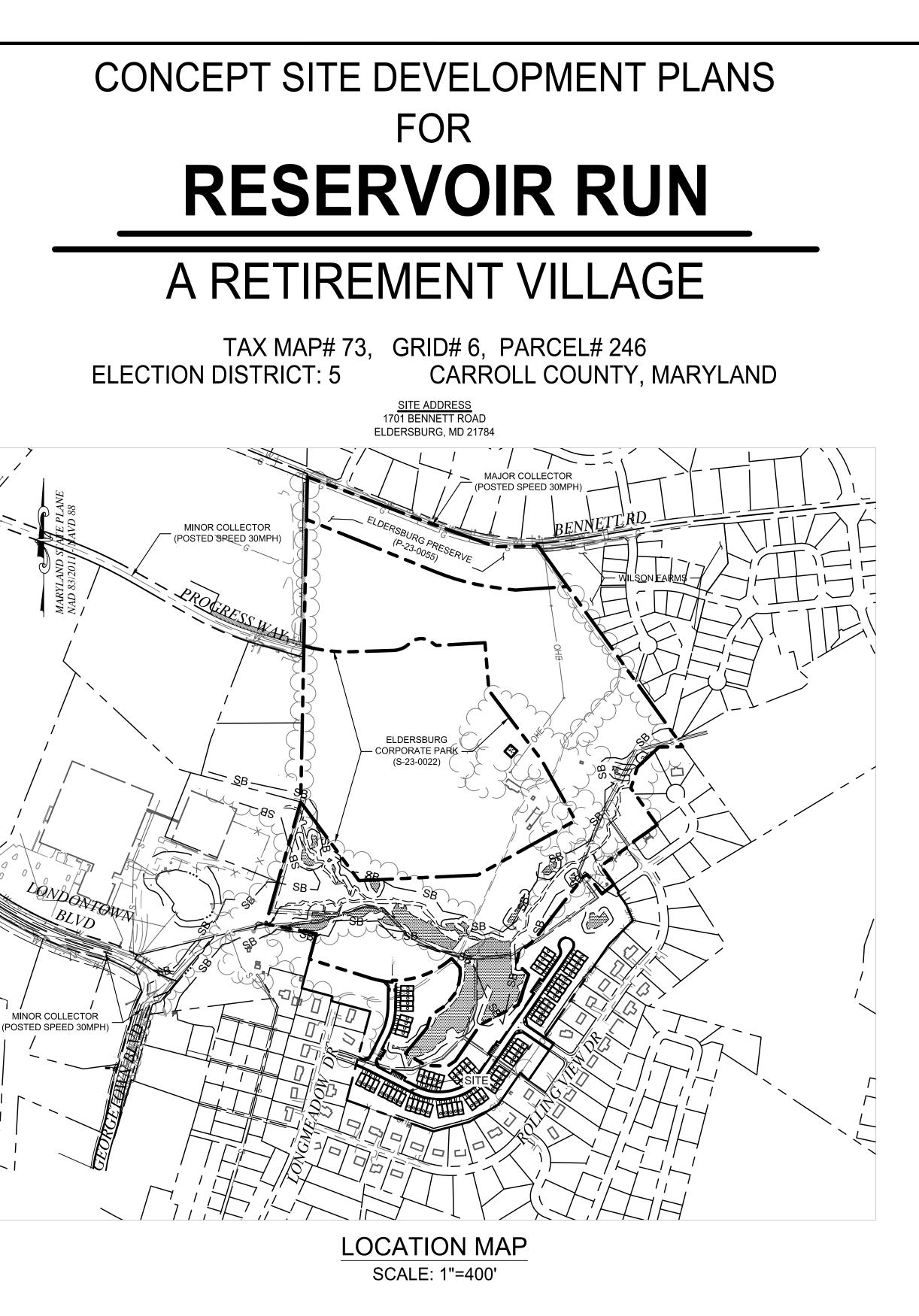
### SITE DETAILS

- . EXISTING ZONING: R-20,000 RESIDENTIAL DISTRICT
- 2. TOTAL AREA OF SITE: 20.71 AC (902,053.37 S.F.)
- 3. EXISTING USE: FALLOW/ FARM
- 4. PROPOSED USE: 55+ RETIREMENT VILLAGE . THE PROPERTIES SHOWN HEREON IS OWNED BY:
- LONG MEADOW PARK, LLC
- 2560 LORD BALTIMORE RD BALTIMORE, MD 21244
- . TAX MAP: 73
- PARCEL : 262 GRID: #6
- PROPERTY BOUNDARY AND EXISTING TOPOGRAPHY SHOWN PER FIELD SURVEY BY SAMS COMPANIES (FORMERLY MTPLS, INC.) DATED 11/2021
- . LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION ARE EXISTING HYDRANTS LOCATED ON LONG MEADOW DR, AND ROLLING VIEW DR. ADDITIONAL HYDRANTS ARE PROPOSED ON SITE AS PART OF THIS SITE DEVELOPMENT PLAN TO ADDRESS FIRE PROTECTION REQUIREMENTS.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND WERE BASED ON ARCHIVAL DRAWINGS PROVIDED BY CARROLL COUNTY AND/OR THE STATE OF MARYLAND. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES TO THEIR OWN SATISFACTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY RESULTING FROM ANY INACCURACIES THEREON.
- 0. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES, AND NOT COMMENCE WORK UNTIL ALL UTILITIES HAVE BEEN CLEARLY MARKED.
- 1. THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- 12. ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION
- 13. THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF THE TIME LIMIT HAS BEEN ISSUED BY THE DIRECTOR OF PLANNING AND LAND MANAGEMENT
- 14. NOTE: ALL PROPOSED SPOT ELEVATIONS ARE LOCATED AT BOTTOM OF CURB AND ALL DIMENSIONS ARE TO FACE OF CURB UNLESS LABELED OTHERWISE.
- 15. THE COORDINATES SHOWN HEREON ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM - NAD 83 (2011) AND ARE BASED UPON THE FOLLOWING CONTROL STATIONS:

NORTH (SFT)	EAST (SFT)	ELEV.
633722.46	1326946.06	615.11
633573.26	1328331.51	583.43
	633722.46	633722.46 1326946.06

- 16. THERE IS AN EXISTING COUNTY REGULATED FLOODPLAIN AS WELL AS WETLANDS, STREAMS AND ASSOCIATED BUFFERS ON SITE.
- 17. THE SITE IS APPROXIMATELY 10,000' FROM THE NEAREST PRODUCTION WELL.
- 18. NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY
- 19. UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES ONCE APPROVAL HAS BEEN GRANTED
- 0. ENTRANCE CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THAT OFFICE AT 410-386-2157 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING WORK IN OR ALONG ANY PUBLIC ROAD.
- 1. CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF UTILITIES AT 410-386-2164 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON PUBLIC WATER OR SEWER WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS.
- 22. THE SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND MANAGEMENT AREA. IF THE PROPOSED USE OF ANY BUILDING IS TO INCLUDE THE STORAGE OR USE OF REGULATED SUBSTANCES, THE REQUIREMENTS OF CHAPTER 154, WATER RESOURCE MANAGEMENT OF THE CARROLL COUNTY CODE OF PUBLIC LOCAL LAWS AND ORDINANCES MUST BE ADDRESSED.
- 1. VARIABLE WIDTH STREAM BUFFER DELINEATION AND SUBSEQUENT EASEMENT DEDICATION ARE BEING ADDRESSED UNDER ELDERSBURG CORPORATE PARK (S-23-0022) SITE PLAN. IF THIS PLAN IS APPROVED PRIOR TO SITE PLAN (S-23-0022), ALL REQUIREMENTS OF CHAPTER 154 MUST BE ADDRESSED ON THIS PLAN FOR ANY WATER RESOURCES ON SITE.
- 2. IMPACTS TO WATER RESOURCES RESULTING FROM THE ROAD CONSTRUCTION AND STREAM CROSSING ARE BEING ADDRESSED UNDER ELDERSBURG COPORATE PARK (S-23-0022) SITE PLANS. F THIS PLAN IS APPROVED PRIOR TO SITE PLAN (S-23-0022), ALL REQUIREMENTS OF CHAPTER 154 MUST BE ADDRESSED ON THIS PLAN FOR ANY WATER RESOURCES ON SITE.
- 23. THERE ARE NO TRAIL BLAZER ROUTE/ STOPS NEAR THE SUBJECT PROPERTY.
- 24. WHERE SIDEWALKS CROSS DRIVEWAYS THE MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2.00%. 25. GEORGETOWN BOULEVARD EXTENDED WILL BE CONSTRUCTED WITH ELDERSBURG CORPORATE PARK (S-23-0022).

REQUIRED: 2 SPACES PER EACH DWELLING UNIT PROVIDED: 2 GARAGE SPACES + 2 DRIVEWAY SPACES = 4 SPACES PER DWELLING UNIT



USE: AGE RESTRICTED ADULT HOUSING

72 DWELLING UNITS X 2 = 144 SPACES

72 DWELLING UNITS X 4 = 288 SPACES 29 OVERFLOW PARKING SPACES

### TRIP GENERATION:

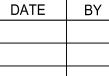
ITE TRIP GENERATION MANUAL (11<sup>TH</sup> EDITION) METHODOLOGY USED: #252 SENIOR ADULT HOUSING - MULTIFAMILY (72 UNITS)

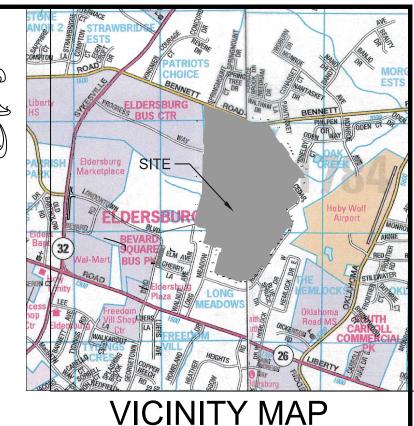
9 AM PEAK HOUR TRIPS 8 PM PEAK HOUR TRIPS

12 SATURDAY PEAK HOUR TRIPS 233 AVERAGE DAILY TRIPS (ADT)

> OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 PHONE NO: 410-369-1207

DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207





SCALE: 1"=2000'

LIST OF DRAWINGS

COVER SHEET ABBREVIATIONS AND LEGENDS SHEET EXISTING CONDITIONS PLAN SITE, UTILITY AND GRADING PLAN KEY SHEET SITE, UTILITY AND GRADING PLAN SHEET SITE DETAILS

SEDIMENT AND EROSION CONTROL KEY SHEET SEDIMENT AND EROSION CONTROL PLAN SHEET SEDIMENT AND EROSION CONTROL SPECIFICATIONS SEDIMENT AND EROSION CONTROL DETAILS SEDIMENT AND EROSION CONTROL DETAILS LANDSCAPE PLAN KEY SHEET LANDSCAPE PLAN LANDSCAPE PLAN LANDSCAPE PLAN

LANDSCAPE PLAN 23. BUILDING ELEVATIONS AND LIGHTS PLAN STORMWATER MANAGEMENT NOTE

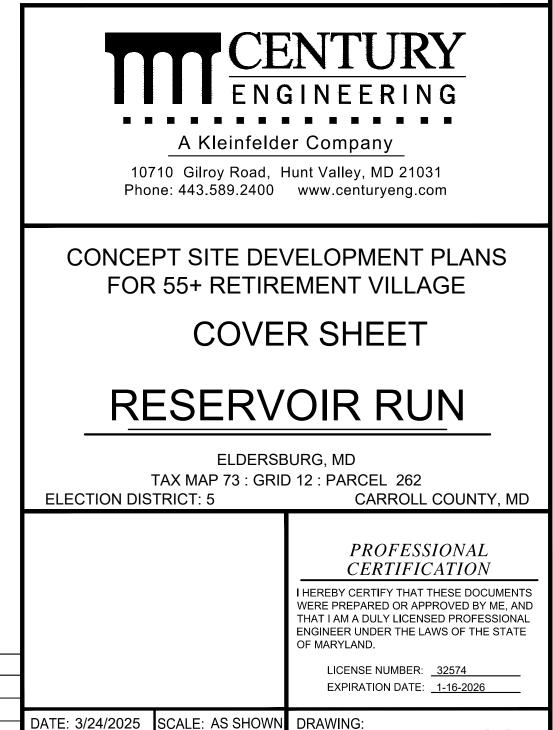
STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE CARROLL COUNTY POLICY FOR STORMWATER MANAGEMENT, AS SPECIFIED IN CHAPTER 151.015 THE CARROLL COUNTY CODE. THE STORMWATER FROM THIS SITE DRAINS INTO SNOWDENS RUN, A USE II STREAM, ACCORDINGLY, THE 100-YEAR STORM WILL BE MANAGED THROUGH A COMBINATION OF GRASS SWALES, SAND FILTERS, SUBMERGED GRAVEL WETLANDS, MICRO-BIORETENTION FACILITIES, AND QUANTITY PONDS.

WATER RESOURCE MANAGEMENT NOTE

THIS PROPERTY DOES NOT FALL WITHIN A TIER II WATERSHED. THE PROPERTY IS WITHIN A TIER III WATERSHED, SURFACE WATER PROTECTION WATERSHED, AND SURFACE WATER MANAGEMENT AREA.

DATA SOURCES

- 1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
- 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.



PROJECT NUMBER: 20211253.005

of **23** 

S-25-0007
REVISIONS

### GENERAL NOTES

- 1. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES:
- A. DESIGN MANUAL VOLUME ONE ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.

B. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS. C. BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.

D. STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, 2008 EDITION, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.

E. MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION. F. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION,

PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.

- ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.
- 2. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
- 3. CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
- 4. LOCATIONS OF EXISTING UTILITIES ARE SHOWN ONLY AS NOTIFICATION TO CONTRACTOR OF THE PRESENCE OF UNDERGROUND UTILITIES. CARROLL COUNTY AND THE DESIGN ENGINEER DO NOT WARRANT OR GUARANTEE CORRECTNESS OR COMPLETENESS OF INFORMATION SHOWN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY AT 1-800-257-7777 FOR VERIFYING EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY DAMAGE TO EXISTING UTILITIES DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
- 5. DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.
- 6. IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
- 7. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLICWORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.
- 8. FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.
- 9. CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.
- 10. DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.
- 11. INLET GRATES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.
- 12. PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
- 13. WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1.0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED ON PLANS.
- 14. ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED IN THE UTILITY PERMIT.
- 15. ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON THE TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE. AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.
- 16. OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROW MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE **REVISION PROCESS.**
- 17. THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.
- 18. PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.
- 19. CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY PUBLIC RIGHT-OF-WAY.

# ABBREVIATIONS

APPROX.	APPROXIMATELY
AVE	AVENUE
BGE	BALTIMORE GAS & ELECTRIC
BL	BASELINE
C.O.	CLEANOUT
CAP	CONCRETE ARCH PIPE
cfs	CUBIC FEET PER SECOND
C.I.	CAST IRON
CL	CLEARANCE/CLEAR
C.L.F.	
CMAP CMP	CORRUGATED METAL ARCH PIPE CORRUGATED METAL PIPE
CONC.	CONCRETE
C&P	CHESAPEAKE & POTOMAC
Ψ.	CENTER LINE
D.	STORM DRAIN
D.C.	DETECTOR CHECK
D.I.	DUCTILE IRON
D.I.P./DIP	DUCTILE IRON PIPE
DEPT	DEPARTMENT
DWG	DRAWING
(E)	EAST
E.B.	EAST BOUND
ELEC	ELECTRIC
ELEV	ELEVATION
ESMT	EASEMENT
EX.	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF/FFE	FINISHED FLOOR ELEVATION
F.H.	FIRE HYDRANT
fps	FEET PER SECOND
G.	GAS
G.W.	GUY WIRE
GALV.	GALVANIZED
HDPE	HIGH DENSITY POLYETHYLENE PIF
HGL	HYDRAULIC GRADE LINE
H.B.	HAND BOX
HORIZ	HORIZONTAL
HWY	HIGHWAY
.  N ) /	
INV.	
LN LP	LANE LOW PRESSURE
LP M/MH	MANHOLE (STORM DRAIN)
MIN.	MINIMUM
(N)	NORTH
N.B.	NORTH BOUND
N/A	NOT APPLICABLE
NAD	NORTH AMERICAN DATUM
NAVD	NORTH AMERICAN VERTICAL DATU
OHE	OVERHEAD ELECTRIC
PKWY	PARKWAY
PR./PROP.	PROPOSED
PVC	POLYVINYL CHLORIDE
QTY.	QUANTITY
R/W	RIGHT-OF-WAY
RCCP	REINFORCED CIRCULAR CONCRET
RET	RETAINING
REV	REVISION
RD	ROOFDRAIN
(S)	SOUTH
S./SAN.	SANITARY
S.B.	SOUTH BOUND
S.H.C	SANITARY HOUSE CONNECTION
S/W	SIDEWALK
SCH	SCHEDULE
SD.	STORM DRAIN
SMH	SANITARY MANHOLE
SQ.FT.	SQUARE FEET
ST.	STREET
STD.	STANDARD
TCB	TRAFFIC CONTROL BOX
TYP.	
U/G	
UK	
VERT	VERTICAL
(W)	WEST
W.	WATER
W.B.	
W/ WHC	WITH WATER HOUSE CONNECTION
WM	WATER HOUSE CONNECTION WATER METER
V V I V I	

J	IN	3	

# IC

# CTION

# ENE PIPE

AL DATUM

ONCRETE PIPE

## TION

## ΟN

# SITE LEGEND

SHEL	<u>_EGEND</u>
ZONE: C-2	Zoning Line
ZONE: I-1 N 30°52'32' W - 100.00'	Property line with Bearing & Distance
	Adjoiner Property line
	Existing Easement line
-300	Existing Field Run Major Contour
-299	Existing Field Run Minor Contour
-300	Existing GIS Major Contour
-298 — — — — — — —	Existing GIS Minor Contour
13UC (A) 45UB (C)	Existing Soils Limits with HSG Designation
<u>Ex 15" SD</u> SD <u>(</u> D)	Existing Storm Drain Line (Less than 24") with Manhole
Ex 30" SD	Existing Storm Drain Line (24" and Greater)
	Existing Storm Drain Inlets
<u>    Ex 8" S                                   </u>	Existing Sanitary Sewer Line With Manhole
<u>Ex 8" W</u> WW	Existing Water Line With Valve
<u>Ex 8" GAS</u> G	Existing Gas Line With Valve
	Existing Underground Electric Lines
	Existing Overhead Electric Lines with Pole
— X — X — X —	Existing Chainlink Fence
//////	Existing Wood Fence
	Existing Pavement Edge
=====	Existing Curb & Gutter
	Existing Sidewalk
	-
	Existing Structure
////////	Existing Wood Fence
	Existing Non-tidal Wetlands
	25' Non-tidal Wetlands Buffer
—— SB —— SB ——	Variable Width Stream Buffer
——— FP ——— FP ———	Flood Plain
茶	Existing Street Light
þ	Ex. Water Valve
WM	Ex. Water Meter
×	Existing Fire Hydrant
⊖ sco	Ex. Sanitary Cleanout
	Ex. Sign
	Limit of Field Run Topo
290	Proposed Major Contour
287	Proposed Minor Contour
	Proposed Structure
	Proposed Pavement Edge
	Proposed Curb & Gutter
······································	
	Proposed Sidewalk
	Proposed Crosswalk
	Proposed Sidewalk Ramp
	Handicap-Accessible Parking Space Symbol
	(for proposed handicap-accessible parking stalls)
PROP. 15" D.	Proposed Retaining Wall
	Proposed Storm Drain with Manhole
	Proposed Storm Drain Inlets
PROP. 8" S.	
	Proposed Sewer With Manhole
PROP. 8" W.	Proposed Water
Г.	Proposed Site Lighting
	Droposod Eiro Wydropt
×	Proposed Fire Hydrant Proposed Water Reducer
	Proposed Water Valve
Ý	Proposed Sign
	Proposed Paving

# NOTE:

NOT BE REFER FOR SU LEGEND

OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DRIVE BALTIMORE. MD 21244 PHONE NO: 410-369-1207

DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207



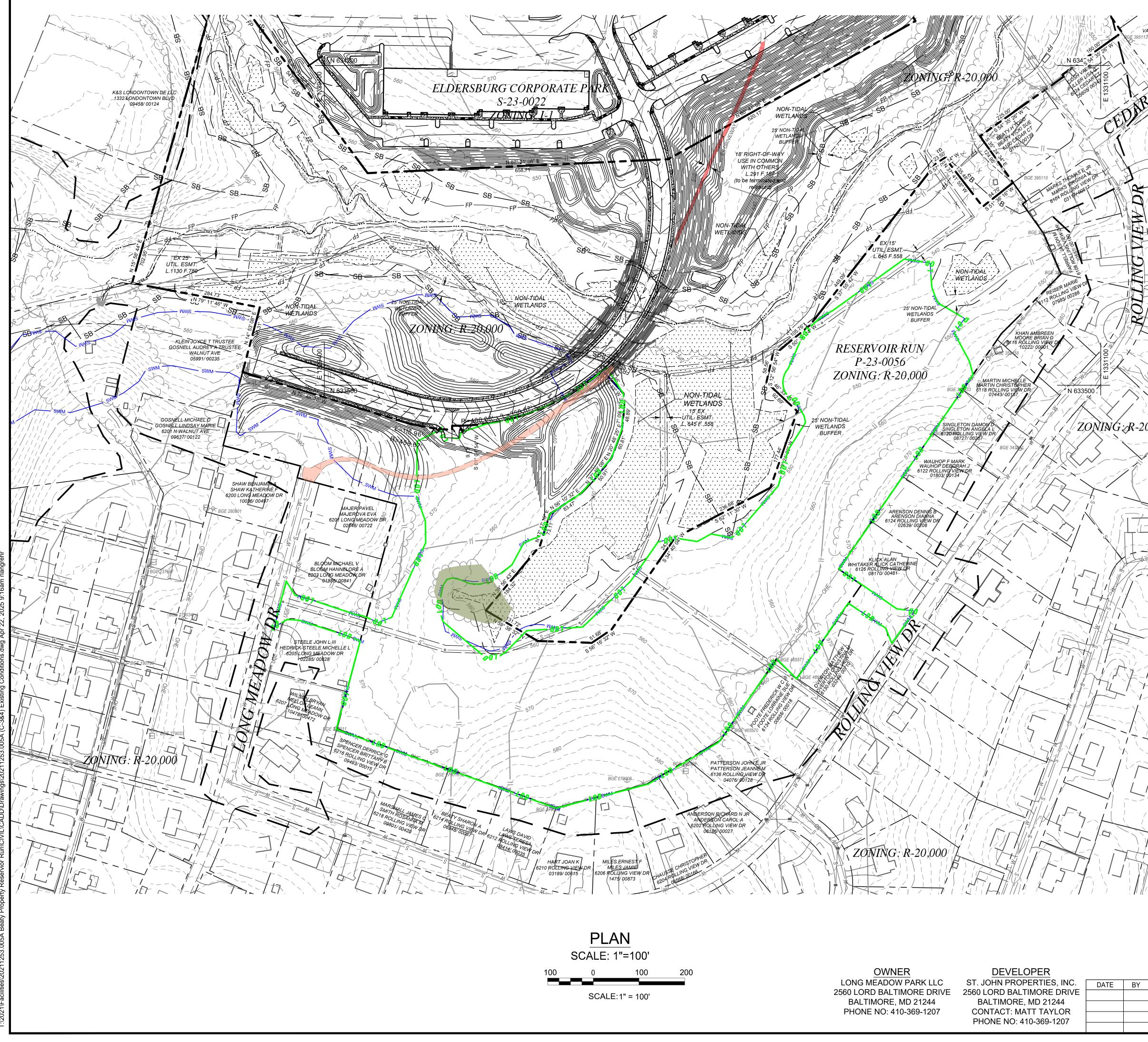
	STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
5	A Kleinfelder Company 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com
	CONCEPT SITE DEVELOPMENT PLANS FOR 55+ RETIREMENT VILLAGE LEGENDS & ABBREVIATIONS SHEET
MS SHOWN IN LEGEND MAY PRESENT ON ALL SHEETS;	RESERVOIR RUN ELDERSBURG, MD TAX MAP 73 : GRID 12 : PARCEL 262
TO INDIVIDUAL PLAN SHEETS PPLEMENTAL PLAN-SPECIFIC DS.	ELECTION DISTRICT: 5       CARROLL COUNTY, MD         PROFESSIONAL       PROFESSIONAL         CERTIFICATION       I HEREBY CERTIFY THAT THESE DOCUMENTS
S-25-0007 ATE BY REVISIONS	WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: <u>32574</u> EXPIRATION DATE: <u>1-16-2026</u>
	DATE: <u>3/24/2025</u> SCALE: <u>AS SHOWN</u> DRAWING: PROJECT NUMBER: 20211253.005A <b>Zf 23</b>

3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021. 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND

2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.

DATA SOURCES





Existing Impervious Areas within LOD

Existing Wooded Areas within LOD

EX. Meadow Within LOD

SWM Study Area (For ESD Computations)

## REFER TO SHEET 2 FOR MASTER LEGEND.

### R-20,000 ZONED AREA

ATENAV

M

Та	ble 5.1 Natu	ral Resources and the Corres	sponding Re	gulatory Authorities	
EDERAL		STATE		LOCAL	
'etlands	Not Present	Tidal and Non-Tidal Wetlands	Shown	Steep Slopes	Shown
ajor Waterways	Not Present	Wetlands of Special State Concern	Not Present	Highly Erodible Soils	Not Present
oodplains	Not Present	Wetland Buffers	Shown	Enhanced Stream Buffers	Not Present
		Stream Buffers	Shown	Topography/Slopes	Shown
		Perennial Streams	Shown	Springs	Not Present
		Floodplains	Shown	Seeps	Not Present
		Forests	Shown	Intermittent Streams	Not Present
		Forest Buffers	Not Present	Vegetative Cover	Shown
		Critical Area	Not Present	Soils	Shown
				Bedrock/Geology	Not Present
				Existing Drainage Areas	Shown

#### NRCS HYDROLOGIC SOIL GROUP - CARROL COUNTY, MARYLAND

	÷			
MAP UNIT SYMBOL	MAP UNIT NAME	HSG RATING	k RATING	DRAINAGE CLASS
BaA	Beltsville silt loam, 0 to 2% slopes	С	0.37	Poorly Drained
GaC	Gaila Loam, 8 to 15% slopes	В	0.49	Well Drained
GaD	Gaila Loam, 15 to 25% slopes	В	0.49	Well Drained
GdB	Glenelg Loam, 3 to 8% slopes	В	0.24	Well Drained
GdC	Glenelg Loam, 8 to 15% slopes	В	0.24	Well Drained
GeC	Glenelg Channery Loam 8 to 15% slopes	В	0.24	Well Drained
GfB	Glenelg-Urban Land Complex, 0 to 8% slopes	В	0.28	Well Drained
GfC	Glenelg-Urban Land Complex, 8 to 15% slopes	В	0.28	Well Drained
GhB	Glenville Silt Loam, 3 to 8%	C/D	0.37	Moderately Well Drained
GkB	Glenville-Urban land Udorthents complex, 0 to 8% slopes	С	.37	Moderately Well Drained
MaB	Manor Loam, 3 to 8% slopes	В	0.24	Well Drained
MaC	Manor Loam, 8 to 15% slopes	В	0.28	Well Drained
MaD	Manor Loam, 15 to 25% slopes	В	0.28	Well Drained
MaF	Manor Loam, 25 to 45% slopes	В	0.24	Well Drained
UrB	Urban Land-Udorthents complex, 0 to 8% Slopes	D	No "k" Factor	No Drainage Class
WhB	Wheaton-Glenelg Complex, 0 to 8% slopes	В	0.37	Well Drained

#### DATA SOURCES

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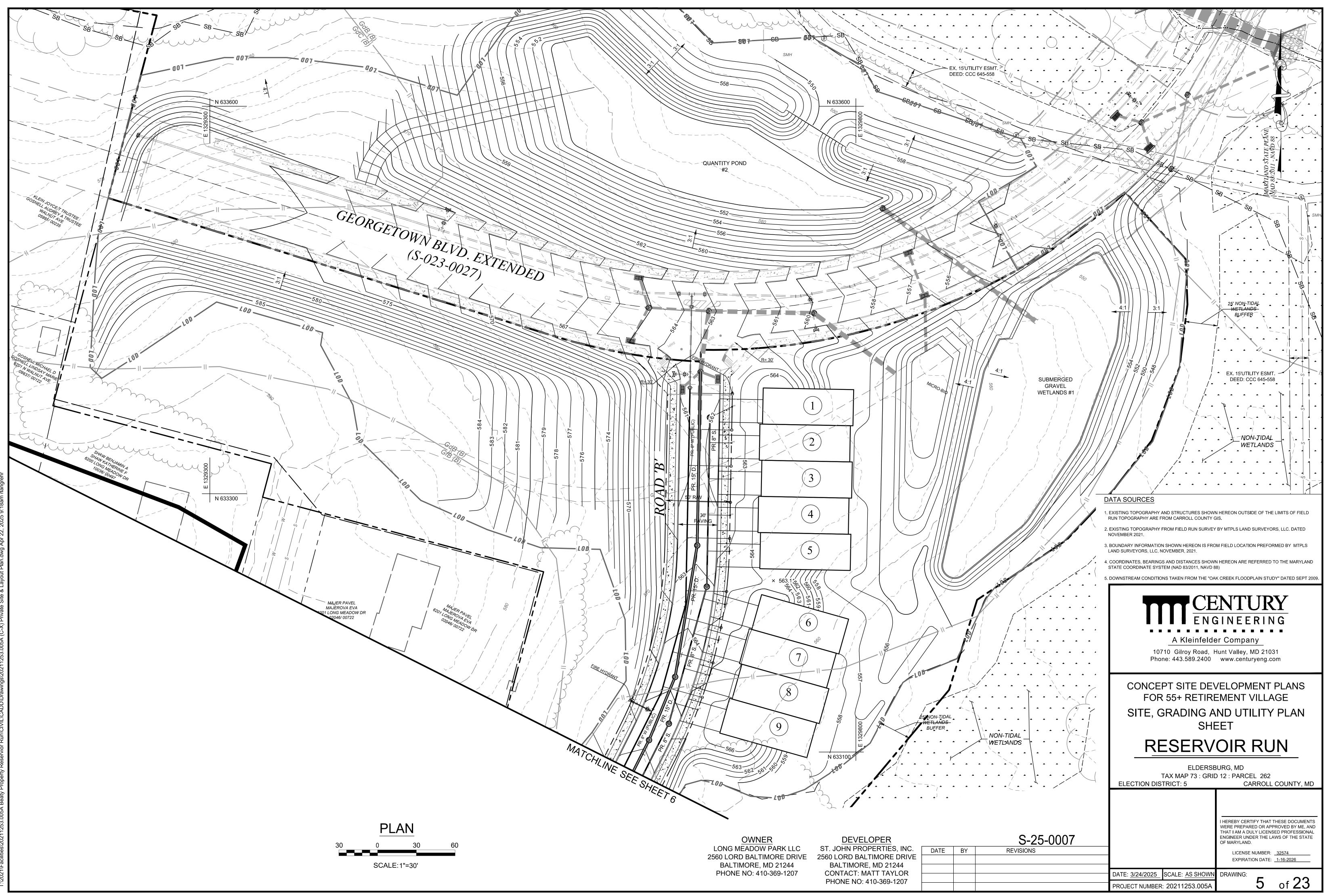
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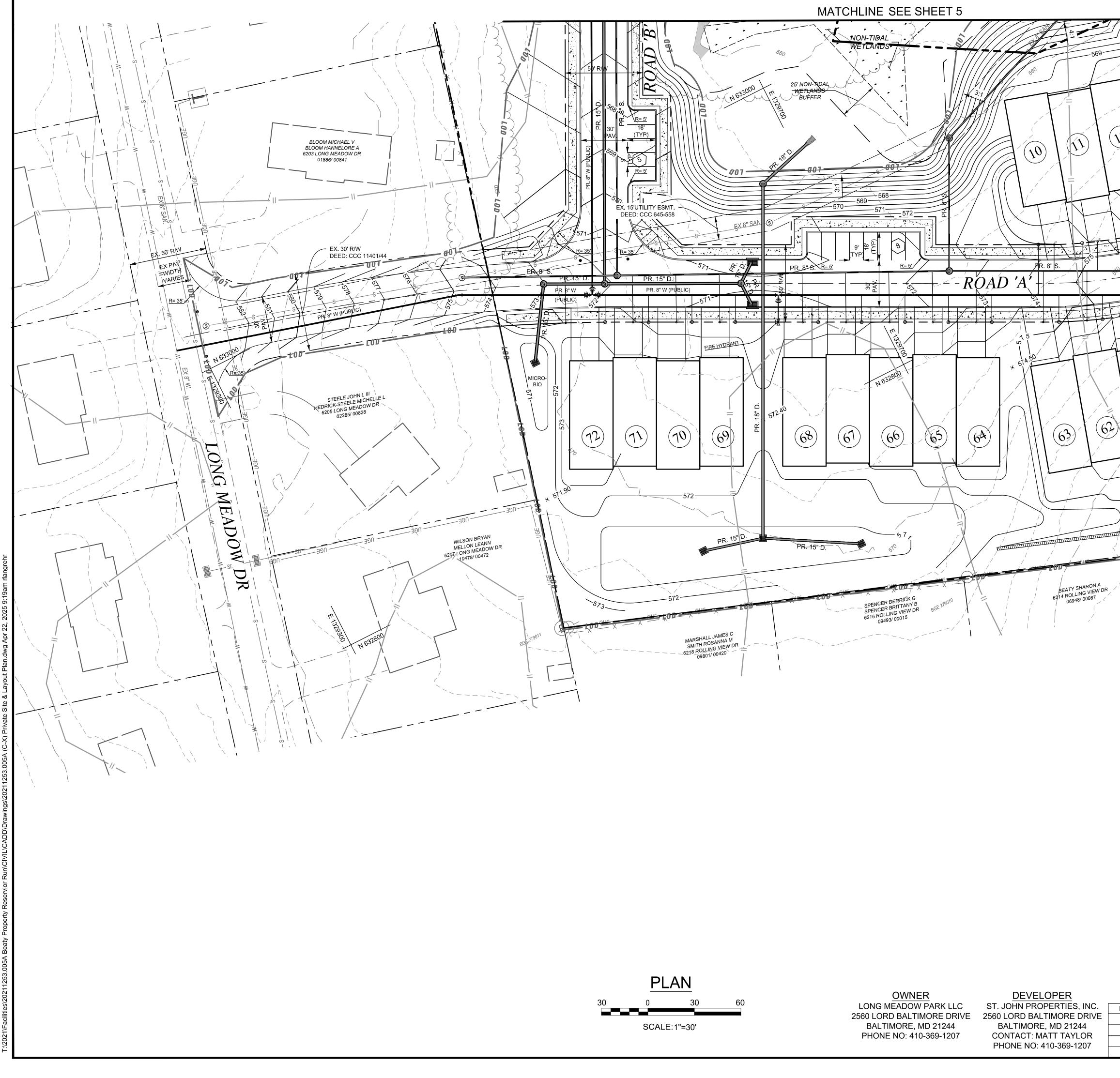


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CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

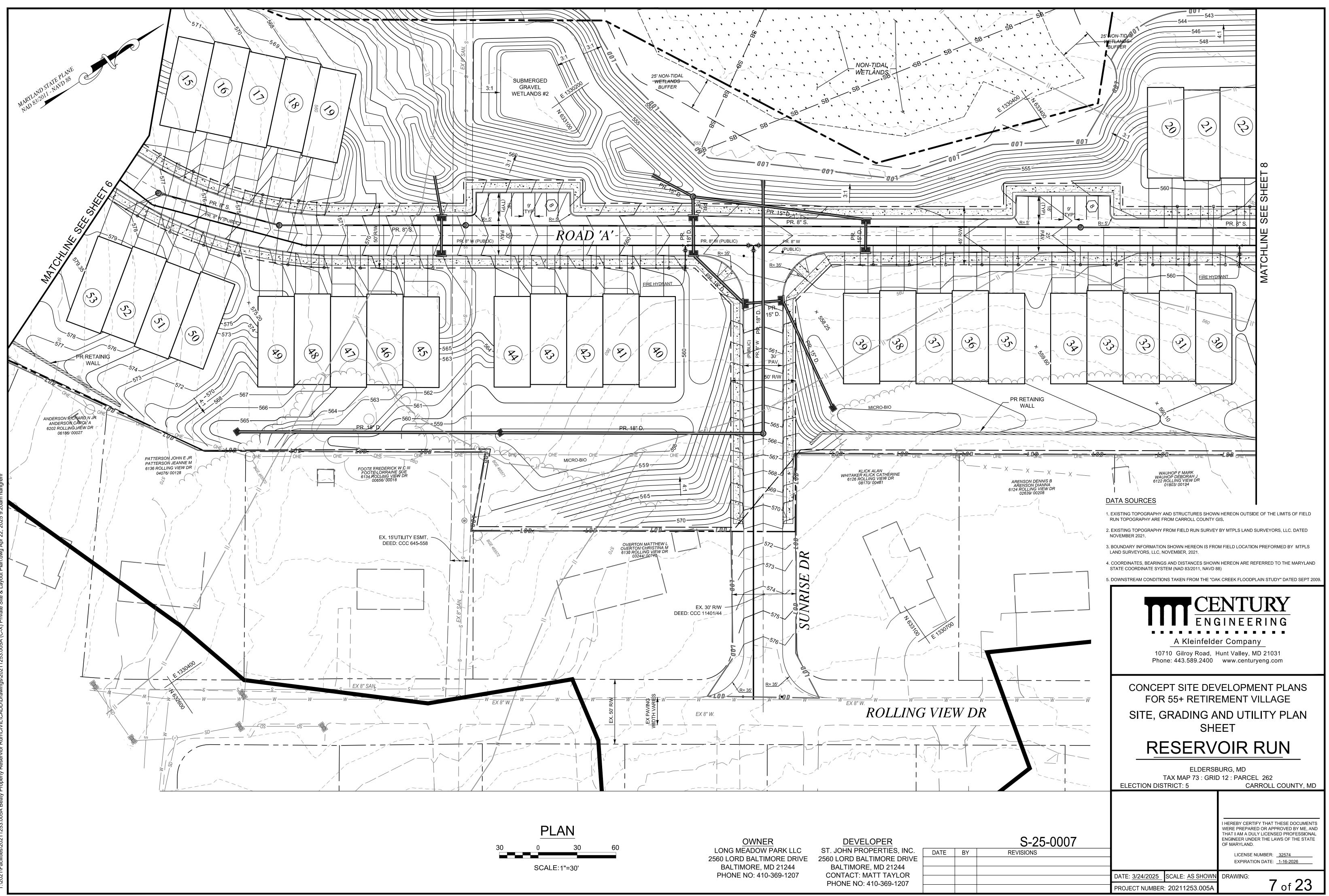
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	A Kleinfelder Company 10710 Gilroy Road, Hunt Valley, MD 21031
	Phone: 443.589.2400 www.centuryeng.com
	CONCEPT SITE DEVELOPMENT PLANS FOR 55+ RETIREMENT VILLAGE
	SITE, GRADING AND UTILITY KEY
	SHEET
	RESERVOIR RUN
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	ELECTION DISTRICT: 5 CARROLL COUNTY, MD
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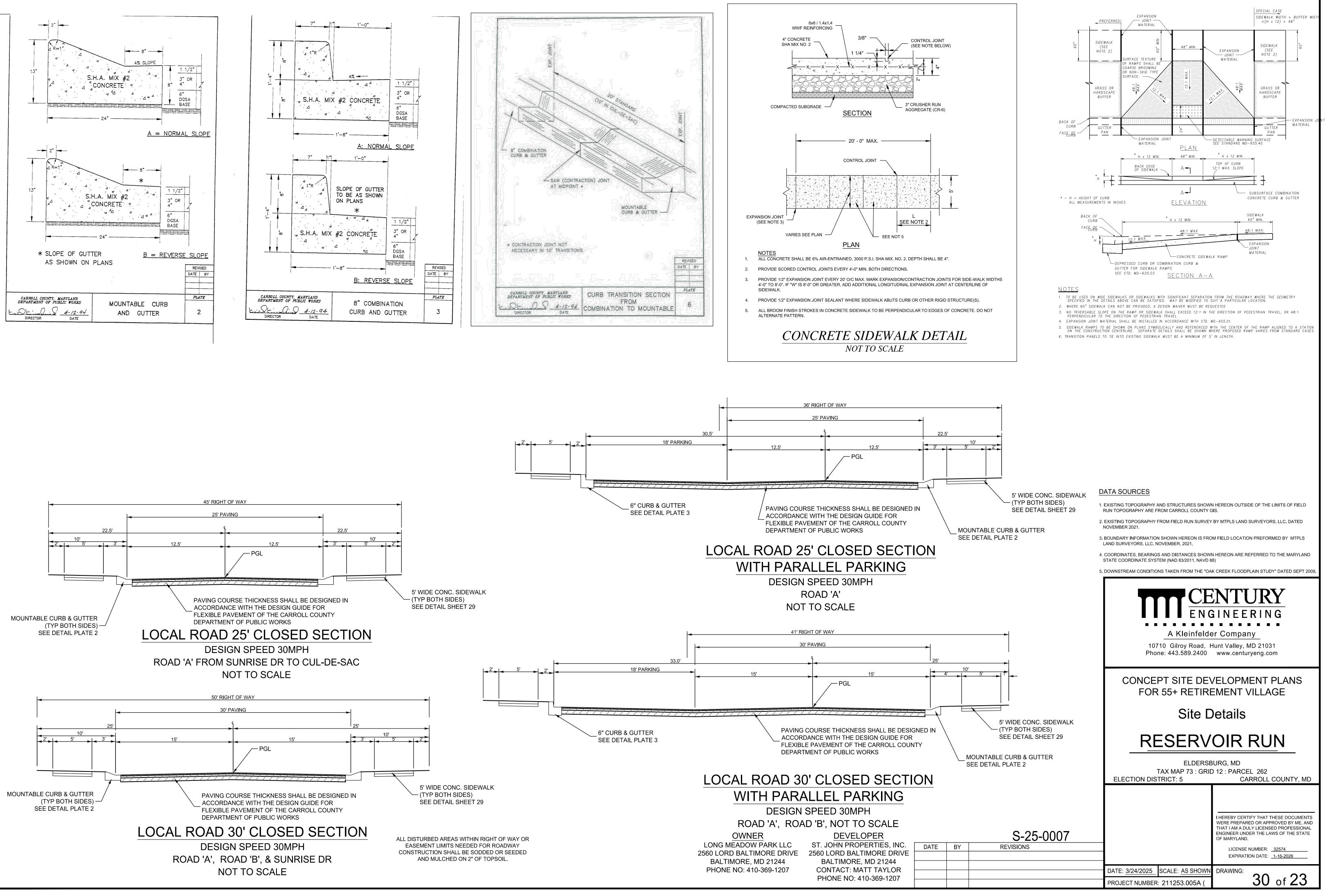
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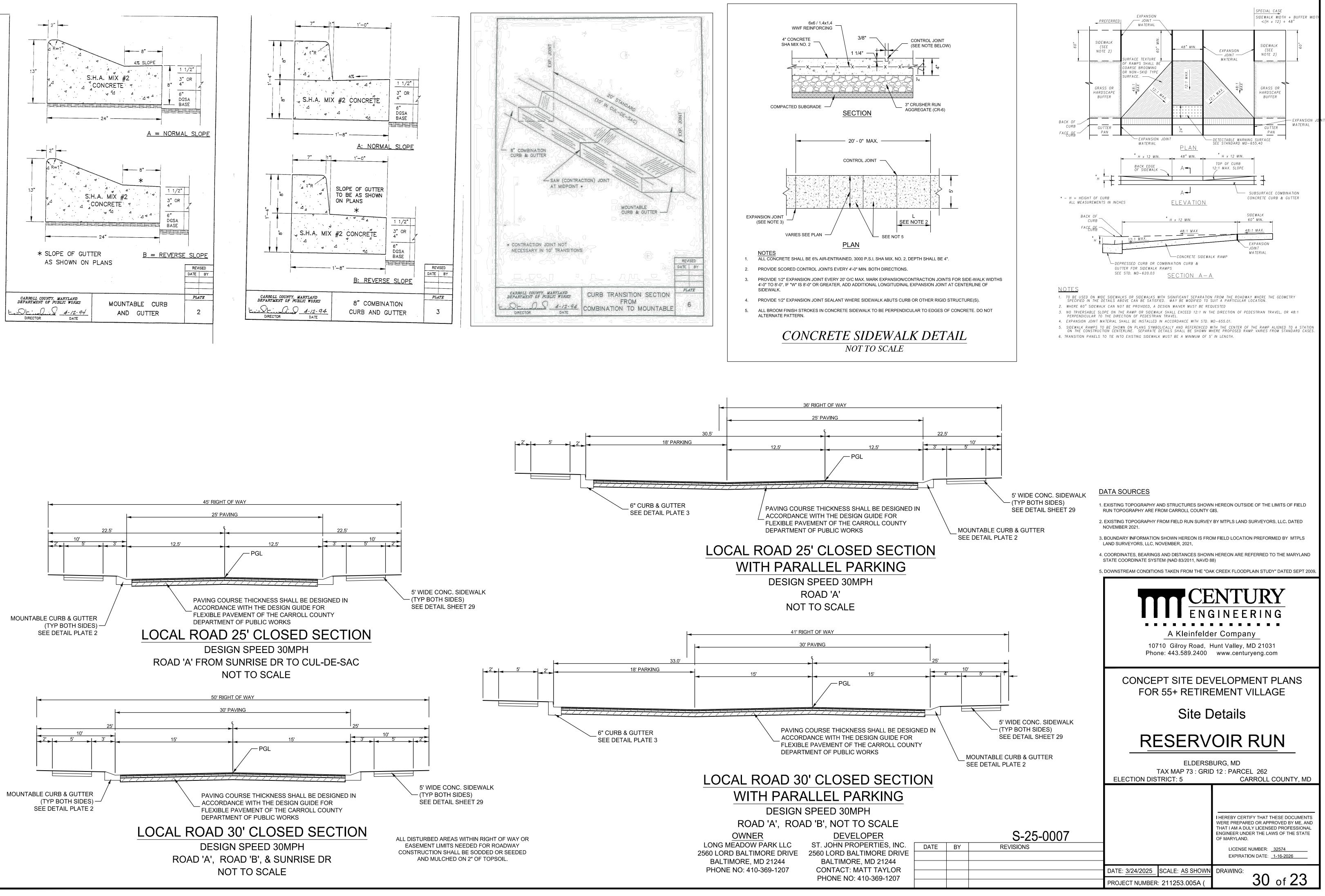


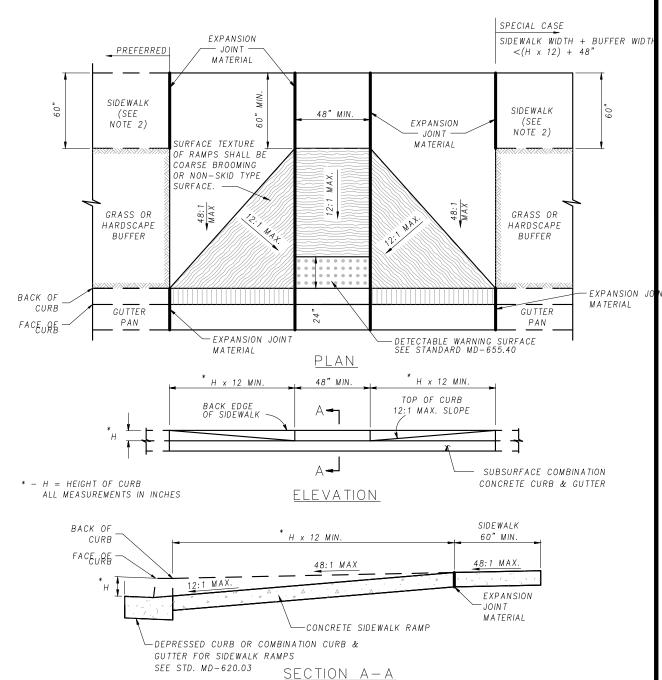


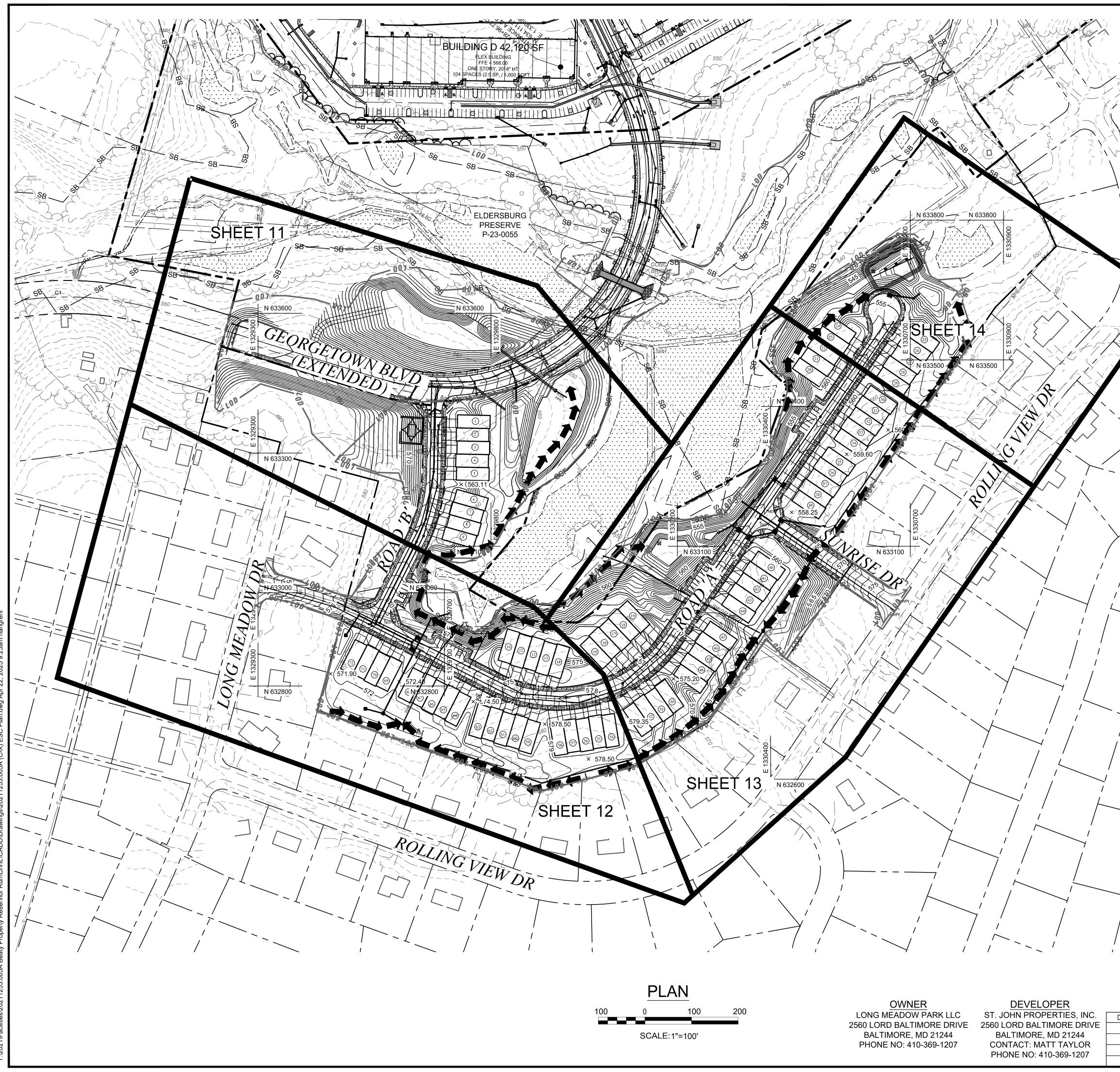
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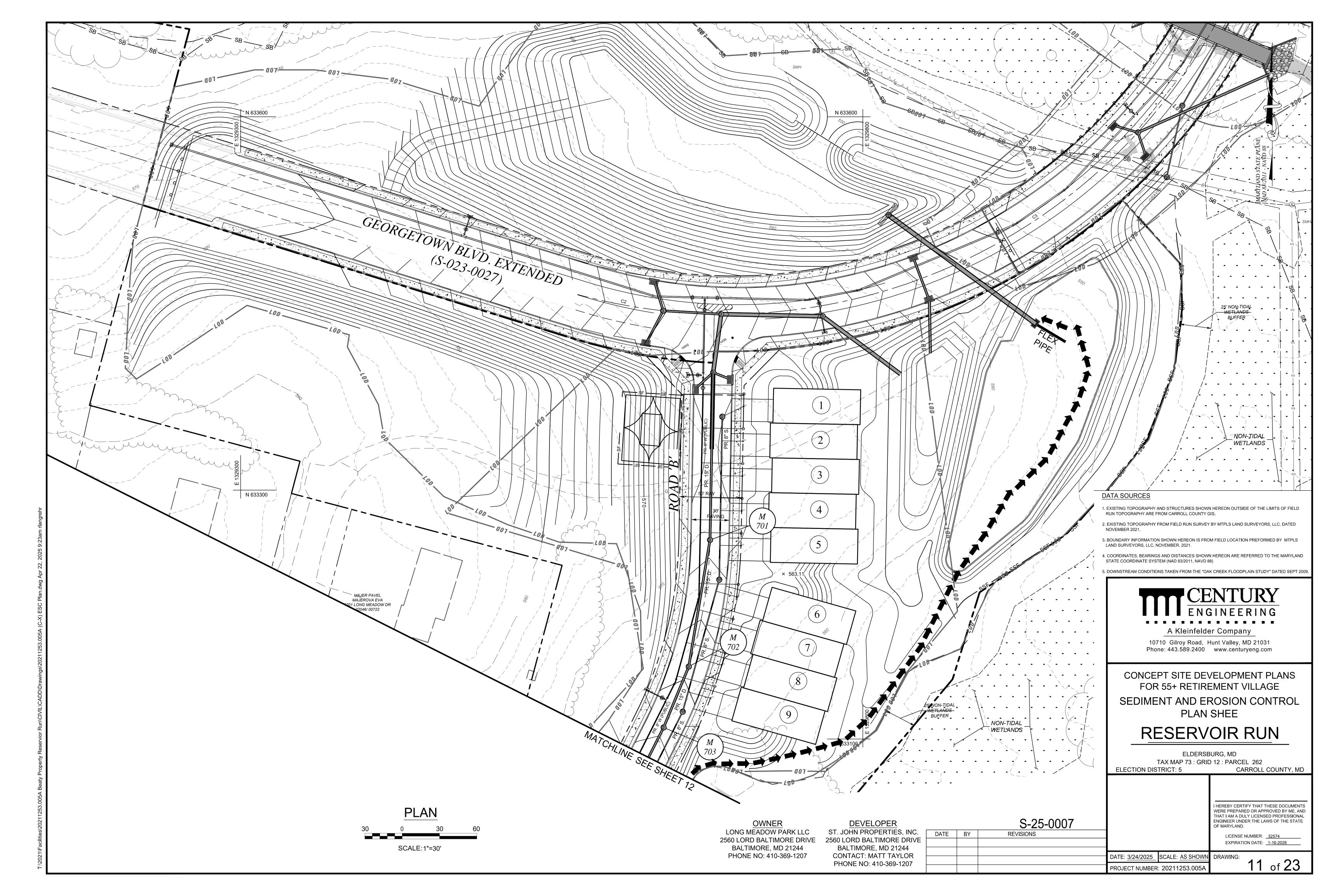


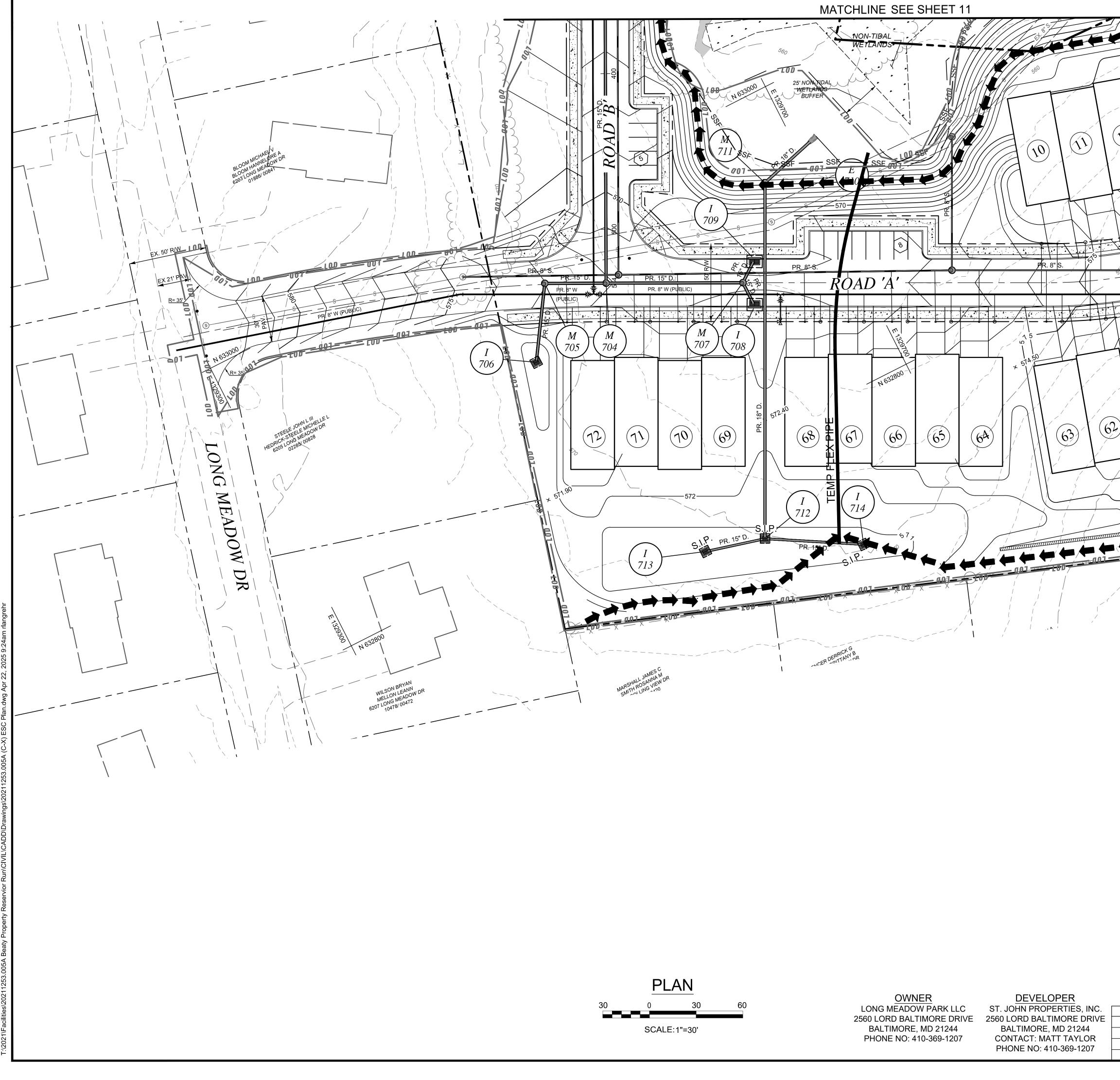




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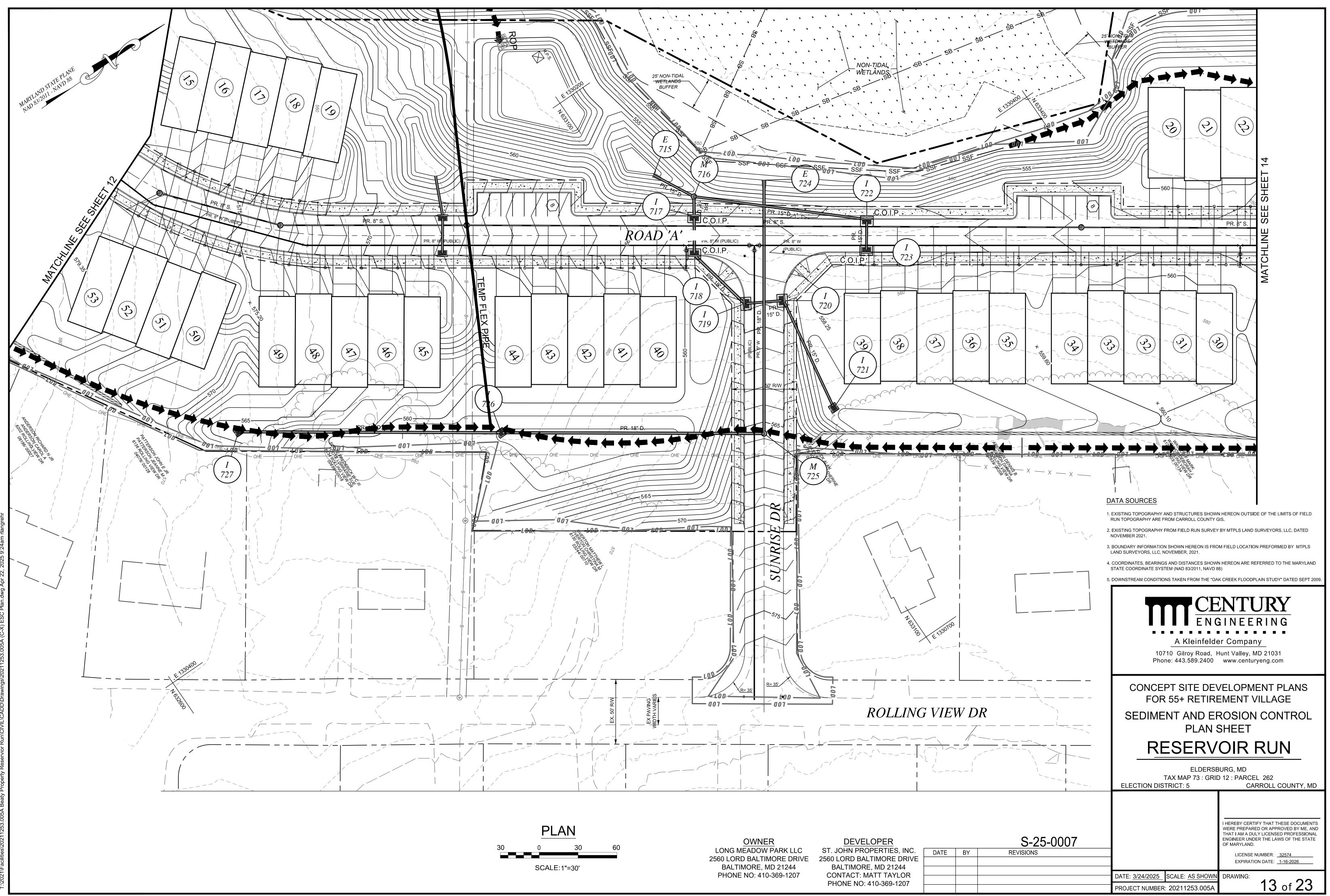
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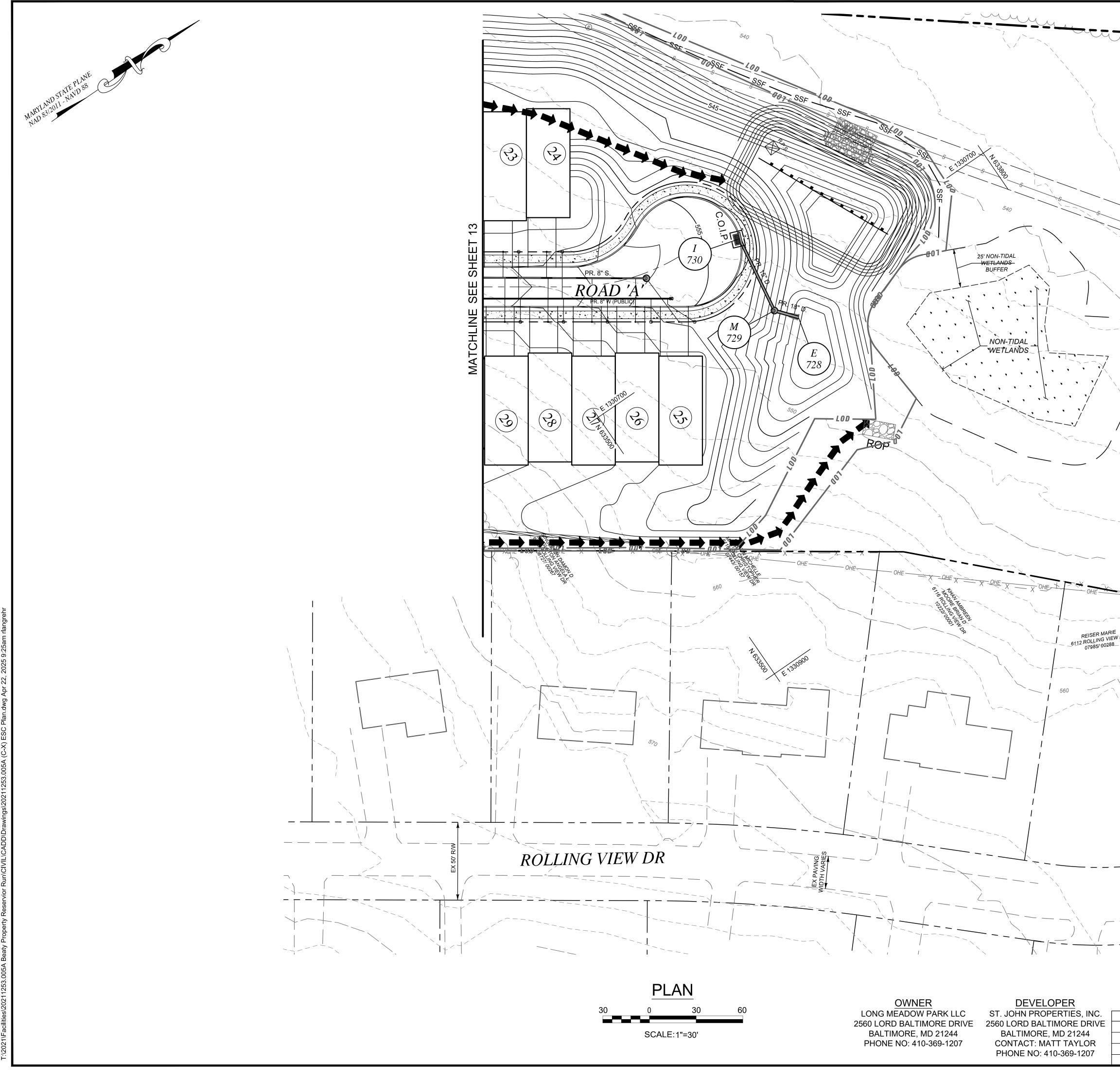




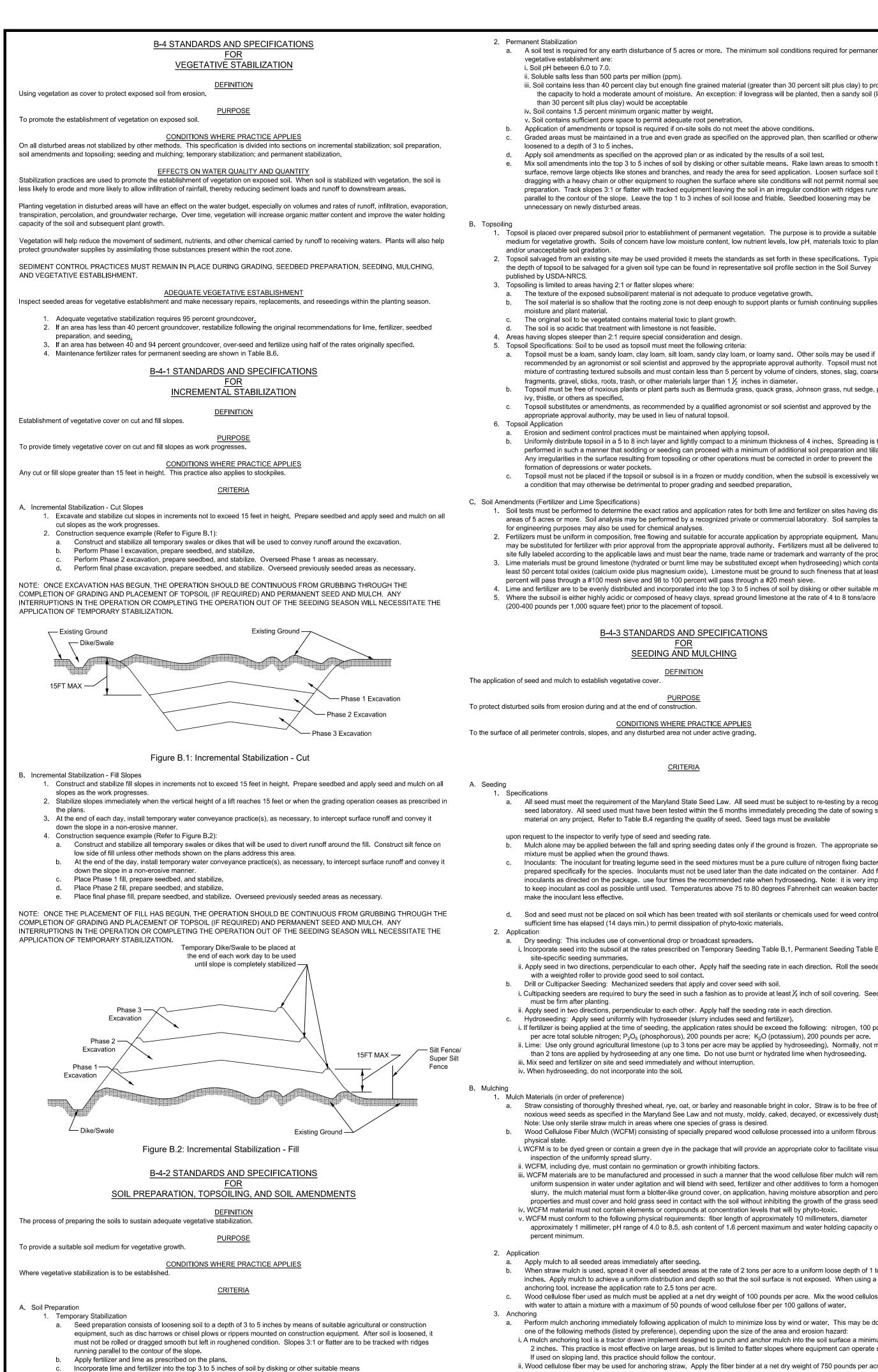
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	PROJECT NUMBER: 20211253.005A



upon request to the inspector to verify type of seed and seeding rate. b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding

mixture must be applied when the ground thaws. make the inoculant less effective.

d. Sod and seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

- a. Dry seeding: This includes use of conventional drop or broadcast spreaders. i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or
- site-specific seeding summaries. ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.
- b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil. must be firm after planting.
- ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).

- iii. Mix seed and fertilizer on site and seed immediately and without interruption. iv. When hydroseeding, do not incorporate into the soil.

1. Mulch Materials (in order of preference)

- Note: Use only sterile straw mulch in areas where one species of grass is desired. b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous
- inspection of the uniformly spread slurry. ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
- iv. WCFM material must not contain elements or compounds at concentration levels that will by phyto-toxic. v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter
- a. Apply mulch to all seeded areas immediately after seeding. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 anchoring tool, increase the application rate to 2.5 tons per acre.
- with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
- one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
- If used on sloping land, this practice should follow the contour. ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre.

a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent

iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less

v. Soil contains sufficient pore space to permit adequate root penetration.

Application of amendments or topsoil is required if on-site soils do not meet the above conditions. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise

d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test. e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be

1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants,

2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in representative soil profile section in the Soil Survey

a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.

The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of The original soil to be vegetated contains material toxic to plant growth.

recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1  $\frac{1}{2}$  inches in diameter. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison

Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the

a. Erosion and sediment control practices must be maintained when applying topsoil.

Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the

c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken

2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer. 3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.

4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means. 5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre

**B-4-3 STANDARDS AND SPECIFICATIONS** 

CONDITIONS WHERE PRACTICE APPLIES

<u>CRITERIA</u>

a. All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available

c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. use four times the recommended rate when hydroseeding. Note: it is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and

i. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least  $\chi$  inch of soil covering. Seedbed

i. If fertilizer is being applied at the time of seeding, the application rates should be exceed the following: nitrogen, 100 pounds per acre total soluble nitrogen;  $P_2O_5$  (phosphorous), 200 pounds per acre;  $K_2O$  (potassium), 200 pounds per acre. ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.

a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonable bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland See Law and not musty, moldy, caked, decayed, or excessively dusty.

i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual

iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogenous slurry. the mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.

approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90

inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 100 pounds per acre. Mix the wood cellulose fiber

a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by

i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely.

Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

iii. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited

iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

**B-4-4 STANDARDS AND SPECIFICATIONS** 

TEMPORARY STABILIZATION

DEFINITION

To use fast growing vegetation that provides cover on disturbed soils.

To stabilize disturbed soils with vegetation for up to 6 months.

required

CONDITIONS WHERE PRACTICE APPLIES Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are

CRITERIA

A. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If the Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.

B. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soils tests are not required for Temporary Seeding.

C. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch along as prescribed in Section B-4-3.A.1.1b and maintain until the next seeding season.

Temporary Seeding Summary						
	Hardiness Zone:         7A           Seed Mixture:         N/A					Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	(10-20-20)	Line Rate
	Annual Ryegrass (Lolium perenne ssp. multiflorum)	40	Feb 15 to Apr 30; Aug 15 to Nov 30	0.5 in.		
N/A	Barley (Hordeum vulgare)	96	Feb 15 to Apr 30; Aug 15 to Nov 30	1.0 in.	436 lb/ac	2 tons/ac
N/A	Foxtail Millet (Setaria italica)	30	May 1 to Aug 14	0.5 in.	(10 lb/1000sf)	(90 lb/1000 sf)
	Pearl Millet (Pennisetum glaucum)	20	May 1 to Aug 14	0.5 in.		

B-4-4 STANDARDS AND SPECIFICATIONS

PERMANENT STABILIZATION

DEFINITION

<u>PURPOSE</u> To use long-lived perennial grasses and legumes to establish permanent cover on disturbed soils.

CONDITIONS WHERE PRACTICE APPLIES

<u>CRITERIA</u>

A. Seed Mixtures

To stabilize disturbed soils with permanent vegetation

Exposed soils where ground cover is needed for 6 months or more.

- 1. General Use a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan
- Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency.
- d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3½ pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary. Turfgrass Mixture
- a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s),
- application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan: Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the area of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky Bluegrass cultivars with each ranging from 10 to 35 percent of total mixture by weight.
- ii. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky Bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
- iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
- iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue 60 to 70 percent. Seeding Rate:  $1\frac{1}{2}$  to 3 pounds per 1000 square feet.

NOTES: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE. TURF AND SEED SECTION. PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.

3. Ideal Times of Seeding for Turf Grass Mixtures Western Maryland: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a)

<u>Central Maryland</u>: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)

Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardness Zones: 7a, 7b)

4. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a

proper seedbed. Remove stones and debris over 11/2 inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty. 5. If soil moisture is deficient, supply new seedings with adequate water for plant growth  $\mathcal{V}_2$  to 1 inch ever 3 to 4 days depending on

soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites. Permanent Seeding Summary

	Hardiness Zone: Seed Mixture:(	7A Cool-Season Gra	iss Mix			Fertilizer F (10-20-2		Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P <sub>2</sub> O <sub>5</sub>	K <sub>2</sub> O	Lime Rate
	Tall Fescue (Lolium arundinaceum)	60		$\frac{1}{4}$ to $\frac{1}{2}$ in.				
9	Kentucky Bluegrass (Poa pratensis)	40	Feb 15 to Apr 30; Aug 15 to Oct 31; Nov 1 to Nov 30	$\frac{1}{4}$ to $\frac{1}{2}$ in.	(1 lb/	90 lb/ac (2 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	2 tons/ac (90 lb/ 1000 sf)
	Perennial Ryegrass (Lolium perenne)	20		$\gamma_4$ to $\gamma_2$ in.				31)
		P	ermanent Seeding Su	mmary				
Hardiness Zone: 7A Seed Mixture: Warm-Season Grass Mix								
			<u>ass M</u> ix			Fertilizer F (10-20-2		Limo Poto
No.			<u>ass M</u> ix Seeding Dates	Seeding Depths	N			Lime Rate
No.	Seed Mixture: <u>V</u>	Varm-Season Gr	Seeding		N	(10-20-2 P <sub>2</sub> O <sub>5</sub>	0) K <sub>2</sub> O	
No.	Seed Mixture: <u>V</u> Species Deertongue	Varm-Season Gr Application Rate (lb/ac)	Seeding		N 45 lb/ac (1 lb/	(10-20-2 P <sub>2</sub> O <sub>5</sub> 90 lb/ac (2 lb/	0) K <sub>2</sub> O 90 lb/ac (2 lb/	2 tons/ac (90 lb/ 1000
	Seed Mixture: V Species Deertongue (Dichanthelium clandestinum) Creeping Red Fescue	Varm-Season Gr Application Rate (lb/ac) 15	Seeding Dates Feb 15 to Apr 30;	Depths	N 45 lb/ac	(10-20-2 P <sub>2</sub> O <sub>5</sub> 90 lb/ac	0) K <sub>2</sub> O 90 lb/ac	2 tons/ac

LONG MEADOW PARK LLC

2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 PHONE NO: 410-369-1207

ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE. MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

acathont.
1. <u>Mulches</u> :
B-4-3 S
anchore

3. <u>Tillage:</u> Till to roughen surface and bring clods to the surface. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment that may produce the desired effect.

: See Section B-4-2 Soil Preparation, Topsoiling, and Soil Amendments, Section Seeding and Mulching, and Section B-4-4 Temporary Stabilization. Mulch must be ed to prevent blowing.

4. Irrigation: Sprinkle site with water until the surface is moist. Repeat as needed. The site

must not be irrigated to the point that runoff occurs.

5. Barriers: Solid board fences, silt fences, snow fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing.

2. Sod Installation laying the sod. soil surface d. Sod Maintenance

#### B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).

1. General Specifications a. Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and

b. Sod must be machine cut at a uniform soil thickness of  $\frac{3}{4}$  inches, plus or minus  $\frac{3}{4}$  inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable. Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when

suspended vertically with a firm grasp on the upper 10 percent of the section. Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival. Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation

a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to

b. Lay the first row of sod in a straight line with subsequent rows place parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.

Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying

Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operation of laying, tamping and irrigating for any piece of sod within eight hours.

a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting. After the first week, sod watering is required as necessary to maintain adequate moisture content c. Do not mow until the sod is firmly rooted. No more than  $\frac{1}{3}$  of the grass leaf must be removed by the initial cutting or

subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

**B-4-8 STANDARDS AND SPECIFICATIONS** 

#### STOCKPILE AREAS

DEFINITION A mound or pile of soil protected by appropriately designed erosion and sediment control measures

PURPOSE To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage

CONDITIONS WHERE PRACTICE APPLIES Stockpile areas are utilized when it is necessary to salvage and store soil for later use

#### CRITERIA

A. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan. B. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.

Runoff from the stockpile area must drain to a suitable sediment control practice. Access the stockpile area from the upgrade side.

E. Clear water runoff into the stockpile area must be minimized by use of a diversion fence such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner. F. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the

discharge. G. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and

Standard B-4-4 Temporary Stabilization H. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing

contaminated material must be covered with impermeable sheeting.

#### MAINTENANCE

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

#### Table B.6: Maintenance Fertilization for Permanent Seeding

Seeding Mixture	Туре	lb/ac	lb/1000 sf	Time	Mowing
Tall fescue makes up 70 percent or more of cover.	10 - 10 -10 or 30 - 10 - 10	500 400	11.5 9.2	Yearly or as needed. Fall	Not closer than 3 inches, if occasional mowing is desired.
Birdsfoot Trefoil.	0 - 20 - 0	400	9.2	Spring, the year following establishment, and every 4 to 5 years, thereafter.	Mow no closer than 2 inches.
Fairly uniform stand of tall fescue or birdsfoot trefoil.	5 - 10 - 10	500	11.5	Fall, the year following establishment, and every 4 to 5 years, thereafter.	Not required, no closer than 4 inches in the fall after seed has matured.
Weeping lovegrass fairly uniform plant distribution.	5 - 10 - 10	500	11.5	Spring, the year following establishment, and every 3 to 4 years, thereafter.	Not required, not closer than 4 inches in fall after seed has matured.
Red & chewings fescue, Kentucky bluegrass, hard fescue mixtures.	20 - 10 - 10	250 100	5.8 2.3	September, 30 days later. December, May 20, June 30, if needed.	Mow no closer than 2 inches for red fescue and Kentucky bluegrass, 3 inches for fescue.

#### H-5 STANDARDS AND SPECIFICATIONS

### DUST CONTROL

## **Definition**

Controlling the suspension of dust particles from construction activities.

#### <u>Purpose</u>

To prevent blowing and movement of dust from exposed soil surfaces to reduce on and off-site damage including health and traffic hazards.

Conditions Where Practice Applies

Areas subject to dust blowing and movement where on and off-site damage is likely without

### Specifications

2. Vegetative Cover: See Section B-4-4 Temporary Stabilization.

6. Chemical Treatment: Use of chemical treatment requires approval by the appropriate plan review authority

#### DATA SOURCES

- 1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
- 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009



CONCEPT SITE DEVELOPMENT PLANS FOR 55+ RETIREMENT VILLAGE

SEDIMENT AND EROSION CONTROL SPECIFICATIONS

# **RESERVOIR RUN**

HEREBY CERTIFY THAT THESE DOCUMENTS

WERE PREPARED OR APPROVED BY ME, AND

THAT I AM A DULY LICENSED PROFESSIONAL

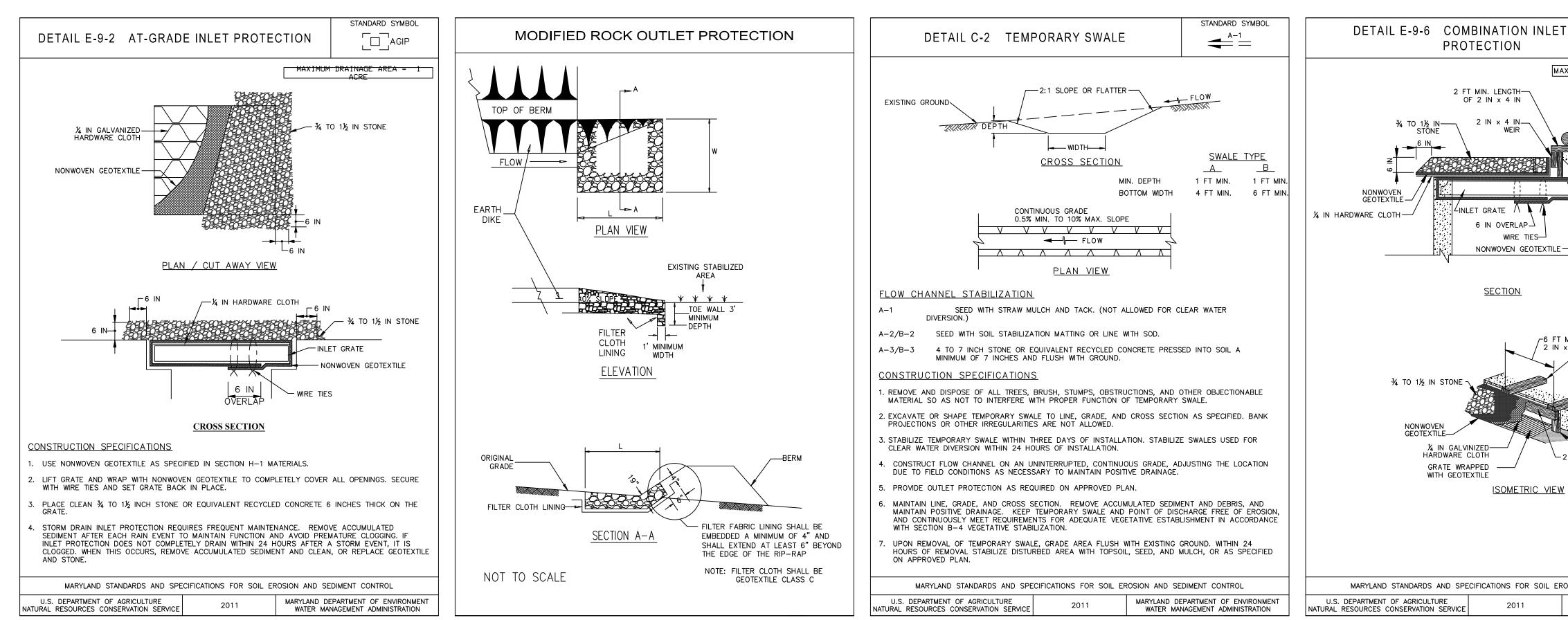
ENGINEER UNDER THE LAWS OF THE STATE

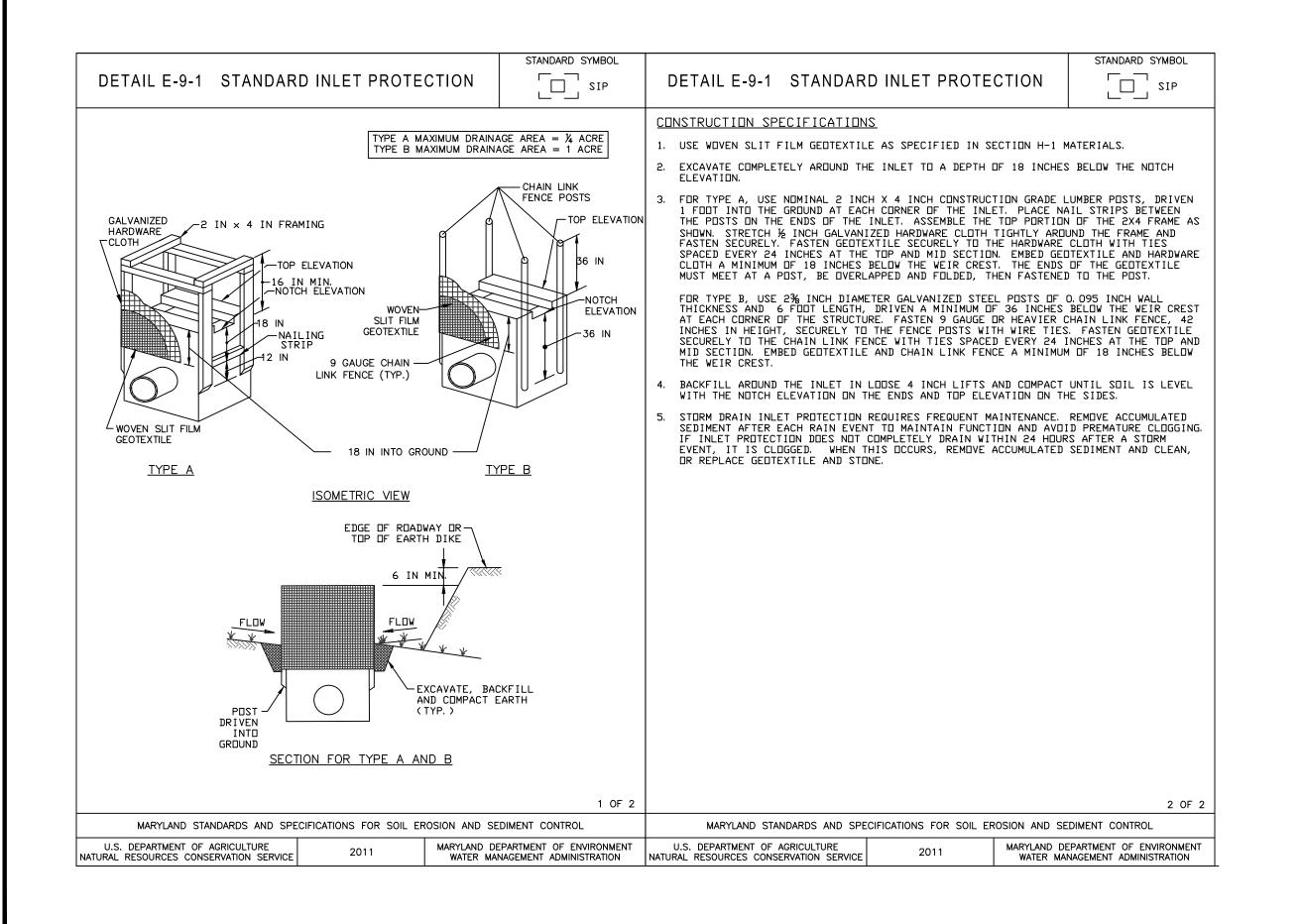
OF MARYLAND.

ELDERSBURG, MD TAX MAP 73 : GRID 12 : PARCEL 262 **ELECTION DISTRICT: 5** CARROLL COUNTY, MD

S-25-0007

DATE	BY	REVISIONS				MBER: <u>32574</u> DATE: <u>1-16-2026</u>
			DATE: <u>3/24/2025</u>	SCALE: <u>AS SHOWN</u>	DRAWING:	
			PROJECT NUMBER	: 20211253.005A		15 of 23



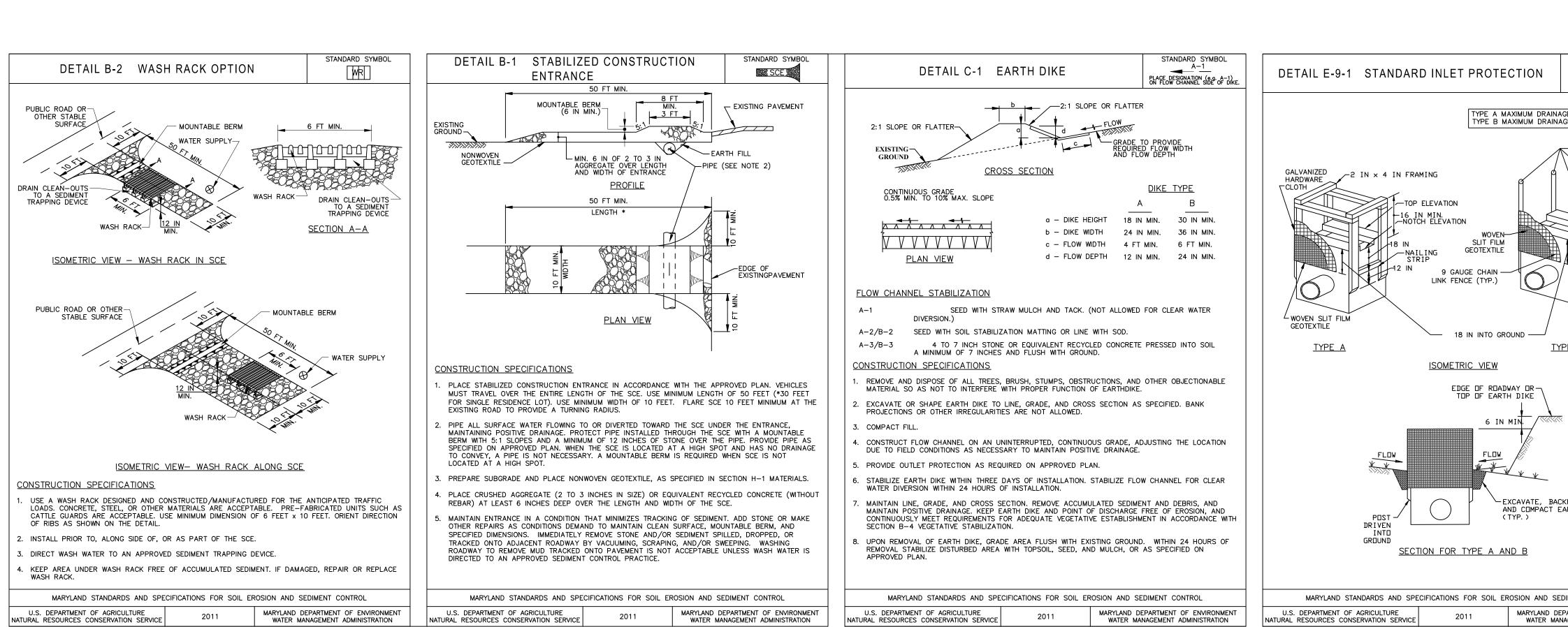


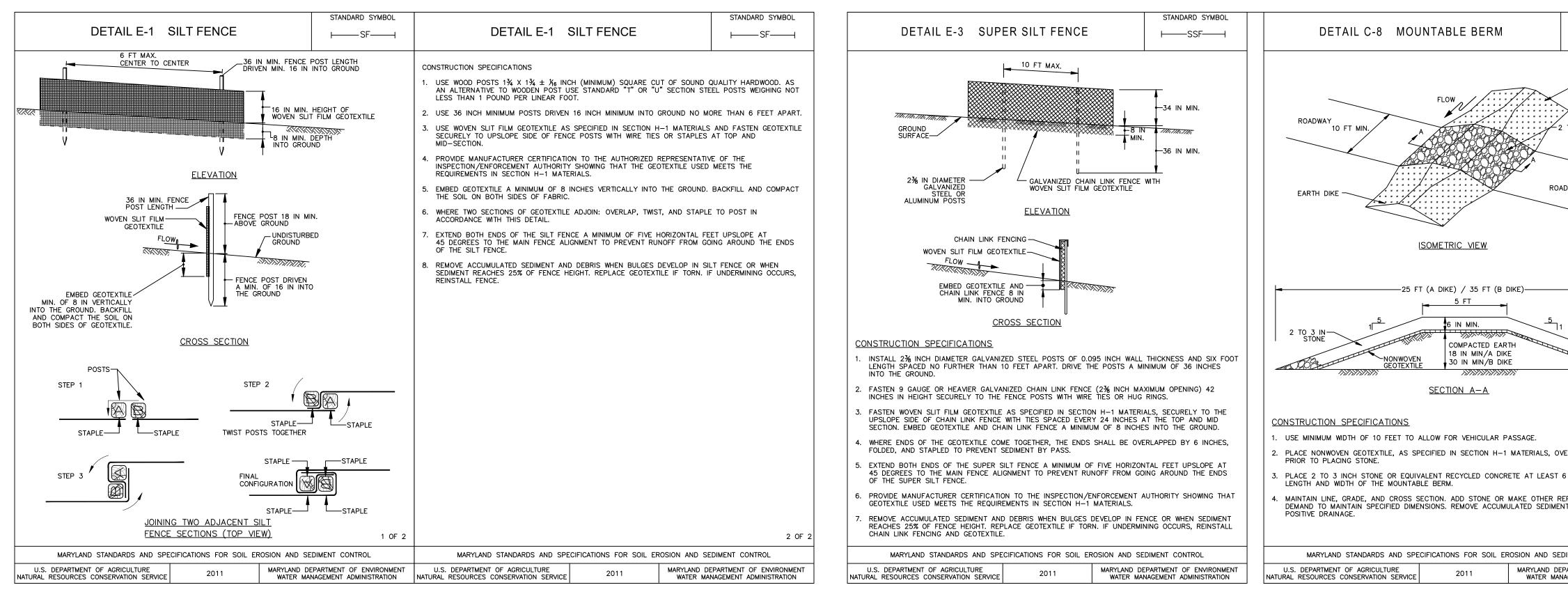
OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 PHONE NO: 410-369-1207

DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

	DATA SOURCES			
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	2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.			
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	5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.			
	<u>A Kleinfelder Company</u> 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com			
	CONCEPT SITE DEVELOPMENT PLANS FOR 55+ RETIREMENT VILLAGE			
	SEDIMENT AND EROSION CONTROL PLAN SHEET DETAILS			
	RESERVOIR RUN			
	ELDERSBURG, MD TAX MAP 73 : GRID 12 : PARCEL 262 ELECTION DISTRICT: 5 CARROLL COUNTY, MD			
S-25-0007	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.			
DATE BY REVISIONS	LICENSE NUMBER: <u>32574</u> EXPIRATION DATE: <u>1-16-2026</u>			
	DATE: <u>3/24/2025</u> SCALE: <u>AS SHOWN</u> DRAWING:			
	PROJECT NUMBER: 20211253.005A 16 of 23			

N INLET		DETAIL E-9-6	COMBINATION INLE	
MAXIMUM DRA	INAGE AREA = ¼ ACRE	CONSTRUCTION SPECIFICAT	IONS	
$\neg$		1. USE NOMINAL 2 INCH x 4 INC		
$\backslash$		2. USE NONWOVEN GEOTEXTILE	AS SPECIFIED IN SECTION H-1 MA	TERIALS.
	- SANDBAG OR OTHER APPROVED	3. LIFT GRATE, AND WRAP WITH GRATE BACK IN PLACE.	NONWOVEN GEOTEXTILE TO COMP	LETELY COVER ALL OPENINGS, THEN SET
	ANCHORING METHOD		ENGTH OF 4 FEET LONGER THAN	ARE CLOTH WITH A MINIMUM WIDTH OF THE THROAT OPENING, TO THE 2X4
			OF NONWOVEN GEOTEXTILE THE S CLOTH AND SECURELY ATTACH I	SAME DIMENSIONS AS THE HARDWARE T TO THE WEIR.
		6. NAIL THE 2X4 WEIR TO THE WEIR AND THE INLET FACE (M		. SPACER TO BE LOCATED BETWEEN THE
	9 9	LENGTHS OF 2x4 INCH TO TH		TO 2X4 ANCHORS (MINIMUM 2 FOOT LOCATIONS). EXTEND 2X4 ANCHORS R OTHER APPROVED ANCHORING
N		8. INSTALL END SPACERS A MIN	IIMUM OF 1 FOOT BEYOND BOTH E	ENDS OF THE THROAT OPENING.
-		THE FACE OF THE CURB ON EQUIVALENT RECYCLED CONC	BOTH SIDES OF THE INLET. PLAC	THE CONCRETE GUTTER AND AGAINST CE CLEAN ¾ TO 1½ INCH STONE OR H AND GEOTEXTILE IN SUCH A MANNER OUND THE GEOTEXTILE.
		10. AT NON-SUMP LOCATIONS, IN BYPASS.	NSTALL A TEMPORARY SANDBAG (	DR ASPHALT BERM TO PREVENT INLET
		AFTER EACH RAIN EVENT TO PROTECTION DOES NOT COMP	MAINTAIN FUNCTION AND AVOID I LETELY DRAIN WITHIN 24 HOURS	VANCE. REMOVE ACCUMULATED SEDIMENT PREMATURE CLOGGING. IF INLET AFTER A STORM EVENT, IT IS CLOGGED. .EAN, OR REPLACE GEOTEXTILE AND
2 IN x	4 IN SPACER			
2 IN x 4 IN	WEIR			
TRIC VIEW				
OR SOIL EROSION AND	1 OF 2		AND SPECIFICATIONS FOR SOIL ER	2 OF 2
MARYLAND	DEPARTMENT OF ENVIRONMENT	U.S. DEPARTMENT OF AGRICULTU	IRE	MARYLAND DEPARTMENT OF ENVIRONMENT
	MANAGEMENT ADMINISTRATION	NATURAL RESOURCES CONSERVATION		WATER MANAGEMENT ADMINISTRATION

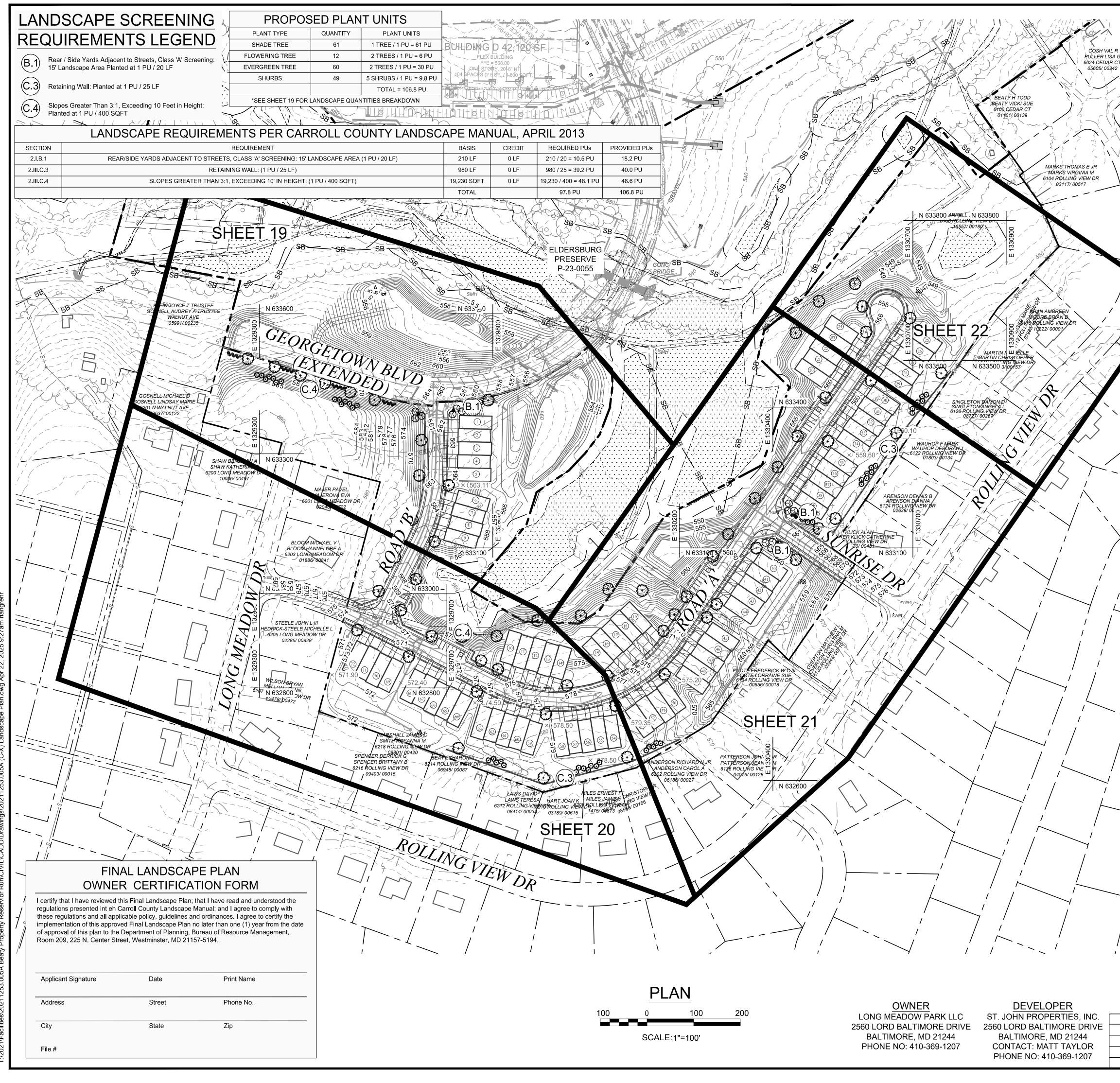




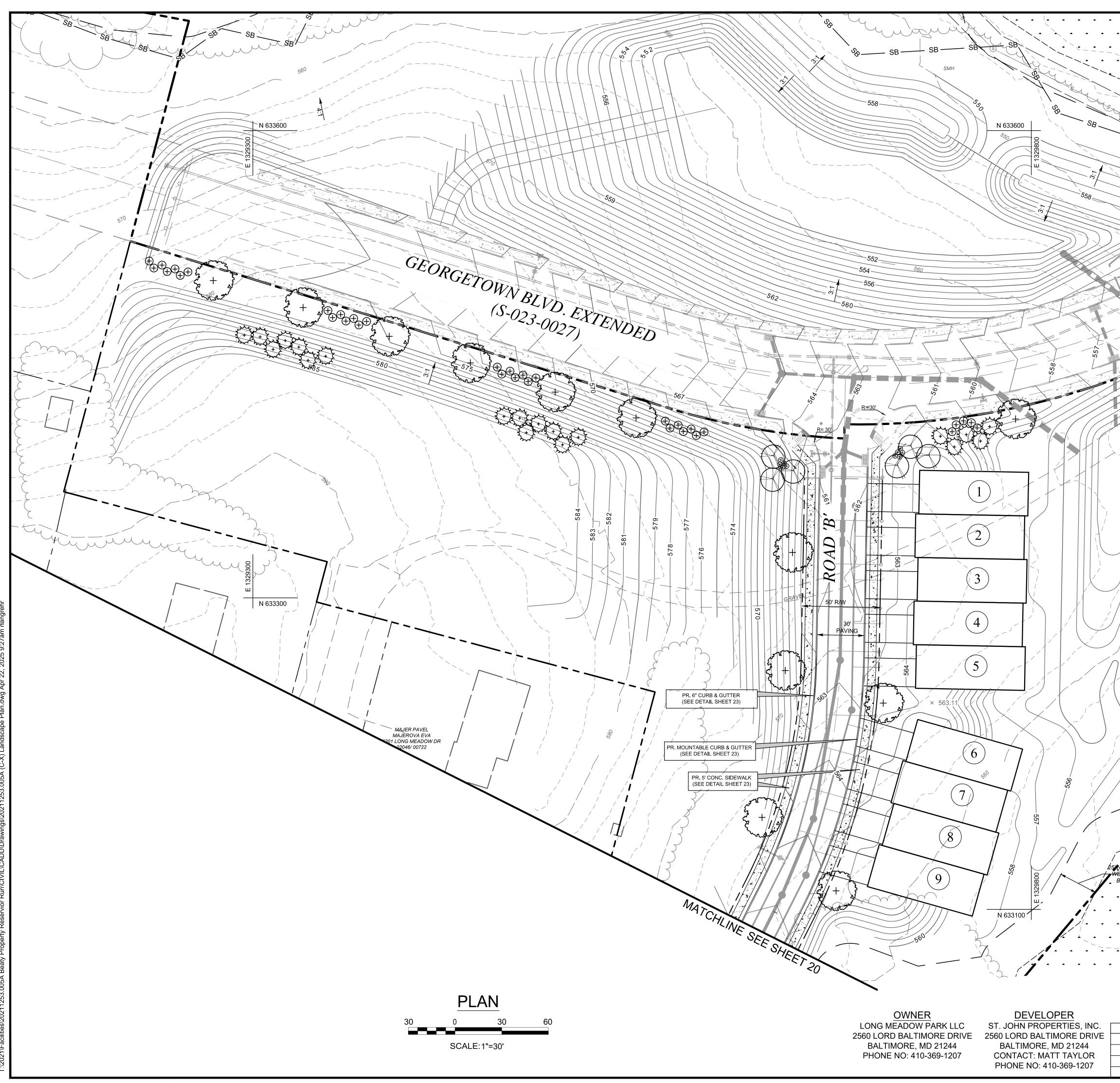
OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 PHONE NO: 410-369-1207 DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

STANDARD SYMBOL						
	<u>_</u>	ATA SOURCES				
EARTH DIKE		1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.				
>		EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY NOVEMBER 2021.	Y BY MTPLS LAND SURVEYORS, LLC. DATED			
TO 3 IN STONE	-	BOUNDARY INFORMATION SHOWN HEREON IS FRC LAND SURVEYORS, LLC, NOVEMBER, 2021.	DM FIELD LOCATION PREFORMED BY MTPLS			
		COORDINATES, BEARINGS AND DISTANCES SHOW STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 8				
YAWC	5.	DOWNSTREAM CONDITIONS TAKEN FROM THE "OA	K CREEK FLOODPLAIN STUDY" DATED SEPT 2009.			
		A Kleinfelde	ENTURY BINEERING er Company Hunt Valley, MD 21031 www.centuryeng.com			
			/ELOPMENT PLANS EMENT VILLAGE			
ER THE EARTH MOUND		SEDIMENT AND EF PLAN SHEE	ROSION CONTROL ET DETAILS			
INCHES DEEP OVER THE		RESERV	OIR RUN			
PAIRS AS CONDITIONS T AND DEBRIS. MAINTAIN			BURG, MD D 12 : PARCEL 262 CARROLL COUNTY, MD			
IMENT CONTROL			CARROLL COURT , MD			
AGEMENT ADMINISTRATION						
	S-25-0007		I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.			
DATE BY	REVISIONS		LICENSE NUMBER: <u>32574</u> EXPIRATION DATE: <u>1-16-2026</u>			
		DATE: <u>3/24/2025</u> SCALE: <u>AS SHOWN</u> PROJECT NUMBER: 20211253.005A	DRAWING: <b>7</b> of <b>23</b>			

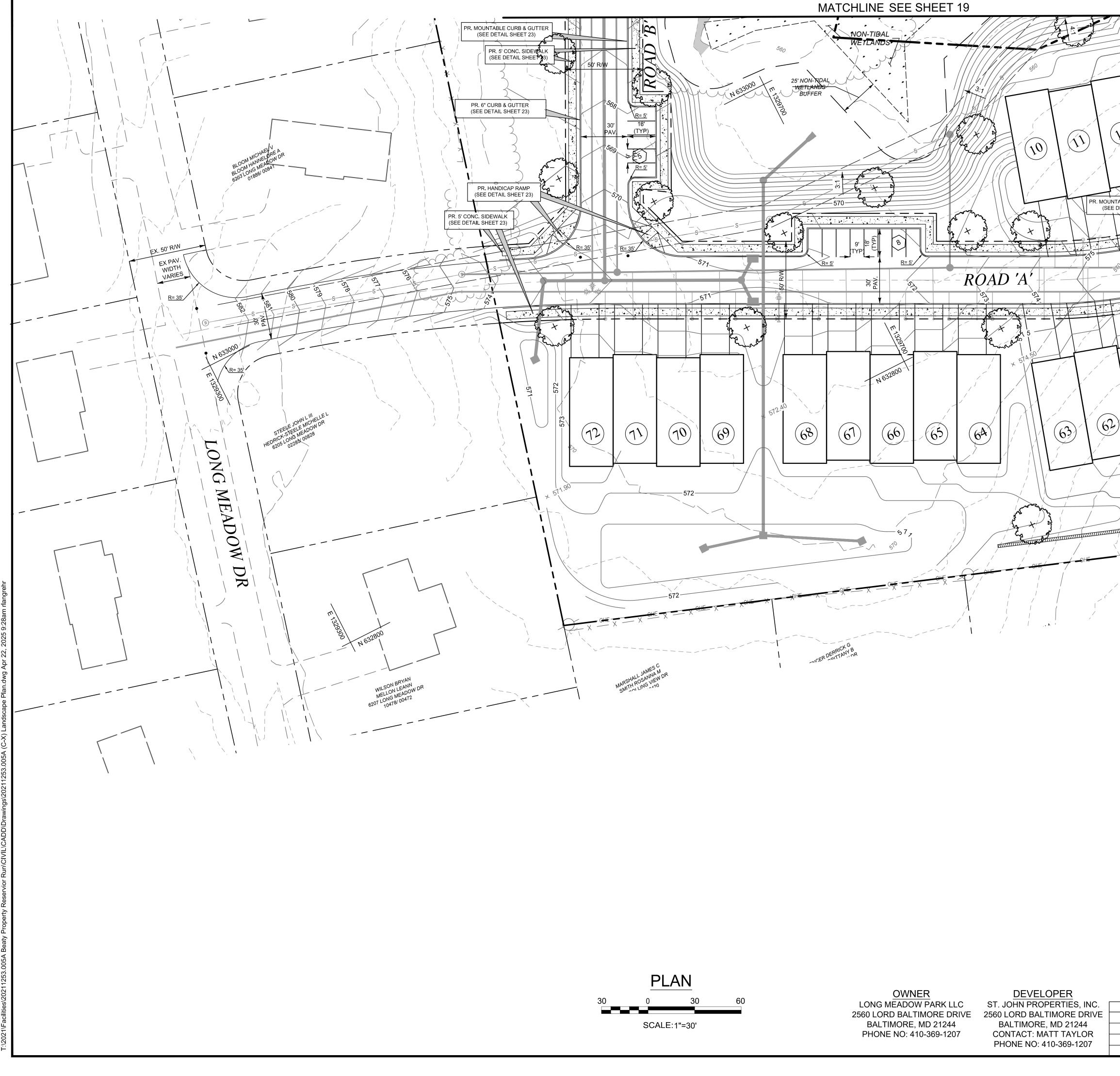
STANDARD SYMBOL	DETAIL E-9-1 STANDARD INLET PROTECTIO	DN
	CONSTRUCTION SPECIFICATIONS	
$AREA = \frac{1}{4}ACRE$	1. USE WOVEN SLIT FILM GEDTEXTILE AS SPECIFIED IN SECTION	N H-1 MATERIALS.
AREA = 74 ACRE AREA = 1 ACRE	2. EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 ELEVATION.	INCHES BELOW THE NOTCH
CHAIN LINK FENCE POSTS TOP ELEVATION 36 IN	3. FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONSTRUCTION O FODT INTO THE GROUND AT EACH CORNER OF THE INLET. PLAC POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORT SHOWN. STRETCH ½ INCH GALVANIZED HARDWARE CLOTH TIGHT FASTEN SECURELY. FASTEN GEDTEXTILE SECURELY TO THE HAR SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMI CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. THE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FA	CE NAIL STRIPS BETWEEN THE LON OF THE 2X4 FRAME AS LY ARDUND THE FRAME AND RDWARE CLOTH WITH TIES SED GEOTEXTILE AND HARDWARE E ENDS OF THE GEOTEXTILE
NOTCH ELEVATION 36 IN	FOR TYPE B, USE 2% INCH DIAMETER GALVANIZED STEEL POS THICKNESS AND 6 FOOT LENGTH, DRIVEN A MINIMUM OF 36 AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR HEA INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH WIR SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVER MID SECTION. EMBED GEDTEXTILE AND CHAIN LINK FENCE A M THE WEIR CREST.	INCHES BELDW THE WEIR CREST AVIER CHAIN LINK FENCE, 42 RE TIES. FASTEN GEDTEXTILE RY 24 INCHES AT THE TOP AND
	4. BACKFILL ARDUND THE INLET IN LODSE 4 INCH LIFTS AND CO WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION	
	5. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTEN SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AN IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN & EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMU OR REPLACE GEDTEXTILE AND STONE.	ND AVOID PREMATURE CLOGGING. 24 HOURS AFTER A STORM
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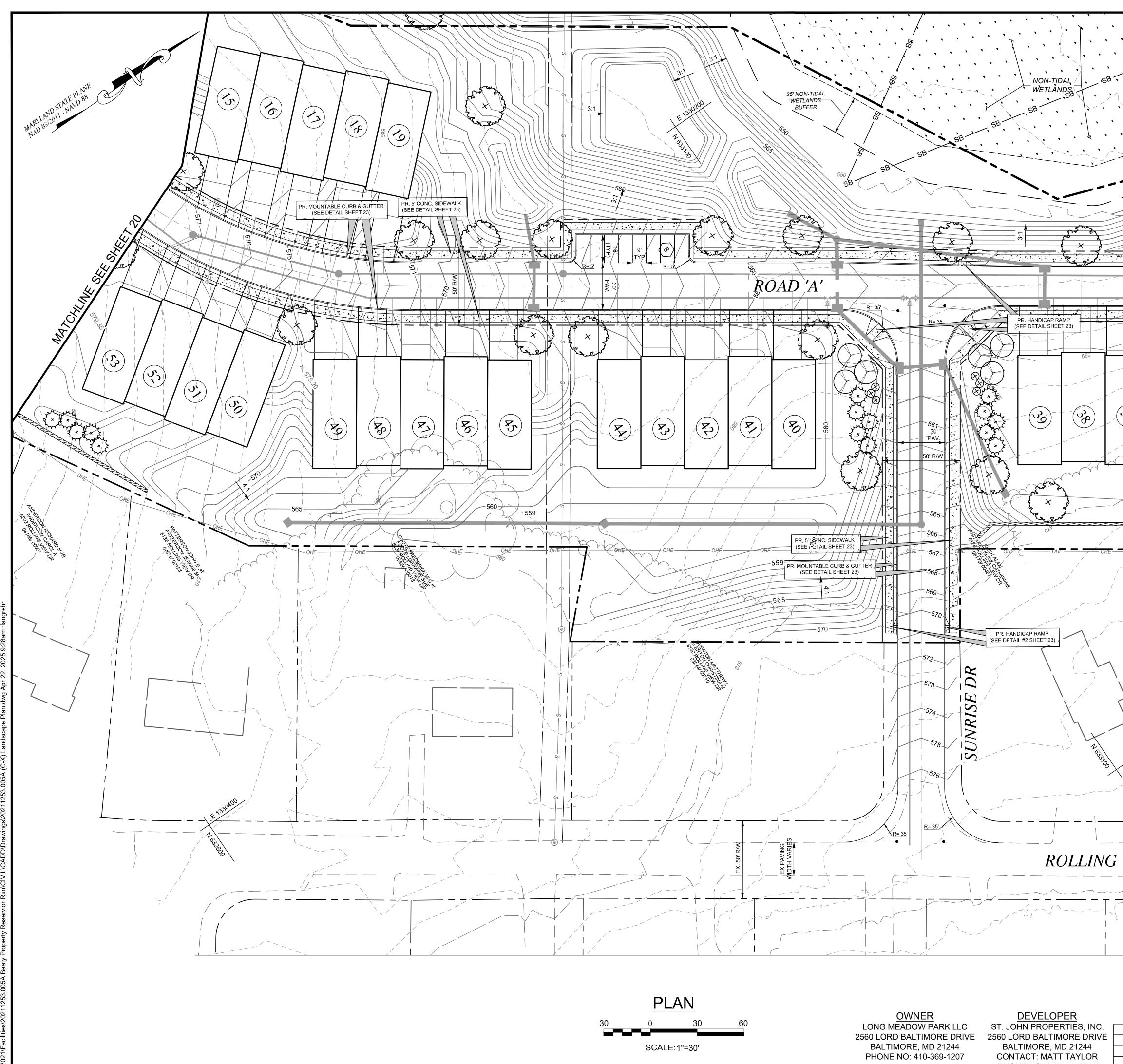


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DATE BY REVISIONS		LICENSE NUMBER: <u>32574</u> EXPIRATION DATE: <u>1-16-2026</u>
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	<u>A Kleinfelder Company</u> 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com CONCEPT SITE DEVELOPMENT PLANS FOR 55+ RETIREMENT VILLAGE CONCEPT LANDSCAPE PLAN
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	LICENSE NUMBER:       32574         EXPIRATION DATE:       1-16-2026         DATE:       3/24/2025         SCALE:       AS SHOWN         DRAWING:       0
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## CARROLL COUNTY LANDSCAPE SPECIFICATIONS

- 1. All plants shall be identified in accordance with the latest Edition of Hortus Third, by "The Staff of the
- Hortorium". 2. All nursery stock shall conform to American Association of Nurserymen, Inc., standards as described in
- American Standard for Nursery Stock, current ANSI Z-60.1 specifications. 3. Landscape specifications shall conform to Landscape Contractors Association Specification Guidelines for Maryland, Washington, D.C., and Virginia, latest edition and Century Engineering, Inc. specifications.
- All nursery stock shall be planted in accordance with the procedures outlined in the guidelines. Three (3) inches of topsoil on all disturbed areas to be landscaped, seeded or sodded is required. 5. A separate plan labeled "Landscape Plan" (may be combined with Forest Conservation Plan) is required. Landscape requirements may not be combined with the Forest Conservation Plan.

### PLANTING NOTES

- 1. Plant material substitutions will not be accepted without approval of the Landscape Architect. All Shrubs and groundcover areas shall be planted in continuous prepared planting beds. All shrub beds shall be mulched with hardwood mulch as detailed and specified except where noted on
- plans Maintain positive drainage out of planting beds at a minimum of two percent slope.
- Plant quantities are provided for the convenience of the contractor. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All areas within contract limits disturbed during or prior to construction not designated to receive plantings and mulch shall be fine graded and seeded in accordance with planting and construction.
- The contractor shall notify Miss Utility, (800-257-7777) a minimum of three working days prior to planting and construction.
- 8. Contractor shall test pit prior to plant installation.

### **IRRIGATION METHODS**

- 1. The use and maintenance of drip irrigation bags or rings around the trunks of newly-planted trees. Hand watering, with water sources provided through either or both of the following methods: 2.1. Exterior faucets on a building, located so that the farthest planting can be reached by a length of
- hose (100 feet recommended). 2.2. A quick-coupling system, with connections located so that the farthest planting can be reached by a length of hose (100 feet recommended).
- 2.3. A water tank or truck.
- An automatic irrigation system with a moisture-sensing device and-or rain shut-off switch. If using an automatic irrigation system, the following requirements shall be met:
- 3.1. All irrigation systems shall be designed to minimize vandalism 3.2. Sprinklers must not over-spray onto pavement. Sprinkler and spray heads are not permitted for planting areas less than eight (8) feet in width, to prevent overspray and run-off. Other irrigation methods shall be specified in such areas.
- 3.3. Place lawn areas in a separate irrigation zone from shrub and groundcover beds so that each planting type can receive adequate irrigation without over-watering areas with lower irrigation needs.
- 3.4. Drip irrigation is recommended for shrub and groundcover beds. Drip irrigation shall be used in
- areas smaller than five (5) feet in any direction.
- The use of rainwater harvesting techniques combined with the use of harvested rainwater for landscape irrigation is encouraged.

### NON-INVASIVE NOTE

1. Non-invasive vegetation that is native or regionally appropriate for local growing conditions has been selected to promote biodiversity.

### MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- 1. A two year plant replacement warranty and two years of maintenance are required by the County. 2. Lawn areas shall be mowed to a height of 2 to 3 inches and not allowed to reach a height of 4 inches before mowing.
- 3. All curbs and walks shall be edged as needed.
- 4. All lawn areas adjacent to building faces or structures shall be trimmed. 5. A slow release nitrogen balanced fertilizer with a 2-1-1 ratio shall be applied at a rate of 2 pounds of
- nitrogen per 1000 square feet in September, October, and February.
- 6. Lime shall be applied at the rate determined by a soils report. 7. It is recommended that lawn areas be treated in mid-March to early April with pre-emergent herbicide (Betasan) or equal applied at the manufacturer's rate.
- 8. A post-emergent herbicide (Trimec) or equal is recommended to be sprayed on lawn areas in the late spring or early fall. Follow manufacturer's rates and recommendations.
- 9. Insecticides and fungicides are recommended for insect and disease contol. 10. Reseed bare areas of lawn as necessary. Yearly aeration is recommended.
- 11. All trash, litter, and debris shall be removed from lawn areas, parking lots, and shrub beds as needed.
- 12. Mulch all shrub and groundcover beds yearly with 3 inches of shredded hardwood bark. 13. Permit shrubs and trees to grow and enlarge to their design size. Consult project Landscape Architect
- for details. 14. Prune trees in accordance with Landscape Specification Guidelines for Baltimore-Washington
- Metropolitan Areas. 15. Maintenance of landscape areas includes, but is not limited to weeding, mulching, mowing, trimming, pruning, edging, cultivation, seeding, fertilization, watering, pest control, and any other maintenance
- necessary to ensure healthy, vigorous plant growth and well-kept property condition. 16. Landscaping elements such as walls and fences shall be constructed in a sound workmanlike manner with adequate support or footings and must be repaired or replaced as needed to preserve an attractive appearance and to function as intended.
- 17. Any dead plants or plants which fail to show healthy growth must be removed and replaced within 60 days of identification of deteriorated health or notification by the County. Replacement may be delayed until the next growing season only if the 60 day period occurs during a time of year not suitable for planting.
- 18. All replacement plants must meet the size and other characteristics of newly planted material as required in the manual.
- 19. Trees and large shrubs must be adequately supported, when necessary to insure proper growth. Tree staking must be removed prior to final inspection, with the exception of plants replaced during the warranty period and not yet established.
- 20. It is desirable to avoid excessive use of fertilizers and pesticides to minimize impacts on water quality. It is recommended that fertilizer application be need-based rather than as an automatic component of maintenance schedules and when appropriate, slow-release or natural fertilizers be selected over
- highly-soluble chemical fertilizers. 21. The implementation of an Integrated Pest Management (IMP) program is recommended to prevent and treat pest problems.

## STANDARDS & SPECIFICATIONS FOR PLANTING

### TIMETABLE FOR PLANTING

ALL B&B AND CONTAINER PLANTING SHALL BE DONE BETWEEN MARCH 25 AND APRIL 30, FOR SPRING PLANTING, AND BETWEEN OCTOBER 15 AND DECEMBER 1 FOR FALL PLANTING.

### PLANT MATERIAL

SEE PLANT LIST FOR EACH PLANTING AREA.

### PLANTING SITE PREPARATION

CONTRACTOR SHALL ERADICATE ALL INVASIVE PLANT MATERIAL WITHIN PLANTING AREAS PRIOR TO PLANTING. ONCE THE PLANTING AREA IS CLEAR OF INVASIVES, PREPARE A PLANTING PIT FOR EACH TREE AND SHRUB. THE AREA DISTURBED FOR THE PIT IS TO BE MULCHED WITH A SHREDDED HARDWOOD PRODUCT. SOIL TESTING IS RECOMMENDED FOR MACRONUTRIENT DEFICIENCIES AND pH LEVELS. PROPER SOIL AMENDMENTS SHOULD BE MADE IF DEEMED NECESSARY.

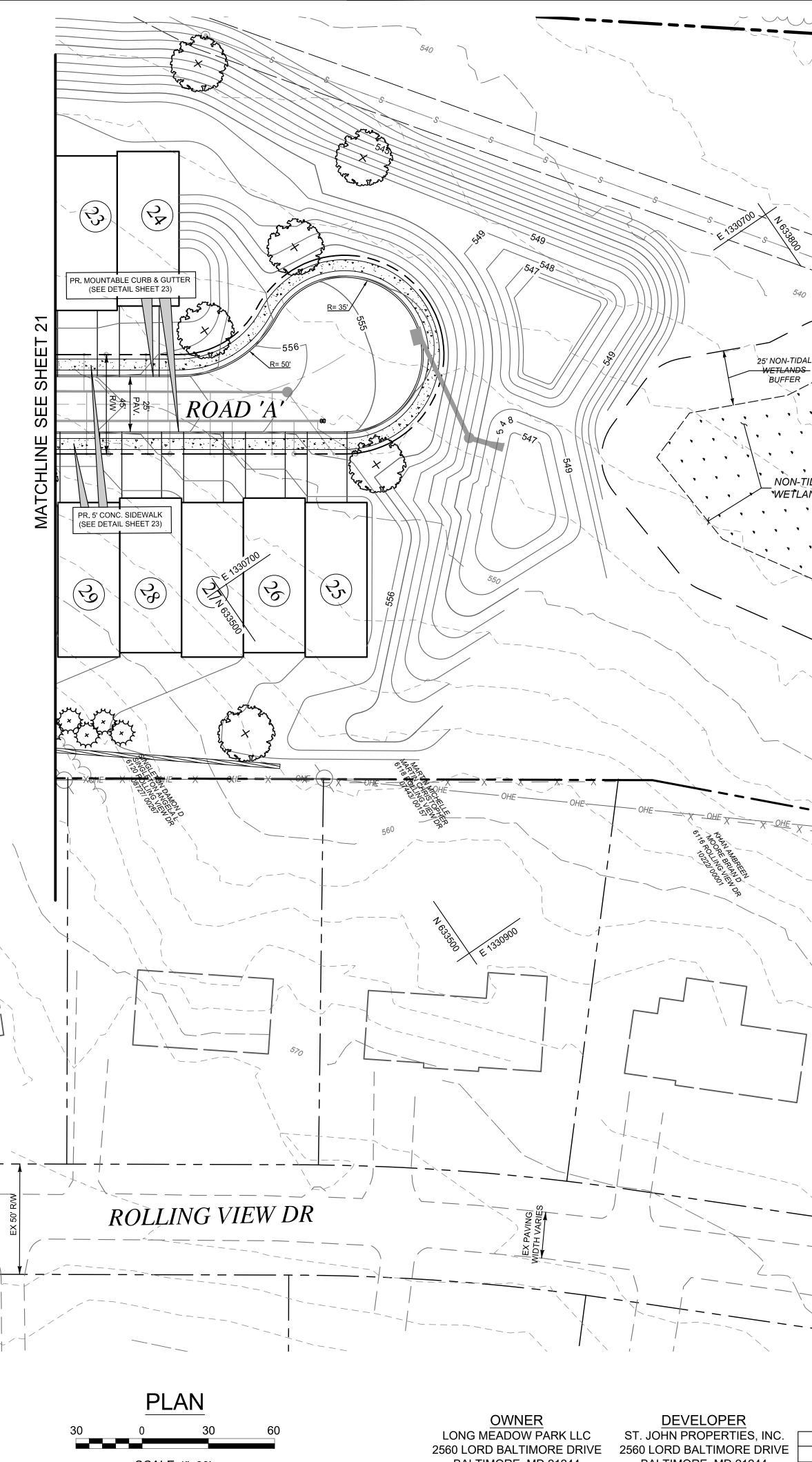
#### PLANT MATERIAL STORAGE

IT IS RECOMMENDED THAT PLANTING OCCUR WITHIN 24 HOURS OF DELIVERY TO THE SITE. PLANT MATERIALS LEFT UNPLANTED FOR MORE THAN 24 HOURS SHALL BE PROTECTED FROM DIRECT SUN AND WEATHER AND KEPT MOIST. PLANT MATERIAL SHOULD NOT BE LEFT UNPLANTED FOR MORE THAN TWO WEEKS.

#### PLANTING METHOD

SEE PLANTING DETAILS FOR EACH TYPE OF PLANT MATERIAL USED . ALL TREES SHALL BE INSTALLED WITH TREE SHELTERS.





SCALE:1"=30'

BALTIMORE, MD 21244 PHONE NO: 410-369-1207

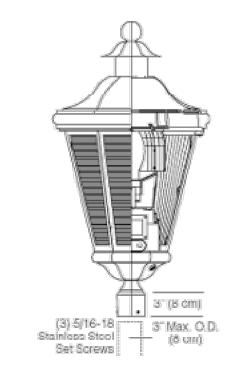
BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

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		NE	
		RYLAND STATE PLANE AD 83/2011 - NAVD 88	
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		EXISTING TOPOGRAPHY AND STRUCTURES SHOWN	HEREON OUTSIDE OF THE LIMITS OF FIELD
 		RUN TOPOGRAPHY ARE FROM CARROLL COUNTY G EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY	
`	REISER MARIE 6112 ROLLING VIEW DR	NOVEMBER 2021. BOUNDARY INFORMATION SHOWN HEREON IS FRO	
		LAND SURVEYORS, LLC, NOVEMBER, 2021.	
		COORDINATES, BEARINGS AND DISTANCES SHOWN STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 84	8)
560	5	DOWNSTREAM CONDITIONS TAKEN FROM THE "OAI	K CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
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		A Kleinfelde 10710 Gilroy Road, H	
		Phone: 443.589.2400	www.centuryeng.com
]		CONCEPT SITE DEV FOR 55+ RETIRE	
`~		CONCEPT LAN	DSCAPE PLAN
— — ````		RESERV	
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		ELDERSB TAX MAP 73 : GRIE	
<u> </u>	$\frac{1}{1}$	ELECTION DISTRICT: 5	CARROLL COUNTY, MD
			I HEREBY CERTIFY THAT THESE DOCUMENTS
	S-25-0007		WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE
DATE BY	REVISIONS		OF MARYLAND. LICENSE NUMBER: <u>32574</u>
			EXPIRATION DATE: <u>1-16-2026</u>
		DATE: <u>3/24/2025</u> SCALE: <u>AS SHOWN</u> PROJECT NUMBER: 20211253.005A	DRAWING: 22 of 23



TOWNHOUSE REAR ELEVATION NOT TO SCALE





### HADCO OLD WORLD LIGHT NOT TO SCALE

HADC

DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 PHONE NO: 410-369-1207

4″ Straight	
Steel	ATA SOURCES
	EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD
F F	RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
	EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
(Shown with	BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS AND SURVEYORS, LLC, NOVEMBER, 2021.
	COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
5.	DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
CO P170 LIGHT POLE (16')	<u>ENGINEERING</u> <u>A Kleinfelder Company</u> 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com
NOT TO SCALE	CONCEPT SITE DEVELOPMENT PLANS
	FOR 55+ RETIREMENT VILLAGE
	BUILDING ELEVATIONS
	RESERVOIR RUN ELDERSBURG, MD
	TAX MAP 73 : GRID 12 : PARCEL 262 ELECTION DISTRICT: 5 CARROLL COUNTY, MD
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL
S-25-0007	ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
DATE BY REVISIONS	LICENSE NUMBER: <u>32574</u> EXPIRATION DATE: <u>1-16-2026</u>
	DATE: <u>3/24/2025</u> SCALE: <u>AS SHOWN</u> DRAWING:
	PROJECT NUMBER: 20211253.005A 23 of 23