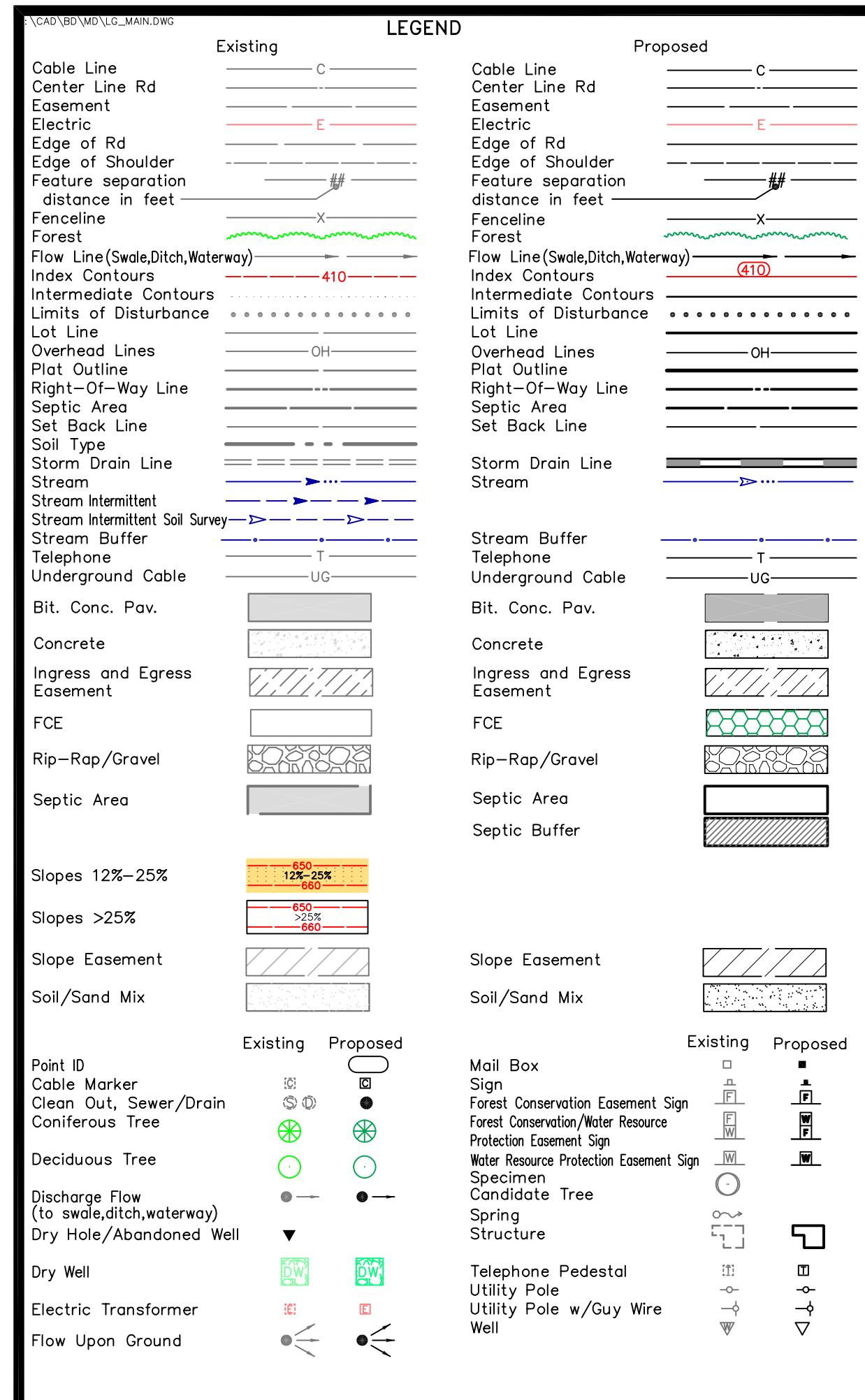


CONCEPT/PRELIMINARY PLAN

BRITANNIA ESTATES

ON BRITANNIA DRIVE NEAR Mt AIRY
13TH ELECTION DISTRICT CARROLL COUNTY, MD.



ABBREVIATIONS

ADT Average Daily Trip

ALCMP Aluminum Corrugated Metal Pipe

APP Appraised

B Basement floor elevation or Book

BCCMP Bituminous Coated Corrugated Metal Pipe

Beg Begin

BL Baseline

Bldg Building

BOT Bottom/bottom of trench

BOW Bottom of wall

C-C Center to Center

Carl Carroll

CC Carroll County

CCBDR Carroll County Bureau of Development Review

CCBE Carroll County Bureau of Engineering

CCBR Carroll County Bureau of Roads Operations

CCC Carroll County Commissioners

CCERD Carroll County Engineering Review Division

CD Carroll County Department

CCLM Carroll County Landscape Manual

CCOPS Carroll County Office of Public Safety

COP Carroll County Police

CSCD Carroll County Sanitation Conservation District

CDB County (Road) Deed Book

CCDPW Carroll County Dept of Public Works

CCSM Carroll County Stormwater Management

CCZA Carroll County Zoning Administration

Centrally Located Record

CMP Corrugated Metal Pipe

Co Clean out/County

COLO County Local Laws and Ordinances

CRPB County Road Plot Book

Dia Diameter

Do Depth nominal

DND Dry No Durb

DUE Drainage Utility Easement

Dwy Drive way

Extr Elevation

Extr Elevation

Elev Elevation

EER Elevation Ex Rod

Exis Existing

ExGd Existing Ground

F First floor elevation

FCE Forest Conservation Easement

FEMA Federal Emergency Management Agency (Hec 2 Data)

FCM Finished Grade

FIRM Flood Insurance Rate Map

FW Face of Wall

FPE Flood Plain Easement

FWRPE Forested Water Resource Protection Easement

G Garage floor elevation

Gar Garage

Gw Gw Waterway

HDPE High Density PolyEthylene

Hor Horizontal

HP High Point

Inv Invert

I Left or Lot

LF Left or Foot

LoD Limits of Disturbance

LoP Limits of Paving

LP Line Point

M Miles

MPH Miles Per Hour

NAD North American Datum

NAD83 North American Vertical Datum

NFWRPE Non Forested Water Resource Protection Easement

Os Offset

OW Orientation Well

Page

PB Plat Book

PFD Perpetual Easement Drainage Facility

PG Perpetual Grade

PL Property Line

PB Plat Book

PWA Plat Works Agreement

cubic feet per second

Right or Radius

RBCCR Record Book Carroll County Roads

RCP Record Book Carroll County Roads

RCP Record Book Carroll County Roads

Rem Remaining

RP Remaining Portion

Sew Sewer

SBL Sewer Back Line

SC Sewer Connection

SD Storm Drain

Sh Shallow

SRC State Roads Commission

SS Sanitary Sewer

STD Standard

SMWF Stormwater Management Facility

tbd to be Determined

to be Removed

Top

Top of Rim

Top of Wall

Top

Vert

W Water

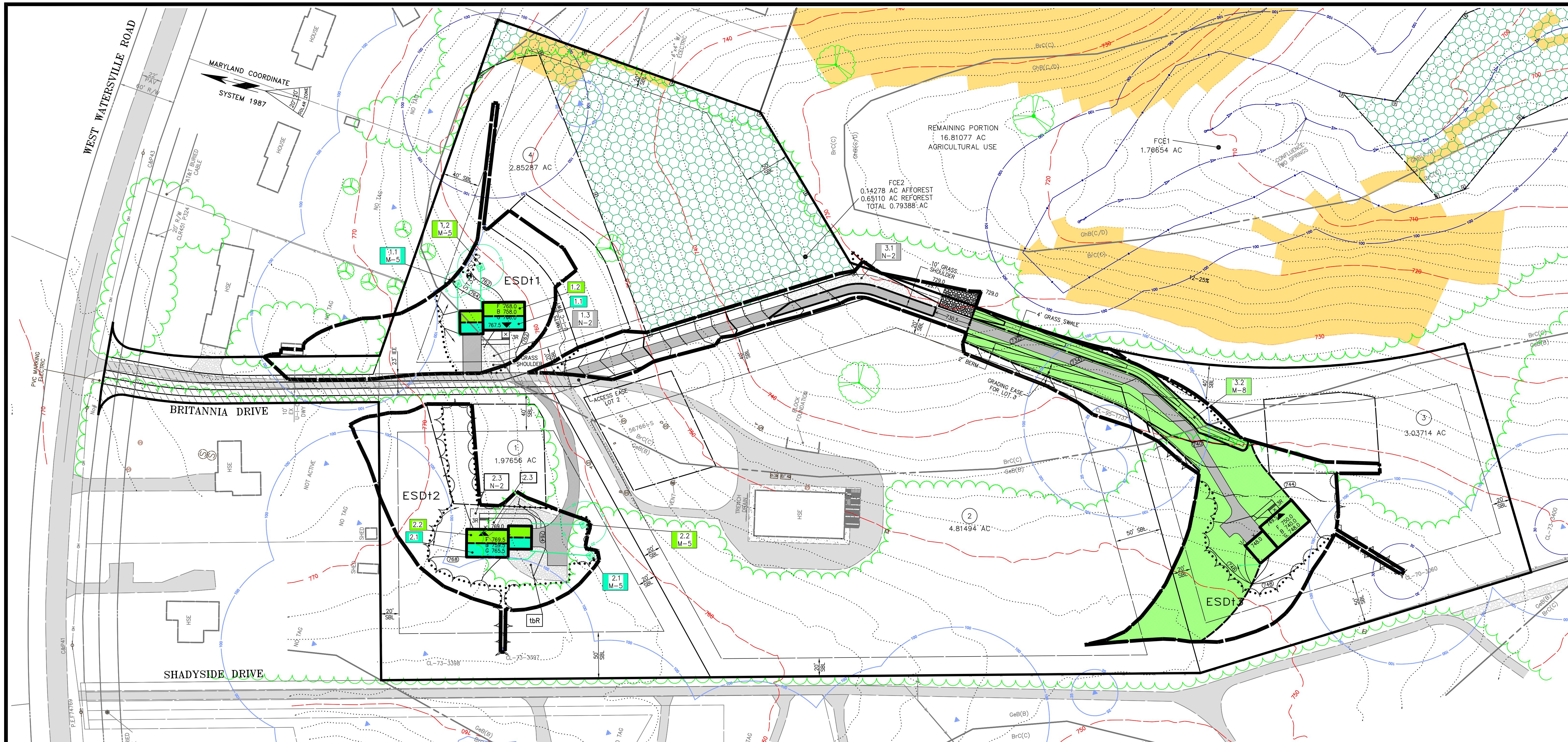
WO WalkOut

WS Wide Shoulder/ Weir Station

W

Wide

Shoulder/ Weir Station



ENVIRONMENTAL SITE DESIGN SUMMARY

| REQUIRED ESD CALCULATIONS | | | | | | REQUIRED | | SITE DATA SUMMARY | | | | |
|---------------------------|----------------------|-----------|---------|------------|--------|----------|-------------|--|--|----------------------------------|-----------------------|-----------------------|
| Area ID | Practice Description | Area (ac) | IA (ft) | % Imp. (%) | Rv | PE | ESDvol (cf) | Ownership / Maintenance | Private | Watershed Designation / WQA Tier | MD-WQA Policy | Tier II (No Asm Cap.) |
| 1 | ESD Tract 1 | 27.946 | 3,196 | 11.43% | 0.1529 | 1,0000 | 356,15 | Receiving Stream / Class | South Branch Patapsco - 02130906 | MD-WQA Policy | Tier II (No Asm Cap.) | |
| 2 | ESD Tract 2 | 31,881 | 4,052 | 12.71% | 0.1844 | 1,0000 | 436,74 | Receiving Stream / Class | Unnamed Tributary of South Branch Patapsco River - Use III | | | |
| 3 | ESD Tract 3 | 67,694 | 11,331 | 16.70% | 0.2003 | 1,1015 | 1,247,41 | ESD (Inclusive WD, Re) | | | | |
| TOTAL ESD to the MEP | | 127,663 | 18,579 | 14.55% | 0.1610 | 1,0507 | 2,040,30 | Design Criteria (Ex. Imperv.) Sbs = 55% Imperv. cover | 38,917 | Square Feet | <40% | NEW DEVELOPMENT |

| Area ID | ESD Practice | REQUIRED ESD CALCULATIONS | | | MAXIMUM DIMENSIONS TO ACHIEVED ESD PRACTICE | | | | PRACTICE INFO | | | | | | |
|---------|----------------------|---------------------------|---------|------------|---|-----|-------------|-------------|---------------|------------|-------------|-------------|--------------------|----------------------|--------------------------|
| | | DA (ft) | IA (ft) | % Imp. (%) | Rv | PE | ESDvol (cf) | Length (ft) | Width (ft) | Depth (ft) | Volume (cf) | ESDvol (cf) | PE (in) | Centroid Coordinates | Ownership Responsibility |
| 1.1 | M-5 DRY WELL (LOT 4) | 988 | 688 | 100.0% | 0.9500 | 250 | 195,54 | 9.88 | 9.88 | 5.00 | 488,85 | 195,54 | 2,500 | N 624022 E 1274607 | Private |
| 1.2 | M-5 DRY WELL (LOT 4) | 988 | 688 | 100.0% | 0.9500 | 250 | 195,54 | 9.88 | 9.88 | 5.00 | 488,85 | 195,54 | 2,500 | N 624003 E 1274840 | Private |
| 1.3 | N-2 DNRR (LOT 4) | 1,081 | 1,081 | 100.0% | 0.9500 | 100 | 85,58 | 30.00 | 37.00 | | | 85,58 | 1,0000 | N 623892 E 1274781 | Private |
| 2.1 | M-5 DRY WELL (LOT 1) | 988 | 688 | 100.0% | 0.9500 | 250 | 195,54 | 9.88 | 9.88 | 5.00 | 488,85 | 195,54 | 2,500 | N 623898 E 1274792 | Private |
| 2.2 | M-5 DRY WELL (LOT 1) | 988 | 688 | 100.0% | 0.9500 | 250 | 195,54 | 9.88 | 9.88 | 5.00 | 488,85 | 195,54 | 2,500 | N 623824 E 1274776 | Private |
| 2.3 | N-2 DNRR (LOT 1) | 460 | 460 | 100.0% | 0.9500 | 100 | 38,42 | 68.00 | 5.50 | | | 36,42 | 1,0000 | N 623910 E 1274776 | Private |
| 3.1 | N-2 DNRR (LOT 3) | 1,762 | 1,762 | 100.0% | 0.9500 | 100 | 141,08 | 178.20 | 10.00 | | | 141,08 | 1,0000 | N 623854 E 1274715 | Private |
| 3.2 | M-8 SWALE (LOT 3) | 34,076 | 6,613 | 19.89% | 0.2239 | 250 | 1,632,40 | 323.00 | 4.00 | 1.00 | 1096,67 | 0,3262 | N 623285 E 1279107 | Private | |

Achieved Storage in Environmental Site Design practices

2141.90 11125

| HYDROLOGY LEGEND | | |
|------------------------------|--------|----------------------------------|
| Soil Type (Group) | BrB(C) | Prop. Bituminous Concrete Paving |
| Hydrologic Soil Type (Group) | BrB(C) | Prop. Wide Shoulder |
| Drainage Area | | Soil Test |
| ESD/SWM Treatment Area | Area | Practice |
| ESD/SWM Treatment Practice | | |
| ESD Tract | — | — |
| Limits of Disturbance | | |

STORMWATER MANAGEMENT PRACTICE MAP BRITANNIA ESTATES

ON BRITANNIA DRIVE NEAR MT. AIRY
13TH ELECTION DISTRICT CARROLL COUNTY, MD.

DRS ASSOCIATES

LAND DESIGN CONSULTANTS

52 WINTERS STREET WESTMINSTER, MARYLAND 21157

410-848-4060 410-876-6040

REV. NO. DATE BY DESCRIPTION DATE: 2024-12-17

SCALE: 1"=50'

SHT.NO.: 3 OF 6

DWG.: CC01-03

CaCoFile

P-25-0029

M-5 DRYWELL SEQUENCE OF CONSTRUCTION

1. AFTER CONSTRUCTION IS COMPLETE, EXCAVATE DRYWELL AND AVOID COMPACTION BOTTOM OF TRENCH
2. INSTALL NON-WOVEN GEOTEXTILE FABRIC ON SIDES AND LAY BACK ON TOP
3. INSTALL FOOT PLATE, OBSERVATION WELL AND 12 INCHES OF SAND (ASTM C-33)
4. INSTALL GRAVEL (WASHED NO.57 OR NO.2) TO INVERT OF 4 INCH PERFORATED PIPE
5. INSTALL 4" PVC DRAIN DISTRIBUTION PIPE
6. DRAIN REMAINING GRAVEL TO TOP, COVER WITH LAID BACK GEOTEXTILE FABRIC AND BACK FILL TO GRADE
7. INSTALL INLET PROTECTION UNTIL 2 INCH STAND OF DENSE GRASS IS ESTABLISHED
8. ONCE DRIVEWAY IS PAVED AND ALL CONSTRUCTION IS COMPLETE AND SUPPORTING A 2 INCH STAND OF DENSE GRASS, REMOVE INLET PROTECTION

M-5 DRYWELL INSPECTION CHART FOR B-1

| STAGE | ENGINEER'S APPROVAL | |
|---|---------------------|------|
| | INITIALS | DATE |
| 1. EXCAVATION TO SUBGRADE | | |
| 2. INSTALL FILTER CLOTH AND PLACEMENT OF SAND FILTER MEDIA IN BOTTOM | | |
| 3. PLACEMENT OF WASHED NO.2 STONE, PERFORATED PVC DRAIN DISTRIBUTION PIPE AND OBSERVATION WELL | | |
| 4. PLACEMENT OF GEOTEXTILE ON TOP OF THE FACILITY | | |
| 5. COMPLETION OF FINAL GRADING, PAVING AND ESTABLISHMENT OF 2 INCH STAND OF DENSE GRASS | | |
| 6. SUBMIT AS-BUILT PLANS TO CARROLL COUNTY WITHIN 60 DAYS OF COMPLETION OF ALL STORMWATER PRACTICES | | |

PLEASE NOTIFY CERTIFYING PROFESSIONAL 48 HOURS PRIOR TO COMMENCING CONSTRUCTION

ENGINEER'S NAME: DRS ASSOCIATES
PHONE NUMBER: 410-876-6040

M-5 STORMWATER MAINTENANCE SCHEDULE DRYWELL

MODIFIED TO CORRESPOND TO CARROLL COUNTY DETAILS

MONTHLY INSPECTION

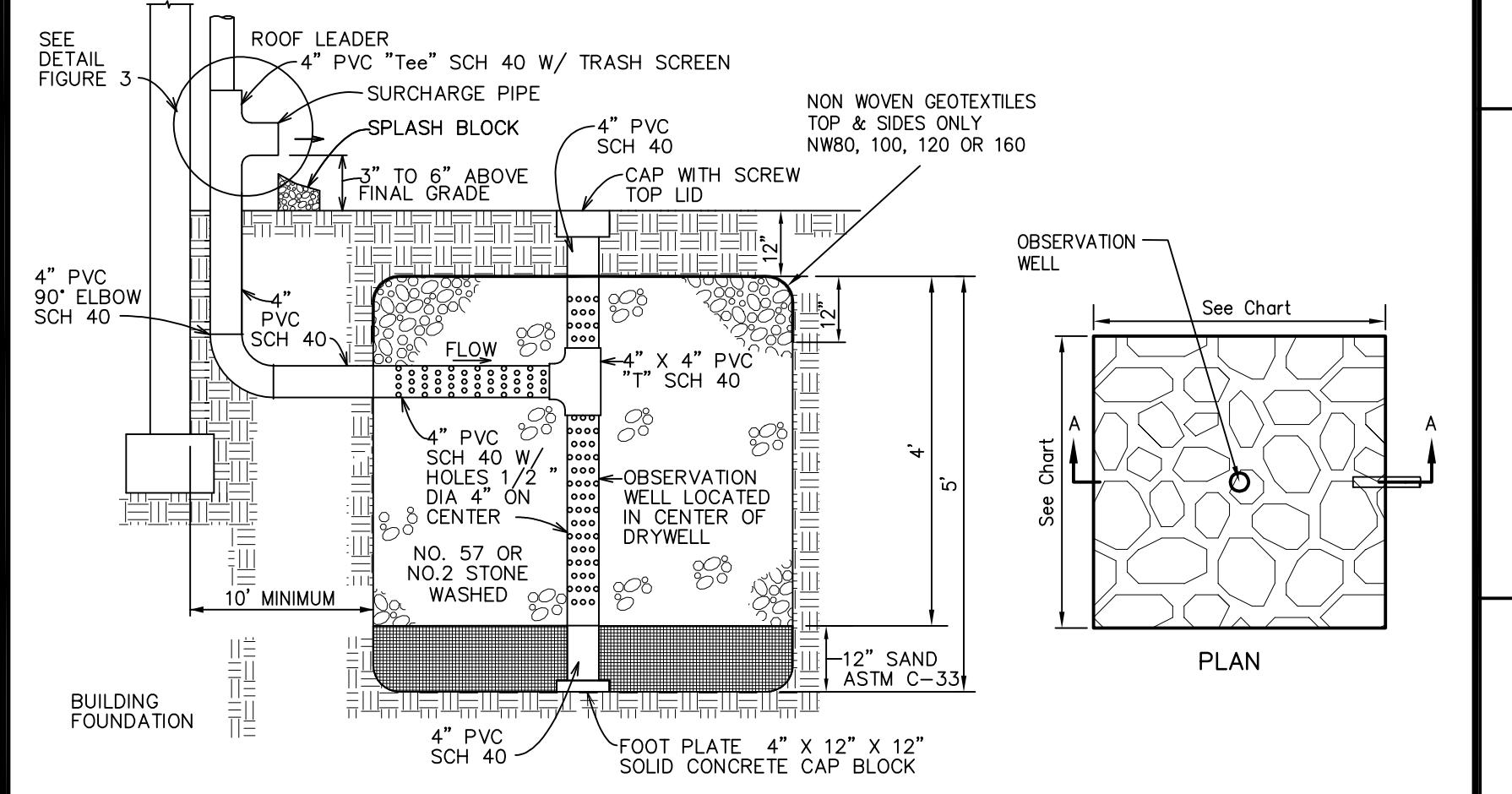
| Inspection Item | Inspection Requirements | Remedial Action |
|------------------------------|--|---|
| Vegetative Cover and Erosion | Check overflow area for channelizing and bare spots. | Re-seed or re-plant in accordance with approved landscaping plans. Re-grade if concentrated flow is causing rills or gullying over the facility. |

SEASONAL INSPECTION AND AFTER A MAJOR STORM

| Inspection Item | Inspection Requirements | Remedial Action |
|---------------------|---|---|
| Leaves and Debris | Check that gutters, downspouts and screens are clear of leaves and debris. | Clean out gutters, downspouts and screens and dispose of leaves and debris in an acceptable manner. |
| Inflow and Overflow | Check for misalignments, broken pipes, and blockages. Inlet pipe and surcharge overflow "Y" or "T" must be in good condition. | Repair any broken or faulty piping. Clear out any blockages. |
| Dewatering | Check observation wells for water level. Water stored in stone must dewater within 48 hours of rainfall. Noticeable odors or the presence of algae or stained water are indicators of anaerobic conditions and inadequate dewatering of the facility. | Excavate, remove, clean, and replace stone and sand in accordance with approved plans. |

ANNUAL INSPECTION

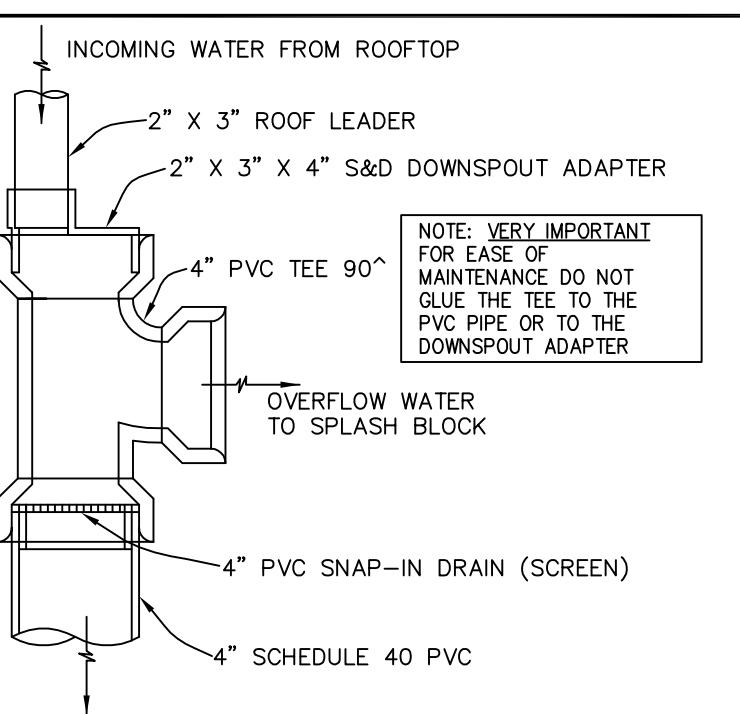
| Inspection Item | Inspection Requirements | Remedial Action |
|------------------------------|--|---|
| Maintenance Access | Check for accessibility to facility. | Prevent excessive vegetative growth, erosion, and obstructions on access way. |
| Overall Function of Facility | Check that flow conveyance is operating as designed. | Repair to good condition according to specifications on the approved plans. |



SECTION A-A

- Notes:
1. Minimum Setbacks:
 - a. 100ft from wells
 - b. 25ft from septic areas and components
 - c. 10ft from buildings
 2. All downspouts must drain to the drywell with at least 6" of cover.
 3. The locations and size of all drywells are shown on the site plan.
 4. These geotextiles are available in Finksburg @ ES&G Distributors 2601 Emory Rd, Bldg 8, 866-744-5001, any equivalent geotextile is acceptable

STANDARD DRYWELL BY OTHERS



1. THE SNAP IN SCREEN IS REQUIRED TO PREVENT CLOGGING OF THE DRYWELL WITH DEBRIS.
2. SEE FIGURE 3 "LIST OF POTENTIAL SUPPLIERS TO ACCOMPANY FIGURE 3 STANDARD DRYWELL DOWNSPOUT FITTINGS" FOR INFORMATION ON SOME LOCAL RETAILERS THAT SUPPLY COMPONENTS FOR THIS SYSTEM.

STANDARD DRYWELL DOWNSPOUT FITTINGS BY OTHERS

N-2 GRASS SHOULDER SEQUENCE OF CONSTRUCTION

1. VERIFY ALL SEDIMENT CONTROL DEVICES IN THE WORK AREA ARE FUNCTIONING PROPERLY. FURTHERMORE, VERIFY AND PROTECT ALL PORTIONS OF CONSTRUCTION DURING FORECAST OF INCLEMENT WEATHER.
2. CHECK FOR PROPER GRADE.
3. INSTALL SUBGRADE DRAIN SEE DETAIL SH-8.
4. GRADE WIDE SHOULDER, SEE TYPICAL SECTION SH-8.
5. PERMANENTLY STABILIZE WIDE SHOULDER.

N-2 GRASS SHOULDER INSTALLATION INSPECTION CHART

| STAGE | ENGINEER'S APPROVAL | |
|--|---------------------|------|
| | INITIALS | DATE |
| 1. CHECK FOR PROPER DRIVEWAY GRADES. | | |
| 2. CHECK FOR PROPER SUBGRADE DRAIN GRADE. | | |
| 3. CHECK FILTER CLOTH, 4" PERFORATED DRAIN & NO.57 STONE. | | |
| 4. CHECK THAT WIDE SHOULDER GRADE MATCHED TOP 3" ASPHALT COURSE. | | |
| 5. CHECK FOR PERMANENT 2" STAND OF DENSE GRASS STABILIZATION. | | |

PLEASE NOTIFY CERTIFYING PROFESSIONAL 48 HOURS PRIOR TO COMMENCING CONSTRUCTION

ENGINEER'S NAME: DRS ASSOCIATES
PHONE NUMBER: 410-876-6040

N-2 STORMWATER MAINTENANCE SCHEDULE

NON-ROOFTOP DISCONNECTION

"WIDE SHOULDER TECHNIQUE"

MODIFIED TO CORRESPOND TO CARROLL COUNTY DETAILS

MONTHLY INSPECTION

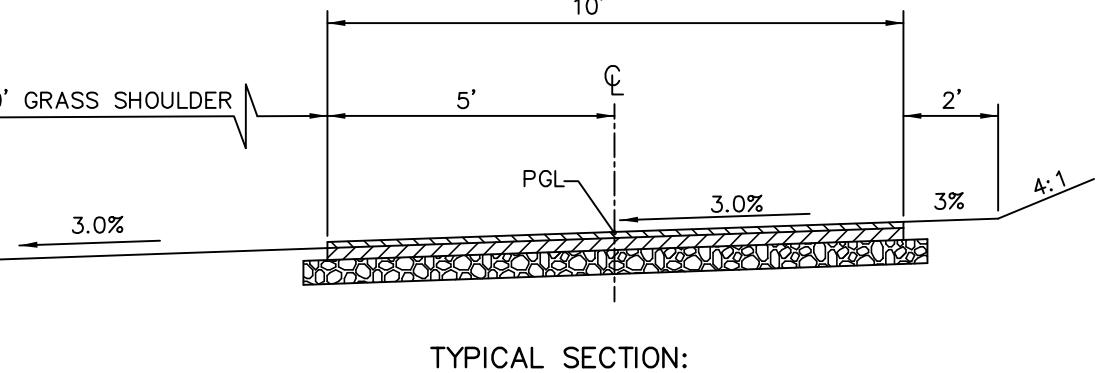
| Inspection Item | Inspection Requirements | Remedial Action |
|------------------------------|---|--|
| Vegetative Cover and Erosion | Check for vegetation over 4" height. | Mow grass/remove trees and shrubs. |
| | Check disconnection area for channelizing and bare spots. | Re-grade if concentrated flow is causing rills or gullying on surface. |

SEASONAL INSPECTION AND AFTER A MAJOR STORM

| Inspection Item | Inspection Requirements | Remedial Action |
|-----------------|---|--|
| Inflow | Ensure sheet flow from pavement to grass shoulder disconnection area. | Remove debris, vegetation, regrade and re-seed as necessary to ensure sheet flow from pavement. |
| Dewatering | Check for soft areas and/or soil saturated to the surface. | Check slotted pipe, rodent guards and eliminate blockages. If necessary, excavate, remove and replace stone and slotted pipe. |

ANNUAL INSPECTION

| Inspection Item | Inspection Requirements | Remedial Action |
|-----------------------------------|--|---|
| Overall Function of Disconnection | Check that grass disconnection is operating as designed. | Repair to good condition according to specifications on the approved plans. |



M-8 SWALE (GRASS)

(REQUIRED ON ALL PLAN SUBMISSIONS)

SEQUENCE OF CONSTRUCTION

(Specific SoC must be incorporated in Overall SoC)

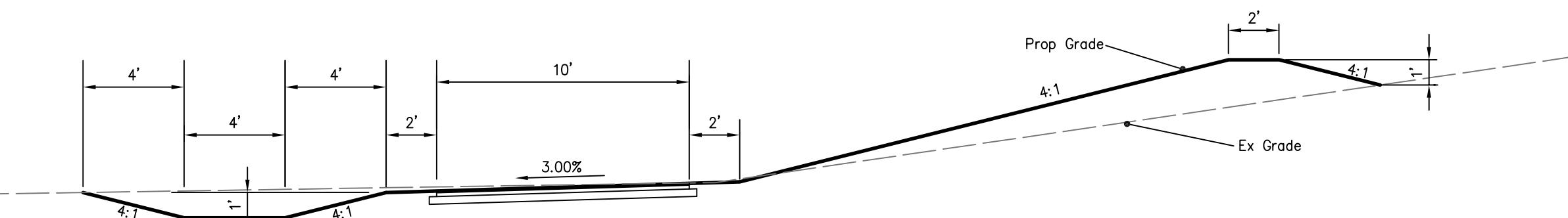
1. Grading of diversion berm and driveway should be done first before grading of M-8 Swale. Stabilize all disturbed areas and driveway stone base. All areas draining to the M-8 Swale shall be diverted around M-8 Swale construction.
2. Grading of M-8 Swale shall adhere to the following construction specifications. Compaction of soils within the area of the swale should be minimized to promote infiltration and vegetative growth. Excavation should be conducted in dry conditions with equipment located outside of the practice to minimize bottom compaction. Construction shall be performed with light-weight, wide-tracked equipment to minimize disturbance and soil compaction. Existing soils in the location of proposed berms should be scarified to maximize infiltration. Rounding the surface to a depth of four to six inches with backhoe teeth may be satisfactory. However, each day of work should be excavated, graded and stabilized to reduce runoff and erosion.
3. Pave driveway and remove any temporary diversion devices.

M-8 GRASS SWALE - INSPECTION CHART

| STAGE | ENGINEER'S APPROVAL | |
|--|---------------------|------|
| | INITIALS | DATE |
| 1. Verify that diversion berm and driveway have been graded and that all surrounding areas draining to the berm have been stabilized or diverted away from the construction area. | | |
| 2. After checking soil conditions and checking weather forecast during proposed construction time, excavate, scarify to a minimum depth of 4" - 6" below bottom of swale, and grade surface the entire area of the facility. | | |
| 3. Final grading, seed and mulch. | | |
| 4. Establishment of a 2" stand of dense vegetation. | | |
| 5. Submit As-built plans to Carroll County Bureau of Resource Management within 30 days of completion. | | |

PLEASE NOTIFY CERTIFYING PROFESSIONAL 48 HOURS PRIOR TO COMMENCING CONSTRUCTION

ENGINEER'S NAME: DRS ASSOCIATES
PHONE NUMBER: 410-876-6040



GRASS SWALE/DIVERSION BERM DETAIL

SCALE: 1'=5'

CARROLL COUNTY, HAMPSTEAD, WESTMINSTER, MT AIRY, NEW WINDSOR, SYKESVILLE, MANCHESTER PRIVATE FACILITIES

CONSTRUCTED BY THE DEVELOPER
STORMWATER MANAGEMENT MAINTENANCE AGREEMENT SCHEDULE

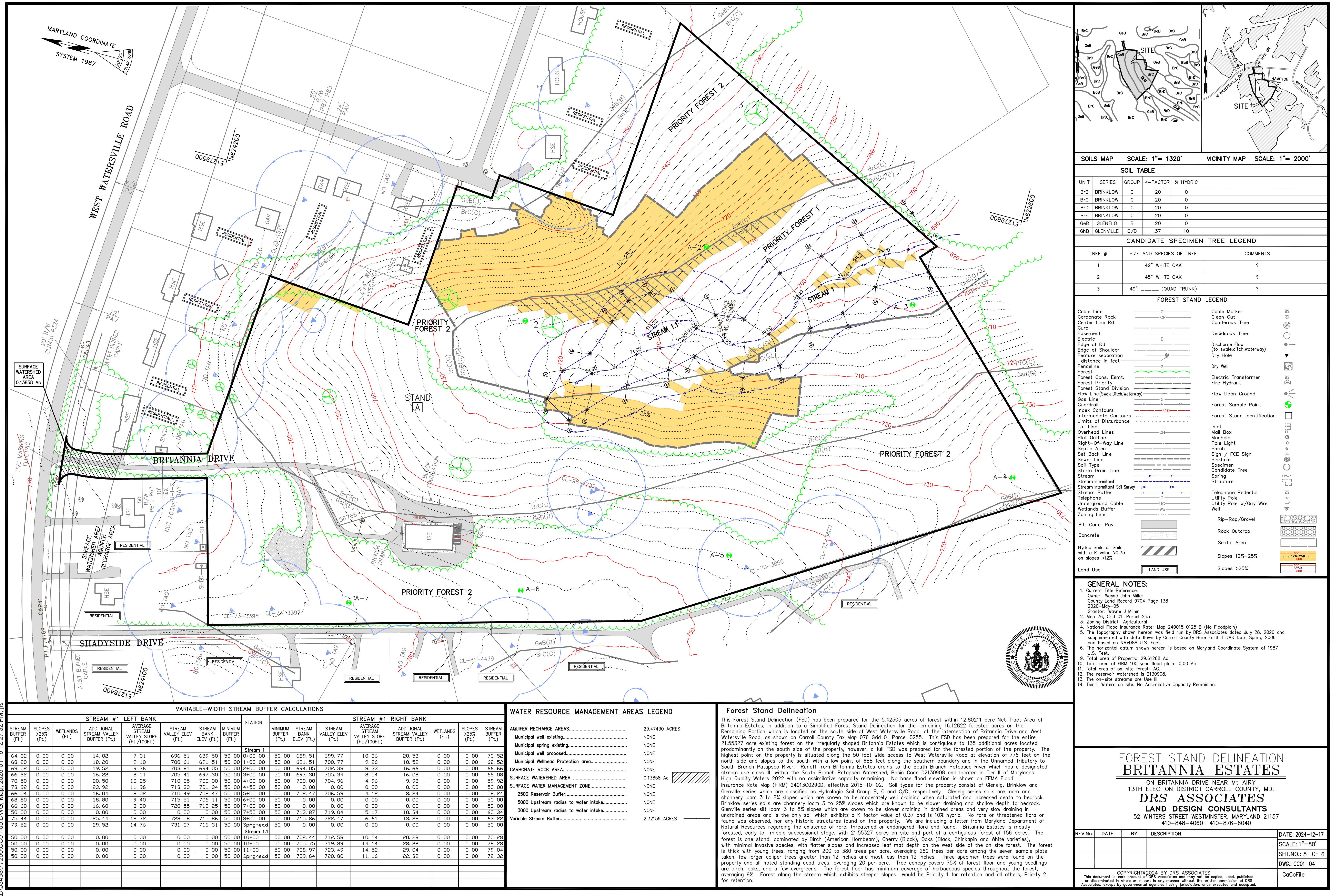
1. The Stormwater Management Facility/Facilities shown on these plans shall be constructed and maintained by the owner(s).
2. Owner/his assigns shall be responsible for continuing maintenance of the facility/facilities which shall include such items as mowing, cleaning and removing sediment, trees, shrubs and debris. Requirements and schedules for specific types of facilities and practices as listed on the plans are hereby included. The time periods for this continuing maintenance shall be on "as-needed" basis but shall not be delayed longer than thirty (30) days.
3. Owner, his heirs or assigns shall be responsible for any structural damages or failure which may occur as a result of negligence, accident or misuse. In the event of structural damage, owner shall be responsible to make the necessary repairs as quickly as possible but in any case within thirty (30) days.
4. If after notice by the County/Town/City to correct a violation requiring maintenance work, satisfactory corrections are not made by the owner(s) within (30) days the County/Town/City may perform all necessary work to place the facility in proper working condition. The owners of the facility shall be assessed the cost of the work and any penalties. These monies shall be collected from a bond, which the developer is required to post with the County/Town/City to cover such expenses until completion of the facility." Completion of the facility" is construed to mean that all construction drainage areas are paved or supporting a 2" stand of dense grass and that the Carroll County Bureau of Resource Management has inspected the construction and a registered professional engineer has certified that the "As-Built" plans meet the plans and specifications for construction. After "completion" of the facility, the monies may be collected by placing a lien on the property, or by including the costs and penalties on the property tax bill and collecting them as ordinary taxes by the County/Town/City.
5. Owner(s) shall grant right of entry to authorized County/Town/City personnel for purposes of inspection monitoring and/or repair. Site visits for inspection and/or monitoring shall be conducted only during normal County working hours (8:00 a.m. to 5:00 p.m. Monday - Friday).
6. This agreement including right-of entry for inspection/maintenance and repair shall be recorded in the Land Records of the County.

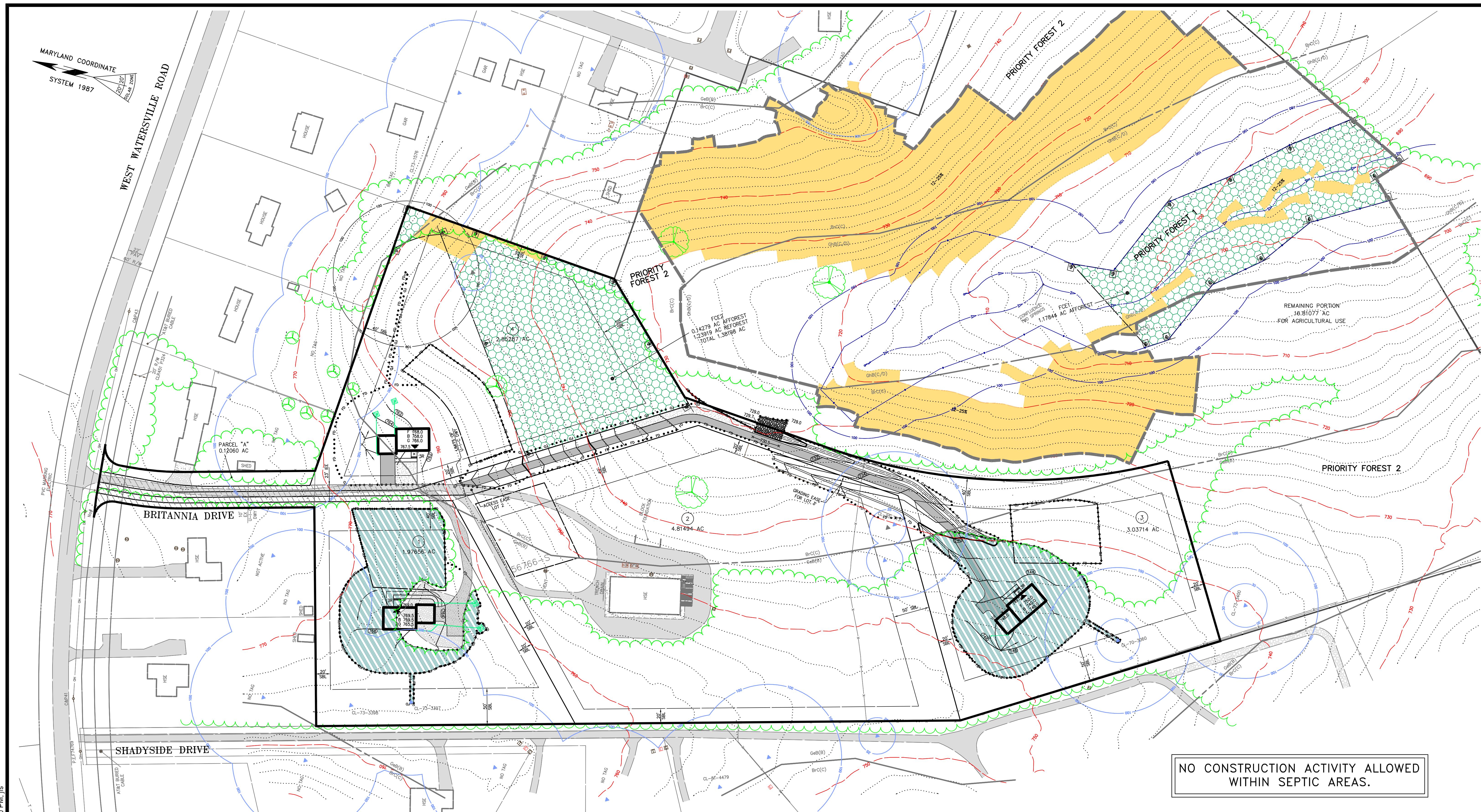
STORMWATER MANAGEMENT DETAILS BRITANNIA ESTATES

ON BRITANNIA DRIVE NEAR MT AIRY
13TH ELECTION DISTRICT CARROLL COUNTY, MD.

DRS ASSOCIATES
LAND DESIGN CONSULTANTS

52 WINTERS STREET WESTMINSTER, MARYLAND 21157
410-848-4060 410-876-6040





Landscape Design Data
 Landscape Manual: Carroll County Part Two: Landscaping Requirements

I. Residential

A. Parking Lots..... N/A

B. Rear/Side Yard Adjacent to Streets

1. Land System Roadways and Minor Arterials

a. Screening of a dwelling unit is required where rear or side lot lines abut a public right of way. Screening shall comply with "Class A" requirements. A minimum 15 foot landscape area is required from the property line..... N/A

b. If fencing is utilized, it shall be set back 15 feet from the right-of-way in conjunction with trees and shrubs. The required trees and shrubs shall be provided on the street side of the fence..... N/A

2. Intermediate and Principal Arterials..... 0.00PU

Total Planting Units Required..... 0.00PU

FOREST CONSERVATION WORKSHEET

A. Area of Forest Clearing: 1. 23919 Ac
B. Area of Forest Required: 1. 23919 Ac

(Forest which is cut or cleared, measured to the nearest one-tenth acre, shall be reforested at a ratio of one acre planted or blanketed for every one acre of forest removed.)

C. Total Area of Property: 29. 61288 Ac
Area Remaining Portion: -16. 81077 Ac

D. Area of Threshold (zoning category "A"-20%) 12. 80211 Ac

E. Area of Forest within Net Tract: 2. 56042 Ac

F. Area of Forest to be Retained (E-A=): 5. 42505 Ac

G. Area of Forest Credit (B+F): 4. 18586 Ac

H. Afforestation Required (D-G): 5. 42505 Ac

(Afforestation may be addressed by retaining an area of forest within the net tract area, planting, or banking. If H<0, no additional afforestation is required.)

This plan is in compliance with the requirements of the Code of Carroll County Chapter 150 Forest Conservation. Any disturbance beyond those limits delineated on this plan may require the developer or lot owner to address the penalties and/or requirements of Carroll County Chapter 150.

General Note

1. Current Title Reference: Owner: Wayne John Miller
County Land Record 9704 Page 138
2020-May-05
Grantor: Wayne J Miller
2. Contact Person: Wayne John Miller
7088 BRITANNIA DR
MT. AIRY, MD. 21771
443-375-2294
3. Map: 7088, Grid G1, Parcel 255
4. Zoning: Residential, Agricultural
5. National Flood Insurance Rate: Map 240015 0125 B (No Floodplain)
6. The topography shown hereon was field run by DRS Associates dated July 28, 2020 and supplemented with data flown by Carroll County Bare Earth LiDAR Data Spring 2006 and based on NAVD88 U.S. Feet.
7. The horizontal datum shown hereon is based on Maryland Coordinate System of 1987 U.S. Feet.

Legend

Area of clearing

Forest Conservation Easement

Forest Disturbance.....

Forest Priority

**FOREST CONSERVATION & LANDSCAPE PLAN
BRITANNIA ESTATES**
 ON BRITANNIA DRIVE NEAR MT. AIRY
 13TH ELECTION DISTRICT CARROLL COUNTY, MD.
DRS ASSOCIATES
LAND DESIGN CONSULTANTS
 52 WINTERS STREET WESTMINSTER, MARYLAND 21157
 410-848-4060 410-876-6040

REV. NO. DATE BY DESCRIPTION DATE: 2024-12-17
 SCALE: 1"=60'
 SHT. NO.: 6 OF 6
 DWG.: CC01-05
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