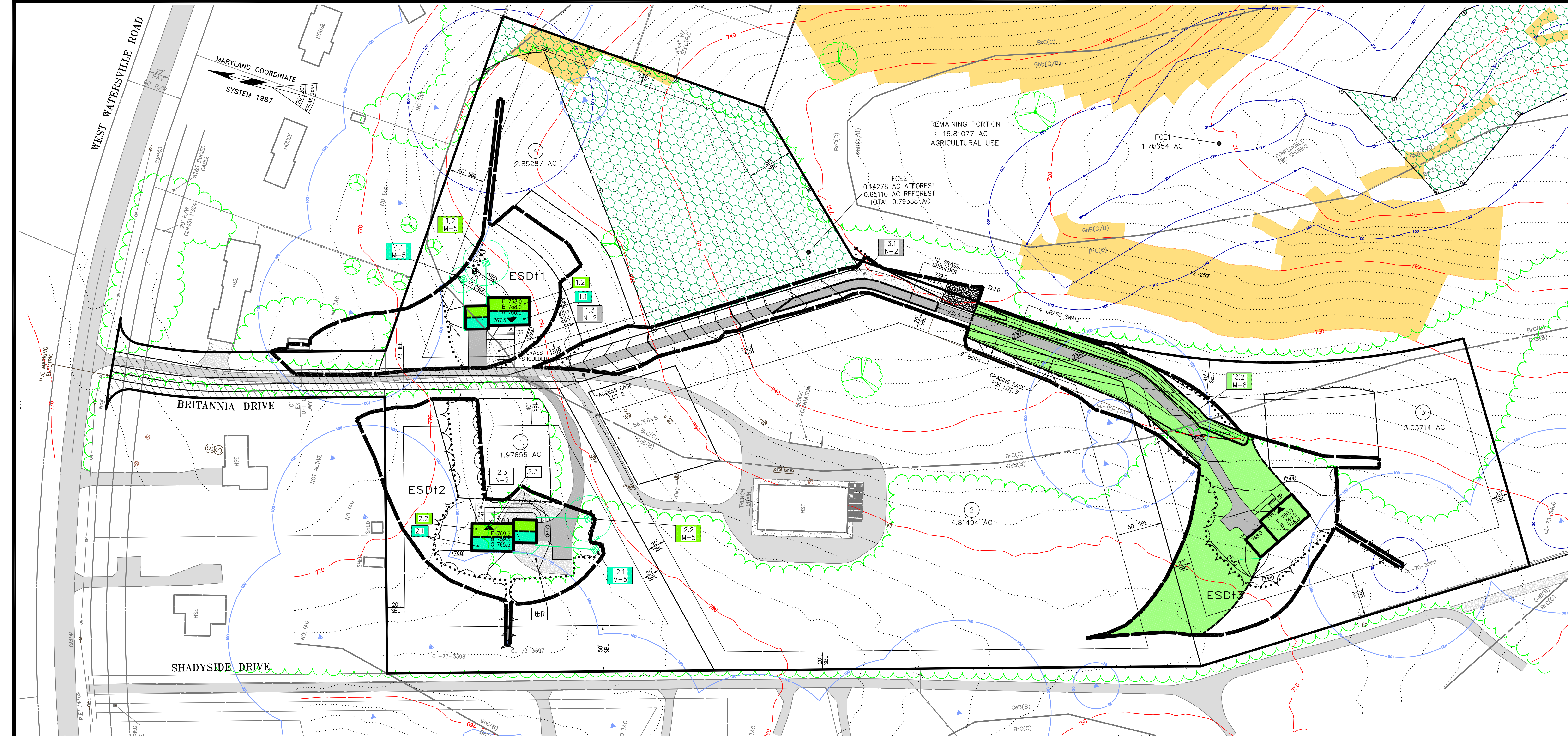


NO CONSTRUCTION ACTIVITY ALLOWED
WITHIN SEPTIC AREAS.

LAYOUT PLAN
BRITANNIA ESTATES
ON BRITANNIA DRIVE NEAR MT AIRY
13TH ELECTION DISTRICT CARROLL COUNTY, MD.
DRS ASSOCIATES
LAND DESIGN CONSULTANTS
52 WINTERS STREET WESTMINSTER, MARYLAND 21157
410-848-4060 410-876-6040

REV.No.	DATE	BY	DESCRIPTION	DATE: 2024-12-17
				SCALE: 1"=50'
				SHT.NO.: 2 OF 6
				DWG.: CC01-02
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ENVIRONMENTAL SITE DESIGN SUMMARY

REQUIRED ESD CALCULATIONS						REQUIRED		SITE DATA SUMMARY							
Area ID	Practice Description	Area (sf)	IA (sf)	% Imp. (%)	Rv	PE (in)	ESDvol (cf)	Ownership / Maintenance	Private			Tier 8 (NoAssessCap)			
1	ESD Tract 1	27,840	3,195	11.432%	0.1529	1,0000	356.15	Watershed Designation / WQA Tier	South Branch Patuxent – 02130906			MD-WQA Policy			
2	ESD Tract 2	31,661	4,692	12.710%	0.1644	1,0000	426.70	Receiving Stream / Class	Unnamed Tributary of South Branch Patuxent River / Use II						
3	ESD Tract 3	67,394	11,231	16.704%	0.2003	1,1015	1,247.41	SWM Sizing Criteria	ESD, (Inclusive WQ ₂ , Re.)						
TOTAL: ESD to the MEP		127,663	18,579	14.552%	0.1810	1,0527	2,040.30	Design Criteria (Ex. Imperv.) Site = 9.556% Imperv. cover	39,917	Square Feet	<40%	NEW DEVELOPMENT			
ESD PRACTICE CALCULATIONS						MAXIMUM		DIMENSIONS TO ACHIEVE ESD PRACTICE				PRACTICE INFO			
Area ID	ESD Practice	DA (sf)	IA (sf)	% Imp. (%)	Rv	PE (in)	ESDvol (cf)	Length (ft)	Width (ft)	Depth (ft)	Volume (cf)	ESDvol (cf)	PE (in)	Centroid Coordinates	Ownership Responsibility
1.1	M-5 DRY WELL (LOT 4)	988	988	100.0%	0.9500	2.50	195.54	9.88	9.88	5.00	488.85	195.54	2.5000	N: 624022 E: 1279807	Private
1.2	M-5 DRY WELL (LOT 4)	988	988	100.0%	0.9500	2.50	195.54	9.88	9.88	5.00	488.85	195.54	2.5000	N: 624003 E: 1279840	Private
1.3	N-2 DNRR (LOT 4)	1,081	1,081	100.0%	0.9500	1.00	85.50	30.00	37.00			85.50	1.0000	N: 623982 E: 1279840	Private
2.1	M-5 DRY WELL (LOT 1)	908	908	100.0%	0.9500	2.50	195.54	9.88	9.88	5.00	488.85	195.54	2.5000	N: 623989 E: 1279781	Private
2.2	M-5 DRY WELL (LOT 1)	988	988	100.0%	0.9500	2.50	195.54	9.88	9.88	5.00	488.85	195.54	2.5000	N: 623824 E: 1278792	Private
2.3	N-2 DNRR (LOT 1)	460	460	100.0%	0.9500	1.00	38.42	88.00	5.50			36.42	1.0000	N: 623910 E: 1278778	Private
3.1	N-2 DNRR (LOT 3)	1,782	1,782	100.0%	0.9500	1.00	141.08	178.20	10.00			141.08	1.0000	N: 623824 E: 1279145	Private
3.2	M-5 SWALE (LOT 3)	34,070	6,813	19.99%	0.2229	2.50	1,622.40	329.00	4.00	1.00	1096.67	0.3882		N: 623958 E: 1279107	Private
Achieved Storage in Environmental Site Design practices												2141.90	1.1125		

HYDROLOGY LEGEND

Hydrologic Soil Type (Group) Soil Type (Group) Prop. Bituminous Concrete Paving
DrBr(C) Prop. Wide Shoulder
Drainage Area.....
ESD/SWM Treatment Area.....
ESD/SWM Treatment Practice.....
ESD Tract.....
Limits of Disturbance.....

Area Practice

STORMWATER MANAGEMENT PRACTICE MAP
BRITANNIA ESTATES
ON BRITANNIA DRIVE NEAR MT AIRY
13TH ELECTION DISTRICT CARROLL COUNTY, MD.
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52 WINTERS STREET WESTMINSTER, MARYLAND 21157
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REV.NO.	DATE	BY	DESCRIPTION	DATE: 2024-12-17
				SCALE: 1"=50'
				SHT.NO.: 3 OF 6
				DWG.: CC01-03

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P-25-0029

M-5 DRYWELL SEQUENCE OF CONSTRUCTION

1. AFTER CONSTRUCTION IS COMPLETE, EXCAVATE DRYWELL AND AVOID COMPACTION BOTTOM OF TRENCH
2. INSTALL NON-WOVEN GEOTEXTILE FABRIC ON SIDES AND LAY BACK ON TOP
3. INSTALL FOOT PILE, OBSERVATION WELL AND 12 INCHES OF SAND (ASTM C-33)
4. INSTALL GRAVEL (WASHED NO.57 OR NO. 2) TO INVERT OF 4 INCH PERFORATED PIPE
5. INSTALL 4 INCH PERFORATED PIPE
6. FILL REMAINING GRAVEL TO TOP; COVER WITH LAID BACK GEOTEXTILE FABRIC AND BACK FILL TO GRADE
7. INSTALL INLET PROTECTION UNTIL 2 INCH STAND OF DENSE GRASS IS ESTABLISHED
8. ONCE DRIVEWAY IS PAVED AND ALL CONSTRUCTION IS COMPLETE AND SUPPORTING A 2 INCH STAND OF DENSE GRASS, REMOVE INLET PROTECTION

- | M-5 DRYWELL INSPECTION CHART FOR B-1 | | |
|---|---------------------|------|
| STAGE | ENGINEER'S APPROVAL | |
| | INITIALS | DATE |
| 1. EXCAVATION TO SUBGRADE | | |
| 2. INSTALL FILTER CLOTH AND PLACEMENT OF SAND FILTER MEDIA IN BOTTOM | | |
| 3. PLACEMENT OF WASHED No. 2 STONE, PERFORATED PVC DRAIN DISTRIBUTION PIPE AND OBSERVATION WELL | | |
| 4. PLACEMENT OF GEOTEXTILE ON TOP OF THE FACILITY. | | |
| 5. COMPLETION OF FINAL GRADING, PAVING AND ESTABLISHMENT OF 2 INCH STAND OF DENSE GRASS | | |
| 6. SUBMIT AS-BUILT PLANS TO CARROLL COUNTY WITHIN 60 DAYS OF COMPLETION OF ALL STORMWATER PRACTICES | | |

**M-5 STORMWATER MAINTENANCE SCHEDULE
DRYWELL**

MONTHLY INSPECTION

SEASONAL INSPECTION AND AFTER A MAJOR STORM

ANNUAL INSPECTION



STANDARD DRYWELL BY OTHERS

REQUIRED TO PREVENT CLOGGING OF THE DRYWELL WITH DEBRIS.' and '2. SEE FIGURE 3o \"LIST OF POTENTIAL SUPPLIERS TO ACCOMPANY FIGURE 3 STANDARD DRYWELL DOWNSPOUT FITTINGS\" FOR INFORMATION ON SOME LOCAL RETAILERS THAT SUPPLY COMPONENTS FOR THIS SYSTEM.'"/>

INCOMING WATER FROM ROOF TOP

2" X 3" ROOF LEADER

2" X 3" X 4" S&D DOWNSPOUT ADAPTER

4" PVC TEE 90°

OVERFLOW WATER TO SPLASH BLOCK

4" PVC SNAP-IN DRAIN (SCREEN)

4" SCHEDULE 40 PVC

TO DRYWELL

NOTE: VERY IMPORTANT
FOR EASE OF
MAINTENANCE DO NOT
GLUE THE TEE TO THE
PVC PIPE OR TO THE
DOWNSPOUT ADAPTER

1. THE SNAP IN SCREEN IS REQUIRED TO PREVENT CLOGGING OF THE DRYWELL WITH DEBRIS.
2. SEE FIGURE 3o "LIST OF POTENTIAL SUPPLIERS TO ACCOMPANY FIGURE 3 STANDARD DRYWELL DOWNSPOUT FITTINGS" FOR INFORMATION ON SOME LOCAL RETAILERS THAT SUPPLY COMPONENTS FOR THIS SYSTEM.

1. VERIFY ALL SEDIMENT CONTROL DEVICES IN THE WORK AREA ARE FUNCTIONING PROPERLY. FURTHERMORE, VERIFY AND PROTECT ALL PORTIONS OF CONSTRUCTION DURING FORECAST OF INCLEMENT WEATHER.
2. CHECK FOR PROPER GRADE.
3. INSTALL SUBGRADE DRAIN SEE DETAIL SH8.
4. GRADE WIDE SHOULDER, SEE TYPICAL SECTION SH8.
5. PERMANENTLY STABILIZE WIDE SHOULDER.

- | N-2 GRASS SHOULDER INSTALLATION INSPECTION CHART | | |
|--|---------------------|------|
| STAGE | ENGINEER'S APPROVAL | |
| | INITIALS | DATE |
| 1. CHECK FOR PROPER DRIVEWAY GRADES. | | |
| 2. CHECK FOR PROPER SUBGRADE DRAIN GRADE. | | |
| 3. CHECK FILTER CLOTH, 4" PERFORATED DRAIN & No.5 STONE. | | |
| 4. CHECK THAT WIDE SHOULDER GRADE MATCHED TOP 3" ASPHALT COURSE. | | |
| 5. CHECK FOR PERMANENT 2" STAND OF DENSE GRASS STABILIZATION. | | |

N-2 STORMWATER MAINTENANCE SCHEDULE

NON-ROOFTOP DISCONNECTION

“WIDE SHOULDER TECHNIQUE”

MODIFIED TO CORRESPOND TO CARROLL COUNTY DETAILS

	SEASONAL INSPECTION AND AFTER A MAJOR STORM	
--	--	--

Inspection Item	Inspection Requirements	Remedial Action
Inflow	Ensure sheet flow from pavement to grass	Remove debris, vegetation, regrade and re-seed as

Inflow	Ensure sheet flow from pavement to grass shoulder disconnection area.	Remove debris, vegetation, regrade and re-seed as necessary to ensure sheet flow from pavement.
--------	---	---

Inspection Item	Inspection Requirements	Remedial Action
Overall Function of	Check that grass disconnection is operating as	Repair to good condition according to specifications on

Overall function of Disconnection	Check that grass disconnection is operating as designed.	Repair to good condition according to specifications on the approved plans.
-----------------------------------	--	---

(REQUIRED ON ALL PLAN SUBMISSIONS)

SEQUENCE OF CONSTRUCTION

(Specific SoC must be incorporated in Overall SoC)

1. Grading of diversion berm and driveway should be done first before grading of M-8 Swale. Stabilize all disturbed areas and driveway stone base. All areas draining to the M-8 Swale shall be diverted around M-8 Swale construction.

ENGINEER'S NAME: DRS ASSOCIATES
PHONE NUMBER: 410-876-6040

SCALE: 1"=5'

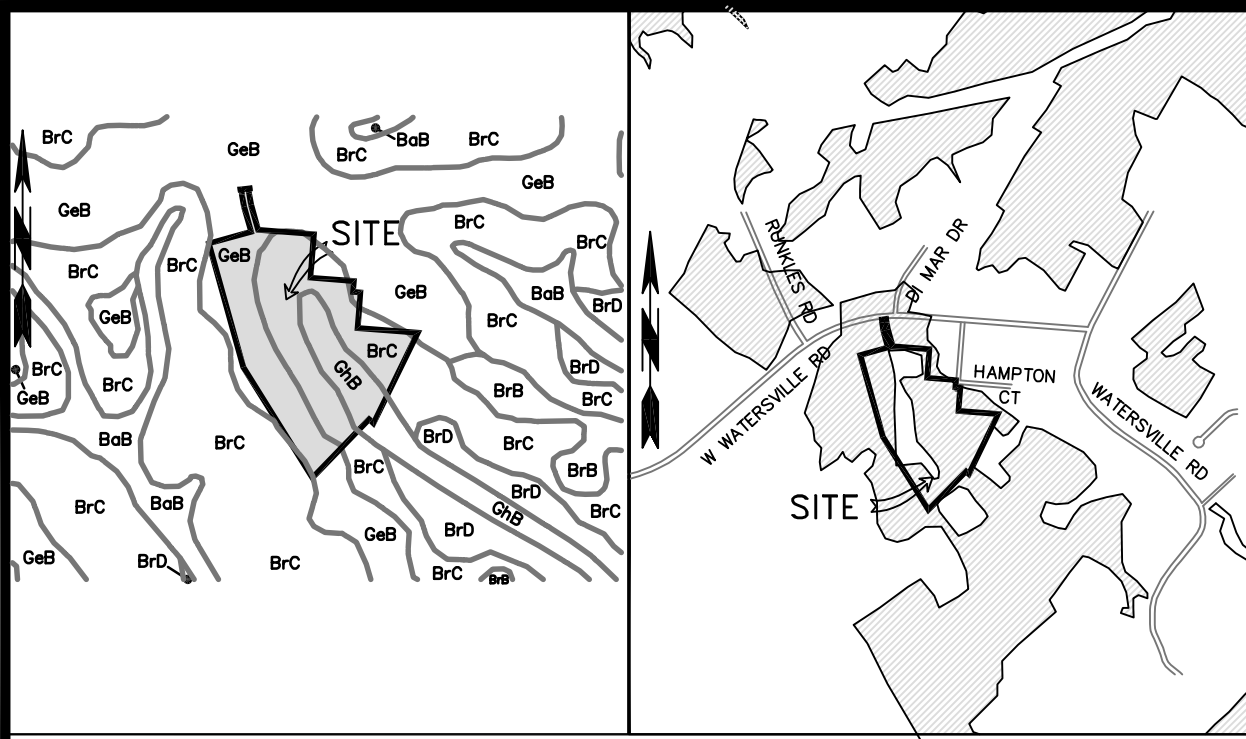
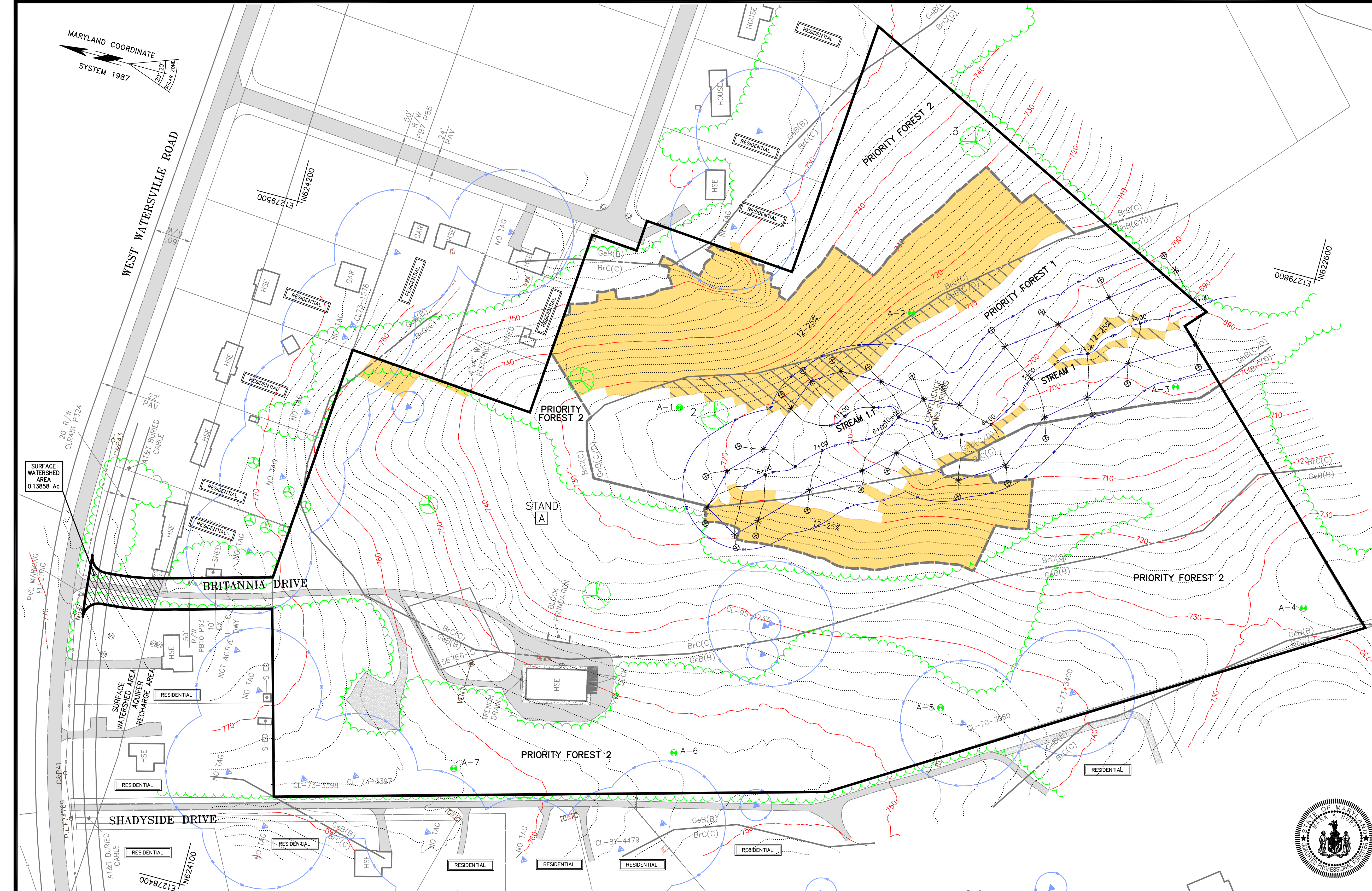
- [illegible]

ON BRITANNIA DRIVE NEAR Mt AIRY
13TH ELECTION DISTRICT CARROLL COUNTY, MD.

DRS ASSOCIATES
LAND DESIGN CONSULTANTS

52 WINTERS STREET WESTMINSTER, MARYLAND 21157
410-848-4060 410-876-6040

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SOILS MAP SCALE: 1"= 1320'					VICINITY MAP SCALE: 1"= 2000'				
SOIL TABLE									
UNIT	SERIES	GROUP	K-FACTOR	% HYDRIC					
BrB	BRINKLOW	C	.20	0					
BrC	BRINKLOW	C	.20	0					
BrD	BRINKLOW	C	.20	0					
BrE	BRINKLOW	C	.20	0					
GeB	GLENELG	B	.20	0					
GeC	GLENVILLE	C/D	.37	10					

CANDIDATE SPECIMEN TREE LEGEND		
TREE #	SIZE AND SPECIES OF TREE	COMMENTS
1	42" WHITE OAK	?
2	45" WHITE OAK	?
3	49" (QUAD TRUNK)	?

FOREST STAND LEGEND		
Cable Line	C	Cable Marker
Carbonate Rock	CR	Coniferous Tree
Center Line Rd	CL	Deciduous Tree
Curb		
Easement	E	
Electric		
Edge of Rd		
Edge of Shoulder		
Feature separation distance in feet		
Fencing	X	Dry Well
Forest		
Forest Cons. Esmt.		Electric Transformer
Forest Priority		Fire Hydrant
Forest Stand Division		
Flow Line (Swale,Ditch,Waterway)		Flow Upon Ground
Gas Line		
Guardrail		Forest Sample Point
Index Contours		Forest Stand Identification
Intermediate Contours		
Limits of Disturbance		
Lot Line		
Overhead Lines		Inlet
Plot Outline		Mail Box
Right-Of-Way Line		Manhole
Septic Area		Pole Light
Set Back Line		Shrub
Sewer Line		Sign / FCE Sign
Soil Type		Sinkhole
Storm Drain Line		Specimen
Stream		Candidate Tree
Stream Intermittent		Spring
Stream Intermittent Soil Survey		Structure
Stream Buffer		
Telephone		Telephone Pedestal
Underground Cable		Utility Pole
Wetlands Buffer		Utility Pole w/Guy Wire
Zoning Line		Well
		Rip-Rap/Gravel
		Rock Outcrop
		Septic Area
		Slopes 12%-25%
		Slopes >25%

GENERAL NOTES:

- Current Title Reference:
- Owner: Wayne John Miller
County Land Record 9704 Page 138
2020-May-05
Grantor: Wayne J. Miller
- Map 76, Grid 01, Parcel 255
- Zoning District: Agricultural
- National Flood Insurance Rate: Map 240015 0125 B (No Floodplain)
- The topography shown hereon was field run by DRS Associates dated July 28, 2020 and supplemented with data flown by Carroll County Bare Earth LIDAR Data Spring 2006 and based on NAVD88 U.S. Feet.
- The horizontal datum shown hereon is based on Maryland Coordinate System of 1987 U.S. Feet.
- Total area of Property: 29.61288 Ac
- Total area of FIRM 100 year flood plain: 0.00 Ac
- Total area of on-site forest: AC
- The reservoir watershed is 2130908.
- The on-site streams are Use III.
- Tier II Waters on site. No Assimilative Capacity Remaining.

VARIABLE-WIDTH STREAM BUFFER CALCULATIONS														
STREAM #1 LEFT BANK										STREAM #1 RIGHT BANK				
STREAM BUFFER (FT.)	SLOPES >25% (FT.)	WETLANDS (FT.)	ADDITIONAL STREAM VALLEY BUFFER (FT.)	AVERAGE STREAM VALLEY SLOPE (FT./100FT.)	STREAM VALLEY ELEV (FT.)	STREAM BANK ELEV (FT.)	MINIMUM BUFFER (FT.)	STATION		MINIMUM BUFFER (FT.)	STREAM BANK ELEV (FT.)	STREAM VALLEY ELEV (FT.)	ADDITIONAL STREAM VALLEY BUFFER (FT.)	WETLANDS (FT.)
64.02	0.00	0.00	14.02	7.01	696.51	689.50	50.00	Stream 1		50.00	689.51	699.77	10.26	20.52
68.20	0.00	0.00	18.20	9.10	700.61	691.51	50.00	1+00.00		50.00	691.51	700.77	9.26	18.52
69.52	0.00	0.00	19.52	9.76	703.81	694.05	50.00	2+00.00		50.00	694.05	702.38	8.33	16.66
66.22	0.00	0.00	16.22	8.11	705.41	697.30	50.00	3+00.00		50.00	697.30	705.34	8.04	16.08
70.50	0.00	0.00	20.50	10.25	710.25	700.00	50.00	4+00.00		50.00	700.00	704.96	4.96	9.92
73.92	0.00	0.00	23.92	11.96	713.20	701.34	50.00	5+00.00		50.00	701.34	706.59	5.25	10.50
66.04	0.00	0.00	16.04	8.02	710.49	702.47	50.00	6+00.00		50.00	702.47	706.59	4.12	8.24
68.80	0.00	0.00	18.80	9.40	715.51	706.11	50.00	7+00.00		50.00	706.11	710.04	3.93	7.86
66.60	0.00	0.00	16.60	8.30	720.55	712.25	50.00	8+00.00		50.00	712.25	719.04	6.79	13.58
50.00	0.00	0.00	0.00	0.00	0.00	0.00	50.00	9+00.00		50.00	713.87	719.04	5.17	10.34
75.44	0.00	0.00	25.44	12.72	728.58	715.86	50.00	10+00.00		50.00	715.86	722.47	6.61	13.22
79.52	0.00	0.00	29.52	14.76	731.07	716.31	50.00	11+00.00		50.00	716.31	720.80	4.49	8.98
50.00	0.00	0.00	0.00	0.00	0.00	0.00	50.00	12+00.00		50.00	702.44	712.58	10.14	20.28
50.00	0.00	0.00	0.00	0.00	0.00	0.00	50.00	13+00.00		50.00	705.75	719.89	14.14	28.28
50.00	0.00	0.00	0.00	0.00	0.00	0.00	50.00	14+00.00		50.00	708.97	723.49	14.52	29.04
50.00	0.00	0.00	0.00	0.00	0.00	0.00	50.00	15+00.00		50.00	709.64	720.80	11.16	22.32

WATER RESOURCE MANAGEMENT AREAS LEGEND														
AQUIFER RECHARGE AREAS										29.47430 ACRES				
Municipal well existing										NONE				
Municipal spring existing										NONE				
Municipal well proposed										NONE				
Municipal Wellhead Protection area										NONE				
CARBONATE ROCK AREA										NONE				
SURFACE WATERSHED AREA										0.13858 Ac				
SURFACE WATER MANAGEMENT ZONE										NONE				
2500 Reservoir Buffer										NONE				
5000 Upstream radius to water intake										NONE				
3000 Upstream radius to water intake										NONE				
Variable Stream Buffer										2.32159 ACRES				

Forest Stand Delineation

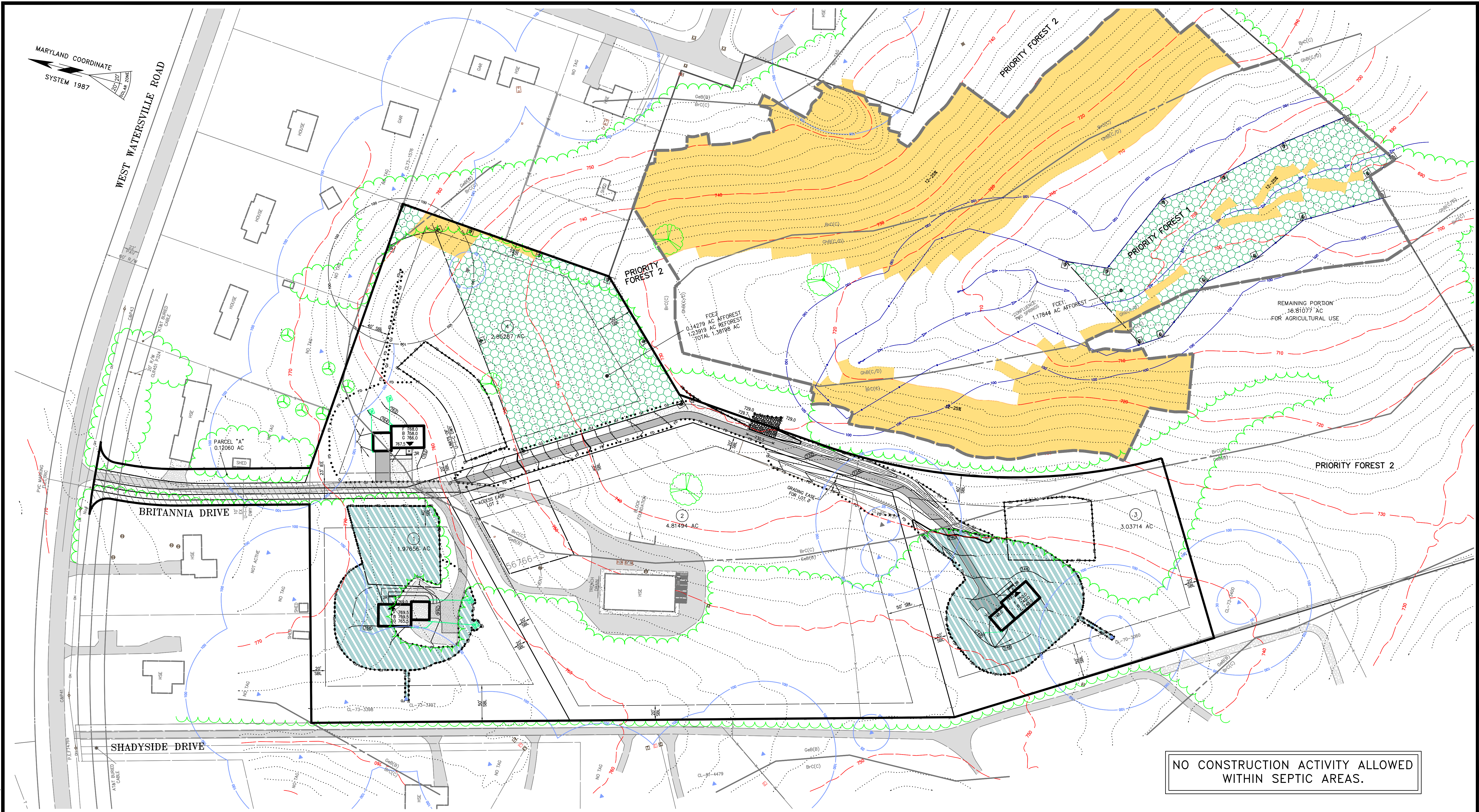
This Forest Stand Delineation (FSD) has been prepared for the 5.42505 acres of forest within 12.80211 acre Net Tract Area of Britannia Estates, in addition to a Simplified Forest Stand Delineation for the remaining 16.12822 forested acres on the Remaining Portion which is located on the south side of West Watersville Road, at the intersection of Britannia Drive and West Watersville Road, as shown on Carroll County Tax Map 076 Grid 01 Parcel 0255. This FSD has been prepared for the entire 21.55327 acres existing forest on the irregularly shaped Britannia Estates which is contiguous to 135 additional acres located predominantly on the south side of the property, however, a full FSD was prepared for the forested portion of the property. The highest point on the property is situated along the 50 foot wide access to West Watersville Road at elevation of 776 feet on the north side and slopes to the south with a low point of 688 feet along the southern boundary and in the Unnamed Tributary to South Branch Potomac River. Runoff from Britannia Estates drains to the South Branch Potomac River which has a designated stream use class III, within the South Branch Potomac Watershed, Basin Code 02130908 and located in Tier II of Maryland's High Quality Waters 2022 with no assimilative capacity remaining. No base flood elevation is shown on FEMA Flood Insurance Rate Map (FIRM) 24013C02900, effective 2015-10-02. Soil types for the property consist of Glenelg, Brinklow and Glenville series which are classified as Hydrologic Soil Group B, C and C/D, respectively. Glenelg series soils are loam and channery loam 3 to 8% slopes which are known to be moderately well draining when saturated and increased depth to bedrock. Brinklow series soils are channery loam 3 to 25% slopes which are known to be slower draining and shallow depth to bedrock. Glenville series silt loam 3 to 8% slopes which are known to be slower draining in drained areas and very slow draining in undrained areas and is the only soil which exhibits a K factor value of 0.37 and is 10% hydric. No rare or threatened flora or fauna was observed, nor any historic structures found on the property. We are including a letter from Maryland Department of Natural Resources regarding the existence of rare, threatened or endangered flora and fauna. Britannia Estates is mostly forested, early to middle successional stage, with 21.55327 acres on site and part of a contiguous forest of 156 acres. The forest is one stand, dominated by Birch (American Hornbeam), Cherry (Black), Oaks (Black, Chinquapin and White varieties), with minimal invasive species, with flatter slopes and increased leaf mat depth on the west side of the on site forest. The forest is thick with young trees, ranging from 200 to 380 trees per acre, averaging 269 trees per acre among the seven sample plots taken, few larger caliper trees greater than 12 inches and most less than 12 inches. Three specimen trees were found on the property and all noted standing dead trees, averaging 20 per acre. Tree canopy covers 75% of forest floor and young seedlings are birch, oaks, and a few evergreens. The forest floor has minimum coverage of herbaceous species throughout the forest, averaging 5%. Forest along the stream which exhibits steeper slopes would be Priority 1 for retention and all others, Priority 2 for retention.

FOREST STAND DELINEATION
BRITANNIA ESTATES

ON BRITANNIA DRIVE NEAR MT AIRY
13TH ELECTION DISTRICT CARROLL COUNTY, MD.
DRS ASSOCIATES
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Landscape Design Data

Landscape Manual: Carroll County Part Two: Landscaping Requirements

- I. Residential
- A. Parking Lots.....N/A
- B. Rear/Side Yard Adjacent to Streets
1. Local System Roadways and Minor Arterials
- a. Screening of a dwelling unit is required where rear or side lot lines abuts a public right of way. Screening shall comply with "Class A" requirements. A minimum 15 foot landscape area is required from the property line.....N/A
- b. If fencing is utilized, it shall be set back 15 feet from the right-of-way in conjunction with trees and shrubs. The required trees and shrubs shall be provided on the street side of the fence.
2. Intermediate and Principal Arterials.....N/A
- Total Planting Units Required.....0.00PU

FOREST CONSERVATION WORKSHEET

- A. Area of Forest Clearing: 1.23919 Ac
- B. Area Reforestation Required: 1.23919 Ac
- (Forest which is cut or cleared, measured to the nearest one-tenth acre, shall be reforested at at ratio of one acre planted or blanketed for every one acre of forest removed.)
- C. Total Area of Property: 29.61288 Ac
- Area Remaining Portion: 12.80211 Ac
- D. Area of Threshold (zoning category "A"-20%): 2.56042 Ac
- E. Area of Forest within Net Tract: 5.42505 Ac
- F. Area of Forest to be Retained (E-A=): 4.18586 Ac
- G. Area of Forest Credit (B+F): 5.42505 Ac
- H. Afforestation Required (D-G): -2.86463 Ac
- (Afforestation may be addressed by retaining in an forest easement that is within the net tract area, planting, or banking. If H<0, no additional afforestation is required.)

"This plan is in compliance with the requirements of the Code of Carroll County Chapter 150 Forest Conservation. Any disturbance beyond those limits delineated on this plan may require the developer or lot owner to address the penalties and or requirements of Carroll County Chapter 150."

General Note

1. Current Title Reference:
Owner: Wayne John Miller
County Land Record 9704 Page 138
2020-May-05
Grantor: Wayne J Miller
2. Contact Person
Wayne John Miller
7008 HAMPTON CIRCLE
MT AIRY, MD 21771
443-375-2294
3. Map 76, Grid 01, Parcel 255
4. Zoning District: Agricultural
5. National Flood Insurance Rate: Map 240015 0125 B (No Floodplain)
6. The topography shown hereon was field run by DRS Associates dated July 28, 2020 and supplemented with data flown by Carroll County Bare Earth LIDAR Data Spring 2006 and based on NAVD88 U.S. Feet.
7. The horizontal datum shown hereon is based on Maryland Coordinate System of 1987 U.S. Feet.

Legend

- Area of clearing
- Forest Conservation Easement
- Forest Disturbance.....
- Forest Priority

FOREST CONSERVATION & LANDSCAPE PLAN BRITANNIA ESTATES

ON BRITANNIA DRIVE NEAR MT AIRY
13TH ELECTION DISTRICT CARROLL COUNTY, MD.
DRS ASSOCIATES
LAND DESIGN CONSULTANTS
52 WINTERS STREET WESTMINSTER, MARYLAND 21157
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