

GENERAL NOTES:

- EXISTING ZONING: C-2 COMMERCIAL MEDIUM INTENSITY AND C-3 COMMERCIAL HIGH INTENSITY
- TOTAL AREA OF SITE: 16.85 ACRES
- TOTAL DEVELOPED AREA: 526,148 S.F. (12.08 ACRES)
- THE PROPERTY SHOWN HEREON IS OWNED BY: SEE TABLE SHEET 2
- TAX MAP: 73, BLOCK: 12, PARCELS: 61, 119, 290, 341, 506, 731, 822, 823, AND 824
- TOPOGRAPHY SHOWN HEREON IS FIELD RUN, DATED AUGUST 2024, AND PREPARED BY CLSI.
- LOCATION OF THE NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION IS LOCATED ON LUERS LANE.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
- THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING.
- ALL CONSTRUCTION ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE 'DESIGN MANUAL-VOLUME 1-ROADS AND STORM DRAINS', 'THE 'BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES', 'HIGHWAY DRAINAGE MANUAL' OF THE STATE HIGHWAY ADMINISTRATION, '2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL' PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE, AND ALL ADDENDA AND ERRATA TO ALL OF THE ABOVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEERING OFFICE OF CLSI AT 410-848-7900. IN THE EVENT OF ANY DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIPS OF FINISHED GRADES TO EXISTING GRADES PRIOR TO THE BEGINNING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TRAFFIC ON ANY EXISTING ROADS.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK AS SHOWN ON THESE DRAWINGS:
BALTIMORE GAS & ELECTRIC 410-234-6313
BUREAU OF RESOURCE MANAGEMENT 410-386-2506
VERIZON 410-876-3905
- ALL UTILITIES SHALL BE CLEARED BY A MINIMUM OF 1'-0". ALL UTILITY POLES SHALL BE CLEARED BY A MINIMUM OF 20' OR TUNNELED IF REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR TUNNELING OR BRACING.
- CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY.
- ALL SAFETY MEASURES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE HORIZONTAL CONTROL SHOWN HEREON IS BASED ON THE "MARYLAND COORDINATE SYSTEM" (NAD-83/91). THE VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- IN FILL AREAS, THE COMPACTION SHALL BE FULL HEIGHT COMPACTION TO THE SPECIFIED ELEVATION. FILL SHALL BE PLACED IN EIGHT (8) INCH (PLUS OR MINUS TWO (2) INCHES), MEASURED LOOSE LIFTS AND EACH LIFT COMPACTED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) OF THE MAXIMUM DRY DENSITY AT PLUS OR MINUS TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE MODIFIED PROCTOR TEST (AASHTO T-180) UNLESS SPECIFIED OTHERWISE BY THE GEOTECHNICAL ENGINEER.
- ALL CUT/FILL QUANTITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED BY THE SEDIMENT CONTROL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL VERIFY SUCH CALCULATIONS TO HIS OWN SATISFACTION FOR BID CONTRACT PURPOSES.
- THIS DEVELOPMENT IS NOT LOCATED WITHIN A SURFACE WATER PROTECTION AREA.
- NO TIER II WATERS ARE LOCATED ON THE PROPERTY.

CONCEPT SITE PLAN

for

THE LEGENDS AT LUERS AVENUE

5TH ELECTION DISTRICT * CARROLL COUNTY, MD.
TAX MAP: 73 * BLOCK: 12 * PARCELS: 61, 119, 290, 341, 506, 731, 822, 823, & 824

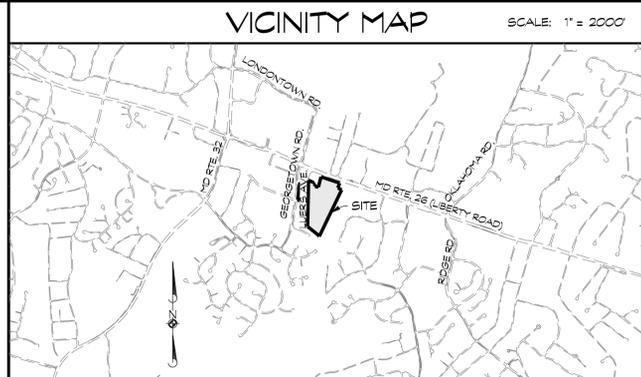
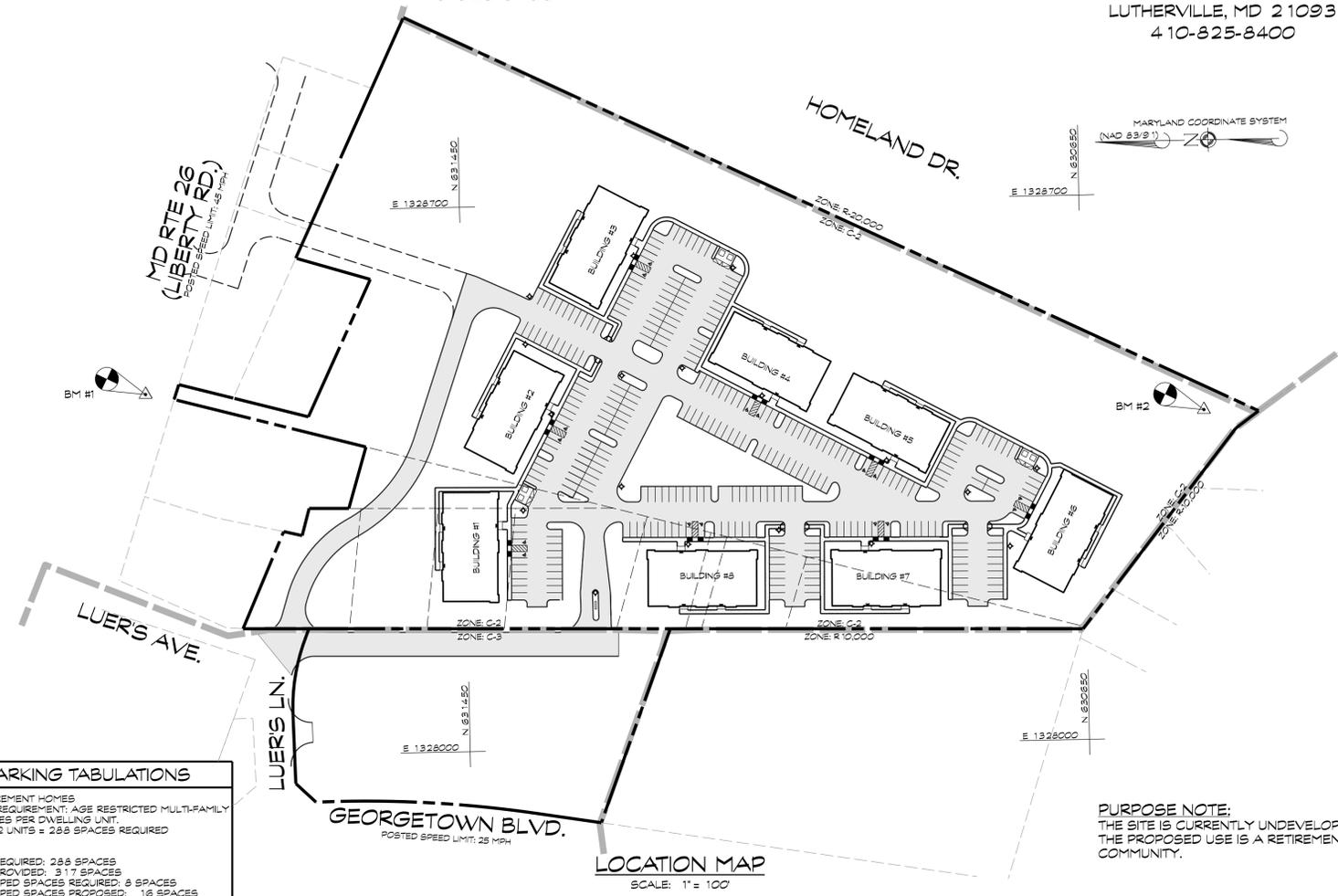
OWNERS

ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

LUERS LANE LLC
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER

COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400



LIST OF DRAWINGS

- TITLE
- EXISTING CONDITIONS
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES AND DETAILS
- SEDIMENT CONTROL NOTES AND DETAILS
- LAYOUT PLAN
- GRADING PLAN
- STORMWATER MANAGEMENT PLAN
- STORMWATER MANAGEMENT NOTES AND DETAILS
- STORMWATER MANAGEMENT MAINTENANCE AGREEMENTS
- LANDSCAPE PLAN
- LANDSCAPE NOTES AND DETAILS
- LIGHTING PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS

SITE DEVELOPMENT PLAN INSPECTION SEQUENCE

- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 AT LEAST ONE (1) WORKING DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
 - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL WORK SHOWN ON PLANS.
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
- THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.

REVISIONS		
#	DATE	REVISIONS

CARROLL COUNTY SOIL CONSERVATION DISTRICT
THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT.

APPROVED _____ CARROLL S.C.D. DATE: _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES

BY: _____ DATE: _____

CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY: _____ DATE: _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS FOR BUREAU OF ENGINEERING

BY: _____ DATE: _____

CARROLL COUNTY HEALTH DEPARTMENT

BY: _____ DATE: _____

PARKING TABULATIONS

USE: RETIREMENT HOMES
PARKING REQUIREMENT: AGE RESTRICTED MULTI-FAMILY
1.5 SPACES PER DWELLING UNIT
1.5 X 192 UNITS = 288 SPACES REQUIRED

SPACES REQUIRED: 288 SPACES
SPACES PROVIDED: 317 SPACES
HANDICAPPED SPACES REQUIRED: 8 SPACES
HANDICAPPED SPACES PROPOSED: 16 SPACES
VAN ACCESSIBLE SPACES REQUIRED: 1 SPACE
VAN ACCESSIBLE SPACES PROPOSED: 16 SPACES

PURPOSE NOTE:
THE SITE IS CURRENTLY UNDEVELOPED.
THE PROPOSED USE IS A RETIREMENT COMMUNITY.

PROJECT CERTIFICATIONS

ENGINEER

I CERTIFY THAT THIS PLAN OF SOIL EROSION & SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL SOIL CONSERVATION DISTRICT.

Bratton D. Moore
BRATON D. MOORE
PROFESSIONAL ENGINEER REGISTRATION NO. 51285
DATE: 10/25/2024

DEVELOPER

I CERTIFY THAT THIS PLAN OF SOIL EROSION & SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPECIFIED IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION & SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES.

DEVELOPER _____ DATE _____
PRINTED NAME OF DEVELOPER _____
DEVELOPER COMPANY NAME _____ DEVELOPER PHONE NUMBER _____

OWNER CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE.

OWNER _____ DATE _____

BENCHMARKS:

B.M.#1: N 631860.2611, E 1328467.3695, EL. 606.29
CLSI PT. # F2 TRAVERSE

B.M.#2: N 630493.8586, E 1328420.8748, EL. 558.36
CLSI PT. # F10 TRAVERSE

Engineers • Surveyors

CLSI

Land Planning & Environmental Consultants

www.clsi-civileng.com

439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 51285
EXPIRATION DATE: DECEMBER 7, 2028

NOT FOR CONSTRUCTION

STATE OF MARYLAND
BRATON D. MOORE, P.E.
10/25/2024

CONCEPT SITE PLAN
for
THE LEGENDS AT LUERS AVENUE

5TH ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP 73 BLOCK 12, PARCELS 61, 119, 290, 341, 506, 731, 822, 823 & 824

TITLE SHEET

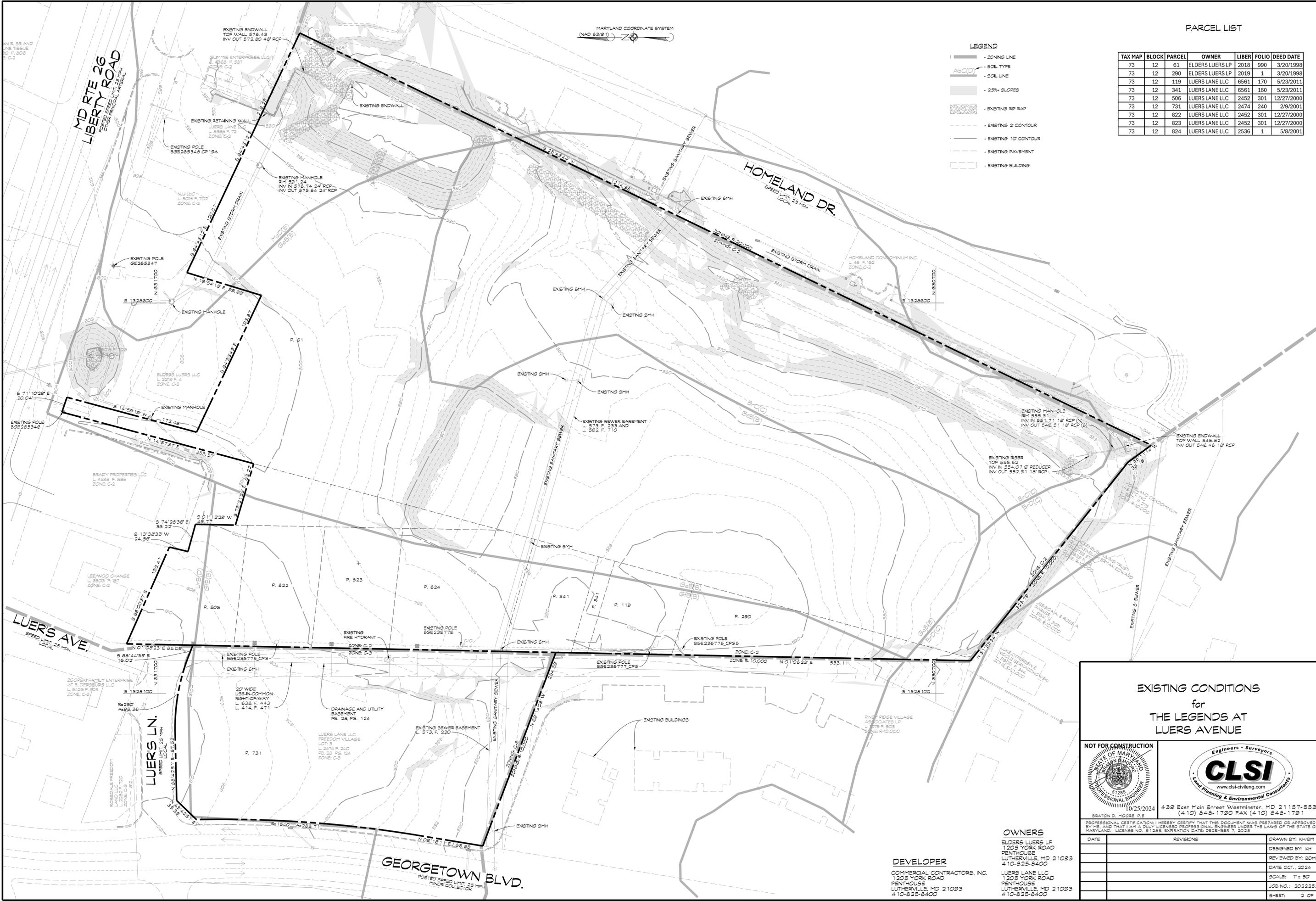
DATE: OCTOBER, 2024 CC FILE #: S-24-0026 JOB NO.: 2022252A 1 of 16

MARYLAND COORDINATE SYSTEM
(NAD 83 B 1)

PARCEL LIST

TAX MAP	BLOCK	PARCEL	OWNER	LIBER	FOLIO	DEED DATE
73	12	61	ELDERS LUERS LP	2018	990	3/20/1998
73	12	290	ELDERS LUERS LP	2019	1	3/20/1998
73	12	119	LUERS LANE LLC	6561	170	5/23/2011
73	12	341	LUERS LANE LLC	6561	160	5/23/2011
73	12	506	LUERS LANE LLC	2452	301	12/27/2000
73	12	731	LUERS LANE LLC	2474	240	2/9/2001
73	12	822	LUERS LANE LLC	2452	301	12/27/2000
73	12	823	LUERS LANE LLC	2452	301	12/27/2000
73	12	824	LUERS LANE LLC	2536	1	5/8/2001

- LEGEND**
- ZONING LINE
 - SOIL TYPE
 - SOIL LINE
 - 25%+ SLOPES
 - EXISTING RIP RAP
 - EXISTING 2' CONTOUR
 - EXISTING 10' CONTOUR
 - EXISTING PAVEMENT
 - EXISTING BUILDING



OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400



- LEGEND:**
- BOUNDARY
 - ZONING LINE
 - SOILS LINE
 - EXISTING 2' CONTOUR
 - EXISTING 10' CONTOUR
 - EXISTING PAVEMENT
 - EXISTING BUILDING
 - PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PROPOSED CURB AND GUTTER
 - PROPOSED BUILDING
 - LOD - LIMITS OF DISTURBANCE
 - SSF - SUPER SILT FENCE
 - STABILIZED CONSTRUCTION ENTRANCE (S.C.E.)
 - STANDARD INLET PROTECTION
 - TEMPORARY GABION OUTLET STRUCTURE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED WATER LINE

SEDIMENT CONTROL PLAN
for
THE LEGENDS AT LUERS AVENUE

NOT FOR CONSTRUCTION

BRATTON D. MOORE, P.E.
10/25/2024

439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DATE	REVISIONS	DRAWN BY: KH, BM
		DESIGNED BY: KH
		REVIEWED BY: BDM
		DATE: OCT., 2024
		SCALE: 1" = 50'
		JOB NO.: 2022252A
		SHEET: 3 OF 16

SEDIMENT & EROSION CONTROL NOTES

- All erosion/sediment control measures shall comply with the "Maryland Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of the Environment, Water Management Administration in association with the Natural Resources Conservation Service and Maryland Association of Soil Conservation Districts (referenced as the 2011 Standards and Specs).
- Areas that have been cleared and/or graded, but will not be constructed on or permanently vegetated for more than 30 days (30 days for sediment control measures (steep slopes) must be stabilized with mulch or temporary stabilization. Any areas that are in temporary vegetation for over 6 months will need to be permanently vegetated.
- For specifications on permanent or temporary stabilization see B-4-4 and B-4-5.
- Mulching can only be used on disturbed areas as a temporary cover where vegetation is not feasible or where seeding germination cannot be completed because of weather conditions. For specifications see B-4-3, A, 1, B.
- For specifications on the stabilization of cut and fill slopes greater than 3 horizontal to 1 vertical, see Incremental Stabilization B-4-1.
- The existing topsoil from an off site that is used must meet the minimum specifications in B-4-2.
- The required sequence of construction must be followed during site development. Any change in the sequence of construction must be approved by the Soil Conservation District.
- Any revisions to the sediment control plan, not covered under the list of plan modifications that can be approved by the sediment control inspector, need to be submitted to the Soil Conservation District for approval.
- No proposed slope that is seeded and/or mulched shall be greater than 2:1. Slopes greater than 2:1 shall require an engineered design for stabilization.
- All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 2011 Standards and Specs.
 - The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.
 - The district approval for this sediment control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be re-submitted to the soil conservation district for review and re-approval. Any plans that are currently under construction after 2 years may be required to be re-submitted to the soil conservation district by the sediment control inspector.

DUST CONTROL SCHEDULE

May-October - All graded areas not being immediately stabilized as noted in the "Required Sequence of Construction" shall be watered on a continuing basis as necessary to provide for dust proofing. Contractor shall provide tank truck with spray bar on site at any time the disturbed area exceeds three (3) acres.

SITE ANALYSIS

- TOTAL AREA OF SITE: 16.85 AC.
- AREA DISTURBED: 526,148 S.F.
- TOTAL CUT: 60,975 C.Y.
- TOTAL FILL: 62,265 C.Y.

NOTE: EARTHWORK CUT AND FILL QUANTITIES INDICATED ON THIS PLAN ARE SHOWN FOR PURPOSES OF OBTAINING SEDIMENT CONTROL PLAN APPROVAL AND NOT TO BE USED FOR CONTRACTUAL OBLIGATIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY QUANTITIES.

REQUIRED SEQUENCE OF CONSTRUCTION

- NOTIFY THE CARROLL COUNTY BUREAU OF SEDIMENT CONTROL (410-386-2210) 24 HOURS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. ALL PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE CARROLL COUNTY SEDIMENT INSPECTOR.
- INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCES, PERIMETER CONTROLS AS SHOWN ON THE PLAN, INCLUDING SEDIMENT BASIN. DO NOT INSTALL SUB GRADE MATERIALS.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, STRIP TOPSOIL AND STOCKPILE.
- BEGIN MASS GRADING SITE. BUILDING CONSTRUCTION MAY BEGIN. SEE SHEET 9 FOR STORMWATER MANAGEMENT SEQUENCE OF CONSTRUCTION.
- INSTALL UTILITIES (I.E. WATER, SEWER, STORM DRAIN, ELECTRIC, ETC.). UPON INSTALLATION OF ANY STORM DRAIN INLETS, IMMEDIATELY INSTALL APPROPRIATE INLET PROTECTION PER PLAN.
- ONCE GRADE OF PARKING/PAVED AREAS ARE AT SUBGRADE, INSTALL STONE SUBBASE.
- CONSTRUCT CURBS, SIDEWALKS, AND ANY CONCRETE PADS.
- INSTALL BASE SURFACE OF PAVED AREAS.
- ONCE SITE IS OVER 80% STABILIZED AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR BEGIN CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY PER SEQUENCE OF CONSTRUCTION SHEET 9 FOR SUBMERGED GRAVEL WETLAND. REMEMBER STORMWATER MANAGEMENT FACILITIES MUST BE INSPECTED BY THE CERTIFYING PROFESSIONAL ENGINEER OR APPROVED REPRESENTATIVE OF THE PROFESSIONAL ENGINEER.
- FINE GRADE REMAINING AREAS, RESPREAD TOPSOIL AND STABILIZE.
- INSTALL REMAINING FINAL FEATURES OF SUBMERGED GRAVEL WETLAND AND MICROBIOS. REFER TO STORMWATER MANAGEMENT SEQUENCE OF CONSTRUCTION SHEET 9 FOR DETAILED CONSTRUCTION OF SUBMERGED GRAVEL WETLAND AND MICROBIOS. STABILIZE IMMEDIATELY UPON COMPLETION.
- INSTALL LANDSCAPING AND STABILIZE ANY REMAINING AREAS.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING TEMPORARY SEDIMENT CONTROL MEASURES AND STABILIZE REMAINING DISTURBED AREAS.
- REPAIR AND REPLACE ANY EXISTING PAVEMENT DAMAGED BY CONSTRUCTION TRAFFIC. PLACE FINAL COURSE PAVING, PLACE FINAL COURSE PAVING.

NOTE:
ALL SEDIMENT CONTROL MEASURES SHOWN HEREON ARE TEMPORARY UNLESS OTHERWISE NOTED.

NOTE:
ALL STOCKPILE AREAS SHALL BE CONFINED WITHIN PERIMETER CONTROLS. IN THE EVENT THAT STOCKPILE AREAS MUST BE LOCATED OUTSIDE OF DISTURBED AREAS, THE LOCATION SHALL BE AS DIRECTED BY THE INSPECTOR IN THE FIELD.

STABILIZATION SPECIFICATIONS

TEMPORARY SEEDING NOTES

- Scope: Planting short term (no more than 6 Months) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.
- Standards: The following notes shall conform to Section B-4 of the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.
- The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.
 - For temporary stabilization, fertilizer shall consist of a mixture of 10-20-20 and be applied at a rate of 4-36 lb. per acre (10 lb. per 1000 sq. ft.) and will meet the requirements in section B-4-2. Lime shall be applied at a rate of 2 tons per acre (80 lb. per sq. ft.) and shall meet the requirements in section B-4-2 and B-4-4.
 - Seed type and application shall meet the requirements in section B-4-3. Seed tags shall be made available to the inspector to verify the type and rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c and will be applied along with the seed or immediately after seeding.
 - Seeding mixtures shall be selected from or will be equal to those on Table B. 1 (page B. 20).

Temporary Seeding Summary
The seeding chart below will need to be placed on and filed in on the sediment control plan.

Hardness Zone (from Figure B. 3): BB Seed Mixture (from Table B. 1):				Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates		
1	Annual Ryegrass (<i>Lolium perenne</i> ssp. <i>multiflorum</i>)	40 lb/acre	3/15 - 5/31 8/1 - 2/30	0.5'	2 tons/acre (80 lb/1000 sq ft)
2	Perennial Millet (<i>Syntherisma trichoides</i>)	30 lb/acre	5/16 - 7/31	0.5'	4-36 lb/acre (10 lb/1000 sq ft)

PERMANENT SEEDING NOTES

- Scope: Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 6 months.
- Standards: The following notes shall conform to Section B-4 of the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.
- The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.
- For sites over 5 ac. soil tests will be performed. Soil tests will be conducted by the University of Maryland or a designated commercial laboratory. Minimum soil conditions shall meet the requirements of section B-4-2-A-2-a-2, otherwise soil amendments or topsoil will need to be applied. Topsoiling may occur when soil conditions meet the minimum requirements as stated in section B-4-2-B. Soil amendments must meet the requirements as set forth in section B-4-2-C and must be applied as indicated by the soils tests.
- For sites of 5 ac. or less of disturbance, the following fertilizer and lime rates shall apply. Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates: N = 45 lb. per acre (1 lb. per 1000 sq. ft.), P2O5 = 90 lb. per acre (2 lb. per 1000 sq. ft.), K2O = 90 lb. per acre (2 lb. per 1000 sq. ft.).
Lime shall be applied at a rate of 2 tons per acre (80 lb. per 1000 sq. ft.).
- Seed type, turfgrass or sod application shall meet the requirements in section B-4-5. Seed tags shall be made available to the inspector to verify the type and application rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c, and will be applied along with seed or immediately after seeding.
- Seeding mixtures shall be selected from or will be equal to those on Table B-3. The seeding chart below will need to be placed on and filed in on the sediment control plan.

Hardness Zone (from Figure B. 3): BB Seed Mixture (from Table B. 3):				Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates	N	P ₂ O ₅	K ₂ O	
*9	Improved Tall Fescue (<i>Lolium arundinaceum</i>)	80 lb/acre	3/1 - 5/15 8/1 - 10/15	1/4 - 1/2 lb per acre (10 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	2 tons/acre (80 lb/1000 sq ft)
	Improved Kentucky Bluegrass	40 lb/acre	3/1 - 5/15 8/1 - 10/15	1/4 - 1/2 lb per acre (10 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	2 tons/acre (80 lb/1000 sq ft)
*11	Improved Perennial Ryegrass	20 lb/acre	3/1 - 5/15 8/1 - 10/15	1/4 - 1/2 lb per acre (10 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	2 tons/acre (80 lb/1000 sq ft)
	Bunchgrass (<i>Poa annua</i>)	10 lb/acre	3/1 - 5/15 8/1 - 10/15	1/4 - 1/2 lb per acre (10 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	2 tons/acre (80 lb/1000 sq ft)
	Creeping Red Fescue (<i>Festuca rubra</i>)	15 lb/acre	3/1 - 5/15 8/1 - 10/15	1/4 - 1/2 lb per acre (10 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	2 tons/acre (80 lb/1000 sq ft)
	Partridge Pea (<i>Chamaecrista fascicularis</i>)	4 lb/acre	3/1 - 5/15 8/1 - 10/15	1/4 - 1/2 lb per acre (10 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	30 lb/acre (20 lb/1000 sq ft)	2 tons/acre (80 lb/1000 sq ft)

*9 - use 1 variety on the MD/VA recommended list (TT-7.7)
*11 - use 2-4 varieties on the MD/VA recommended list (TT-7.7)

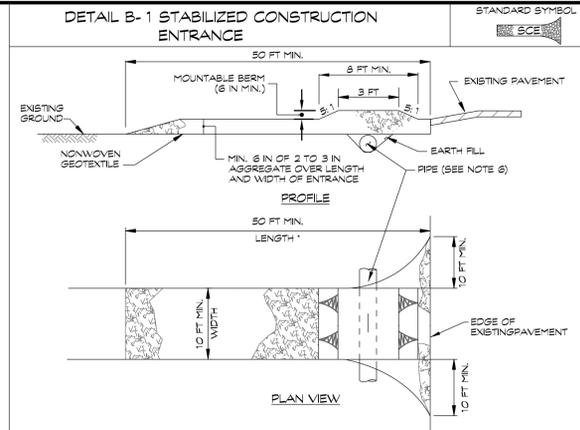
Tracking note:
On areas where the slope is 3:1 or steeper and the height is 8' or greater, contractor shall track the slope using cleared dazer prior to placing asphalt binder. Dazer shall run up-slope-down so that dazer marks are horizontal. Where tracking is required, it shall be done from existing grade level to finished grade level within the limits established by the 3' height criteria.

UTILITY CONSTRUCTION NOTES

- Place all excavated material on the high side of the trench.
- Only do as much work as can be done in one day so backfilling, final grading, and permanent stabilization can occur.
- Any sediment control measures disturbed by the utility construction will be repaired the same day.

STOCKPILE/TOPSOIL NOTES

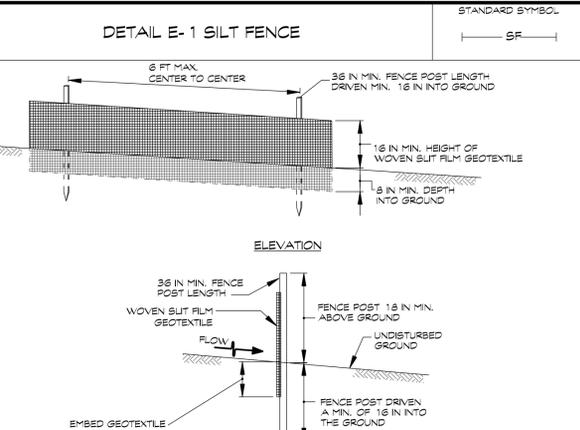
- Stockpiling will not be allowed on any impervious areas.
- All stockpiles left at the end of the day will need to be temporarily stabilized until they are again disturbed, unless they are within existing perimeter sediment controls.
- All stockpile areas shall be confined within perimeter controls. In the event that stockpile areas must be located outside disturbed areas, the location shall be as directed by the inspector in the field.



CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--	------	---

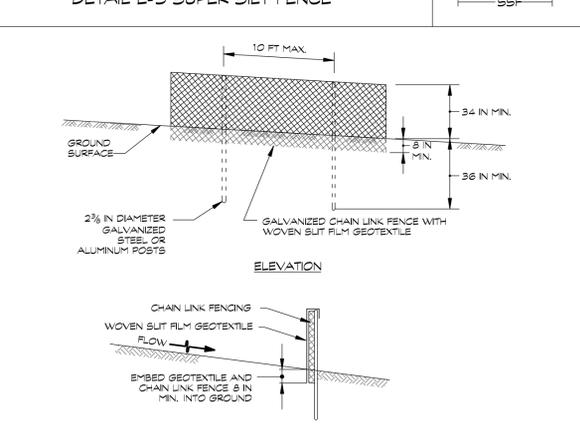


CONSTRUCTION SPECIFICATIONS

- USE WOOD POSTS 1 1/2 X 1 1/2 X 1/2 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD T' OR U' SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
- USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
- USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
- WHERE TWO SECTIONS OF THE SILT FENCE ADJOIN, OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
- EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--	------	---

DETAIL E-3 SUPER SILT FENCE



CONSTRUCTION SPECIFICATIONS

- INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.093 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 4.2 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
- FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--	------	---

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--	------	---

DETAIL E-3 SUPER SILT FENCE



CONSTRUCTION SPECIFICATIONS

- INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.093 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 4.2 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
- FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--	------	---

NOT FOR CONSTRUCTION

BRATON D. MOORE, P.E.
10/25/2024

PROFESSIONAL ENGINEER
51285

439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51285, EXPIRES DATE: DECEMBER 31, 2025

DATE: _____ REVISIONS: _____ DRAWN BY: KH
DESIGNED BY: KH
REVIEWED BY: BOM
DATE: OCT., 2024
SCALE: NTS
JOB NO.: 2022252A
SHEET: 4 OF 16

OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

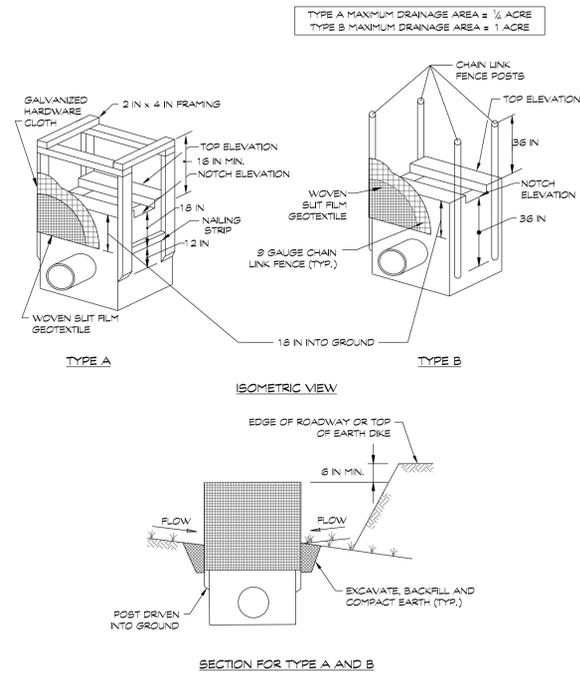
DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

SEDIMENT CONTROL NOTES AND DETAILS for THE LEGENDS AT LUERS AVENUE

CLSI
www.clsi-civileng.com
www.clsi-civileng.com

DETAIL E-9-1 STANDARD INLET PROTECTION

STANDARD SYMBOL
SIP



DETAIL E-9-1 STANDARD INLET PROTECTION

STANDARD SYMBOL
SIP

CONSTRUCTION SPECIFICATIONS

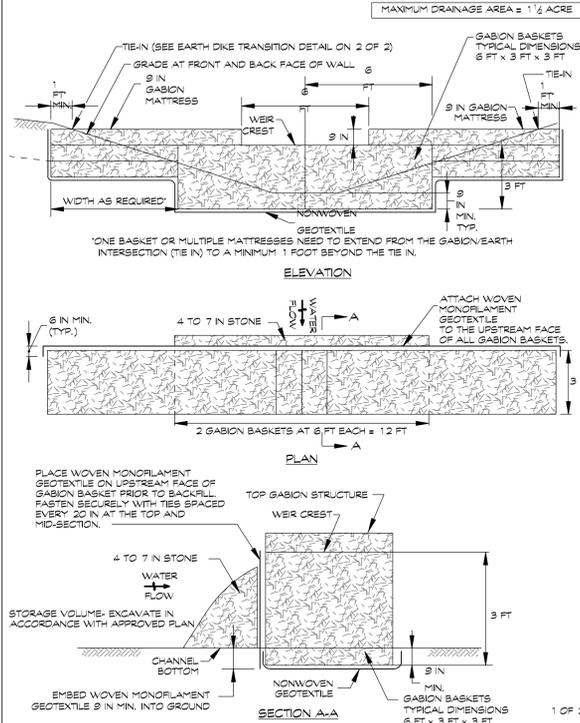
- USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION.
- FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONSTRUCTION GRADE LUMBER POSTS, DRIVEN 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2X4 FRAME AS SHOWN. STRETCH 1/4 INCH GALVANIZED HARDWARE CLOTH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. FASTEN GEOTEXTILE SECURELY TO THE HARDWARE CLOTH WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FASTENED TO THE POST.
FOR TYPE B, USE 2 3/8 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND 6 FOOT LENGTH, DRIVEN A MINIMUM OF 36 INCHES BELOW THE WEIR CREST AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR HEAVIER CHAIN LINK FENCE, 42 INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH WIRE TIES. FASTEN GEOTEXTILE SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 18 INCHES BELOW THE WEIR CREST.
- BACKFILL AROUND THE INLET IN LOOSE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

1 OF 2

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-8 TEMPORARY GABION OUTLET STRUCTURE

STANDARD SYMBOL
TGOS

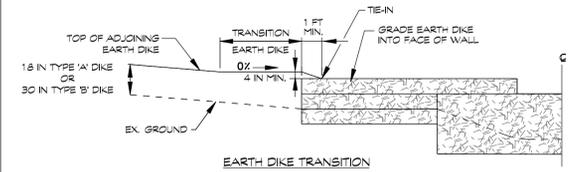


1 OF 2

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-8 TEMPORARY GABION OUTLET STRUCTURE

STANDARD SYMBOL
TGOS



- NOTES:
- PROVIDE TRANSITION LENGTH AND HEIGHT AS SPECIFIED ON PLAN. HEIGHT OF TRANSITION EARTH DIKE MUST EXCEED 4 INCH MINIMUM FREEBOARD ABOVE TOP OF GABION AND EXTEND AT THIS ELEVATION UNTIL IT INTERCEPTS THE TOP OF ADJOINING EARTH DIKE.
 - PROVIDE POSITIVE DRAINAGE ALONG EARTH DIKE TO GABION OUTLET STRUCTURE.
 - COMPACT FILL.
 - SHAPE EARTH DIKE TO LINE, GRADE, AND CROSS SECTION AS SPECIFIED ON PLAN; BANK PROJECTIONS OR IRREGULARITIES ARE NOT ALLOWED.

CONSTRUCTION SPECIFICATIONS

- PROVIDE STORAGE VOLUME AS SPECIFIED ON APPROVED PLANS.
- USE BASKETS MADE OF 11 GAUGE WIRE OR HEAVIER.
- USE NONWOVEN AND WOVEN MONOFILAMENT GEOTEXTILES AS SPECIFIED IN SECTION H-1 MATERIALS.
- INSTALL GABIONS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- EMBED THE GABION OUTLET STRUCTURE INTO THE SOIL A MINIMUM OF 9 INCHES. PROVIDE NONWOVEN GEOTEXTILE UNDER ALL GABIONS.
- FILL GABION BASKETS WITH CLEAN 4 TO 7 INCH STONE OR EQUIVALENT RECYCLED CONCRETE WITHOUT REBAR OR WIRE MESH.
- MAKE THE WEIR CREST OF THE GABION OUTLET STRUCTURE 9 INCHES LOWER THAN THE TOP OF THE ADJACENT GABIONS.
- PROVIDE A MINIMUM WEIR CREST OF 6 FEET.
- ATTACH WOVEN MONOFILAMENT GEOTEXTILE TO THE UPSTREAM FACE OF GABION BASKETS AND COVER WITH 4 TO 7 INCH STONE.
- REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO WITHIN 12 INCHES OF THE WEIR CREST. REPLACE GEOTEXTILE AND STONE FACING WHEN STRUCTURE CEASES TO FUNCTION. MAINTAIN LINE, GRADE, AND CROSS SECTION.
- UPON REMOVAL OF GABION OUTLET STRUCTURE, GRADE AREA FLUSH WITH EXISTING GROUND. WITHIN 24 HOURS STABILIZE DISTURBED AREA WITH TOPSOIL, SEED, AND MULCH, OR AS SPECIFIED ON APPROVED PLAN.

2 OF 2

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

NOTE:
ALL SEDIMENT CONTROL MEASURES SHOWN HEREON ARE TEMPORARY UNLESS OTHERWISE NOTED.

NOTE:
ALL STOCKPILE AREAS SHALL BE CONFINED WITHIN PERIMETER CONTROLS. IN THE EVENT THAT STOCKPILE AREAS MUST BE LOCATED OUTSIDE OF DISTURBED AREAS, THE LOCATION SHALL BE AS DIRECTED BY THE INSPECTOR IN THE FIELD.

OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

LUERS LANE LLC
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

SEDIMENT CONTROL
NOTES AND DETAILS
for
THE LEGENDS AT
LUERS AVENUE

NOT FOR CONSTRUCTION

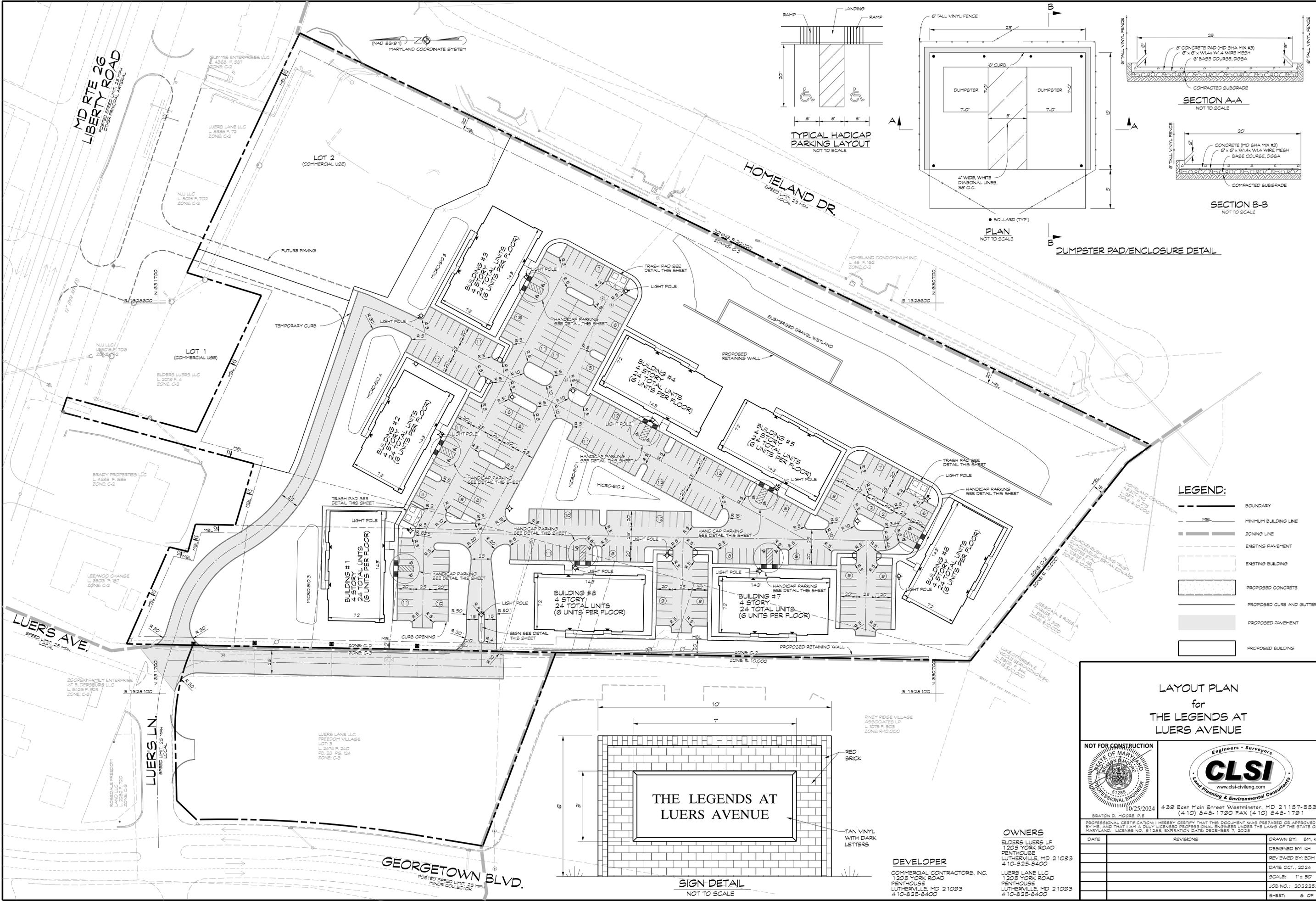
STATE OF MARYLAND
BRATON D. MOORE, P.E.
10/25/2024

Engineers • Surveyors
CLSI
www.clsi-civileng.com
439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

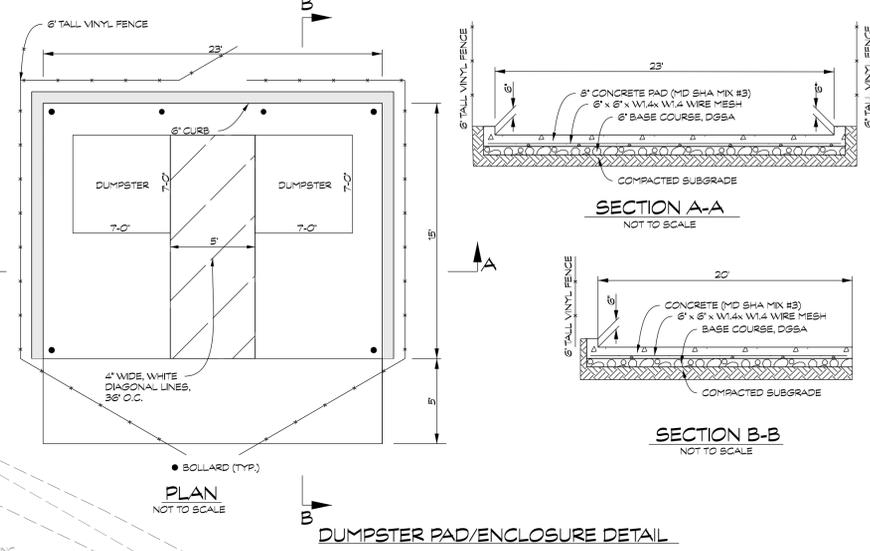
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51285, EXPIRATION DATE: DECEMBER 7, 2025

DATE	REVISIONS	DRAWN BY: KH
		DESIGNED BY: KH
		REVIEWED BY: BDM
		DATE: OCT., 2024
		SCALE: NTS
		JOB NO.: 2022252A
		SHEET: 5 OF 16

(NAD 83/91) MARYLAND COORDINATE SYSTEM

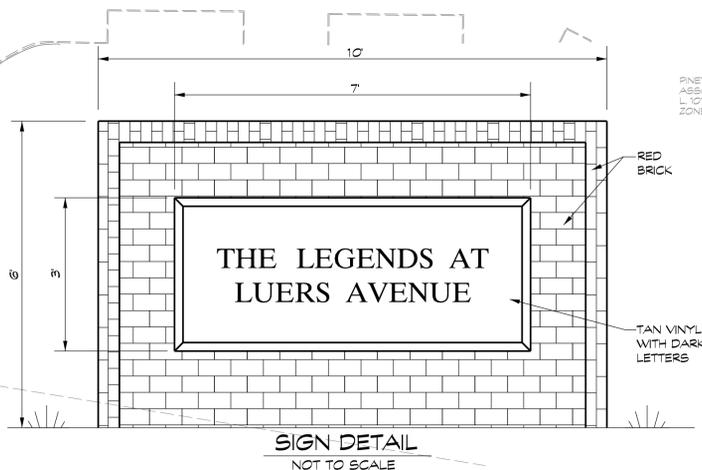


TYPICAL HADICAP PARKING LAYOUT
NOT TO SCALE



LEGEND:

	BOUNDARY
	MINIMUM BUILDING LINE
	ZONING LINE
	EXISTING PAVEMENT
	EXISTING BUILDING
	PROPOSED CONCRETE
	PROPOSED CURB AND GUTTER
	PROPOSED PAVEMENT
	PROPOSED BUILDING



SIGN DETAIL
NOT TO SCALE

LAYOUT PLAN
for
THE LEGENDS AT LUERS AVENUE

NOT FOR CONSTRUCTION

STATE OF MARYLAND
BRATON D. MOORE, P.E.
10/25/2024

CLSI
Civil, Surveying & Environmental Consultants
www.clsi-civileng.com

439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51285, EXPIRATION DATE: DECEMBER 7, 2025

DATE	REVISIONS	DRAWN BY:
		BM, KH
		DESIGNED BY: KH
		REVIEWED BY: BDM
		DATE: OCT., 2024
		SCALE: 1" = 50'
		JOB NO.: 2022252A
		SHEET: 6 OF 16

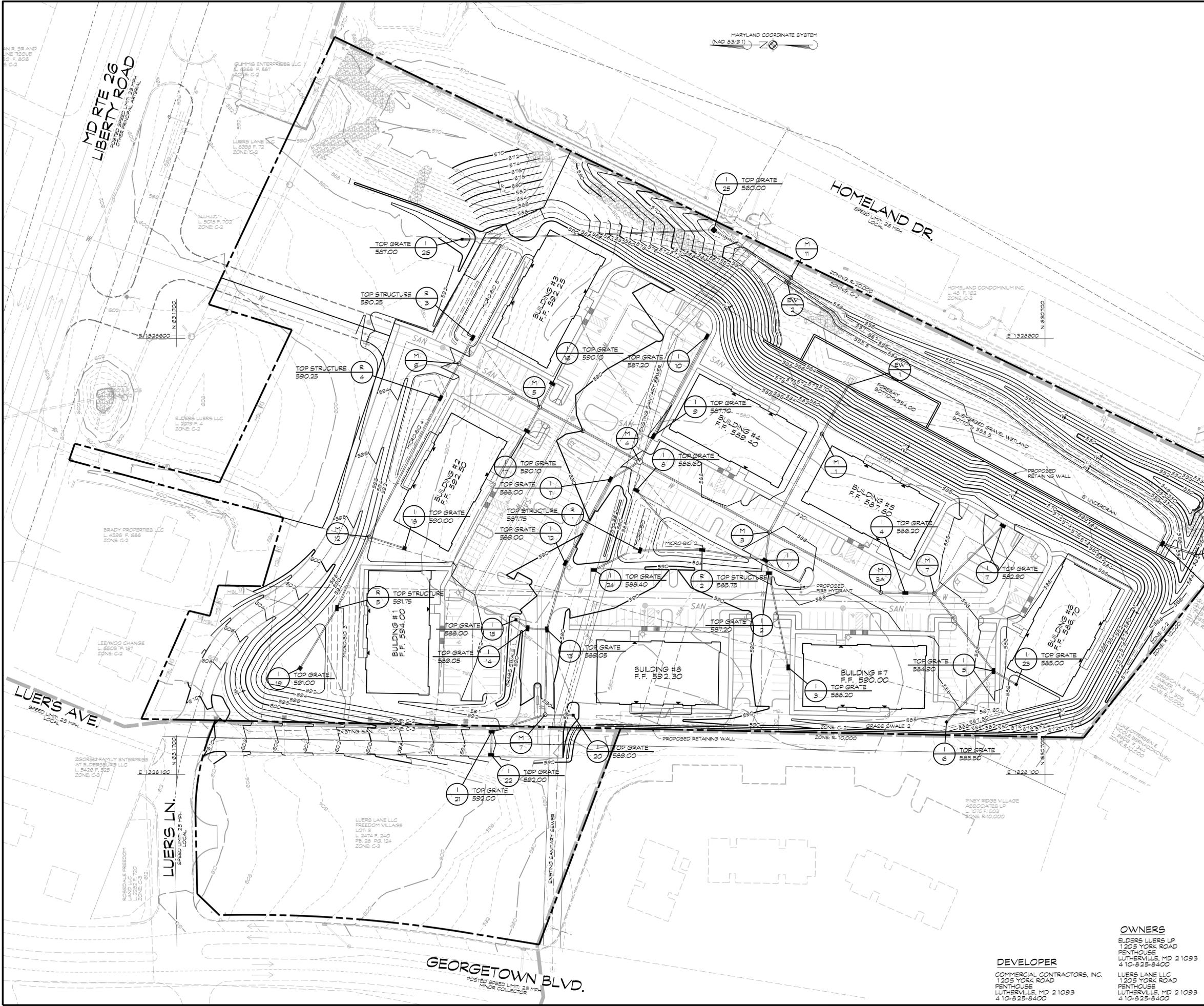
OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

LUERS LANE LLC
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

MARYLAND COORDINATE SYSTEM
NAD 83(91)

- LEGEND:**
- BOUNDARY
 - ZONING LINE
 - SOILS LINE
 - - - - EXISTING 2' CONTOUR
 - - - - EXISTING 10' CONTOUR
 - - - - EXISTING PAVEMENT
 - EXISTING BUILDING
 - PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PROPOSED CURB AND GUTTER
 - PROPOSED BUILDING
 - PROPOSED WATER LINE
 - SAN PROPOSED SANITARY SEWER LINE



GRADING PLAN
for
THE LEGENDS AT
LUERS AVENUE

NOT FOR CONSTRUCTION

BRATTON D. MOORE, P.E.

Engineers • Surveyors

www.clsi-civileng.com

439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51285, EXPIRATION DATE: DECEMBER 7, 2025

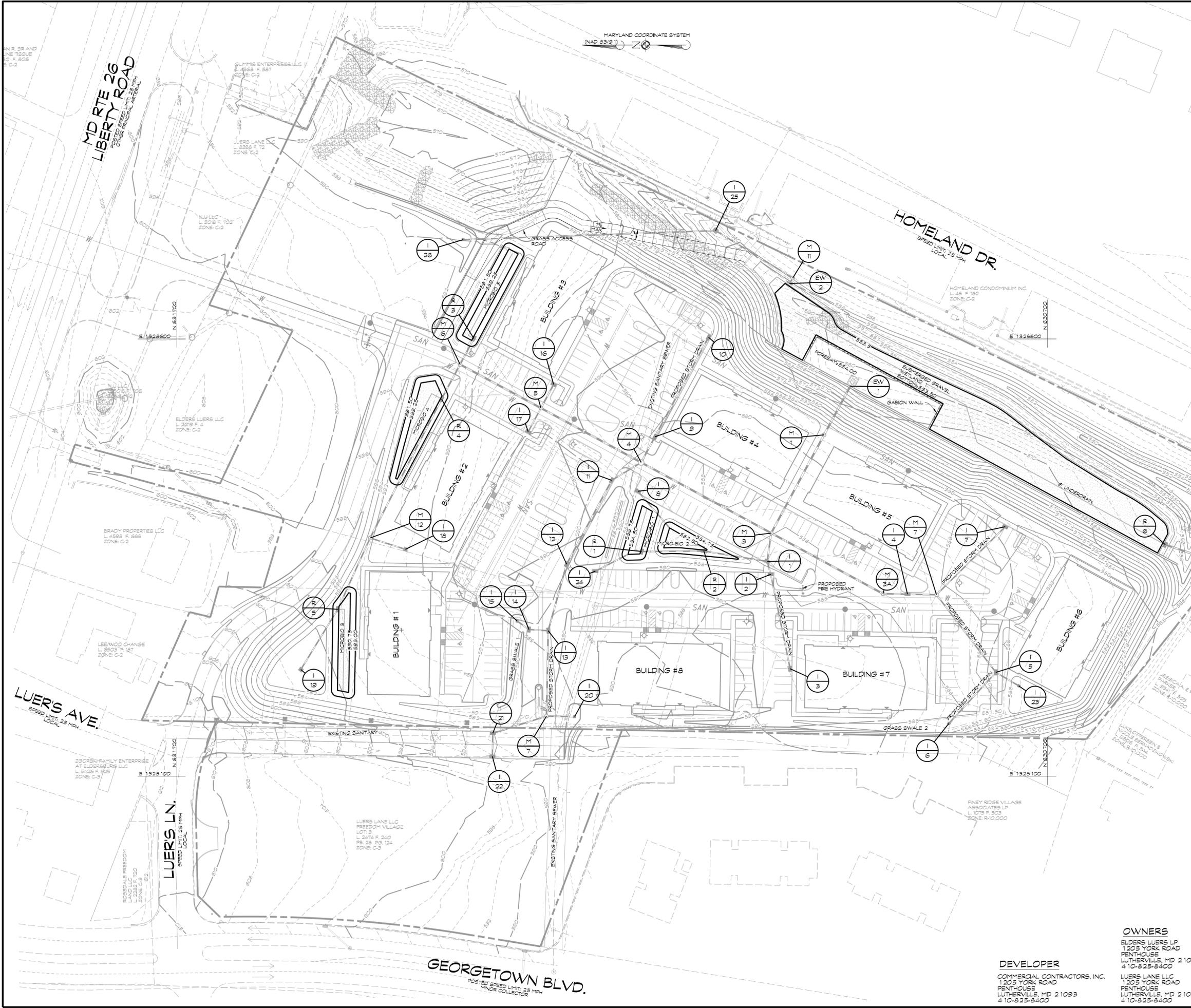
DATE	REVISIONS	DRAWN BY: BM
		DESIGNED BY: KH
		REVIEWED BY: BDM
		DATE: OCT., 2024
		SCALE: 1" = 50'
		JOB NO.: 2022252A
		SHEET: 7 OF 16

OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

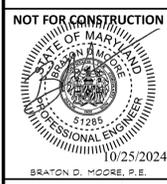
DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

LEGEND:

-  GABION WALL
-  FACILITY BOTTOM
-  PROPOSED WATER LINE
-  PROPOSED SANITARY SEWER LINE



STORMWATER MANAGEMENT PLAN
for
THE LEGENDS AT
LUERS AVENUE



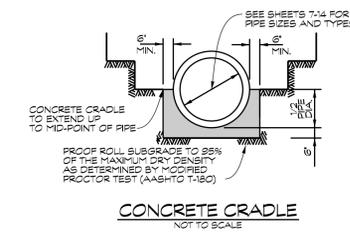
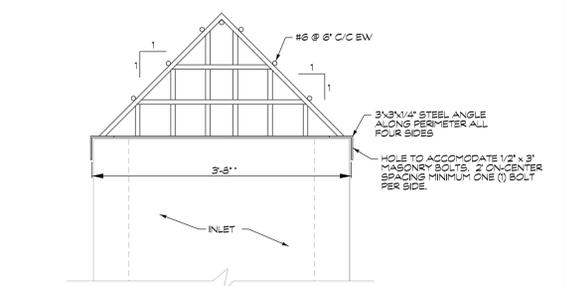
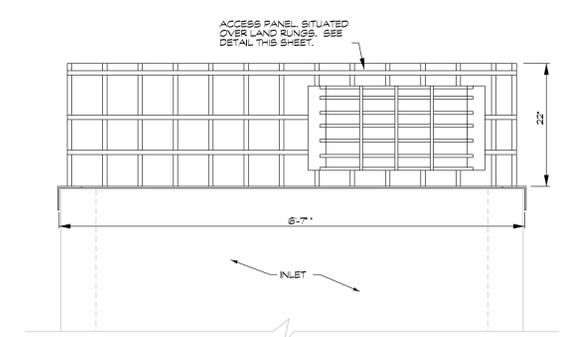
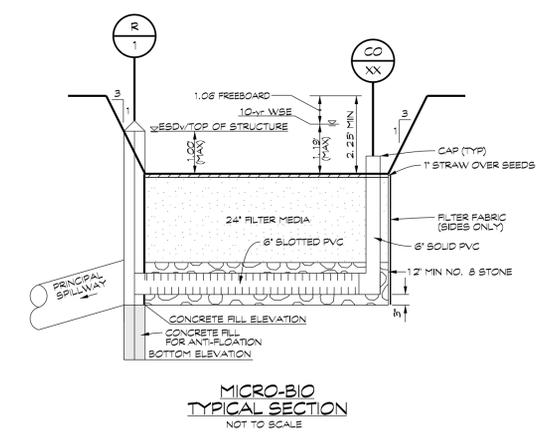
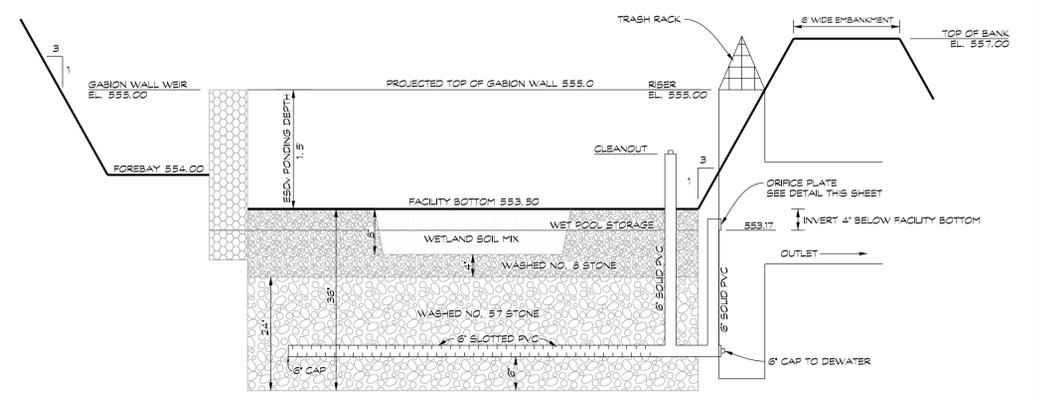
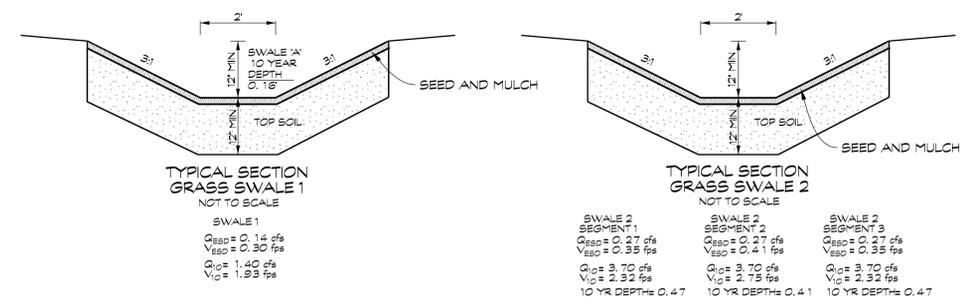
CLSI
Civil & Environmental Consultants
www.clsi-civileng.com

439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

DATE	REVISIONS	DRAWN BY: BM
		DESIGNED BY: KH
		REVIEWED BY: BDM
		DATE: OCT., 2024
		SCALE: 1" = 50'
		JOB NO.: 2022252A
		SHEET: 8 OF 16

OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400



NOTES:
 1. AFTER FABRICATION, ENTIRE TRASH RACK TO BE HOT DIP GALVANIZED.
 2. GALVANIZED TRASH RACKS ARE NOT TO BE CUT IN THE FIELD AND PAINTED. CONTRACTOR TO MEASURE INLET TO VERIFY DIMENSIONS PRIOR TO FABRICATION.
 3. MAXIMUM TRASH RACK OPENING TO BE NO GREATER THAN 6" ANY DIRECTION. ANGLE TO BE DRILLED TO ACCOMMODATE 1/2" MASONRY BOLTS TO ANK TRASH RACK TO RISER AT MAXIMUM SPACING 2' ON CENTER.
 NOTE: TRASH RACKS TO BE INSTALLED ON INLETS IN MICRO-BIO FACILITIES.

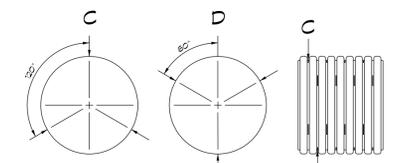
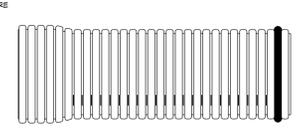
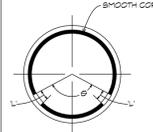
APPROVED UNDERDRAIN PIPES FOR CARROLL COUNTY STORMWATER MANAGEMENT FACILITIES

CONTECH A-2000 SLOTTED PVC UNDERDRAIN PIPE

NOMINAL SIZE	DEGREES	ROW OF SLOTS	SLOT SIZE		PERFORATION OPEN AREA (SQ. IN. FT. OF PIPE)
			WIDTH	L	
4"	152	2	.032	1.1/8"	0.416
6"	134	2	.032	1.3/8"	0.516
8"	132	2	.032	1.3/4"	0.658
10"	114	2	.032	2-3/16"	0.826
12"	122	2	.031	1.1/8"	1.033
15"	124	2	.031	2-1/4"	1.377
18"	120	2	.031	2-1/4"	1.377

ADS N-2 SLOTTED HDPE TYPE 'B' UNDERDRAIN PIPE

NOMINAL ID.	PERFORATION TYPE	SLOT SIZE		MINIMUM NET AREA PER FT. OF PIPE			
		MAXIMUM SLOT LENGTH	MINIMUM SLOT WIDTH				
4"	100	SLOT	0.275	0.125	3	1.0	21
6"	180	SLOT	0.275	0.125	3	1.0	21
8"	200	SLOT	1.18	0.125	3	1.0	21
10"	250	SLOT	1.18	0.125	3	1.0	21

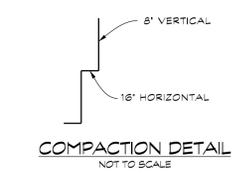


PLAN & PROFILE NOTATION:
 * SLOTTED PIPE
 SEE DETAIL SHEET

NOTES:
 1. ALL PIPES MUST BE CORRUGATED DOUBLE WALLED (SMOOTH CORE)
 2. ALL PIPES MUST BE SLOTTED (NO CIRCULAR HOLES)
 3. ENGINEER APPROVED EQUIVALENTS MAY BE SUBSTITUTED WITH PRIOR CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT PERMISSION

Compaction
 The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not be so wet that water can be squeezed out.

The minimum required density shall not be less than 95% of maximum dry density with a moisture content within plus or minus 2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).



NOTE:
 COMPACTED MATERIAL TO BE BEST AVAILABLE MATERIAL ON-SITE, AT LEAST GC, EC, SH, MH, ML, CH, OR CL SOIL, APPROVED BY GEOTECH. COMPACTION SHALL FOLLOW GUIDELINES FOR COMPACTION ON THIS SHEET.

OWNERS
 ELDERS LUERS LP
 1205 YORK ROAD
 PENTHOUSE
 LUTHERVILLE, MD 21093
 410-825-8400

DEVELOPER
 COMMERCIAL CONTRACTORS, INC.
 1205 YORK ROAD
 PENTHOUSE
 LUTHERVILLE, MD 21093
 410-825-8400

LUERS LANE LLC
 1205 YORK ROAD
 PENTHOUSE
 LUTHERVILLE, MD 21093
 410-825-8400

STORMWATER MANAGEMENT NOTES AND DETAILS
 for
THE LEGENDS AT LUERS AVENUE

NOT FOR CONSTRUCTION

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 BRATON D. MOORE, P.E.
 10/25/2024

439 East Main Street Westminster, MD 21157-5539
 (410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51285, EXPIRATION DATE, DECEMBER 7, 2025

DATE	REVISIONS	DRAWN BY: BM
		DESIGNED BY: KH
		REVIEWED BY: BDM
		DATE: OCT., 2024
		SCALE: N.T.S.
		JOB NO.: 2022252A
		SHEET: 9 OF 16

**CARROLL COUNTY, HAMPSTEAD,
WESTMINSTER, MT AIRY, NEW WINDSOR,
SYKESVILLE, MANCHESTER
PRIVATE FACILITIES
CONSTRUCTED BY THE DEVELOPER
STORMWATER MANAGEMENT MAINTENANCE AGREEMENT
SCHEDULE**

- The Stormwater Management Facility/Facilities shown on these plans shall be constructed and maintained by the owner(s).
- Owner/his heirs or assigns shall be responsible for continuing maintenance of the facility/facilities, which shall include such items as mowing, cleaning and removing sediment, trees, shrubs and debris. Requirements and schedules for specific types of facilities and practices as listed on the plans are hereby included. The time period for this continuing maintenance shall be on "as-needed" basis but shall not be delayed longer than thirty (30) days.
- Owner, his heirs or assigns shall be responsible for any structural damages or failure which may occur as a result of negligence, accident or misuse. In the event of structural damage, owner shall be responsible to make the necessary repairs as quickly as possible but in any case within thirty (30) days.
- If after notice by the County/Town/City to correct a violation requiring maintenance work, satisfactory corrections are not made by the owner(s) within (30) days the County/Town/City may perform all necessary work to place the facility in proper working condition. The owners of the facility shall be assessed the cost of the work and any penalties. These monies shall be collected from a bond, which the developer is required to post with the County/Town/City to cover such expenses until "completion of the facility". "Completion of the facility" is construed to mean that all contributory drainage areas are paved or supporting a 2" stand of dense grass and that the Carroll County Bureau of Resource Management has inspected construction and a registered professional engineer has certified that the "As-Built" plans meet the plans and specifications for construction. After "completion of the facility" the monies may be collected by placing a lien on the property, or by including the costs and penalties on the property tax bill and collecting them as ordinary taxes by the County/Town/City.

Updated April 15, 2003
Revised and distributed at the Carroll County Surveyors Meeting on December 20, 2006
Revised after Carroll County Surveyor's Meeting May 19, 2010
Effective Date: July 29, 2010
Revised to include specifics for ESD
Distributed for comments at the Carroll County Surveyor's Meeting October 15, 2018
Effective Date: November 15, 2018

19 Amended
147

20 Amended
148

STORMWATER MAINTENANCE SCHEDULE Submerged Gravel Wetland Modified to Correspond to Carroll County Details		
MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Plant Composition and Health	Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove invasive species and weeds. Replace dead plants in accordance with approved landscaping plan OR Re-seed and Re-mulch per Filter Bed Mix.
Vegetative Cover	Check for channelizing, erosion, and bare spots. Check for vegetation blocking inlets, weirs, and outlet.	Remove or cut back vegetation around inlet and outlet structures. Mow side slopes and embankment when grass exceeds 12 inches in height, but do not mow filter bed (Woody vegetation is prohibited on the embankment). If using Filter Bed Mix, mow may be done twice per year. Remove grass clippings. Re-seed or re-plant in accordance with approved landscaping plans.
No. 8 Stone Layer	Check No. 8 stone for sediment accumulation and evidence of erosion.	Stabilize or replace No. 8 stone according to plan specifications.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Dewatering	Check ponding level. Surface storage must de-water within 48 hours of rainfall. Noticeable odors, stained water on the filter surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions and inadequate dewatering of the facility.	Remove and replace top two inches of media. No. 8 stone in chamber does not function as intended after the above action, the entire system including underdrain may need retrenching.
Erosion	Check inlets, weirs, outlets, and side slopes for erosion, rills, gullies, and ruffing/channelization.	Re-grading may be required when concentrated flow causes rills or gullies through the facility. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
Check Dams	Check for evidence of flow cutting around edges of structure and evidence of erosion at the downstream toe.	Re-grade and repair with topsoil, seed, and mulching. Provide stone at downstream toe.
Sediment Accumulation	Check for accumulated sediment in forebay. Check for accumulated sediment in No. 8 chambers and wetland area. Check for clogged openings.	When sediment in forebay accumulates to 6 inches depth, clean out sediment. When sediment in No. 8 chamber or wetland area accumulates to 1 inch in depth, remove sediment. Remove sediment from clogged openings. Discharge any sediment laden water through a filter bag or other dewatering device. Dispose of all sediment in an acceptable location.
Blockages	Check overflow inlet (weir), piping, and underdrain for blockages. Check observation wells for water level.	Clear out any blockages.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riser outfalls must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that practice is functioning as designed.	Repair to good condition according to specifications on the approved plans.

Modified by: Martin B Covington, III, P.E.
Carroll County Stormwater Management Program Engineer
20-Dec-22

N/A

STORMWATER MAINTENANCE SCHEDULE MICRO-BIORETENTION Modified to Correspond to Carroll County Details		
MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Plant Composition and Health	Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove invasive species and weeds. Replace dead plants in accordance with approved landscaping plan OR Re-seed and Re-mulch per Filter Bed Mix.
Vegetative Cover	Check for channelizing, erosion, and bare spots. Check for vegetation blocking inlet and outlet.	Remove or cut back vegetation around inlet and outlet structures. Mow side slopes and embankment when grass exceeds 12 inches in height, but do not mow filter bed (Woody vegetation is prohibited on the embankment). If using Filter Bed Mix, mow may be done twice per year. Remove grass clippings. Re-seed or re-plant in accordance with approved landscaping plans.
Mulch Layer	Check mulch for adequate cover, sediment accumulation, or discoloration.	Replace and remove old mulch and excess sediment. Provide adequate mulch cover according to approved plans.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Dewatering	Check ponding level. Surface storage must de-water within 48 hours of rainfall. Noticeable odors, stained water on the filter surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions and inadequate dewatering of the facility.	Remove and replace top few inches of media. If the facility does not function as intended after the above action, excavate, remove, clean, and replace stone, underdrain, media, and plants in accordance with approved plans.
Erosion	Check inlets, weirs, outlets, and side slopes for erosion, rills, gullies, and runoff channelization.	Re-grading may be required when concentrated flow causes rills or gullies through the facility. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
Sediment Accumulation	Check for accumulated sediment in conveyance systems and on filter bed. Check for clogged openings (blockages).	When sediment accumulates to 1 inch depth, remove sediment. Remove sediment from clogged openings. Dispose of all sediment in an acceptable location.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riser outfalls must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that practice is functioning as designed.	Repair to good condition according to specifications on the approved plans.

Modified by: Martin B Covington, III, P.E.
Carroll County Stormwater Management Program Engineer
August 2021
Revised December 20, 2022

N/A

STORMWATER MAINTENANCE SCHEDULE GRASS SWALE		
MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in channel including inlets, outlets, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Grass Cover	Grass in swale must be maintained at a height of 4 to 6 inches. Check for channelizing and bare spots.	Mow side slopes when grass exceeds 12 inches in height. Mow channel at least bi-annually. Remove grass clippings. Re-plant with topsoil, seed, and mulching.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Sediment Accumulation	Check for accumulated sediment and clogged openings.	When sediment accumulates to 2 inches in depth, remove sediment. Remove sediment from any clogged openings. Dispose of all sediment in an acceptable location.
Erosion	Check inlets, channel, outfall, and side slopes for evidence of erosion, rills, gullies, and runoff channelization.	Re-plant with topsoil, seed, and mulching. Re-grade if concentrated runoff to the facility is causing rills or gullies. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Overall Function of Facility	Check that flow conveyance is operating as designed.	Repair to good condition according to specifications on the approved plans.

MICROBIO PLANTINGS

MICRO-BIORETENTION FACILITY TO BE PLANTED WITH BASIN BOTTOM MIX OR APPROVED EQUIVALENT SEED MIXTURE. SEED MIX TO BE PLANTED PER MANUFACTURERS RECOMMENDATIONS. IN GENERAL, SEED MIX TO BE PLANTED DIRECTLY ONTO FILTER MEDIA AND BE TOP DRESSED WITH STRAW.

BASIN BOTTOM MIX
coverage rate = 2lbs per acre

Scientific Name	Common Name	% Composition	Qt.
Carex lurida	Shallow Sedge	15%	2.08
Elymus virginicus	Virginia Wild Rye	13%	9.08
Juncus effusus	Soft Rush	12%	0.01
Glyceria striata	Fowl Mannagrass	8%	0.17
Lobelia siphilitica	Blue Lobelia	8%	0.24
Carex crinita	Fringed Sedge	6%	0.34
Helenium autumnale	Common Sneezeweed	5%	0.09
Scirpus atrovirens	Green Bulrush	5%	0.03
Vernonia noveboracensis	New York Ironweed	5%	0.39
Mimulus ringens	Monkey Flower	5%	0.01
Veronicastrum virginicum	Culver's Root	4%	0.03
Calamagrostis canadensis	Bluejoint Grass	3%	0.01
Symphoricarum novae-angliae	New England Aster	3%	0.06
Verbena hastata	Blue Vervain	3%	0.08
Verbesina alternifolia	Wingstem	2.5%	0.87
Asclepias incarnata	Swamp Milkweed	1%	0.4
Hibiscus moscheutos	Swamp Rose-Mallow	0.5%	0.42
Iris versicolor	Blueflag Iris	0.5%	0.78
Kosteletzkya virginica	Virginia Saltmarsh Mallow	0.5%	0.81

NOTE: BASIN BOTTOM MIX CAN BE PURCHASED THROUGH FINELANDS NURSERY & SUPPLY 323 ISLAND ROAD, COLUMBUS, NJ 08022

Carroll County Supplemental Materials Specifications for Bio-Swale, Bioretention, Micro-Biorettention & Rain Gardens			
Material	Specification	Size	Notes
Plantings	See Landscape Plan	N/A	Plantings are site specific and per approved landscape plan
Seed Mix	Filter Bed Mix - Use Wet Meadow Mix per MD Standards and Specifications §707. See Table 3 (1 lb. minimum/micro-biorettention)	N/A	Used with straw mulch in place of shredded hardwood mulch. Incorporate seed evenly in top 1/2" of filter media
Mulch	Shredded Hardwood	N/A	Aged 6 months, minimum
Straw Mulch	MD Standards and Specifications §707. (200 lbs. minimum/micro-biorettention)	N/A	1" Straw mulch over seed bed (facility bottom)
Geotextile	Class "C" - Apparent opening size (ASTM-D-4751), Grab Tensile Strength (ASTM-D-4632), Puncture Resistance (ASTM-D-4833)	N/A	Sides only Not on bottom unless specified on the plans
Underdrain and Reservoir Gravel	AASHTO M-43 No. 8 Stone	3/4" - 1 1/4"	Stone must be clean and washed
Underdrain and Observation Well Piping	Slotted PVC or Slotted HDPE Type "SP" Pipes Solid: Scheduled 40 PVC or HDPE Type "S"	See Plan	Refer to the Carroll County SWM Supplement Pg. 87 All pipes must be double walled (smooth core) and slotted (no circular holes)
Sand	ASTM-C-33 (3 parts to 6 within Filter Media)	0.02" - 0.04"	Sand substitutions such as Diabase and Graystone #10 are not acceptable. No calcium carbonate or dolomitic sand substitutions are acceptable. No "rock-dust" can be used for sand. Manufactured sand from approved sources may be used for filters. Manufactured sand may not be used in dams.
Soil	Engineer approved loam with 20% or less clay (1 part to 6 within Filter Media)	N/A	
Wood Chips	Untreated "Green" (2 parts to 6 within Filter Media)	N/A	Untreated "green" wood chips
Filter/Planting Media	Comprised of 3 parts sand, 2 parts wood chips, 1 part soil	N/A	See individual material specifications

R:\Form\SWM Forms\Upload Forms\Carroll County Supplemental Materials Specifications for Bio-Swale, Bioretention, Micro-Biorettention and Rain Gardens Revised 11.23.docx
Martin B Covington, III, P.E.

S.G.W PLANTINGS

SUBMERGED GRAVEL WETLAND FACILITY TO BE PLANTED WITH OBL WETLAND MIX OR APPROVED EQUIVALENT SEED MIXTURE. SEED MIX TO BE PLANTED PER MANUFACTURERS RECOMMENDATIONS. IN GENERAL, SEED MIX TO BE PLANTED DIRECTLY ONTO FILTER MEDIA AND BE TOP DRESSED WITH STRAW.



Date: March 14, 2024

Ernst Conservation Seeds
8884 Mercer Pike
Meadville, PA 16335
(800) 873-3321 Fax (814) 336-5191
www.ernstseed.com

OBL Wetland Mix - ERNMIX-131

Botanical Name	Common Name	Price/Lb
27.60 % Carex lurida, PA Ecotype	Lurid Sedge, PA Ecotype	67.20
22.50 % Carex scoparia, PA Ecotype	Blunt Broom Sedge, PA Ecotype	81.60
22.50 % Carex vulpinoidea, PA Ecotype	Fox Sedge, PA Ecotype	28.80
6.00 % Sparganium americanum	Eastern Bur Reed	168.00
5.00 % Elymus virginicus, Madison-NY Ecotype	Virginia Wildrye, Madison-NY Ecotype	10.45
4.00 % Verbena hastata, PA Ecotype	Blue Vervain, PA Ecotype	38.40
3.00 % Juncus effusus	Soft Rush	48.00
2.00 % Asclepias incarnata, PA Ecotype	Swamp Milkweed, PA Ecotype	177.60
1.50 % Glyceria striata, PA Ecotype	Fowl Mannagrass, PA Ecotype	360.00
1.00 % Aster lanceolatus	Lance Leaved Aster	432.00
1.00 % Eupatorium perfoliatum, PA Ecotype	Boneset, PA Ecotype	192.00
1.00 % Scirpus validus, PA Ecotype	Softstem Bulrush, PA Ecotype	432.00
0.70 % Solidago rigosa, PA Ecotype	Wrinkleleaf Goldenrod, PA Ecotype	264.00
0.50 % Carex stipata, PA Ecotype	Awl Sedge, PA Ecotype	225.20
0.50 % Lyrcopus americanus, PA Ecotype	American Water Horseboud, PA Ecotype	72.00
0.50 % Scirpus cyperinus, PA Ecotype	Woolgrass, PA Ecotype	115.20
0.30 % Mimulus ringens, PA Ecotype	Square Stemmed Monkeyflower, PA Ecotype	216.00
0.20 % Alisma subcordatum	Mud Plantain	192.00
0.20 % Carex stricta, PA Ecotype	Tussock Sedge, PA Ecotype	672.00

100.00 % Mix Price/Lb Bulk: \$82.81

Seeding Rate: 20 lb per acre, or 1/2 lb per 1,000 sq ft with a cover crop. For a cover crop use one of the following: grain rye (1 Sep to 30 Apr); 30 lbs/acre), Japanese millet (1 May to 31 Aug; 10 lbs/acre), or barnyard grass (1 May to 31 Aug; 10 lbs/acre).

Grasses & Grass-like Species - Herbaceous Perennial; Herbaceous Flowering Species - Herbaceous Perennial; Wet Meadows & Wetlands

Adapts to standing water during part or all of the year. Excellent for obligate wetland mitigation sites; provides nectar for pollinators. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

OWNERS

ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

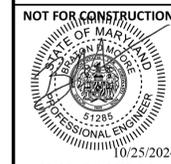
LUERS LANE LLC
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER

COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

**STORMWATER MANAGEMENT
MAINTENANCE AGREEMENTS**

for
**THE LEGENDS AT
LUERS AVENUE**

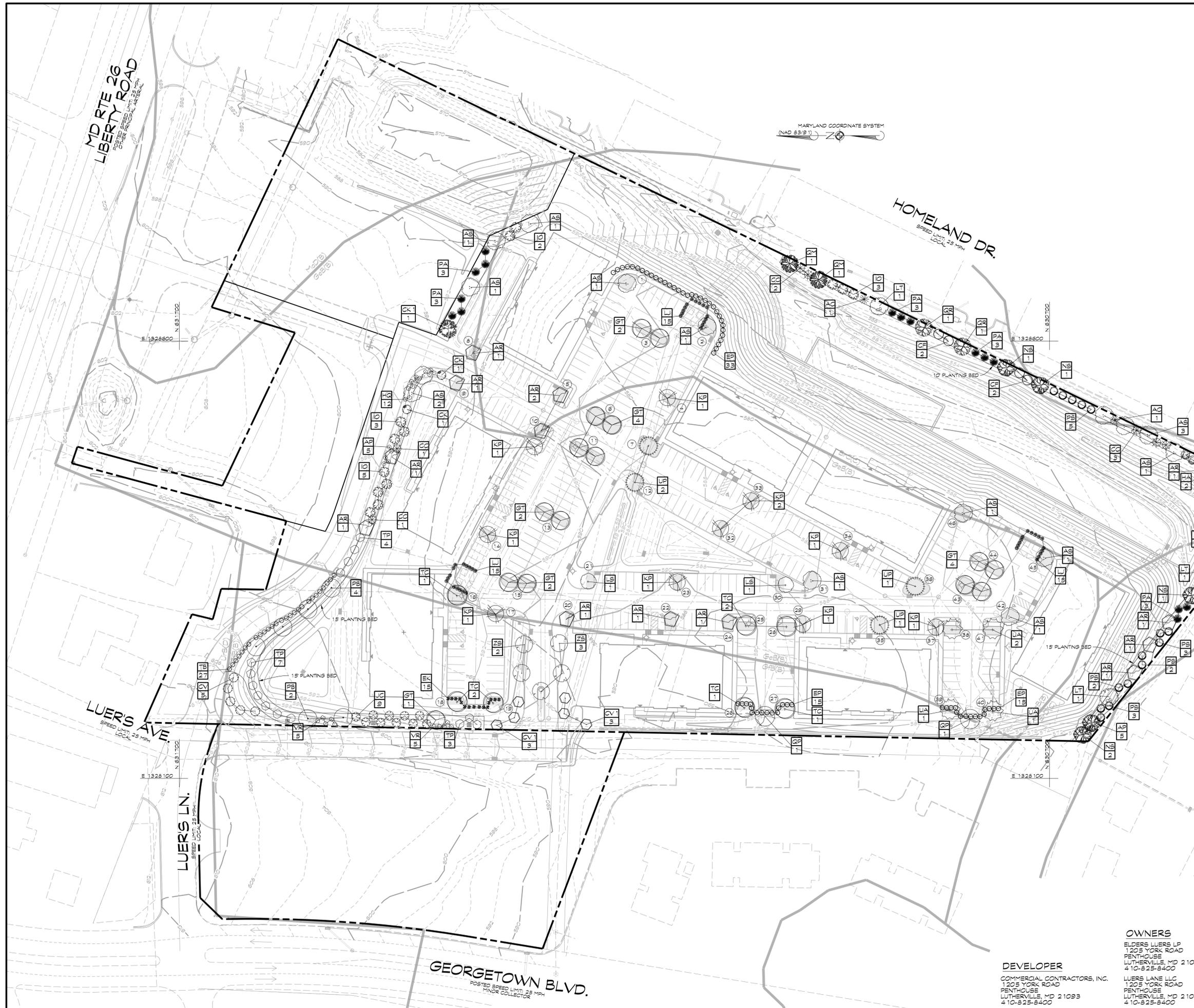


01/25/2024
BRATON D. MOORE, P.E.

439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51285, EXPIRATION DATE: DECEMBER 7, 2025

DATE	REVISIONS	DRAWN BY: BM
		DESIGNED BY: KH
		REVIEWED BY: BDM
		DATE: OCT., 2024
		SCALE: N.T.S.
		JOB NO.: 2022252A
		SHEET: 10 OF 16



- LEGEND**
- AR, OCTOBER GLORY MAPLE
 - AB, SUGAR MAPLE
 - CK 1, YELLOWWOOD
 - GT, HONEYLOCUST
 - KP, GOLDENRAIN TREE
 - NS, BLACK GUM
 - PB, LONDONPLANE
 - QR, NORTHERN RED OAK
 - QM, BUR OAK
 - QB, SWAMP WHITE OAK
 - QP, PIN OAK
 - LT, TULIP POPLAR
 - LS, SEEDLESS SWEETGUM
 - TC, GREEN SPIRE LINDEN
 - UA, AMERICAN ELM
 - UP, CHINESE ELM
 - ZS, ZELKOVA
 - PA, NORWAY SPRUCE
 - IQ, AMERICAN HOLLY
 - JV, RED CEDAR
 - JC, JUNIPER
 - PS, WHITE PINE
 - TP, G.G. ARBROVITAE
 - AC, SERVICEBERRY
 - CC, REDBUD
 - CV 1, FRINGE TREE
 - CF, FLOWERING DOGWOOD
 - OV, W.K. HAWTHORNE
 - HA, WITCHHAZEL
 - CK, KOUSA DOGWOOD
 - AP, BOTTLEBRUSH BUCKEYE
 - EP, ELAEGNUS
 - EK, EUONYMUS
 - HQ, HYDRANGEA
 - LJ, EVERGREEN PRIVET
 - TB, YEW
 - VR, ALLEGHANY VIBURNUM

LANDSCAPE PLAN
for
THE LEGENDS AT
LUERS AVENUE

LANDSCAPE ARCHITECT
200020
LLOYD BROWN MARTIN, JR.
STATE OF MARYLAND
Landscape Architect Registration No. 200020

439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DATE	REVISIONS	DRAWN BY: BM
		DESIGNED BY:
		REVIEWED BY:
		DATE: OCT., 2024
		SCALE: 1" = 50'
		JOB NO.: 2022252A
		SHEET: 11 OF 16

LANDSCAPE PLANTING SPECIFICATIONS

GENERAL

Plant materials shall conform to American Standard for Nursery Stock sponsored by American Association of Nurserymen, Inc.

Plants shall be subject to inspection by the Carroll County Office of Landscape & Forest Conservation for quality, size, color, and trueness to species. Plants lacking compactness or proper proportions, plants which are weak or thin, and plants which are not the species or variety called for in the plant list will not be accepted. Right is reserved to reject plants considered unsatisfactory. Rejected plants shall be removed from the site and replaced with plants specified. Pruning plants prior to delivery shall be prohibited.

Substitutions will not be permitted without the consent of the Carroll County Office of Landscape & Forest Conservation. If proof is submitted that specific plants or sizes are unobtainable, proposals will be considered for the nearest equivalent size or variety with equitable adjustment to the contract price.

Plants shall have normal, well developed branches and vigorous fibrous root system. They shall be healthy, vigorous plants free from defect, decay, damaged roots, sun scald injuries, abrasions of the bark, plant diseases, insect pest's eggs, borers, and forms of infestations and objectionable disfigurements.

Plants shall be nursery grown unless otherwise specifically permitted in each instance and shall have been growing under similar climatic conditions as the location of the project for at least 2 years prior to the date of the planting contract.

REFERENCES

- All plants shall be identified in accordance with Hortus Third, by L.H. Bailey, 1976.
- All nursery stock shall conform to American Association of Nurserymen, Inc. Standards for Nursery Stock, publication ANSI Z600.1-1-1980 latest edition.
- Landscape specifications shall conform to Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas. All nursery stock shall be planted in accordance with the procedures outlined in the guidelines. All nursery stock shall be planted in accordance with the procedure outlined in the guidelines.

PLANTING PROCEDURES

Plants shall be freshly dug at time of delivery. Balled and burlapped plants shall be dug with solid balls of adequate size, the balls securely wrapped with burlap or canvas, tightly bound with rope or wire. The Planting Seasons for plant material shall be as follows:

Deciduous Trees and Shrubs:	October 15	thru	December 15
	April 1	thru	May 15
Evergreen Trees, Shrubs and Vines:	September 1	thru	November 15
	April 1	thru	May 15

At the option and full responsibility of the Contractor, planting operations may be conducted under unseasonable conditions without additional compensation.

Planting and backfill mix shall consist of 3 parts excavated soil, 1 part humus.

Reasonable care shall be exercised to have pits dug and soil prepared prior to moving plants on site for planting to ensure that they will not be unnecessarily exposed to drying elements or physical damage. Size of pits shall be 1/4 to 2 times the diameter of the root ball and the root ball shall be elevated 1/8 height of the root ball above the ground to allow for drainage. A broad mound of soil shall be left around the base to enable the elevation to blend into the site.

Ground cover areas shall be prepared as specified before. Plant ground cover to within 1" of tree trunks or shrubs.

Plant holes shall be backfilled with soil mix specified above tamped in layers around the roots or ball. Each layer shall be carefully tamped to avoid injury to plants and roots. When holes are approximately two-thirds full, the hole shall be filled with water and soils allowed to settle around the roots. After the water has been absorbed the hole shall be filled with backfill mix and lightly tamped. Berms, 2" in height shall then be formed around the hole as shown on the planting details.

All planting beds shall be mulched with peat moss and/or finely shredded and composted bark as follows:

Ground cover beds shall be mulched after planting to a depth of 1 inch. Other plants shall be mulched after planting to a depth of 2 inches.

Mulch shall be applied immediately after planting to retain moisture. Make surface smooth and even, then soak full depth of mulch thoroughly.

Trees shall be staked and wrapped according to the following:

Wire shall be 12 gauge annealed galvanized. Hose shall be 1/2" diameter, 2-ply reinforced hose. Stakes shall be sound uniform 2" x 2" redwood or ply, length as shown.

Landscape specifications shall conform to the current edition of the Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas, developed by the Landscape Contractors Association, MD-DC-VA. All Nursery stock shall be planted in accordance with the procedures outlined in the guidelines with the following exceptions:

- If the soil is wet or compacted, all containerized and balled nursery stock should be planted such that the top one-third of the rootball is above the existing grade. This departure in the established procedure has been documented to increase the rate of transplant success in these types of soils.
- Wire and nondegradable materials should be removed as far as practical before backfilling to prevent root girdling.

MAINTENANCE AND REPLACEMENT

Maintenance of plant material shall begin when project commences and continue until the final inspection and acceptance. Planting maintenance shall include all necessary watering, cultivation, weeding, pruning, wound dressing, disease and insect pest control, protective spraying, replacement of unacceptable material, straightening plants which lean or sag, adjustment of plants which settle or are planted too low, and any other procedure consistent with good horticultural practices necessary to insure normal, vigorous, and healthy growth of all work under this contract.

Contractor shall be responsible for the use of all materials, labor and equipment, and any injury to plant material caused by such material, labor, and equipment shall be corrected and repaired by the Contractor at no additional expense to the Owner.

A proving period shall follow the completion of all planting for one year. All plant material found to be unsatisfactory during the proving period shall be replaced by the Contractor, at no additional expense to the Owner. All replacement shall have a one year proving period and shall be installed in accordance with the planting times and specifications specified above.

TREE PROTECTION NOTES

- Upon notification of County approval of the final landscape plan, trees which are to remain shall be marked in the field by the developer and protected in an approved manner. Trees within the construction area which are to remain undisturbed shall be enclosed with a fence for protection, (snow fencing or other approved methods). The contractor shall not disturb the area within the fence in any manner deleterious to the trees.
- Any trenching operations within the vicinity of trees should be done in a manner to protect the tree roots. Tearing and ripping of tree roots should be avoided. Roots should be severed neatly.
- All trees to be removed should be removed in a manner that will not damage the remaining trees. Any trees that are to remain that are damaged during clearing operation must be repaired in an approved manner by a tree expert as soon as final clearing has been completed. After construction is completed, temporary barriers, surplus materials and all trash, debris and rubbish shall be removed from the site. All backfill shall be clear of building material, stone and rubbish.
- Existing trees (particularly mature trees) which are retained will undergo "post operative shock" caused by the construction activity. Possible safeguards should be taken to minimize these effects and to provide optimum growth conditions. Foliage feeding and liquid or root feeding are encouraged. Branch and foliage thinning are also desirable.

LANDSCAPING NOTES

GENERAL

- ALL PLANT SPECIFICATIONS SHALL BE IDENTIFIED IN ACCORDANCE WITH THE LATEST EDITION OF HORTUS THIRD, BY THE STAFF OF THE "HORTORUM".
- ALL NURSERY STOCK SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN, INC., STANDARDS AS DESCRIBED IN AMERICAN STANDARD FOR NURSERY STOCK, CURRENT ANSI A-300 SPECIFICATIONS.
- LANDSCAPE SPECIFICATIONS SHALL CONFORM TO LANDSCAPE GUIDELINES FOR MARYLAND, WASHINGTON, D.C., AND VIRGINIA, LATEST EDITION. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GUIDELINES.
- THREE (3) INCHES TOPSOIL ON ALL DISTURBED AREAS TO BE LANDSCAPED, SEEDED OR SODDED IS REQUIRED.
- A SEPARATE PLAN LABELED "LANDSCAPE PLAN" (MAY BE COMBINED WITH FOREST CONSERVATION PLAN) IS REQUIRED. LANDSCAPE REQUIREMENTS MAY NOT BE COMBINED WITH THE FOREST CONSERVATION PLAN.

INSTALLATION

- STANDARDS TO CONFORM TO THE MOST RECENT VERSION OF THE ANSI A300 STANDARDS PART 6 - TRANSPLANTING AND LANDSCAPE SPECIFICATIONS GUIDELINES OF THE LANDSCAPE CONTRACTORS ASSOCIATION, MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA.
- PLANTING ON INDIVIDUAL LOTS SHALL BE INSTALLED UPON FINAL GRADING INSPECTION. NO FINAL GRADING APPROVAL SHALL BE GIVEN ON THE BUILDING PERMITS UNTIL LANDSCAPING IS COMPLETE.
- A COMPLETED AND SEALED CERTIFICATION BY A LANDSCAPE ARCHITECT SHALL BE PROVIDED AT THE INITIAL INSPECTION. THE COMPLETING FORM WITH PHOTOGRAPHS IS REQUIRED.
- ACCEPTABLE PLANT SURVIVAL SHALL BE DEFINED AS NOT MORE THAN 5% MORTALITY. A 12 MONTH INSPECTION WILL BE PERFORMED BY THE COUNTY. NO INSPECTION SHALL BE FINALIZED FROM NOVEMBER 1 TO MARCH 1.

MAINTENANCE RESPONSIBILITY

THE OWNER OF ANY PROPERTY ON WHICH LANDSCAPING HAS BEEN INSTALLED PURSUANT TO THIS CHAPTER SHALL MAINTAIN THE LANDSCAPING IN GOOD CONDITION IN PERPETUITY. A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE REQUIRED. FAILURE TO REPLACE DEAD OR DYING PLUG OR THE REMOVAL OF ANY INSTALLED PLUG IS A VIOLATION OF THIS CHAPTER.

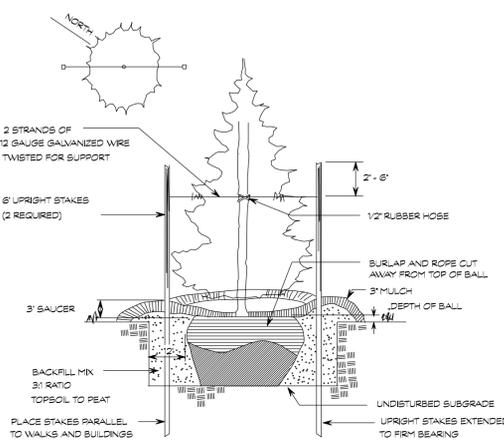
INSPECTIONS

- A MINIMUM OF 2 INSPECTIONS WILL BE REQUIRED:
 - INITIAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED WHEN PLANTING IS COMPLETED TO VERIFY COMPLIANCE WITH THE APPROVED PLANTING PLAN. THIS INSPECTION SHALL BE PERFORMED BY A LANDSCAPE ARCHITECT. A COMPLETED AND SEALED LANDSCAPE CERTIFICATION SHALL BE PROVIDED WITH PHOTOGRAPHS OR OTHER VISUAL DOCUMENTATION. THE 12 MONTH SURVIVAL PERIOD WILL BEGIN UPON RECEIPT OF THE LANDSCAPE CERTIFICATION.
 - FINAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY 12 MONTHS AFTER CERTIFICATION OF THE INITIAL PLANTING.

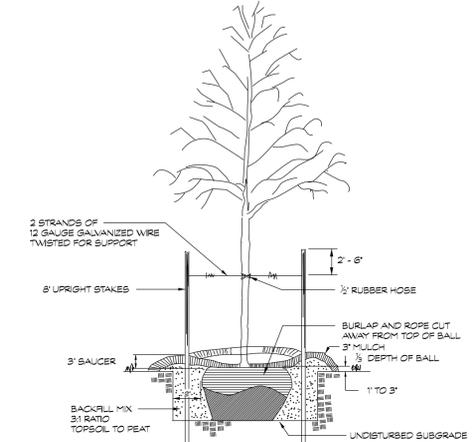
1503 LIBERTY PLANT LIST

ID	Quantity	Botanic Name	Common Name	Size	Root	Spac.	Plant Units	Native
102 Major Deciduous Trees								
AR	14	Acer rubrum "October Glory"	October Glory Maple	2" cal.	B&B	random	14	N
AS	15	Acer saccharum "Green Mountain"	Sugar Maple	2" cal.	B&B	random	15	N
CK1	1	Cladostrius kentuckia	Yellowwood	2" cal.	B&B	random	1	N
GT	15	Gleditsia triacanthos "Shademaster"	Honeylocust	2" cal.	B&B	random	15	N
KP	10	Koeleruteria paniculata	Goldenshrim Tree	2" cal.	B&B	random	10	N
NS	5	Nyssa sylvatica	Black Gum	2" cal.	B&B	random	5	N
PB	7	Platanus x acerifolia "Bloodgood"	Londonplane	2" cal.	B&B	random	7	N
QR	2	Quercus rubra	Northern Red Oak	2" cal.	B&B	random	2	N
QM	2	Quercus macro	Bur Oak	2" cal.	b&b	random	2	N
QB	3	Quercus bicolor	Swamp White Oak	2" cal.	B&B	random	3	N
QP	2	Quercus palustris	Pin Oak	2" cal.	B&B	random	2	N
LT	4	Liriodendron tulipifera	Tulip Poplar	2" cal.	B&B	random	4	N
LS	2	Liquidambar styraciflua	Seedless Sweetgum	2" cal.	B&B	random	2	N
TC	7	Tilia cordata	Green Spire Linden	2" cal.	b&b	random	7	N
UA	4	Ulmus americana "Princeton"	American Elm	2" cal.	b&b	random	4	N
UP	4	Ulmus parvifolia "Frontier"	Chinese Elm	2" cal.	B&B	random	4	N
ZS	5	Zelkova serrata "Green Vase"	Zelkova	2" cal.	b&b	random	5	N
79 Evergreen Trees								
PA	17	Picea abies	Norway Spruce	5" ht.	B&B	random	7	N
IO	13	Ilex opaca "Satyr Hill"	American Holly	5" ht.	B&B	random	6.5	N
JV	11	Juniperus virginiana	Eastern Red Cedar	5" ht.	B&B	random	5.5	N
JC	9	Juniperus chinensis "Blue Point"	Juniper	5" ht.	B&B	random	4.5	N
PS	15	Pinus strobus	White Pine	5" ht.	B&B	random	7.5	N
TP	14	Thuja plicatum "Green Giant"	G.G. Arborvitae	5" ht.	B&B	random	7	N
28 Minor Deciduous Trees								
AC	2	Amelanchier canadensis	Serviceberry	6" MS	B&B	random	1	N
CC	7	Cercis canadensis	Redbud	1" cal.	B&B	random	3.5	N
CV1	6	Chionanthus virginicus	Fringe Tree	1" cal.	b&b	random	3	N
CF	4	Cornus florida	Flowering Dogwood	1" cal.	Cont.	random	2	N
CV	2	Crataegus viridis "Winter King"	W.K. Hawthorne	1" cal.	B&B	random	2.5	N
HA	2	Hamamelis x Arnolds Promise	Witch Hazel	5" MS	B&B	random	1	N
CK	2	Cornus kousa	Kousa Dogwood	1" cal.	B&B	random	1	N
189 Shrubs								
AP	17	Aesculus parviflora	Bottlebrush Buckeye	30"	# 7	container	3.4	N
EP	63	Elaeagnus pungens "Fruitlandii"	Elaeagnus	18"	# 3	container	12.6	N
EK	15	Eouonymus klatschovicius "Manhattan"	Euonymus	18"	# 3	container	3.0	N
HQ	12	Hydrangea quercifolia "Snow Queen"	Hydrangea	30"	# 7	container	2.4	N
LJ	1	Ligustrum jap. "Recurvifolium"	Evergreen Privet	30"	# 5	container	0.9	N
TB	27	Taxus x media "Densiformis"	Yew	30"	# 5	container	5.4	N
VR	10	Viburnum x thytidophyllodes Allegheny Viburnum	30"	# 5	container	2.0	N	

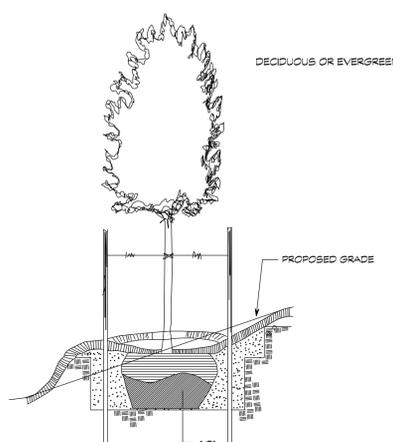
Total Planting Units: 193.30 PU



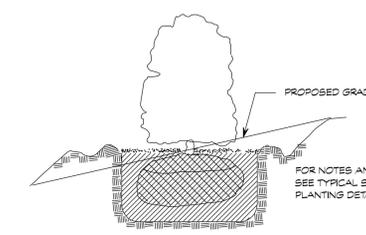
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



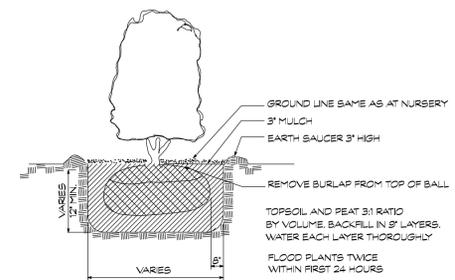
TREE PLANTING DETAIL
NOT TO SCALE



SLOPE PLANTING DETAIL FOR ALL TREES
NOT TO SCALE



SLOPE PLANTING DETAIL FOR ALL SHRUBS
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

COMMERCIAL LANDSCAPE MANUAL CALCULATIONS
1503 LIBERTY ROAD PROPERTY
CARROLL COUNTY, MD

No.	Description	Quantity	Rate	Required P.U.	Proposed P.U.
1.	Parking Lot adjacent to Luers Ave. - 15 shrubs = 3 PU	68 LF	1 PU/25 LF	2.72 PU	3.0 PU
2.	Parking Lot adjacent to apartment properties. - 1 tree & 15 shrubs = 4 PU	68 LF	1 PU/ 20 LF	3.4 PU	4.0 PU
3.	Parking Lot adjacent to apartment properties. - 1 tree & 15 shrubs = 4 PU	68 LF	1 PU/20 LF	3.4 PU	4.0 PU
4.	Parking Lot adjacent to apartment properties. - 33 Shrubs = 6.6 PU	132 LF	1 PU/20 LF	6.6 PU	6.6 PU
6.	(3) Dumpster Screening Perimeter Areas - 45 shrubs = 9 PU	180 LF	1 PU/ 20 LF	9.0 PU	9.0 PU
7.	Parking Lot Spaces	317 Spaces	1 PU/12 spaces	26.41 PU	54.0 PU
8.	Parking Lot Landscape Island Requirement Parking Lot Area 62,600 SF 10% Landscape Island requirement is 6260 SF.				

Parking Lot Landscape Islands SF:

1)	2)	3)	4)	5)	6)	7)	8)	9)	10)
310	11	390	21	176	31	218	41	182	
310	12	248	22	225	32	165	42	300	
318	13	318	23	165	33	165	43	499	
165	14	165	24	200	34	165	44	318	
182	15	321	25	182	35	225	45	310	
657	16	391	26	176	36	427	46	310	
7	409	17	165	27	176	37	140		
179	18	176	28	182	38	180			
175	19	176	29	140	39	176			
182	20	175	30	176	40	176			

Parking Lot Landscape Islands Total Area: 11,156 SF or 17.8% exceeding the minimum requirement of 10%.

- Screening between property & residential housing. Class C screening, 50% trees & 30% evergreen trees. 15' wide plant bed. - 12 trees, 20 evergreen, 12 shrubs.
- Screening SWM facilities & apartment property. Class A screening & 10' wide plant bed. - 14 trees, 20 evergreen, 13 minor trees.
- Screening between property & adjacent commercial property. Class C screen. 15' wide plant bed. - 4 trees, 8 evergreen trees.
- Screen Luers Lane Road Frontage. 460 LF 1 PU/ 20 LF 23.0 PU 24.8 PU - 8 trees, 12 evergreen, 4 minor trees, 44 shrubs.
- Screen Luers Ave. Road Frontage 440 LF 1 PU/ 20 LF 22.0 PU 25.0 PU - 8 trees, 11 minor trees, 19 evergreen, 10 shrubs.

Total Required Planting Units: 158.86 PU

Proposed Planting Units: 193.3 PU

LANDSCAPE PLANTING PROPOSED

No	Description	Rate	Quantity	Proposed Planting Units
1.	Major Trees 2.0" cal. Min.		1 tree/1 PU	102
2.	Minor Deciduous Trees 1.0" cal. Min.		2 trees/ 1 PU	28
3.	Evergreen Trees 5" ht. Min.		2 trees/ 1 PU	79
4.	Shrubs 18" ht. Min.		5 shrubs/ 1 PU	189

Total Planting Units Proposed: 193.3 PU



FINAL LANDSCAPE PLAN OWNER CERTIFICATION FORM

I CERTIFY THAT I HAVE REVIEWED THIS FINAL LANDSCAPE PLAN THAT I HAVE READ AND UNDERSTAND THE REGULATIONS PRESENTED IN THE CARROLL COUNTY LANDSCAPE MANUAL AND I AGREE TO COMPLY WITH THESE REGULATIONS AND ALL APPLICABLE POLICY, GUIDELINES AND ORDINANCES. I AGREE TO CERTIFY THE IMPLEMENTATION OF THIS APPROVED FINAL LANDSCAPE PLAN NO LATER THAN ONE (1) YEAR FROM THE DATE OF APPROVAL OF THIS PLAN TO THE DEPARTMENT OF PLANNING, ENVIRONMENT AND RESOURCE PROTECTION, ROOM 209, 225 N. CENTER STREET, WESTMINSTER, MD 21157-5124.

APPLICANT'S SIGNATURE	DATE	PRINT NAME
ADDRESS (PLEASE PRINT)	STREET	
CITY	STATE	ZIP

OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

LUERS LANE LLC
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

LANDSCAPE NOTES AND DETAILS for THE LEGENDS AT LUERS AVENUE

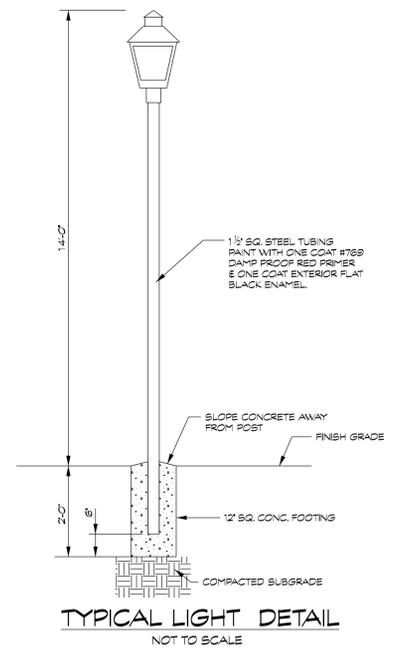
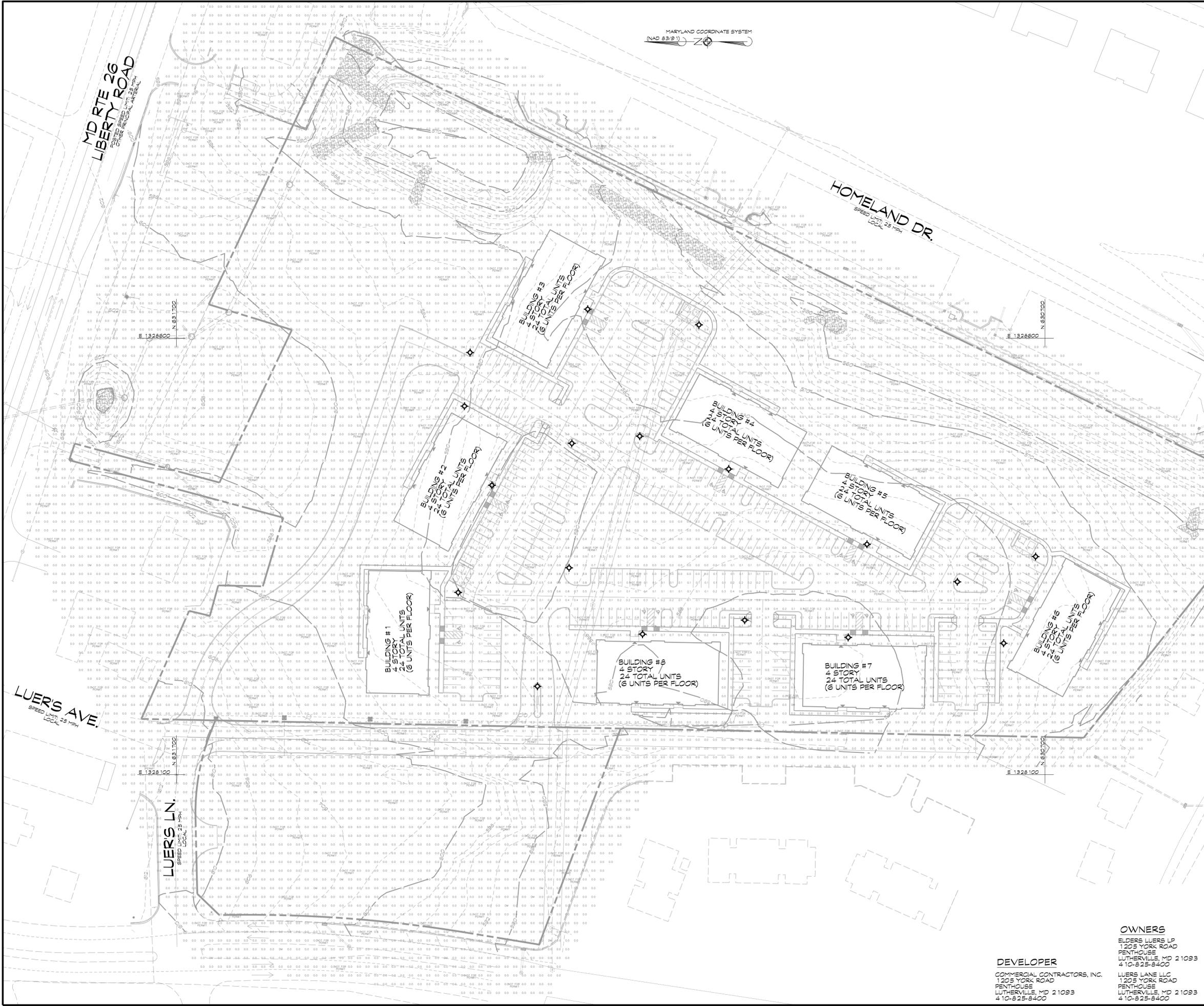
LANDSCAPE ARCHITECT
LLOYD BROWN MARTIN, JR.
STATE OF MARYLAND

Engineers • Surveyors
CLSI
Landscape Planning & Environmental Consultants
www.clsi-civileng.com

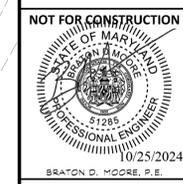
439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

DATE	REVISIONS	DRAWN BY: BM
		DESIGNED BY:
		REVIEWED BY:
		DATE: OCT., 2024
		SCALE: NTS
		JOB NO.: 2022252A
		SHEET: 12 OF 16

MARYLAND COORDINATE SYSTEM
NAD 83 (83)



LIGHTING PLAN
for
**THE LEGENDS AT
LUERS AVENUE**



439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

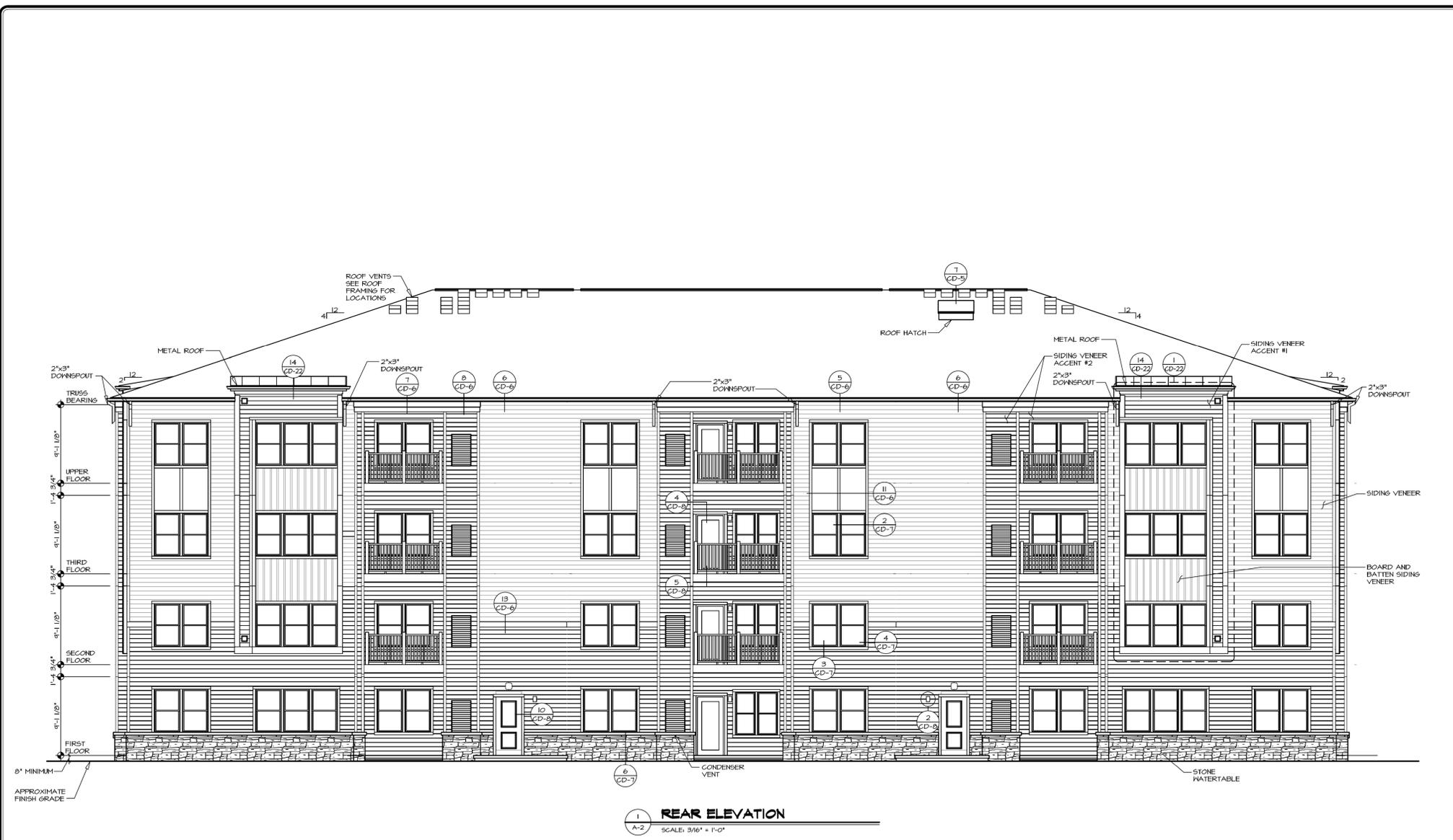
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51285, EXPIRATION DATE, DECEMBER 7, 2025

DATE	REVISIONS	DRAWN BY:
		BM
		DESIGNED BY: BM
		REVIEWED BY: BDM
		DATE: OCT., 2024
		SCALE: 1" = 50'
		JOB NO.: 2022252A
		SHEET: 13 OF 16

OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

LUERS LANE LLC
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400



REAR ELEVATION
SCALE: 3/16" = 1'-0"

NOTE:
GRILLES IN GLAZING OF ALL EXTERIOR DOORS AND SIDE LIGHTS TO BE OMITTED WITH BRONZE WINDOWS

REMARKS	
REV. NO.	DATE
<small>NVR, Inc. is expressly releasing the owner, its agents, and subcontractors from all liability for any claims, damages, or losses arising out of or in connection with the use of these drawings, whether or not such claims, damages, or losses are caused in whole or in part by the negligence of NVR, Inc. or any of its agents or subcontractors.</small>	
	
<small>NVR, Inc. 525 West Frederick, MD 21703</small>	
SET NO. MOSAIC	VERSION 01
DRAWN BY	DATE
OPTION DESCRIPTION	OPTION
A-2	4

OWNERS
ELDERS LUERS LP
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

DEVELOPER
COMMERCIAL CONTRACTORS, INC.
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

LUERS LANE LLC
1205 YORK ROAD
PENTHOUSE
LUTHERVILLE, MD 21093
410-825-8400

BUILDING ELEVATIONS
for
**THE LEGENDS AT
LUERS AVENUE**



www.clsi-civileng.com

439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

DATE	REVISIONS	DRAWN BY: BM
		DESIGNED BY:
		REVIEWED BY:
		DATE: OCT., 2024
		SCALE: N.T.S.
		JOB NO.: 2022252A
		SHEET: 15 OF 16

