWN    DRAWING: 23 of 23

PROJECT NUMBER: 20211253.005A

OWNER  
LONG MEADOW PARK LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

S-25-0007		
DATE	BY	REVISIONS