- 3. THE PROPERTY SHOWN HEREON IS OWNED BY: LONG MEADOW FARM 21784 LLC
- 4. TAX MAP: 73 GRID: 12 PARCEL: 262
- 5. DEED REFERENCE: 07240 / 00219
- 6. PROPERTY BOUNDARY AND EXISTING TOPOGRAPHY SHOWN PER FIELD SURVEY BY SAMS COMPANIES (FORMERLY MTPLS, INC.) DATED 11/2021.
- 7. LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION ARE EXISTING HYDRANTS LOCATED ON ROLLING VIEW DR. AND LONGMEADOW DR. ADDITIONAL HYDRANTS ARE PROPOSED ON SITE AS PART OF THIS SITE DEVELOPMENT PLAN TO ADDRESS FIRE PROTECTION REQUIREMENTS
- 8. THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND WERE BASED ON ARCHIVAL DRAWINGS PROVIDED BY CARROLL COUNTY AND/OR THE STATE OF MARYLAND. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES TO THEIR SATISFACTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY RESULTING FROM ANY INACCURACIES THEREON.
- 9. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES, AND NOT COMMENCE WORK UNTIL ALL UTILITIES HAVE BEEN CLEARLY MARKED.
- 10. THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- 11. NOTE: ALL PROPOSED SPOT ELEVATIONS ARE LOCATED AT BOTTOM OF CURB AND ALL DIMENSIONS ARE TO FACE OF CURB UNLESS LABELED OTHERWISE.
- 12. THE COORDINATES SHOWN HEREON ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM - NAD 83 (2011) AND ARE BASED UPON THE FOLLOWING CONTROL STATIONS:

DESIGNATION	NORTH (SFT)	EAST (SFT)	ELEV.
"BEVARD"	633722.46	1326946.06	615.11
"BEVARD AZ"	633573.26	1328331.51	583.43

- 13. THERE IS AN EXISTING COUNTY REGULATED FLOODPLAIN AS WELL AS WETLANDS, STREAMS AND ASSOCIATED
- 14. THE SITE IS APPROXIMATELY 10,000' FROM THE NEAREST PRODUCTION WELL
- 15. NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR
- EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY
- 16. UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES ONCE APPROVAL HAS BEEN GRANTED.
- 17. ENTRANCE CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THAT OFFICE AT 410-386-2157 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING WORK IN OR ALONG ANY PUBLIC ROAD.
- 18. CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF UTILITIES AT 410-386-2164 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON PUBLIC WATER OR SEWER WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS
- 19. THE SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND MANAGEMENT AREA. IF THE PROPOSED USE OF ANY BUILDING IS TO INCLUDE THE STORAGE OR USE OF REGULATED SUBSTANCES, THE REQUIREMENTS OF CHAPTER 154, WATER RESOURCE MANAGEMENT OF THE CARROLL COUNTY CODE OF PUBLIC LOCAL LAWS AND ORDINANCES MUST BE ADDRESSED.
- 20. THE PROPERTY IS LOCATED IN THE FREEDOM PRIORITY FUNDING AREA (PFA).
- 21. VARIABLE WIDTH STREAM BUFFER DELINEATION AND SUBSEQUENT EASEMENT DEDICATION ARE BEING ADDRESSED UNDER ELDERSBURG CORPORATE PARK (S-23-0022) SITE PLAN. IF THIS PLAN IS APPROVED PRIOR TO SITE PLAN (S-23-0022). ALL REQUIREMENTS OF CHAPTER 154 MUST BE ADDRESSED ON THIS PLAN FOR ANY WATER RESOURCES ON SITE.
- 22. IMPACTS TO WATER RESOURCES RESULTING FROM THE ROAD CONSTRUCTION AND STREAM CROSSING ARE BEING ADDRESSED UNDER ELDERSBURG COPORATE PARK (S-23-0022) SITE PLANS. F THIS PLAN IS APPROVED PRIOR TO SITE PLAN (S-23-0022), ALL REQUIREMENTS OF CHAPTER 154 MUST BE ADDRESSED ON THIS PLAN FOR ANY WATER RESOURCES ON SITE.
- 23. MAXIMUM NUMBER OF LOTS PERMITTED ON PARCEL PER ZONING = 45
- TOTAL NUMBER OF PROPOSED LOTS = 34
- 24. THERE ARE NO TRAIL BLAZER ROUTE/ STOPS NEAR THE SUBJECT PROPERTY.

# CONCEPT MAJOR SUBDIVISION PLANS

A CLUSTER SUBDIVISION

# RESERVOIR RUN SUBDIVISION PLANS

TAX MAP #73, GRID #12, PARCEL #262 **ELECTION DISTRICT: 5** CARROLL COUNTY, MARYLAND

LONG MEADOW FARM 21784 LLC 741 KLEES MILL RD WESTMINSTER, MD 21157 (410) 369-1207

TRIP GENERATION:

#210 SINGLE-FAMILY UNIT

28 AM PEAK HOUR TRIPS

36 PM PEAK HOUR TRIPS

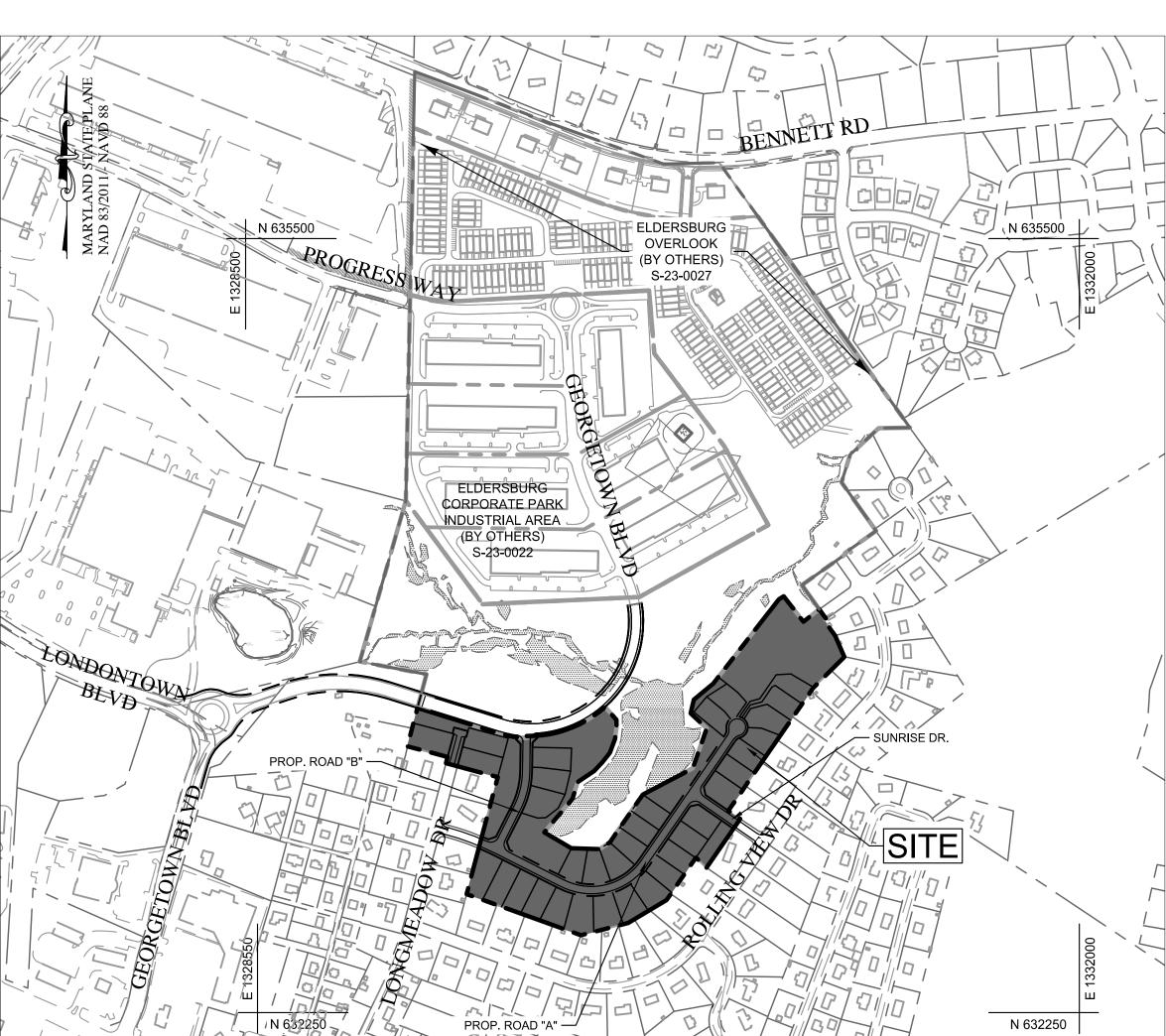
39 SATURDAY PEAK HOUR TRIPS \*

374 AVERAGE DAILY TRIPS (ADT)

ITE TRIP GENERATION MANUAL (11<sup>TH</sup> EDITION) METHODOLOGY

<u>DEVELOPER ADDRESS</u> ST. JOHN PROPERTIES INC 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 369-1207

ELDERSBURG, MD 21784



**LOCATION MAP** 

SCALE: 1"=400'

GAILA LOAM

GLENELG LOAM

MANOR LOAM

MANOR LOAM

SOILS FROM CUSTOM SOIL REPORT FROM

NRCS WEB SOIL MAPPING SERVICE

SOIL CLASSIFICATION MAP No 48 & 49

DOWNLOADED AUGUST, 2022.

GLENVILLE SILT LOAM

#### LIST OF DRAWINGS

	Title Sheet
)	Legends And Abbreviations Shed

Legends And Abbreviations Sheet Overall Site Plan Existing Conditions And Demolition Plan Existing Conditions And Demolition Plan Existing Conditions And Demolition Plan

Site, Layout And Utility Plan Site, Layout And Utility Plan Site, Layout And Utility Plan

Grading Plan **Grading Plan** 

Grading Plan Sediment And Erosion Control Plan

Sediment And Erosion Control Plan

Sediment And Erosion Control Plan Sediment And Erosion Control Plan

Sediment And Erosion Control Plan Sediment And Erosion Control Plan

Sediment And Erosion Control Specifications

Sediment And Erosion Control Details

Landscape Plan Landscape Plan

Landscape Plan

Landscape Details

Concept Ultimate Conditions ESD Map Road A Sight Distance Exhibit

Road B Sight Distance Exhibit

Sunrise Drive Sight Distance Exhibit

Common Drive Layout Plan & Public Road Details Site Details

Open Space Plan

### DATA TABLE

- 1. ZONING DISTRICTS: R-20,000 (CLUSTER SUBDIVISION) 2. NUMBER OF LOTS PROPOSED: 34 SINGLE FAMILY
- TOTAL AREA OF SUBDIVISION: 20,71 Ac (902,053,37 S.F.) 4. TOTAL AREA OF BUILDABLE LOTS: 10.78 Ac (469,392 S.F.)

5. TOTAL AREA OF ROADS (PUBLIC) 2.57Ac.

_					
		OPEN SPACE	TABULATIONS		
Darcol	Darragi Arrag		Percentage of	Percentage of Non-	
Parcel Parcel Area		Area	Credited Area	Credited Area	
Parcel A	2.94	1.57	53.00%	47.00%	
Parcel B	0.27	0.08	30.00%	70.00%	
Parcel C	0.59	0.34	58.00%	42.00%	
Parcel D	1.10	0.70	64.00%	36.00%	
Parcel E	1.19	0.10	8.00%	92.00%	
-	6.00	2.70			

CREDITED AREA PER OPEN SPACE PARCEL IS ALL AREA NOT WITHIN STEEP SLOPES, STREAMS, PONDS, WATERCOURSES OR FLOODPLAINS

ACTIVE OPEN SPACE REQUIRED = 1.50 ac
ACTIVE OPEN SPACE PROVIDED = 1.65 ac WITHIN PARCEL A AND PARCEL C

A Kleinfelder Company

CONCEPT MAJOR SUBDIVISION PLANS FOR A CLUSTER SUBDIVISION

Title Sheet

# RESERVOIR RUN

TAX MAP 73 : GRID 12 : PARCEL 262

ELDERSBURG, MD



**ELECTION DISTRICT: 5** 

WATER RESOURCE MANAGEMENT NOTES

RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.

STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)

LAND SURVEYORS, LLC, NOVEMBER, 2021.

WATER MANAGEMENT AREA.

**DATA SOURCES** 

THIS PROPERTY DOES NOT FALL WITHIN A TIER II WATERSHED. THE PROPERTY IS WITHIN

A CLASS III WATERSHED, SURFACE WATER PROTECTION WATERSHED AND SURFACE

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD

2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED

3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS

4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND

5, DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009,

**PROFESSIONAL** CERTIFICATION

CARROLL COUNTY, MD

WERE PREPARED OR APPROVED BY ME. AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE

LICENSE NUMBER: 32574 EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024 SCALE: AS SHOWN DRAWING: PROJECT NUMBER: 00211253.001

of **31** 

#### STORMWATER MANAGEMENT NOTE

STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE CARROLL COUNTY POLICY FOR STORMWATER MANAGEMENT, AS SPECIFIED IN CHAPTER 151.015 THE CARROLL COUNTY CODE. THE STORMWATER FROM THIS SITE DRAINS INTO SNOWDENS RUN, A USE III STREAM. ACCORDINGLY, THE 100-YEAR STORM WILL BE MANAGED THROUGH A COMBINATION OF BIOSWALE, SUBMERGED GRAVEL WETLANDS, DRY WELLS AND QUANTITY POND.

OWNER 741 KLEES MILL RD WESTMINSTER. MD 21157

LONG MEADOW FARM 21784 LLC ST. JOHN PROPERTIES, INC. PHONE NO: 410-369-1207

DEVELOPER 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 **CONTACT: MATT TAYLOR** PHONE NO: 410-369-1207

**REVISIONS** 

Total 6.09 2.79

OPEN SPACE REQUIRED = 4.83 ac
OPEN SPACE PROVIDED = 6.09 ac
OPEN SPACE PROVIDED WITHIN CREDITED AREA = 2.79 ac

10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com

Reservoir Run Lots

Lot Area

17625

14540

14834

14657

15278

14380

11843

12654

12499

12036

11928

11918

12161

12542

14447

13593

15280

11294

12053

12057

14902

14846 11904

4

9

11

12

13

15

17

5460

5166

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7346

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8082

7839

7458

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6407

4720

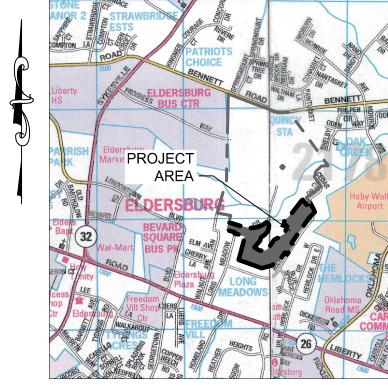
8706

7947

7943

5098 5154

8096



VICINITY MAP

A. DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.

B. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS. C. BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.

D. STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, 2008 EDITION, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.

E. MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.

F. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.

- ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.
- 2. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
- 3. CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
- 4. LOCATIONS OF EXISTING UTILITIES ARE SHOWN ONLY AS NOTIFICATION TO CONTRACTOR OF THE PRESENCE OF UNDERGROUND UTILITIES. CARROLL COUNTY AND THE DESIGN ENGINEER DO NOT WARRANT OR GUARANTEE CORRECTNESS OR COMPLETENESS OF INFORMATION SHOWN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY AT 1-800-257-7777 FOR VERIFYING EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY DAMAGE TO EXISTING UTILITIES DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
- 5. DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.
- 6. IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
- 7. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLIC WORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.
- 8. FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.
- 9. CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.
- 10. DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS, COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.
- 11. INLET GRATES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.
- 12. PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
- 13. WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1.0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED ON PLANS.
- 14. ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED IN THE UTILITY PERMIT.
- 15. ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON THE TYPICAL SECTION ARE PLACED. INCLUDING THE FINISHED SURFACE COURSE, AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.
- 16. OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROW MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.
- 17. THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.
- 18. PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.
- 19. CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY PUBLIC RIGHT-OF-WAY.

#### **ABBREVIATIONS**

SITE LEGEND ZONE: C-2 Zoning Line APPROXIMATELY Property line with Bearing & Distance AVENUE AVE Adjoiner Property line BGE BALTIMORE GAS & ELECTRIC ——— ——— Existing Easement line C.O. CLEANOUT CAP CONCRETE ARCH PIPE -300 —— —— —— Existing Field Run Major Contour CUBIC FEET PER SECOND -299 ---- Existing Field Run Minor Contour CAST IRON -300 — — Existing GIS Major Contour CLEARANCE -298 — — — — Existing GIS Minor Contour CLEAR C.L.F. CHAIN LINK FENCE 13UC (A) Existing Soils Limits with HSG Designation CL IV CLASS IV CORRUGATED METAL ARCH PIPE Existing Storm Drain Line (Less than 24") with Manhole CMP CORRUGATED METAL PIPE CONC. CONCRETE Existing Storm Drain Line (24" and Greater) CHESAPEAKE & POTOMAC CENTER LINE Existing Storm Drain Inlets STORM DRAIN DETECTOR CHECK \_\_Ex 8" S \_\_\_\_\_\_ S \_\_\_\_\_\_ Existing Sanitary Sewer Line With Manhole D.I. DUCTILE IRON Existing Water Line With Valve D.I.P./DIP DUCTILE IRON PIPE DEPT DEPARTMENT Existing Gas Line With Valve DRAWING DWG E.B. EAST BOUND Existing Overhead Electric Lines with Pole **ELEC** ELECTRIC —— X —— X —— Existing Chainlink Fence ELEV ELEVATION ——//——//—— Existing Wood Fence **ESMT** EASEMENT — — — Existing Pavement Edge EX. EXISTING FIRE DEPARTMENT CONNECTION FF/FFE FINISHED FLOOR ELEVATION \_\_\_\_\_ Existing Sidewalk FIRE HYDRANT FEET PER SECOND G.W. **GUY WIRE Existing Structure** GALVANIZED HGL HYDRAULIC GRADE LINE H.B. HAND BOX Existing Treeline HORIZ HORIZONTAL HIGHWAY INLET **INVERT** LANE LOW PRESSURE Existing Non-tidal Wetlands MANHOLE MINIMUM NORTH 25' Non-tidal Wetlands Buffer N.B. NORTH BOUND — SB —— SB —— Stream Buffer NOT APPLICABLE ———————————————Flood Plain NORTH AMERICAN DATUM NORTH AMERICAN VERTICAL DATUM **Existing Street Light** OVERHEAD ELECTRIC Ex. Water Valve PKWY PARKWAY Ex. Water Meter PR./PROP. PROPOSED POLYVINYL CHLORIDE Existing Fire Hydrant QTY. QUANTITY Ex. Sanitary Cleanout RCCP REINFORCED CIRCULAR CONCRETE PIPE Limit of Field Run Topo RET RETAINING REV REVISION RD **ROOFDRAIN Proposed Minor Contour** SOUTH SANITARY S./SAN. S.B. SOUTH BOUND Proposed Structure SANITARY HOUSE CONNECTION SIDEWALK SCH SCHEDULE Proposed Pavement Edge STORM DRAIN SQUARE FEET Proposed Curb & Gutter STREET STD. STANDARD Proposed Sidewalk TCB TRAFFIC CONTROL BOX Proposed Retaining Wall TYP. **TYPICAL** Proposed Storm Drain with Manhole U/G UNDER GROUND UNKNOWN Proposed Storm Drain Inlets VERTICAL WEST WATER Proposed Sewer With Manhole WEST BOUND WATER HOUSE CONNECTION Proposed Site Lighting (by others) WATER METER Proposed Fire Hydrant

AS NECESSARY.

**OWNER** LONG MEADOW FARM 21784 LLC ST. JOHN PROPERTIES, INC. 741 KLEES MILL RD WESTMINSTER, MD 21157 PHONE NO: 410-369-1207

Proposed Water Reducer

**Proposed Water Valve** 

Proposed Sign

Proposed Paving

DEVELOPER 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 **CONTACT: MATT TAYLOR** PHONE NO: 410-369-1207

SEDIMENT CONTROL LEGEND

Limit of Disturbance

RSF Reinforced Silt Fence

Temporary Swale

AGIP At Grade Inlet Protection

SIP Standard Inlet Protection

COIP Combination Inlet Protection

IB Inlet Blocking

Removable Pumping Station

Stabilized Construction Entrance (SCE)

**DATA SOURCES** 

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.

2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED

3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS

LAND SURVEYORS, LLC, NOVEMBER, 2021.

4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)

5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009

A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLANS FOR A CLUSTER SUBDIVISION

Legends and Abbreviations Sheet

RESERVOIR RUN

ELDERSBURG, MD TAX MAP 73 : GRID 12 : PARCEL 262 **ELECTION DISTRICT: 5** CARROLL COUNTY, MD



**PROFESSIONAL** CERTIFICATION

WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE

LICENSE NUMBER: 32574 EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024 PROJECT NUMBER: 00211253.001

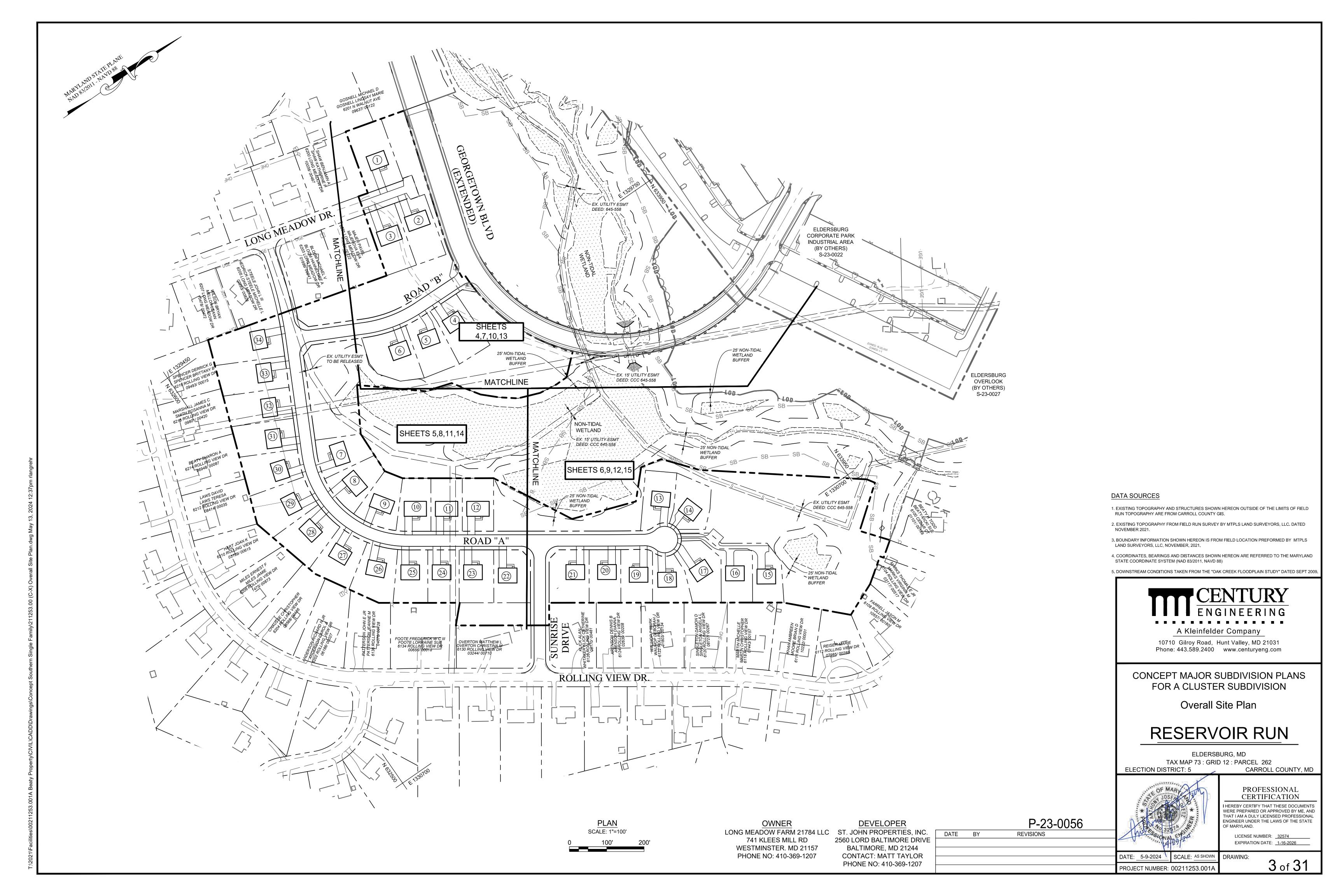
SCALE: AS SHOWN DRAWING: 2 of 31

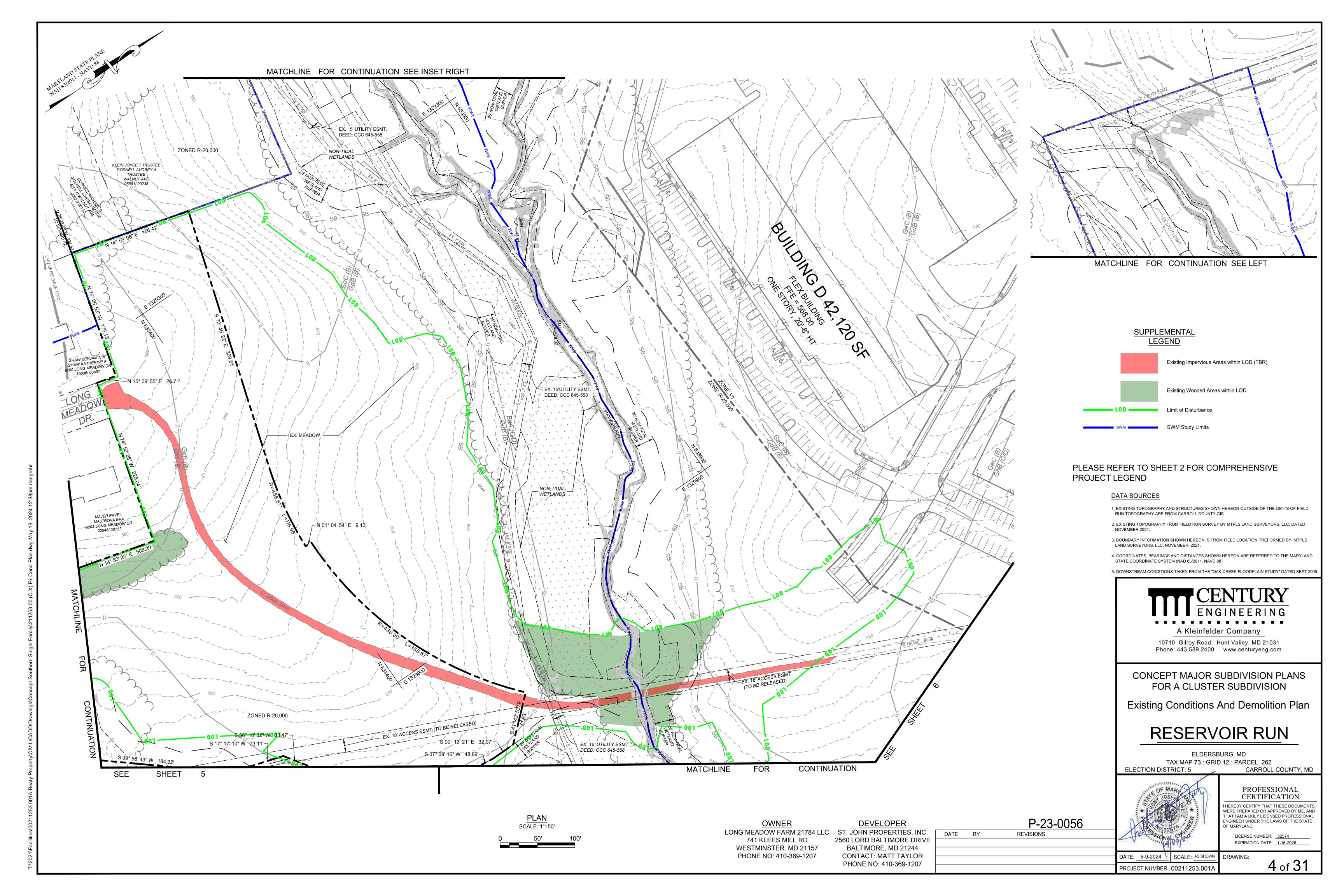
ALL ITEMS SHOWN IN LEGEND MAY NOT BE PRESENT ON ALL SHEETS. ADDITIONAL SUPPLEMENTAL LEGENDS MAY APPEAR ON INDIVIDUAL SHEETS

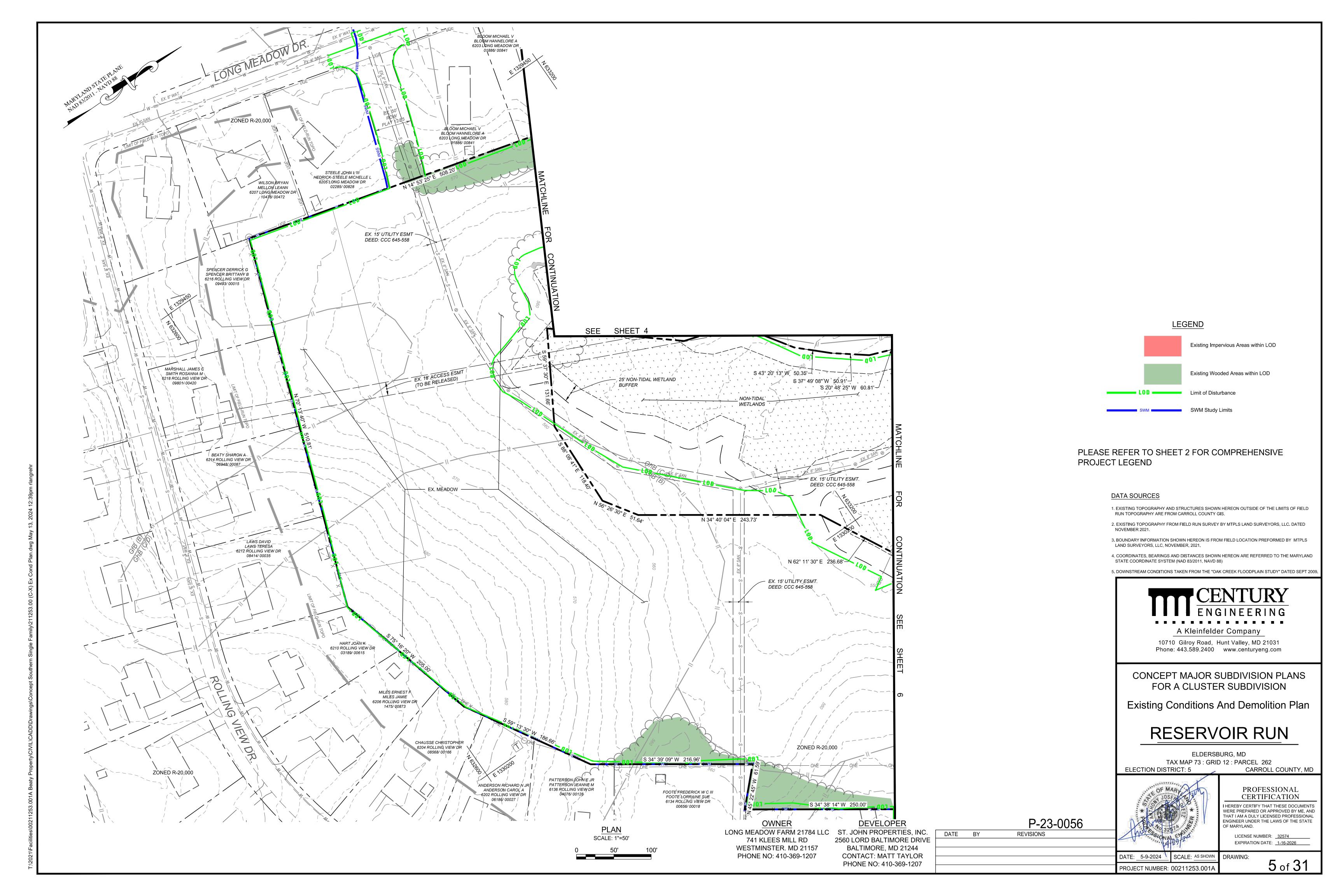
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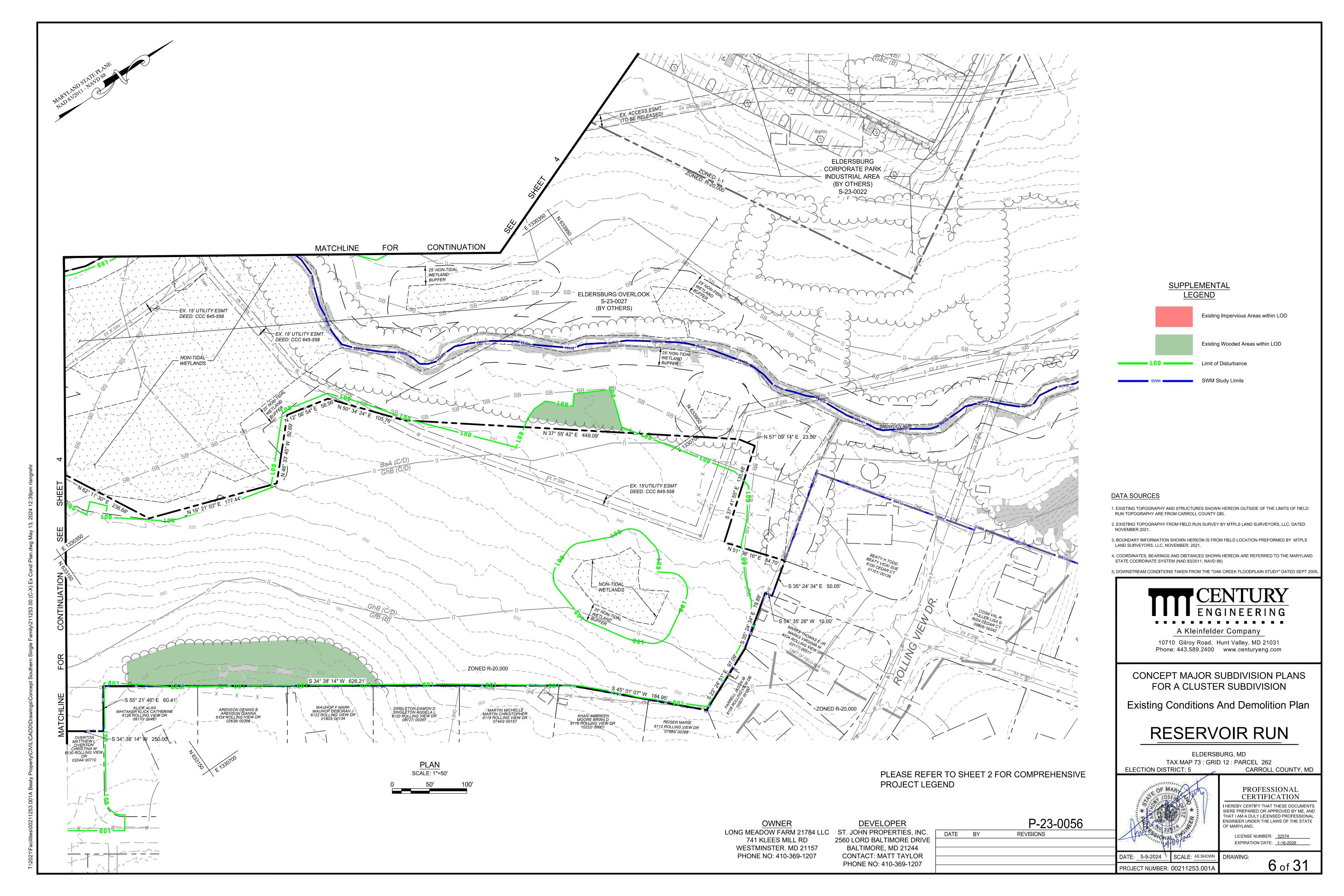
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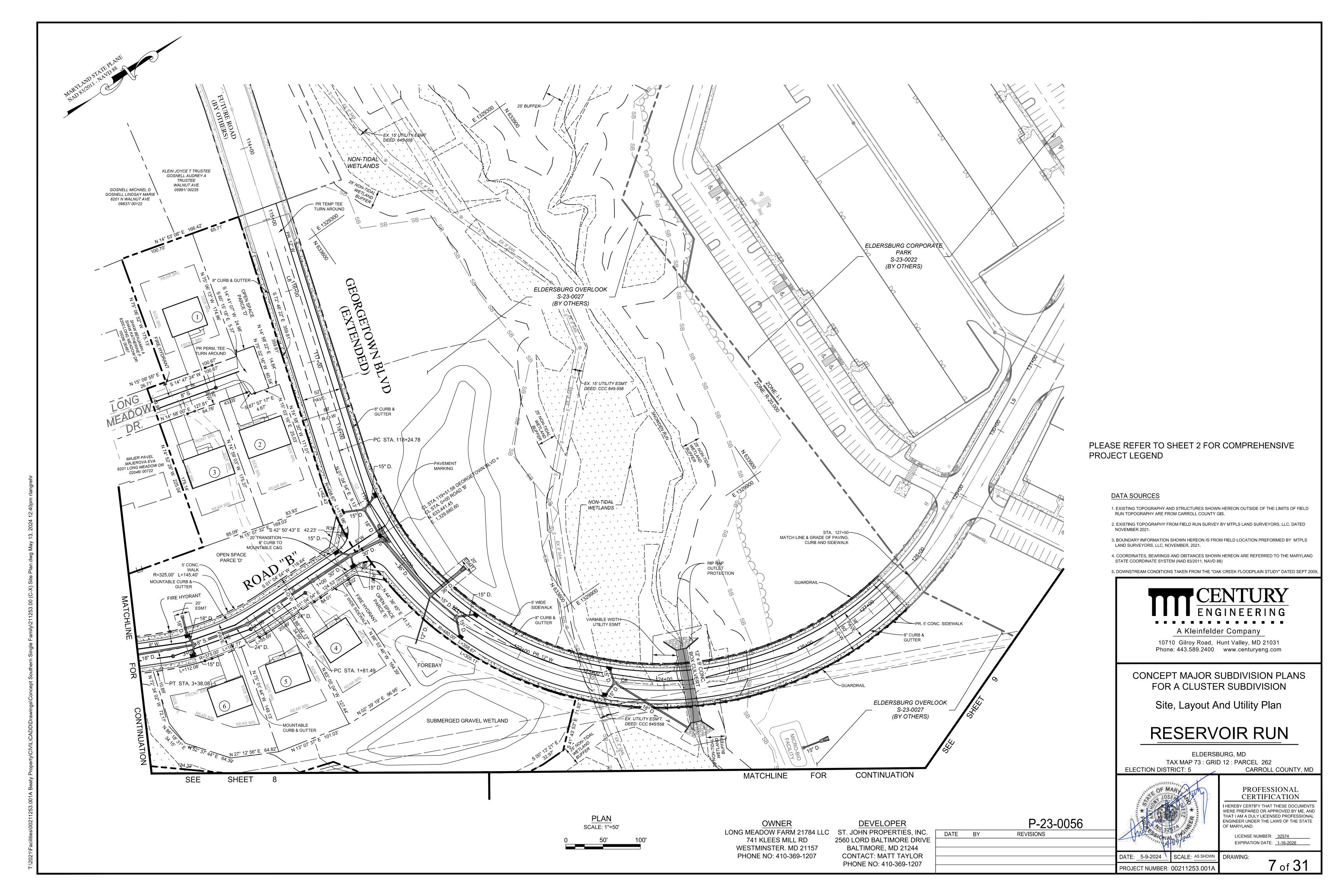
**REVISIONS** 

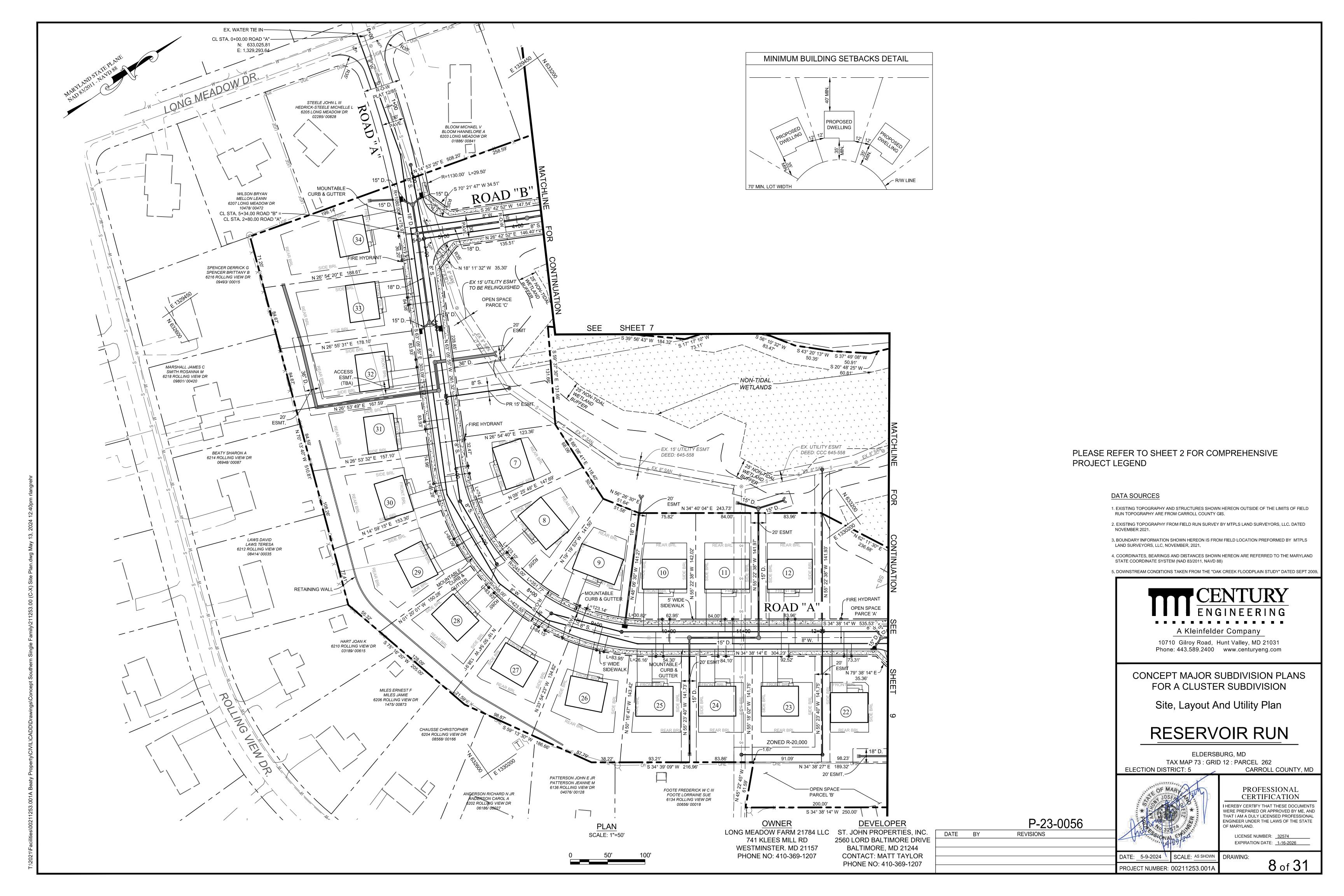


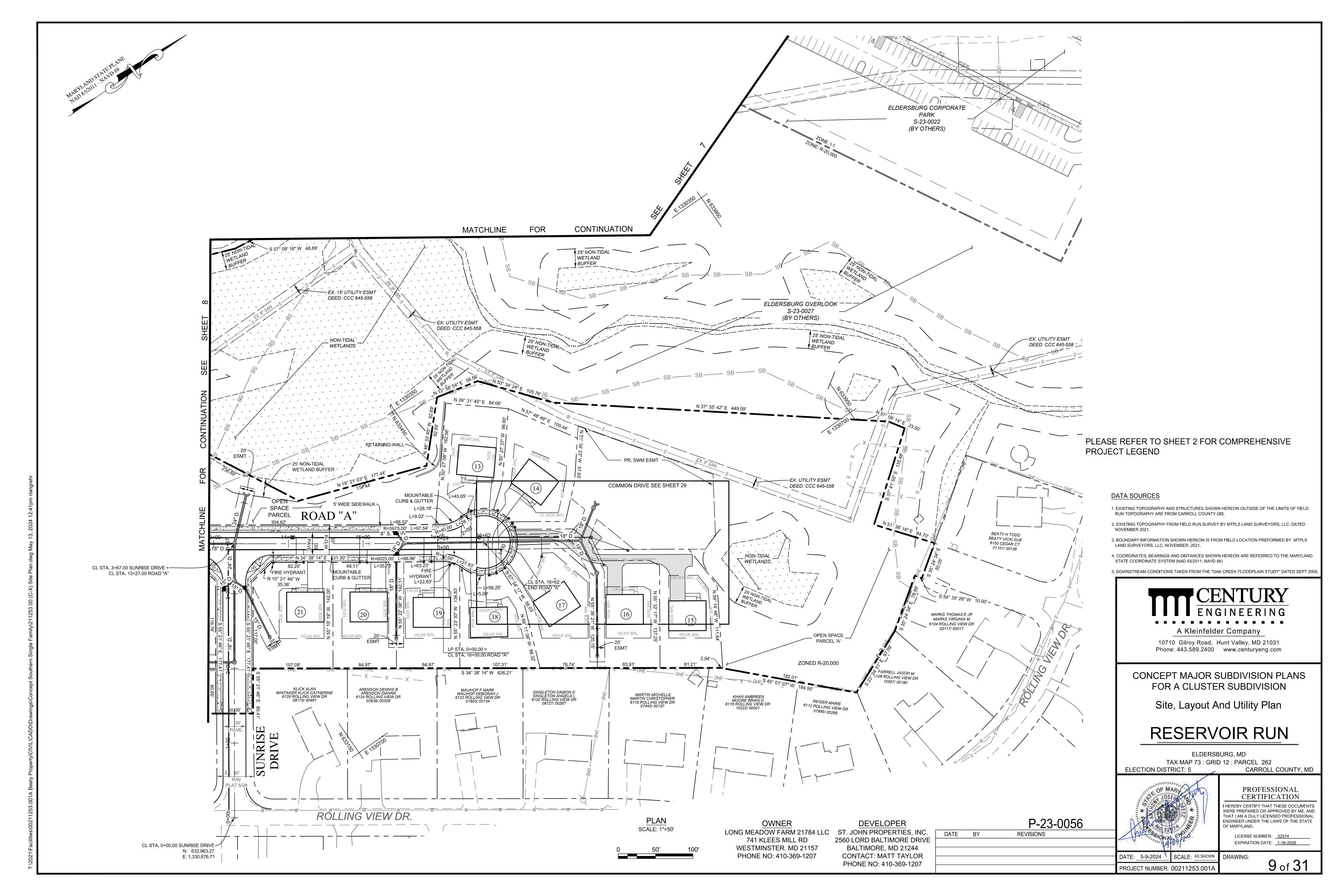


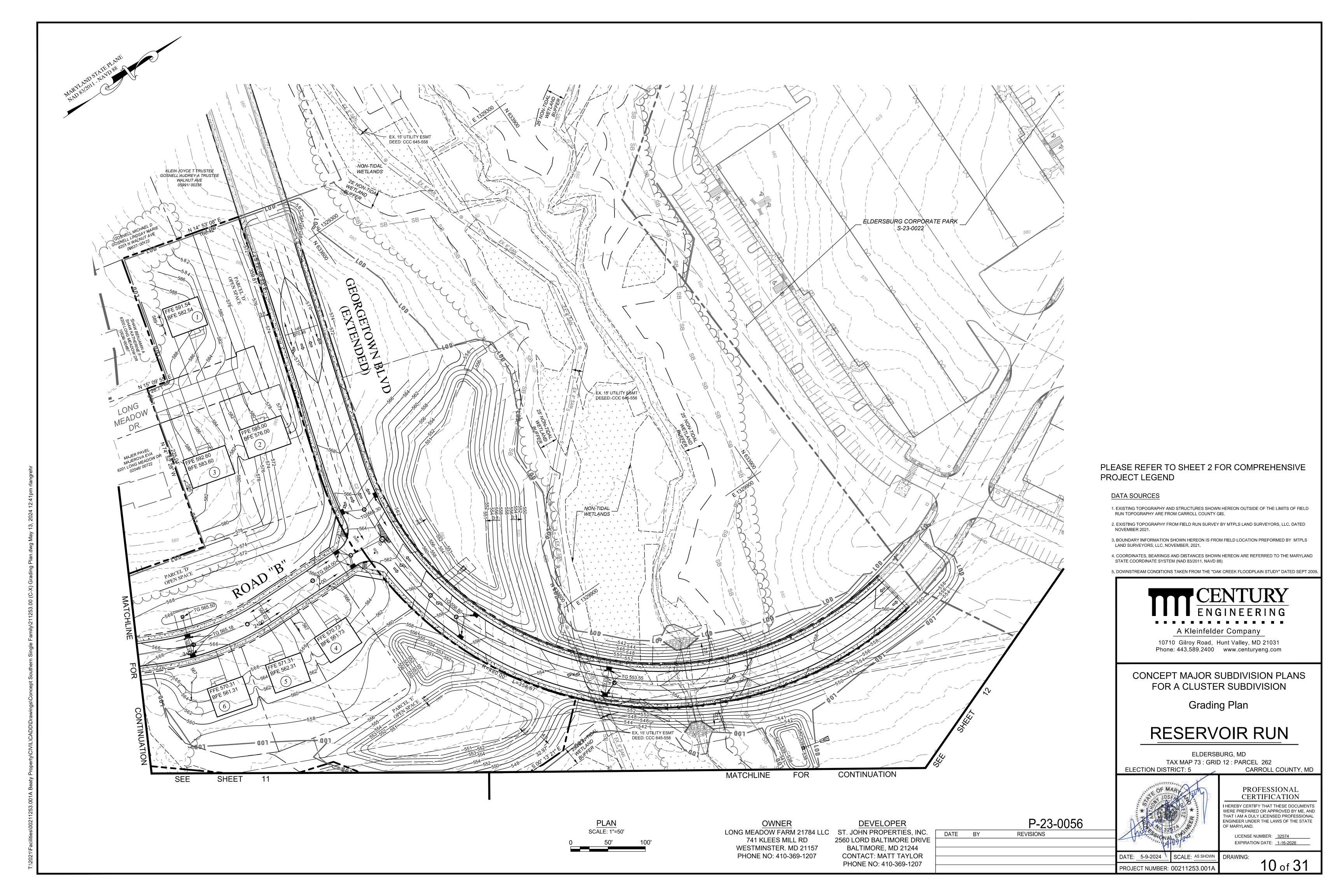


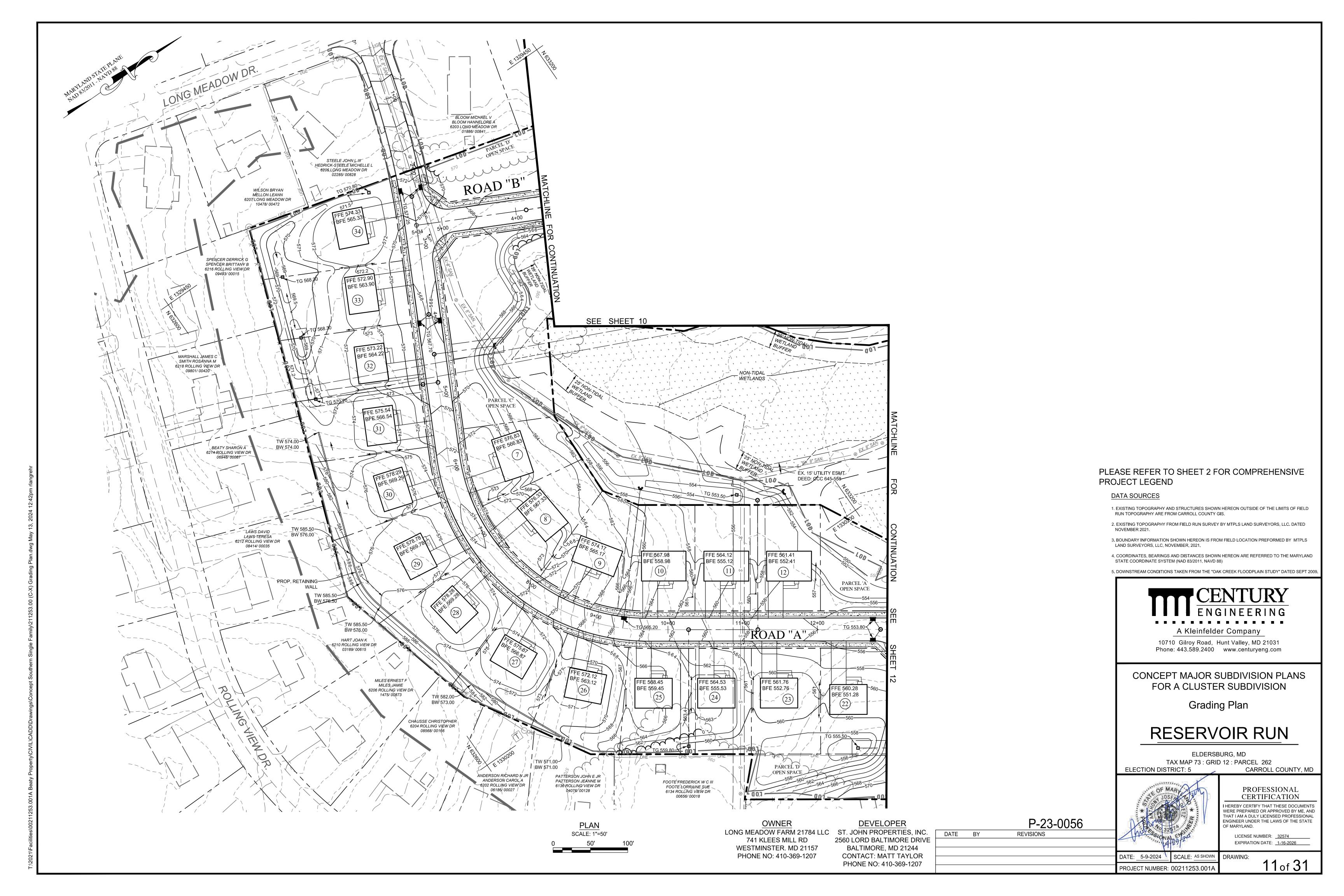


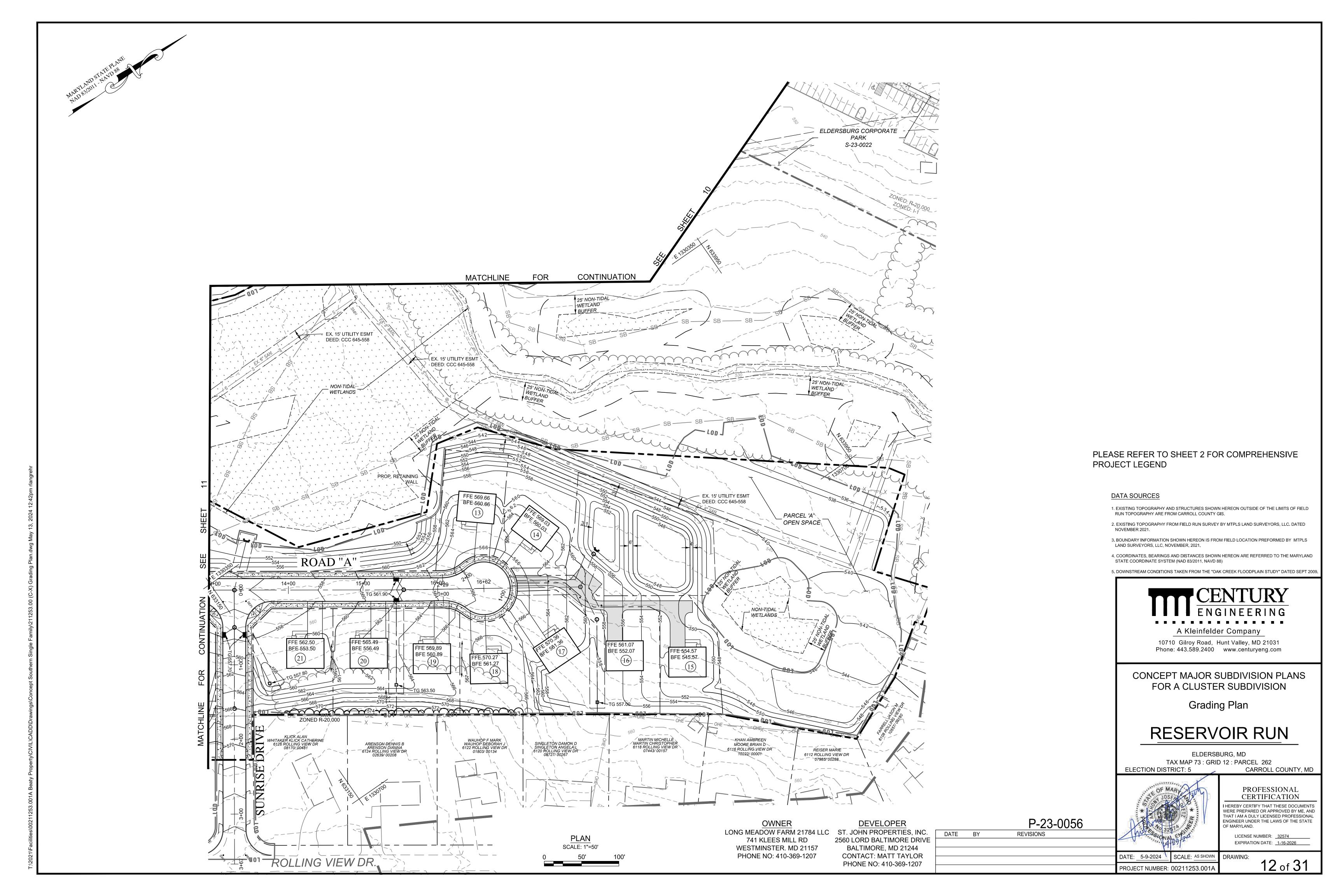


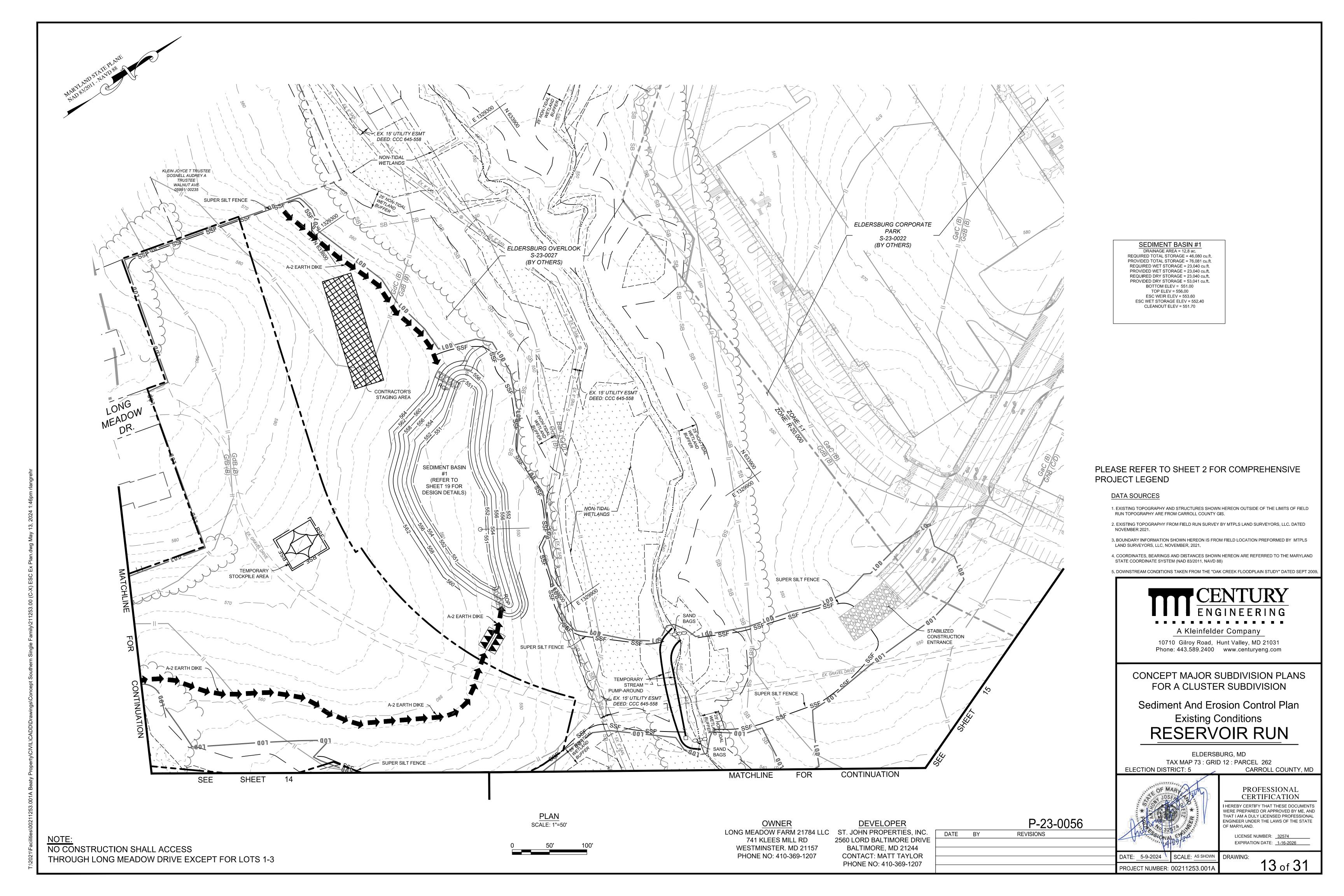


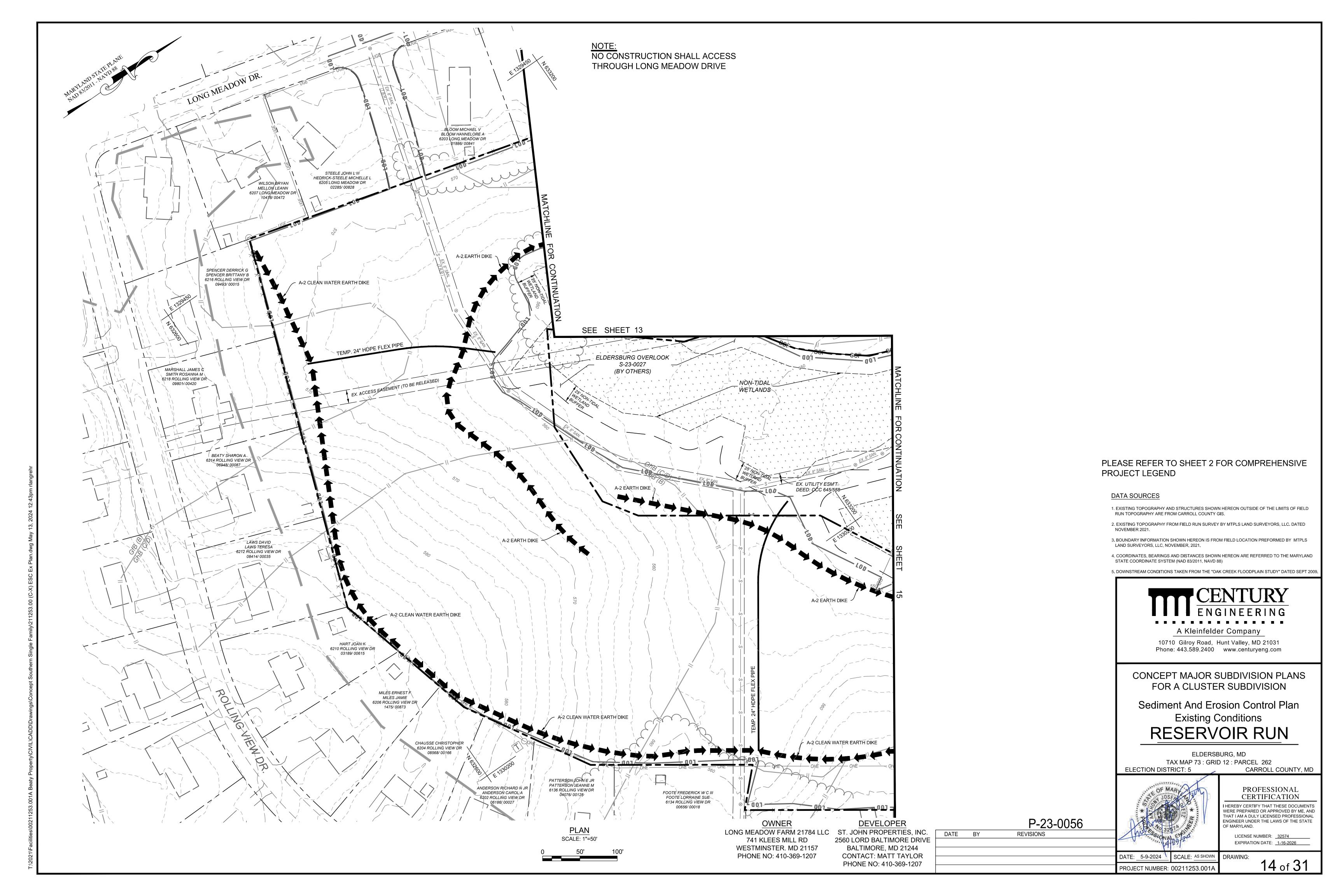


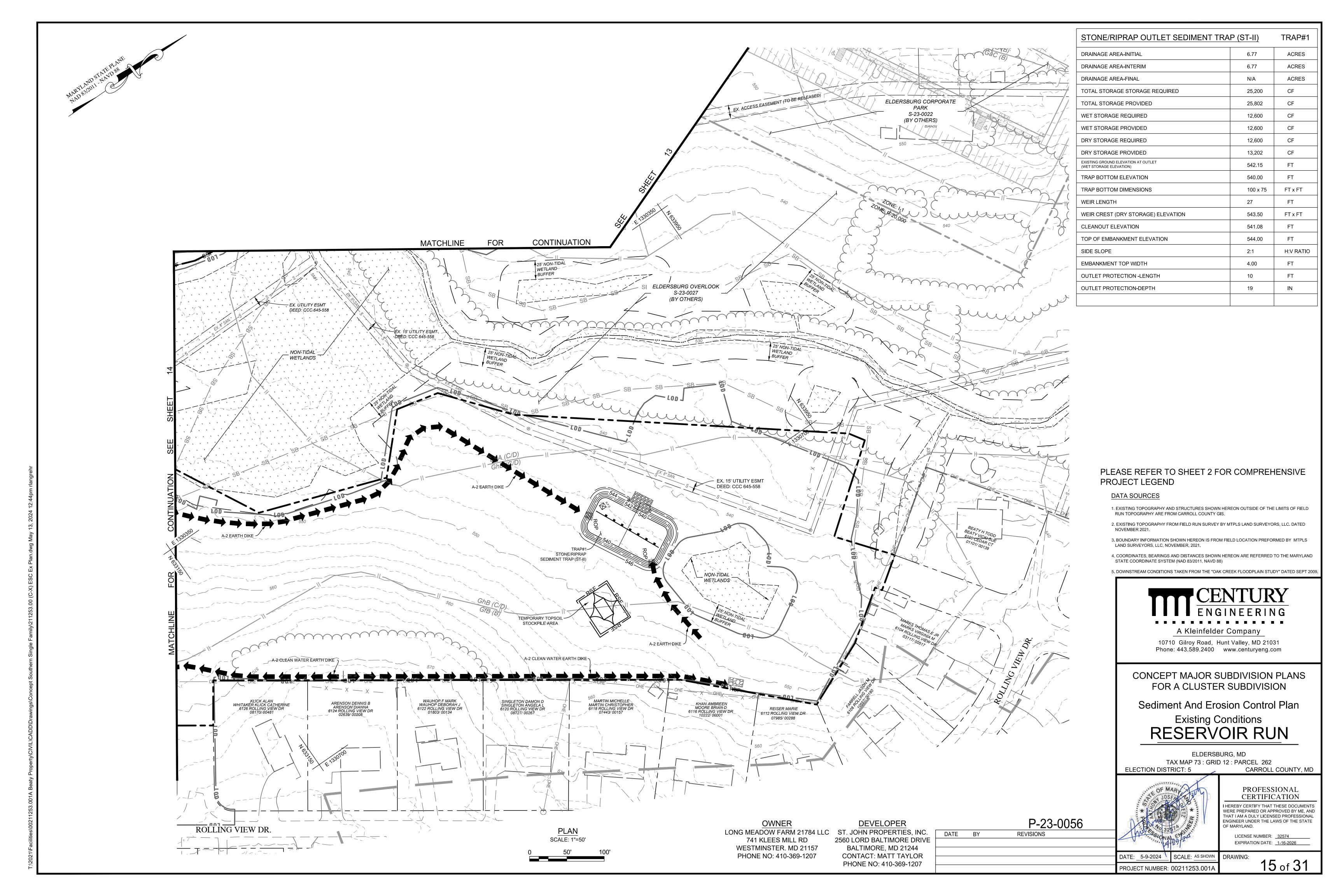


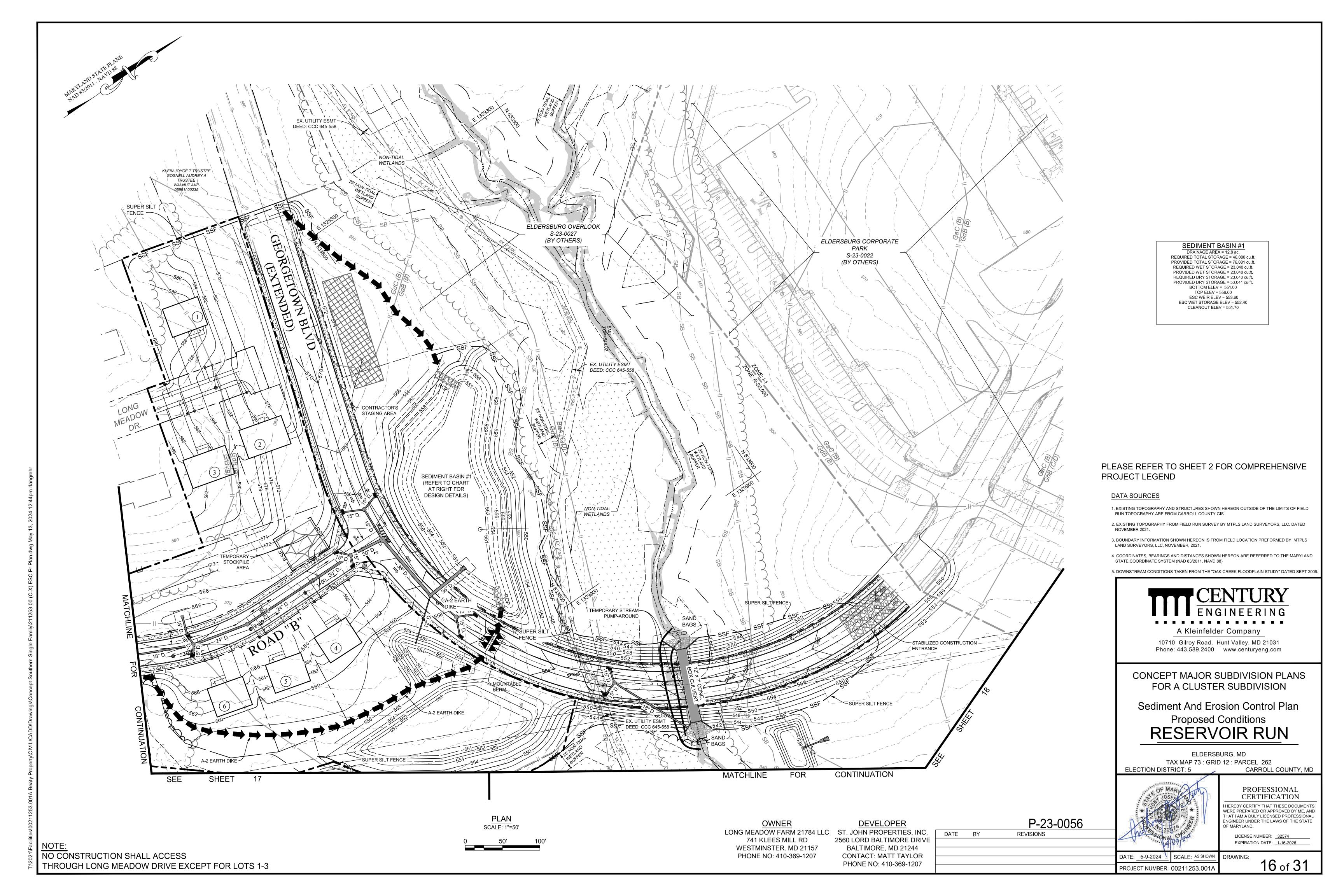


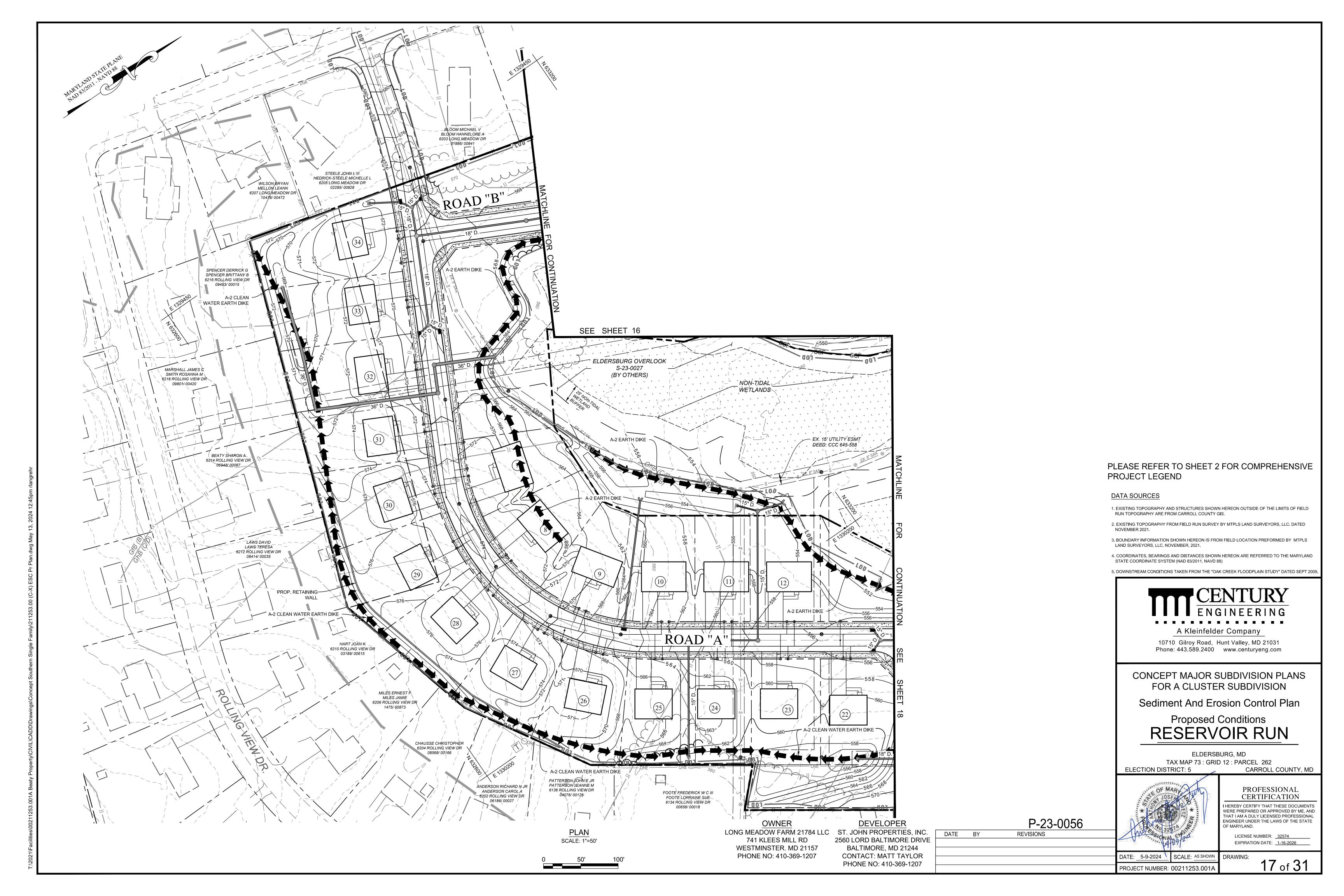


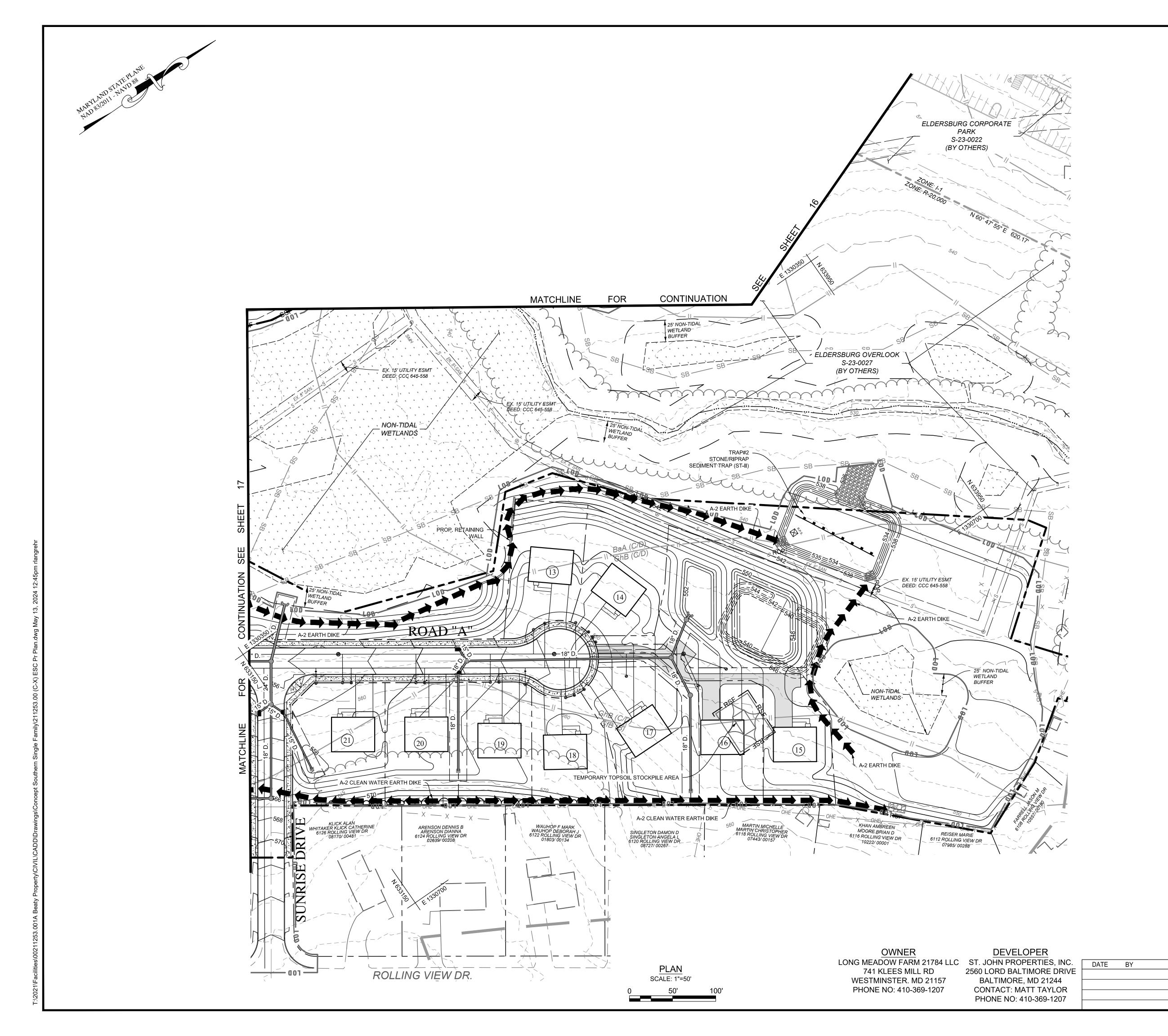












STONE/RIPRAP OUTLET SEDIMENT TRA	AP (ST-II)	TRAP#2
DRAINAGE AREA-INITIAL	N/A	ACRES
DRAINAGE AREA-INTERIM	N/A	ACRES
DRAINAGE AREA-FINAL	7.50	ACRES
TOTAL STORAGE STORAGE REQUIRED	28,800	CF
TOTAL STORAGE PROVIDED	34,442	CF
WET STORAGE REQUIRED	14,400	CF
WET STORAGE PROVIDED	14,400	CF
DRY STORAGE REQUIRED	14,400	CF
DRY STORAGE PROVIDED	20,042	CF
EXISTING GROUND ELEVATION AT OUTLET (WET STORAGE ELEVATION)	536.00	FT
TRAP BOTTOM ELEVATION	534.00	FT
TRAP BOTTOM DIMENSIONS	105 x 55	FT x FT
WEIR LENGTH	30	FT
WEIR CREST (DRY STORAGE) ELEVATION	537.00	FT x FT
CLEANOUT ELEVATION	535.00	FT
TOP OF EMBANKMENT ELEVATION	538.00	FT
SIDE SLOPE	2:1	H:V RATIO
EMBANKMENT TOP WIDTH	4.00	FT
OUTLET PROTECTION -LENGTH	10	FT
OUTLET PROTECTION-DEPTH	19	IN
	•	

### DATA SOURCES

STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)

- 1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED
- LAND SURVEYORS, LLC, NOVEMBER, 2021.
- 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND
- 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009



A Kleinfelder Company

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CONCEPT MAJOR SUBDIVISION PLANS FOR A CLUSTER SUBDIVISION

Sediment And Erosion Control Plan

**Proposed Conditions** RESERVOIR RUN

ELDERSBURG, MD

TAX MAP 73 : GRID 12 : PARCEL 262 **ELECTION DISTRICT: 5** CARROLL COUNTY, MD



P-23-0056

REVISIONS

#### PROFESSIONAL CERTIFICATION

WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE

LICENSE NUMBER: 32574 EXPIRATION DATE: <u>1-16-2026</u>

DATE: 5-9-2024 SCALE: AS SHOWN DRAWING: 18 of 31

PROJECT NUMBER: 00211253.001

5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:

appropriate approval authority, may be used in lieu of natural topsoil.

samples taken for engineering purposes may also be used for chemical analyses.

(200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading

upon request to the inspector to verify type of seed and seeding rate.

Fahrenheit can weaken bacteria and make the inoculant less effective.

2.a. Dry seeding: This includes use of conventional drop or broadcast spreaders.

seeded area with a weighted roller to provide good seed to soil contact. 2.b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil

2.c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).

c. Mix seed and fertilizer on site and seed immediately and without interruption.

Note: Use only sterile straw mulch in areas where one species of grass is desired.

b. WCFM, including dye, must contain no germination or growth inhibiting factors

mulch anchoring tool, increase the application rate to 2.5 tons per acre.

usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials

seeding mixture must be applied when the ground thaws.

Table B.3, or site-specific seeding summaries.

d. When hydroseeding, do not incorporate into the soil.

visual inspection of the uniformly spread slurry.

the growth of the grass seedlings.

of 90 percent minimum.

STANDARDS AND SPECIFICATIONS

Access the stockpile area from the upgrade side.

provided in accordance with Section B-3 Land Grading

Stabilization and Standard B-4-4 Temporary Stabilization

the discharge.

1. Mulch Materials (in order of preference)

Seedbed must be firm after planting.

prevent the formation of depressions or water pockets.

6 a Frosion and sediment control practices must be maintained when applying topsoil

poison ivy, thistle, or others as specified.

Soil Amendments (Fertilizer and Lime Specifications)

The application of seed and mulch to establish vegetative cover.

To protect disturbed soils from erosion during and at the end of construction

5.a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if

5.c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the

6.b. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to

tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to

6.c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet

. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having

Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment

3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which

disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil

Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be

delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and

contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.

4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable

5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre

<u>CRITERIA</u>

1.a. All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a

1.b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate

bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the

Note: it is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees

1.d. Sod and seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control

. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding

b. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the

a. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least  $\chi$  inch of soil covering.

a. If fertilizer is being applied at the time of seeding, the application rates should be exceed the following: nitrogen, 100

pounds per acre total soluble nitrogen;  $P_2O_5$  (phosphorous), 200 pounds per acre;  $K_2O$  (potassium), 200 pounds

b. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when

1.a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonable bright in color. Straw is to be free of

1.b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous

a. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate

. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will

a homogenous slurry. the mulch material must form a blotter-like ground cover, on application, having moisture

d. WCFM material must not contain elements or compounds at concentration levels that will by phyto-toxic.

2.a. Apply mulch to all seeded areas immediately after seeding.2.b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to

2.c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 100 pounds per acre. Mix the wood cellulose

fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water. Anchoring
 a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be

done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:

a. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a

c. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited.

Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is

DEFINITION

PURPOSE

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to

CONDITIONS WHERE PRACTICE APPLIES

CRITERIA

A. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.

E. Clear water runoff into the stockpile area must be minimized by use of a diversion fence such as an earth dike, temporary swale or

G. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental

H. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4

If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes or 40 feet for 4:1 slopes, benching must be

Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion.

. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept

steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.

diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.

Runoff from the stockpile area must drain to a suitable sediment control practice.

containing contaminated material must be covered with impermeable sheeting.

can operate safely. If used on sloping land, this practice should follow the contour.

minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment

b. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of

remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form

absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting

approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity

2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a

noxious weed seeds as specified in the Maryland See Law and not musty, moldy, caked, decayed, or excessively dusty.

b. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.

1.c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing

recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date

of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available

container. Add fresh inoculants as directed on the package. use four times the recommended rate when hydroseeding

or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and

Using vegetation as cover to protect exposed soil from erosion

To promote the establishment of vegetation on exposed soil.

CONDITIONS WHERE PRACTICE APPLIES On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil

preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization

EFFECTS ON WATER QUALITY AND QUANTITY
Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.

Vegetation will help reduce the movement of sediment, nutrients, and other chemical carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone

SEDIMENT CONTROL PRACTICES MUST REMAIN IN PLACE DURING GRADING, SEEDBED PREPARATION, SEEDING, MULCHING, AND VEGETATIVE ESTABLISHMENT

ADEQUATE VEGETATIVE ESTABLISHMENT

Adequate vegetative stabilization requires 95 percent groundcover. 2. If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed

3. If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified. 4. Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

**B-4-1 STANDARDS AND SPECIFICATIONS** 

INCREMENTAL STABILIZATION

Establishment of vegetative cover on cut and fill slopes. To provide timely vegetative cover on cut and fill slopes as work progres

CONDITIONS WHERE PRACTICE APPLIES Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpile

CRITERIA

A. Incremental Stabilization - Cut Slopes 1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch

on all cut slopes as the work progresses. 2. Construction sequence example (Refer to Figure B.1):

THE APPLICATION OF TEMPORARY STABILIZATION.

2.a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation. 2.b. Perform Phase I excavation, prepare seedbed, and stabilize.

Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary 2.d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary

NOTE: ONCE EXCAVATION HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE

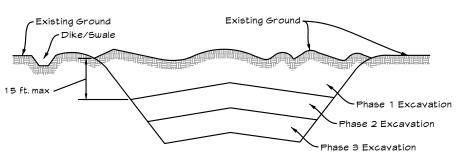


Figure B.1: Incremental Stabilization - Cut

B. Incremental Stabilization - Fill Slopes

1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch

B. Mulching on all slopes as the work progresses 2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet or when the grading operation ceases as

prescribed in the plans. 3. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it

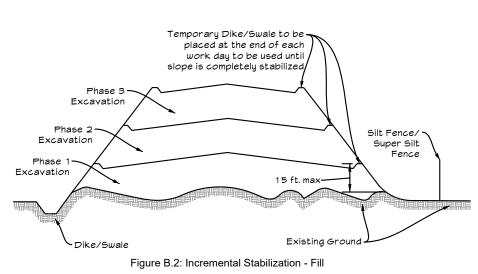
4. Construction sequence example (Refer to Figure B.2): 4.a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.

4.b. At the end of the day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.

4.c. Place Phase 1 fill, prepare seedbed, and stabilize 4.d. Place Phase 2 fill, prepare seedbed, and stabilize

4 e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary

NOTE: ONCE THE PLACEMENT OF FILL HAS REGUN. THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE



**B-4-2 STANDARDS AND SPECIFICATIONS** SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

The process of preparing the soils to sustain adequate vegetative stabilizati

To provide a suitable soil medium for vegetative growt

CONDITIONS WHERE PRACTICE APPLIES Where vegetative stabilization is to be establishe

A. Soil Preparation Temporary Stabilization

1.a. Seed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After soil is loosened, it must not be rolled or dragged smooth but left in roughened condition. Slopes 3:1 or flatter are to be tracked with ridges

B. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no running parallel to the contour of the slope.

1.b. Apply fertilizer and lime as prescribed on the plans 1.c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means

2.a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent

CRITERIA CRITERIA

vegetative establishment are: a. Soil pH between 6.0 to 7.0 b. Soluble salts less than 500 parts per million (ppm)

c. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable d. Soil contains 1.5 percent minimum organic matter by weight.

e. Soil contains sufficient pore space to permit adequate root penetration. 2.a. Application of amendments or topsoil is required if on-site soils do not meet the above conditions.

2.b. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches 2.c. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test. 2.d. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface

soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas.

1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in representative soil profile section in the Soil Survey published by USDA-NRCS. Topsoiling is limited to areas having 2:1 or flatter slopes where:

3.a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth. 3.b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies

3.c. The original soil to be vegetated contains material toxic to plant growth. 3.d. The soil is so acidic that treatment with limestone is not feasible.

4. Areas having slopes steeper than 2:1 require special consideration and design.

TEMPORARY SEEDING NOTES

recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, SCOPE: PLANTING SHORT TERM (NO MORE THAN 6 MONTHS) VEGETATION TO TEMPORARILY STABILIZE ANY AREAS WHERE SOIL coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 ½ inches in diameter. DISTURBANCE HAS OCCURRED, UNTIL THE AREA CAN BE PERMANENTLY STABILIZED WITH VEGETATIVE OR NON-VEGETATIVE 5.b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge,

> STANDARDS: THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE"2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT - WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCE CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL

THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION B-4-2

FOR TEMPORARY STABILIZATION, FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT A RATE OF 436 LB. PER ACRE (10 LB. PER 1000 SQ. FT.) AND WILL MEET THE REQUIREMENTS IN SECTION B-4-2. LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB. PER SQ. FT.) AND SHALL MEET THE REQUIREMENTS IN SECTION B-4-2 AND B-4-4

SEED TYPE AND APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4-3 SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIEV THE TYPE AND RATE OF SEED LISED. MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION B-4-3 A, B AND C AND WILL BE APPLIED ALONG WITH THE SEED OR IMMEDIATELY AFTER SEEDING

SEEDING MIXTURES SHALL BE SELECTED FROM OR WILL BE EQUAL TO THOSE ON TABLE B.1 (PAGE B.20).

TEMPORARY SEEDING SUMMARY THE SEEDING CHART BELOW WILL NEED TO BE PLACED ON AND FILLED IN ON THE SEDIMENT CONTROL PLAN

	Hardiness Zone: Seed Mixture:	N/A	<del></del> 		Fertilizer Rate	Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	(10-20-20)	Lime Rate
	Annual Ryegrass (Lolium perenne ssp. multiflorum)	40	Feb 15 to Apr 30; Aug 15 to Nov 30	0.5 in.		
N/A	Barley (H <i>ordeum vulgare</i> )	96	Feb 15 to Apr 30; Aug 15 to Nov 30	1.0 in.	436 lb/ac	2 tons/ac
IN/A	Foxtail Millet (Setaria italica)	30	May 1 to Aug 14	0.5 in.	(10 lb/1000sf)	(90 lb/1000 sf)
	Pearl Millet (Pennisetum glaucum)	20	May 1 to Aug 14	0.5 in.		

#### PERMANENT SEEDING NOTES

SCOPE: PLANTING PERMANENT, LONG LIVED VEGETATIVE COVER ON GRADED AND/OR CLEARED AREAS AND AREAS THAT HAVE BEEN IN TEMPORARY VEGETATION FOR MORE THAN 6 MONTHS

STANDARDS: THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT - WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCE CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS

THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION B-4-2.

FOR SITES OVER 5 AC. SOIL TESTS WILL BE PERFORMED. SOIL TESTS WILL BE CONDUCTED BY THE UNIVERSITY OF MARYLAND OR A RECOGNIZED COMMERCIAL LABORATORY. MINIMUM SOIL CONDITIONS SHALL MEET THE REQUIREMENTS OF SECTION B-4-2-A-2-A, OTHERWISE SOIL AMENDMENTS OR TOPSOIL WILL NEED TO BE APPLIED. TOPSOILING MAY OCCUR WHEN SOIL CONDITIONS MEET THE MINIMUM REQUIREMENTS AS STATED IN SECTION B-4-2-B. SOIL AMENDMENTS MUST MEET THE REQUIREMENTS AS SET FORTH IN SECTION B-4-2-C AND MUST BE APPLIED AS INDICATED BY THE SOILS TESTS.

FOR SITES OF 5 AC. OR LESS OF DISTURBANCE, THE FOLLOWING FERTILIZER AND LIME RATES SHALL APPLY FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT THE FOLLOWING RATES: N = 45 LB. PER ACRE (1 LB. PER 1000 SQ.FT.) P205 = 90 LB. PER ACRE (2 LB. PER 1000 SQ.FT.) K20 = 90 LB. PER ACRE (2 LB. PER 1000 SQ.FT.)

LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB. PER 1000 SQ.FT.)

SEED TYPE, TURFGRASS OR SOD APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4-5. SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIEV THE TYPE AND APPLICATION RATE OF SEED LISED. MUILCH TYPE AND ITS APPLICATION. WILL MEET THE REQUIREMENTS IN SECTION B-4-3 A, B AND C, AND WILL BE APPLIED ALONG WITH SEED OR IMMEDIATELY AFTER

SEEDING MIXTURES SHALL BE SELECTED FROM OR WILL BE EQUAL TO THOSE ON TABLE B-3. THE SEEDING CHART BELOW WILL NEED TO BE PLACED ON AND FILLED IN ON THE SEDIMENT CONTROL PLAN.

**Permanent Seeding Summary** 

	Hardiness Zone: Seed Mixture:	7A Cool-Season Gras	ss Mix			Fertilizer F		Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P <sub>2</sub> O <sub>5</sub>	K₂O	Lime Nate
	Tall Fescue (Lolium arundinaceum)	60		1/4 to $1/2$ in.				
9	Kentucky Bluegrass ( <i>Poa pratensis</i> )	40	Feb 15 to Apr 30; Aug 15 to Oct 31; Nov 1 to Nov 30	1⁄4 to 1∕2 in.	45 lb/ac (1 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	2 tons/ac (90 lb/ 1000 sf)
	Perennial Ryegrass ( <i>Lolium perenne</i> )	20		1⁄4 to 1∕2 in.				

	Hardiness Zone: Seed Mixture:	7A Warm-Season Gra	 ss Mix			Fertilizer R (10-20-2		Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P <sub>2</sub> O <sub>5</sub>	K <sub>2</sub> O	Lillie Nate
	Deertongue (Dichanthekium clandestinum)	15		1⁄4 to 1∕2 in.				
4	Creeping Red Fescue (Festuca rubra var. rubra)	20	Feb 15 to Apr 30; Aug 15 to Oct 31; Nov 1 to Nov 30	1/4 to $1/2$ in.	45 lb/ac (1 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	2 tons/ac (90 lb/ 1000 sf)
	Canada Wild Rye ( <i>Elymus canadensis</i> )	5		1⁄4 to 1∕2 in.				·

OWNER LONG MEADOW FARM 21784 LLC ST. JOHN PROPERTIES, INC. 741 KLEES MILL RD WESTMINSTER. MD 21157 PHONE NO: 410-369-1207

DEVELOPER 2560 LORD BALTIMORE DRIVE BALTIMORE. MD 21244 **CONTACT: MATT TAYLOR** PHONE NO: 410-369-1207

#### SEQUENCE OF CONSTRUCTION

NOTE: ANY DEVIATION/CHANGES TO THE SEQUENCE MUST BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR AND DESIGN ENGINEER PRIOR TO TAKING PLACE IN THE FIELD.

1. CONTACT THE CARROLL COUNTY SEDIMENT CONTROL INSPECTOR (1-410-386-2210) 24 HOURS PRIOR TO DOING ANYTHING ON THE SITE TO SET UP A PRE-CONSTRUCTION MEETING AND TO MAKE SURE ALL LOCAL ORDINANCE ITEMS HAVE BEEN SATISFIED.

2. INSTALL STABILIZED CONSTRUCTION ENTRANCE, CLEAN WATER EARTH DIKES, ROCK OUTFALL PROTECTION, AND TEMPORARY FLEX PIPES AS SHOWN ON THE APPROVED ESC

3. INSTALL SEDIMENT #1 & SEDIMENT TRAP #1 AS SHOWN ON THE APPROVED ESC PLANS.

4. INSTALL EARTH DIKES AND ROCK OUTFALL PROTECTION TO BASIN & TRAP AS SHOWN ON THE

5. INSTALL TEMPORARY STREAM PUMP-AROUND PRACTICE AND SANDBAGS AS SHOW ON THE APPROVED ESC PLANS.

6. INSTALL SUPER SILT FENCE AS SHOWN ON THE APPROVED PLANS. BEGIN MASS GRADING OPERATIONS AS SHOWN ON THE APPROVED GRADING PLANS. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, ADJUST SEDIMENT CONTROL MEASURES (EARTH DIKES. TRAPS, ETC.) AS REQUIRED. CONTRACTOR TO ENSURE POSITIVE DRAINAGE IS MAINTAINED.

7. AS THE AREA IN THE VICINITY OF ROAD "A" CUL-DE-SAC APPROACHES FINAL GRADE, REMOVE SEDIMENT TRAP #1 AND CONSTRUCT SEDIMENT TRAP#2. REMOVE/ADJUST EARTH DIKES AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE TO SEDIMENT TRAP #2.

8. INSTALL SANITARY SEWER PUMP-AROUND PRACTICE BETWEEN EXISTING MANHOLES SMH-1 & SMH-3. REMOVE EXISTING 8" SANITARY LINE BETWEEN EXISTING SMH-1 & SMH-3 ONCE PUMP-AROUND IS ACTIVE.

9. CONSTRUCT SANITARY SEWER, WATER LINE, AND STORM DRAIN SYSTEMS AS SHOWN ON THE APPROVED SITE/UTILITY PLANS.

10. INSTALL CURB & GUTTER AS SHOWN ON THE APPROVED SITE/UTILITY PLANS.

11. INSTALL STONE BASE IN ALL PAVED AREAS AND SIDEWALKS AS SHOWN ON THE APPROVED SITE/UTILITY PLANS.

12. INSTALL TEMPORARY STABILIZATION IN ALL AREAS WHICH WILL REMAIN UNDISTURBED FOR MORE THAN 5 DAYS.

13. INSTALL BASE COURSE IN ALL PAVED AREAS AND INSTALL CONCRETE SIDEWALKS.

14. BEGIN HOME CONSTRUCTION.

15. FINE GRADE SITE ONCE BUILDING CONSTRUCTION IS COMPLETE. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT TRAP#2.

16. INSTALL FINAL/TOP-COURSE PAVING.

 ONCE UP-STREAM DRAINAGE AREAS HAVE BEEN STABILIZED, BEGIN CONVERSION OF SEDIMENT BASIN#1 TO STORMWATER MANAGEMENT FACILITY. REFER TO APPROVED STORMWATER MANAGEMENT PLANS FOR DETAILS AND S.O.C.

18. INSTALL BIO-SWALES, MICRO-BIORETENTION FACILITIES. REFER TO APPROVED STORMWATER MANAGEMENT PLANS FOR DETAILS AND S.O.C.

19. ONCE ALL UPSTREAM AREAS ARE STABILIZED AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE SUPER SILT FENCE. STABILIZE ANY AREAS DISTURBED BY REMOVAL OPERATIONS.

20. CONTACT THE CARROLL COUNTY SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVING ANY REMAINING SEDIMENT CONTROL MEASURES AND OBTAIN APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. REMOVE REMAINING SEDIMENT CONTROL MEASURES AND STABILIZE WITH PERMANENT VEGETATIVE STABILIZATION.

DATE BY

#### SEDIMENT AND EROSION CONTROL NOTES

WILL NEED TO BE PERMANENTLY VEGETATED.

1. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT WATER MANAGEMENT ADMINISTRATION IN ASSOCIATION WITH THE NATURAL RESOURCES CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS (REFERENCED AS THE 2011 STANDARDS AND SPECS).

2. AREAS THAT HAVE BEEN CLEARED AND/OR GRADED, BUT WILL NOT BE CONSTRUCTED ON OR PERMANENTLY VEGETATED FOR MORE THAN 5 DAYS (3 DAYS FOR SEDIMENT CONTROL

MEASURES AND FOR STEEP SLOPES) MUST BE STABILIZED WITH MULCH OR TEMPORARY

STABILIZATION. ANY AREAS THAT ARE IN TEMPORARY VEGETATION FOR OVER 6 MONTHS

FOR SPECIFICATIONS ON PERMANENT OR TEMPORARY STABILIZATION, SEE B-4-4 AND B-4-5.

4. MULCHING ONLY IS RESTRICTED TO USE ON DISTURBED AREAS AS A TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING GERMINATION CANNOT BE COMPLETED BECAUSE OF WEATHER CONDITIONS. FOR SPECIFICATIONS SEE B-4-3, A.1.B

5. FOR SPECIFICATIONS ON THE STABILIZATION OF CUT AND FILL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL, SEE INCREMENTAL STABILIZATION B-4-1

6. THE EXISTING TOPSOIL FROM ON OR OFF SITE THAT IS USED MUST MEET THE MINIMUM SPECIFICATION IN B-4-2

THE REQUIRED SEQUENCE OF CONSTRUCTION MUST BE FOLLOWED DURING SITE DEVELOPMENT. ANY CHANGES IN THE SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SOIL CONSERVATION DISTRICT.

8. ANY REVISIONS TO THE SEDIMENT CONTROL PLAN, NOT COVERED UNDER THE LIST OF PLAN MODIFICATIONS THAT CAN BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR, NEED TO BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR APPROVAL.

9. NO PROPOSED SLOPE THAT IS REQUIRED TO BE SEEDED AND/OR MULCHED SHALL BE STEEPER THAN 2:1. SLOPES STEEPER THEN 2:1 SHALL REQUIRE A ENGINEERED DESIGN FOR STABILIZATION

10. ALL SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL AND WILL BE REPAIRED. AS NEEDED. SO THAT THE STRUCTURE MEETS THE MINIMUM SPECIFICATIONS AS SHOWN IN THE 2011 STANDARDS AND SPECS.

11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED.

12. THE DISTRICT APPROVAL FOR THIS SEDIMENT CONTROL PLAN IS GOOD FOR 2 YEARS. AT THE END OF 2 YEARS, IF CONSTRUCTION OF THE PLAN HAS NOT STARTED, THE PLAN WILL NEED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR REVIEW AND RE-APPROVAL. ANY PLANS THAT ARE CURRENTLY UNDER CONSTRUCTION AFTER 2 YEARS MAY BE REQUIRED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT BY THE SEDIMENT CONTROL INSPECTOR.

SOILS CHART

HYDROLOGIC SOIL GROUP K-VALUE GAILIA LOAM (8-15% SLOPES) GLENELG LOAM (3-8% SLOPES 0.24 GLENELG LOAM (3-8% SLOPES 0.24 URBAN LAND-UDORTHENTS

A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com

FOR A CLUSTER SUBDIVISION Sediment and Erosion Control **Specifications** 

CONCEPT MAJOR SUBDIVISION PLANS

RESERVOIR RUN

ELDERSBURG, MD TAX MAP 73 : GRID 12 : PARCEL 262 ELECTION DISTRICT: 5 CARROLL COUNTY, MD



P-23-0056

**REVISIONS** 

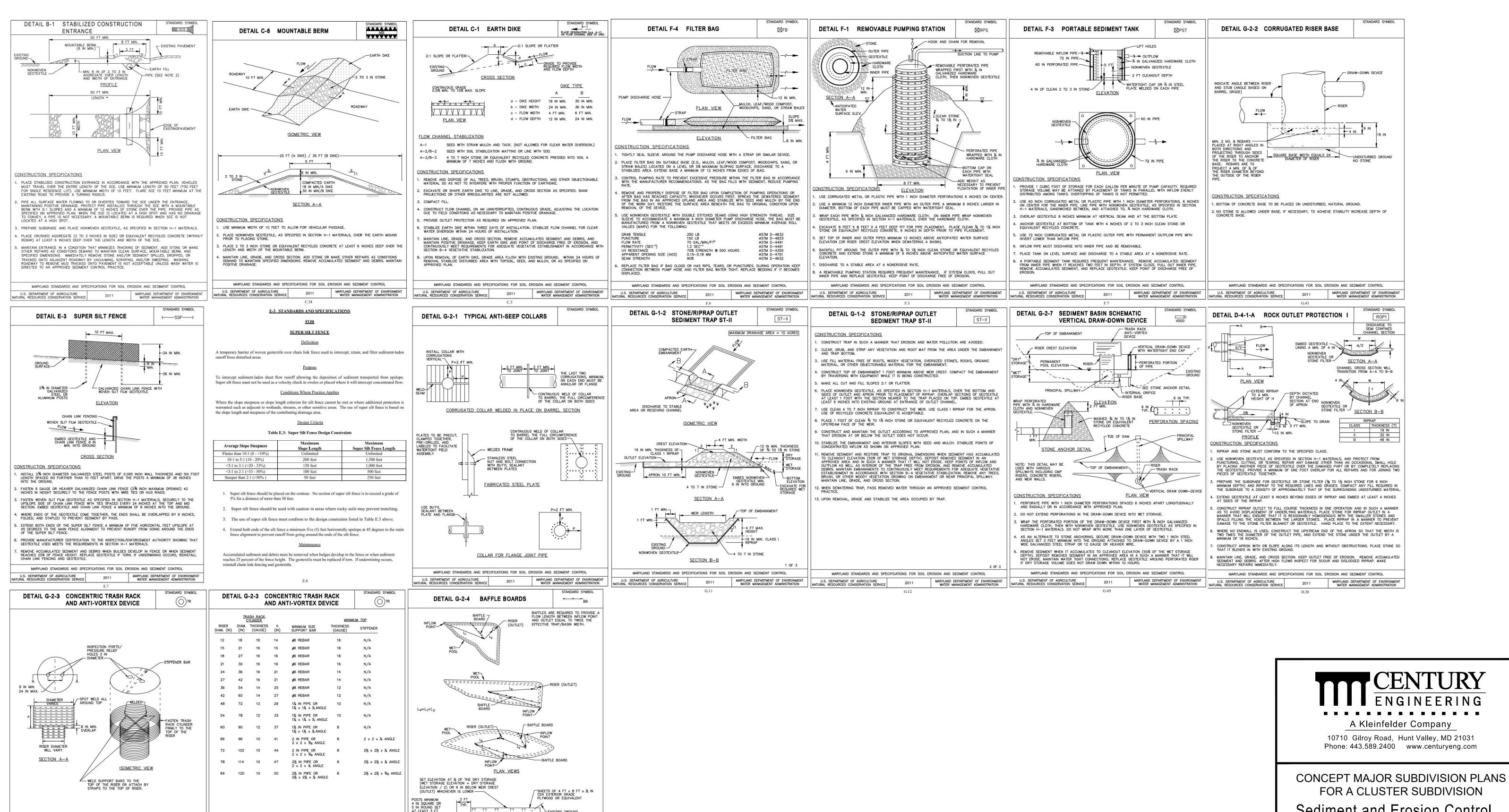
**PROFESSIONAL** CERTIFICATION

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME. AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE

LICENSE NUMBER: 32574 EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024 SCALE: AS SHOWN DRAWING: PROJECT NUMBER: 00211253.001

19 of **31** 



**OWNER** 741 KLEES MILL RD

PHONE NO: 410-369-1207

**DEVELOPER** 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 **CONTACT: MATT TAYLOR** PHONE NO: 410-369-1207

P-23-0056 **REVISIONS** 

FOR A CLUSTER SUBDIVISION Sediment and Erosion Control Details

RESERVOIR RUN

ELDERSBURG, MD TAX MAP 73 : GRID 12 : PARCEL 262 **ELECTION DISTRICT: 5** CARROLL COUNTY, MD

**PROFESSIONAL** CERTIFICATION

WERE PREPARED OR APPROVED BY ME. AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE

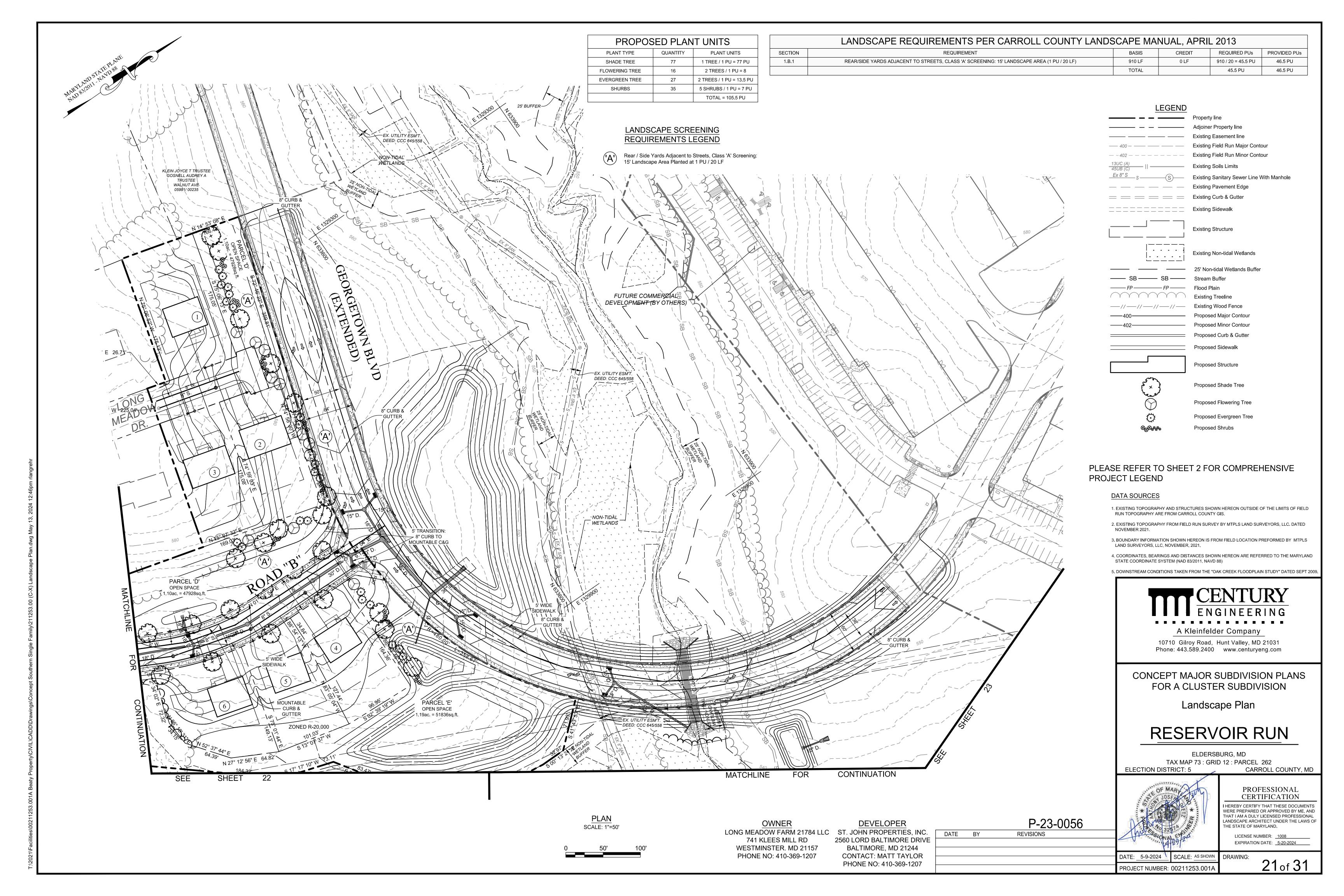
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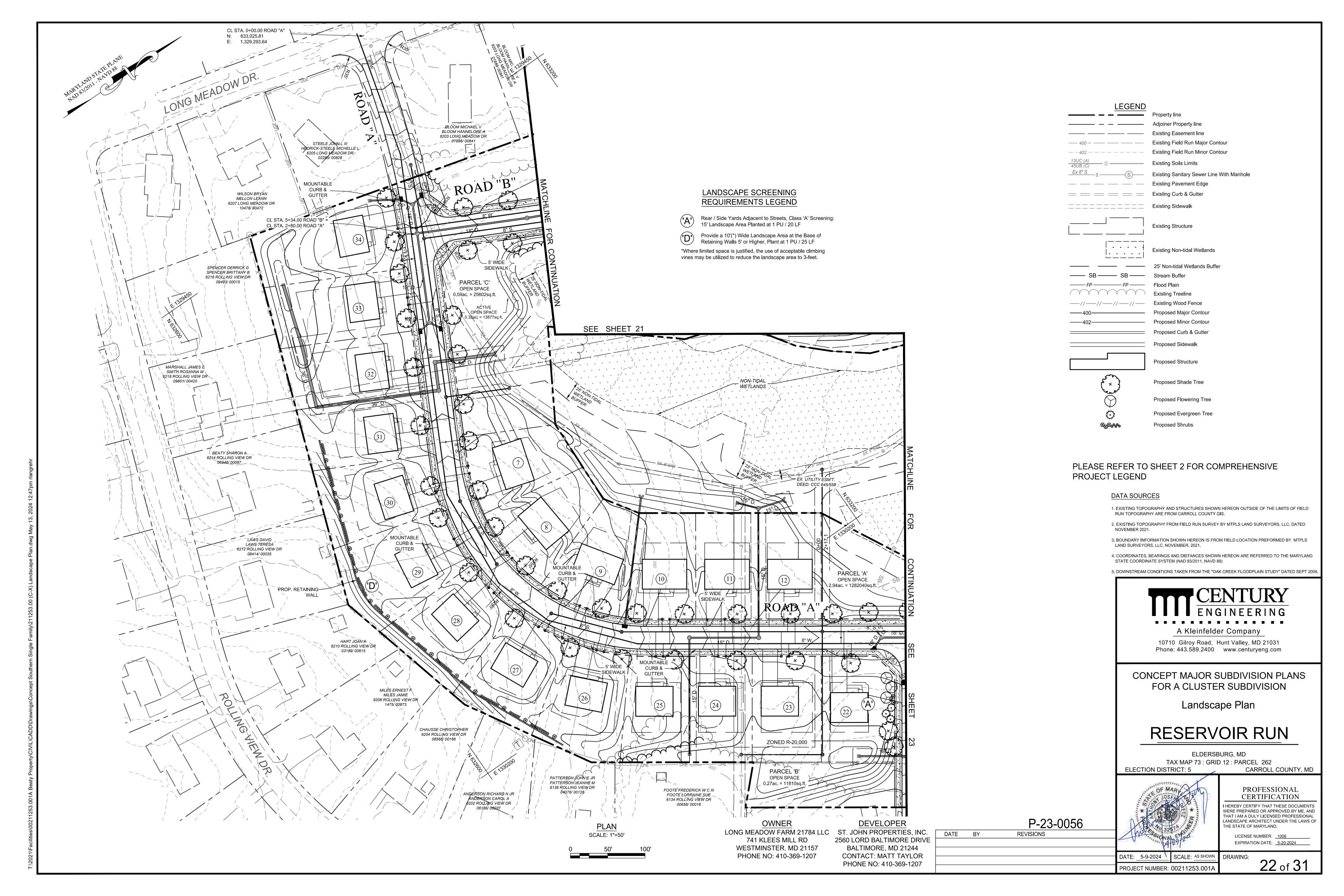
LONG MEADOW FARM 21784 LLC ST. JOHN PROPERTIES. INC. WESTMINSTER, MD 21157

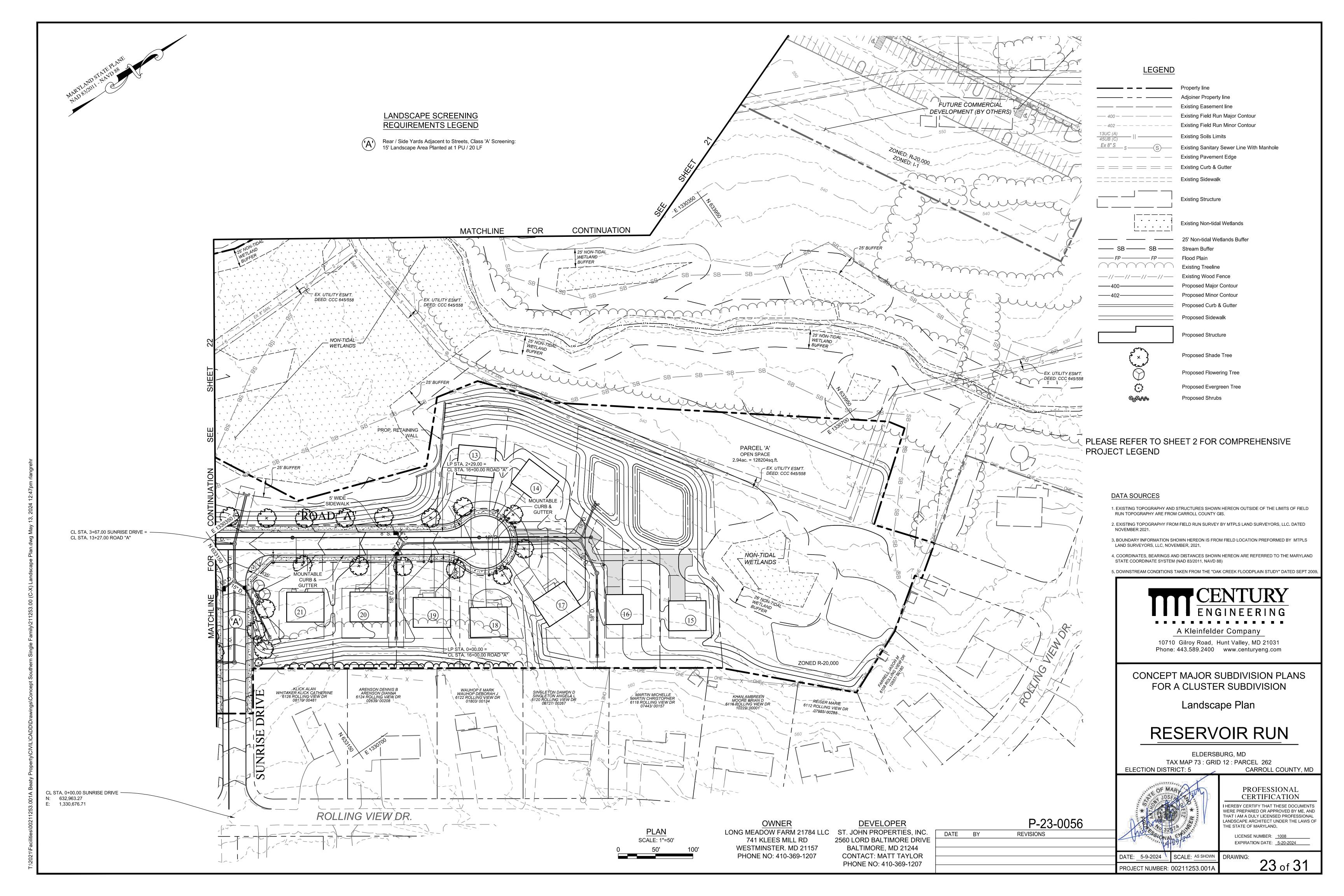
THE ABOVE TRASH RACK AND ANTI-VORTEX DEVICE INFORMATION IS FOR CORRUGATED METAL PIPE ONLY. CONCRETE RISERS MUST MEET THE REQUIREMENTS OF MD 378. 4 FT CENTER TO CENTER -BAFFLE DETAIL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

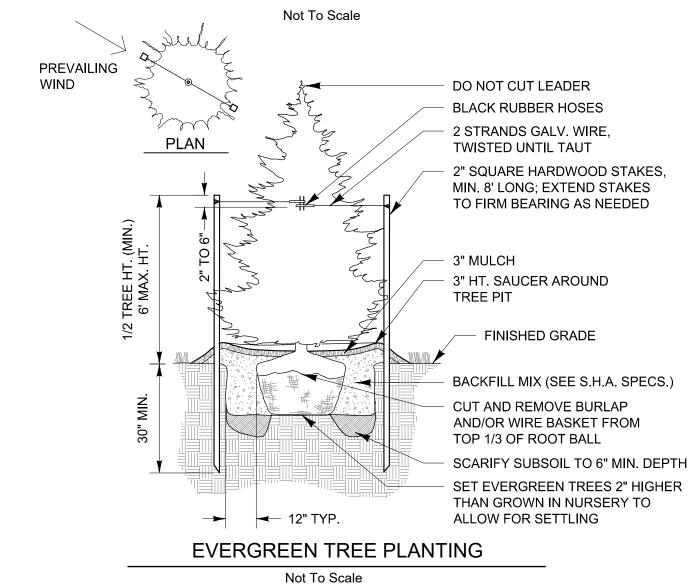
DATE: 5-9-2024 SCALE: AS SHOWN PROJECT NUMBER: 00211253.001

DRAWING: 20 of 31









#### HARDWOOD STAKES **ROOT BALL** DO NOT CUT LEADER **BLACK RUBBER HOSES** 2 STRANDS GALV. WIRE SAUCER TWISTED UNTIL TAUT PLAN TWO 2" SQUARE HARDWOOD STAKES, MIN. 8' LONG. PLACE STAKES INTO PREVAILING WIND, EXTEND STAKES TO FIRM BEARING AS NEEDED 3" MULCH 3" HT. SAUCER AROUND TREE PIT FINISH GRADE BACKFILL MIX (SEE S.H.A. SPECS.) CUT AND REMOVE BURLAP AND/OR WIRE BASKET FROM TOP 1/3 OF **ROOT BALL** SCARIFY SUBSOIL TO 6" MIN. DEPTH BELOW ROOT BALL SET TREES 2" HIGHER THAN

#### FLOWERING TREE PLANTING

**←** 12" TYP.

Not To Scale

**GROWN IN NURSERY TO ALLOW** 

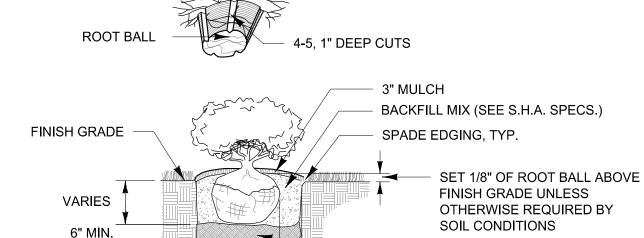
FOR SETTLING

SCARIFY SUBSOIL

TO 6" MIN. DEPTH

1. FOR CONTAINER SHRUBS, COMPLETELY REMOVE ALL NON-BIODEGRADABLE CONTAINERS AND SCARIFY ROOTBALL BY USING A SHARP BLADE AND MAKING 4 TO 5 ONE INCH CUTS THE LENGTH OF THE ROOTBALL.

2. FOR B&B SHRUBS, CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL.

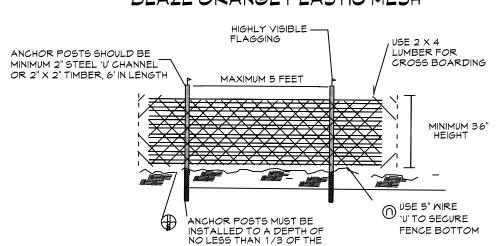


→ 6" MIN. (TYP.)

## SHRUB PLANTING

Not To Scale

### BLAZE ORANGE PLASTIC MESH



- 1. FOREST PROTECTION DEVICE ONLY. 2. RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS. 3. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
- 4. ROOT DAMAGE SHOULD BE AVOIDED.
- 5. PROTECTIVE SIGNAGE MAY ALSO BE USED 6. DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION FENCING

### FOREST CONSERVATION PLANTING NOTES

#### PLANT MATERIAL SELECTION

- 1. NURSERY GROWN PLANT MATERIAL SHOULD MEET OR EXCEED THE REQUIREMENTS OF THE AMERICAN NURSERYMAN SPECIFICATIONS.
- 2. PLANTING MATERIAL SHALL BE SOURCED FROM WITHIN THE GEOGRAPHIC REGION SUITABLE TO THE SITE.

#### PLANT MATERIAL TRANSPORT, APPROVAL, & STORAGE -

- 1. PLANT MATERIAL SHALL BE PROTECTED TO PREVENT SUN SCALD, DESICCATION, 5. A separate plan labeled "Landscape Plan" (may be combined with Forest Conservation Plan) is AND STRUCTURAL DAMAGE DURING TRANSPORT TO THE SITE.
- PLANT MATERIAL SHALL BE INSPECTED TO BE FREE OF DISEASE, DAMAGE, INSECT INFESTATION, AND VIGOR UPON DELIVERY TO THE SITE. ALL PLANTS SHOULD BE HEALTHY AND WELL STRUCTURED. NO HEELED-COLD STORAGE OR COLLECTED STOCK WILL BE ACCEPTED. PLANTS IN POOR CONDITION SHALL BE REJECTED, REMOVED FROM THE SITE AND REPLACED WITH ACCEPTABLE
- 3. PLANT MATERIAL SHALL BE STORED IN A COOL, SHADED AREA ON THE SITE AND 4. SHALL BEGIN WITHIN 24 HOURS OF PLANT DELIVERY TO THE SITE. PLANT MATERIAL THAT REMAINS UNPLANTED BEYOND 24 HOURS SHALL BE PROTECTED FROM DIRECT SUN, AND WEATHER AND KEPT MOIST. PLANT MATERIALS SHALL NOT BE LEFT UNPLANTED FOR MORE THAN 2 WEEKS.
- 4. THE CONTRACTOR IS REQUIRED TO OBTAIN CLEAN FRESH WATER FOR USE DURING PLANTING OPERATIONS AND THE SUBSEQUENT MAINTENANCE PERIOD.

#### SITE PREPARATION AND PLANTING -

- 1. NO CLEARING OR GRADING SHALL BEGIN BEFORE STRESS-REDUCTION MEASURES HAVE BEEN IMPLEMENTED. SUCH MEASURES MAY INCLUDE ROOT PRUNING, CROWN REDUCTION OR PRUNING, ETC.
- 2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, TREE PROTECTION FENCING SHALL BE INSTALLED ALONG ALL SECTIONS OF THE LOD ABUTTING WOODED/FORESTED AREAS AND AROUND ALL TREE SAVE AREAS TO ENSURE PRESERVATION OF THESE AREAS.
- 3. TREE PROTECTION AREA SIGNS MUST BE AFFIXED TO ALL TREE PROTECTION FENCING AT 100' SPACING, ON AVERAGE. SIGNS ARE NOT TO BE AFFIXED DIRECTLY TO TREES.
- 4. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AT THE TIME OF THE SEDIMENT & EROSION CONTROL INSPECTION, PRIOR TO THE COMMENCEMENT OF DEMOLITION, SITE CLEARING, GRADING, OR CONSTRUCTION. TREE PROTECTION DEVICES SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION. NO EQUIPMENT, TRUCKS, MATERIALS, OR DEBRIS MAY BE STORED WITHIN THE TREE PROTECTION AREAS DURING THE ENTIRE CONSTRUCTION PROJECT.
- 5. ALL TREES TO BE REMOVED MUST BE REMOVED IN A MANNER THAT WILL NOT DAMAGE THE REMAINING TREES.
- 6. ANY TREES THAT ARE TO REMAIN THAT ARE DAMAGED DURING THE CLEARING OPERATION MUST BE REPAIRED OR REMOVED AND REPLACED IN AN APPROVED MANNER BY AN MDLTE/ISA CERTIFIED ARBORIST AS SOON AS FINAL CLEARING HAS BEEN COMPLETED.
- 7. ROOT PRUNING MAY BE NECESSARY WHERE THE CRITICAL ROOT ZONE IS IMPACTED, AS DETERMINED BY THE PLAN PREPARER OR AN MDLTE/ISA CERTIFIED ARBORIST. PRUNING SHALL BE ALONG THE LOD ADJACENT TO TREE ROOT PRUNING.
- 8. REFER TO THE MDSHA STANDARDS AND SPECIFICATIONS SECTION 710.03.01 PLANTING SEASONS TABLE FOR ACCEPTABLE PLANTING PERIOD. PLANTING SHALL NOT BE COMPLETED IN SUB-FREEZING TEMPERATURES; WHEN THE GROUND IS FROZEN: WHEN WEATHER CONDITIONS WILL ADVERSELY AFFECT PLANT MATERIALS; OR WHEN THE SOIL IS TOO WET OR OTHERWISE IN A CONDITION NOT ACCEPTABLE FOR PLANTING.
- 9. MOW PLANTING AREA CLOSE TO THE GROUND ONE WEEK (OR LESS) PRIOR TO

### 10. PREPARE PLANTING PITS PER MDSHA STANDARDS AND SPECIFICATIONS

- WILL BE TAKEN:
- THE ROOT COLLAR SHALL BE PLACED SLIGHTLY ABOVE GRADE TO PREVENT ROOTS FROM CIRCLING.
- EARTHGROW OR A SIMILAR COMPOST SHALL BE USED WITHIN PLANTING PIT TO
- A SMALL PLANT SHELF SHALL BE CREATED FOR EACH INSTALLATION TO
- STAKING SHALL BE INSTALLED ON EVERY TREE PER THE DETAIL ON THIS
- 12. INSTALL PLANT MATERIALS PER MDSHA STANDARDS AND SPECIFICATIONS 710.03.09.
- 13. AFTER INSTALLATION OF PLANTS, MONITOR SOIL MOISTURE AND WATER NEEDS OF PLANTS. APPLY WATER TO PLANTING PITS AS SPECIFIED IN MDSHA STANDARDS AND SPECIFICATIONS SECTION 710.03.04(C).

#### **MAINTENANCE -**

- 1. UPON COMPLETION OF INSTALLATION, THE PLANTING AREA IS TO BE MAINTAINED FOR A 3 YEAR PERIOD. A 85% SURVIVAL RATE MUST BE ACHIEVED AT THE END OF THE SECOND GROWING SEASON. MAINTENANCE SHALL BE AS FOLLOWS:
- IMMEDIATELY BY THE CONTRACTOR. b. NATIVE VOLUNTEER SEEDLINGS SHALL BE REMOVED ONLY IF THEY ARE
- ADVERSELY IMPACTING THE GROWTH OF THE PLANTED MATERIAL. NON-NATIVE AND INVASIVE SPECIES ARE TO BE REMOVED FROM THE ENTIRE PLANTING AREA THROUGH SELECTED AND APPROVED MEANS.
- WOULD IMPACT THE ESTABLISHMENT OF THE PLANTED MATERIALS.
- d. THOROUGHLY WATER PLANTED MATERIAL ONCE WEEKLY OR AS NEEDED DURING THE GROWING SEASON.
- APPROPRIATE ACTIONS SHALL BE TAKEN TO PREVENT FURTHER DAMAGE THIS MAY INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING: PEST DAMAGE OR INFESTATION, DISEASE OR BROWSING, ANY DEAD OR DECIMATED MATERIAL SHALL BE REPLACED WITH THE IDENTICAL SPECIES OR AN APPROVED REPLACEMENT.
- INSPECTED FOR THE 85% SURVIVAL RATE AS REQUIRED BY CARROLL COUNTY.

OWNER \* WHEN TUBE SHELTERS ARE USED.
THEY MUST BE REMOVED PRIOR TO MEADOW FARM 21784 LLC ST. JOHN PROPERTIES, INC. 741 KLEES MILL RD RELEASE OF BOND MONEY. WESTMINSTER. MD 21157

#### CARROLL COUNTY LANDSCAPE SPECIFICATIONS

- 1. All plants shall be identified in accordance with the latest Edition of Hortus Third, by "The Staff of the
- Hortorium". 2. All nursery stock shall conform to American Association of Nurserymen, Inc., standards as described in
- American Standard for Nursery Stock, current ANSI Z-60.1 specifications. Landscape specifications shall conform to Landscape Contractors Association Specification Guidelines
- for Maryland, Washington, D.C., and Virginia, latest edition and Century Engineering, Inc. specifications. All nursery stock shall be planted in accordance with the procedures outlined in the guidelines. Three (3) inches of topsoil on all disturbed areas to be landscaped, seeded or sodded is required.

required. Landscape requirements may not be combined with the Forest Conservation Plan.

### PLANTING NOTES

- Plant material substitutions will not be accepted without approval of the Landscape Architect. All Shrubs and groundcover areas shall be planted in continuous prepared planting beds.
- All shrub beds shall be mulched with hardwood mulch as detailed and specified except where noted o
- Maintain positive drainage out of planting beds at a minimum of two percent slope. KEPT MOIST TO PREVENT DESICCATION UNTIL READY FOR PLANTING. PLANTING 5. Plant quantities are provided for the convenience of the contractor. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take
  - All areas within contract limits disturbed during or prior to construction not designated to receive plantings and mulch shall be fine graded and seeded in accordance with planting and construction. The contractor shall notify Miss Utility, (800-257-7777) a minimum of three working days prior to planting and construction.
  - 8. Contractor shall test pit prior to plant installation.

#### **IRRIGATION METHODS**

- The use and maintenance of drip irrigation bags or rings around the trunks of newly-planted trees. 2. Hand watering, with water sources provided through either or both of the following methods
- 2.1. Exterior faucets on a building, located so that the farthest planting can be reached by a length of hose (100 feet recommended). 2.2. A guick-coupling system, with connections located so that the farthest planting can be reached by
- a length of hose (100 feet recommended). 2.3. A water tank or truck.
- An automatic irrigation system with a moisture-sensing device and-or rain shut-off switch. If using an automatic irrigation system, the following requirements shall be met: 3.1. All irrigation systems shall be designed to minimize vandalism
- planting areas less than eight (8) feet in width, to prevent overspray and run-off. Other irrigation methods shall be specified in such areas. 3.3. Place lawn areas in a separate irrigation zone from shrub and groundcover beds so that each
- planting type can receive adequate irrigation without over-watering areas with lower irrigation

3.2. Sprinklers must not over-spray onto pavement. Sprinkler and spray heads are not permitted for

- 3.4. Drip irrigation is recommended for shrub and groundcover beds. Drip irrigation shall be used in areas smaller than five (5) feet in any direction.
- The use of rainwater harvesting techniques combined with the use of harvested rainwater for landscape irrigation is encouraged.

#### NON-INVASIVE NOTE

Non-invasive vegetation that is native or regionally appropriate for local growing conditions has been selected to promote biodiversity.

# MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- PROTECTION FENCING. A CERTIFIED ARBORIST SHALL SUPERVISE OR CONDUCT 1. A two year plant replacement warranty and two years of maintenance are required by the County. 2. Lawn areas shall be mowed to a height of 2 to 3 inches and not allowed to reach a height of 4 inches
  - before mowing. All curbs and walks shall be edged as needed.
  - All lawn areas adjacent to building faces or structures shall be trimmed.
  - 5. A slow release nitrogen balanced fertilizer with a 2-1-1 ratio shall be applied at a rate of 2 pounds of nitrogen per 1000 square feet in September, October, and February.
  - Lime shall be applied at the rate determined by a soils report.
  - 7. It is recommended that lawn areas be treated in mid-March to early April with pre-emergent herbicide (Betasan) or equal applied at the manufacturer's rate.

  - A post-emergent herbicide (Trimec) or equal is recommended to be sprayed on lawn areas in the late
  - spring or early fall. Follow manufacturer's rates and recommendations.
  - Insecticides and fungicides are recommended for insect and disease contol. 10. Reseed bare areas of lawn as necessary. Yearly aeration is recommended.
  - 11. All trash, litter, and debris shall be removed from lawn areas, parking lots, and shrub beds as needed
  - 12. Mulch all shrub and groundcover beds yearly with 3 inches of shredded hardwood bark. 13. Permit shrubs and trees to grow and enlarge to their design size. Consult project Landscape Architect
  - 14. Prune trees in accordance with Landscape Specification Guidelines for Baltimore-Washington
  - Metropolitan Areas. 15. Maintenance of landscape areas includes, but is not limited to weeding, mulching, mowing, trimming,
  - pruning, edging, cultivation, seeding, fertilization, watering, pest control, and any other maintenance necessary to ensure healthy, vigorous plant growth and well-kept property condition. 16. Landscaping elements such as walls and fences shall be constructed in a sound workmanlike manner
  - with adequate support or footings and must be repaired or replaced as needed to preserve an attractive appearance and to function as intended. 17. Any dead plants or plants which fail to show healthy growth must be removed and replaced within 60
  - days of identification of deteriorated health or notification by the County. Replacement may be delayed until the next growing season only if the 60 day period occurs during a time of year not suitable for
  - 18. All replacement plants must meet the size and other characteristics of newly planted material as
  - required in the manual. 19. Trees and large shrubs must be adequately supported, when necessary to insure proper growth. Tree staking must be removed prior to final inspection, with the exception of plants replaced during the
  - warranty period and not yet established. 20. It is desirable to avoid excessive use of fertilizers and pesticides to minimize impacts on water quality. It is recommended that fertilizer application be need-based rather than as an automatic component of maintenance schedules and when appropriate, slow-release or natural fertilizers be selected over
  - highly-soluble chemical fertilizers. 21. The implementation of an Integrated Pest Management (IMP) program is recommended to prevent and treat pest problems.

#### FINAL LANDSCAPE PLAN OWNER CERTIFICATION FORM

I certify that I have reviewed this Final Landscape Plan; that I have read and understood the regulations presented int eh Carroll County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan no later than one (1) year from the date of approval of this plan to the Department of Planning, Bureau of Resource Management, Room 209, 225 N. Center Street, Westminster, MD 21157-5194.

Applicant Signature	Date	Print Name	
Address	Street	Phone No.	
City	State	Zip	
File #			

DEVELOPER DATE BY

P-23-0056 **REVISIONS** 

#### STANDARDS & SPECIFICATIONS FOR PLANTING

#### TIMETABLE FOR PLANTING

ALL B&B AND CONTAINER PLANTING SHALL BE DONE BETWEEN MARCH 25 AND APRIL 30, FOR SPRING PLANTING, AND BETWEEN OCTOBER 15 AND

#### DECEMBER 1 FOR FALL PLANTING.

PLANT MATERIAL

SEE PLANT LIST FOR EACH PLANTING AREA.

#### PLANTING SITE PREPARATION

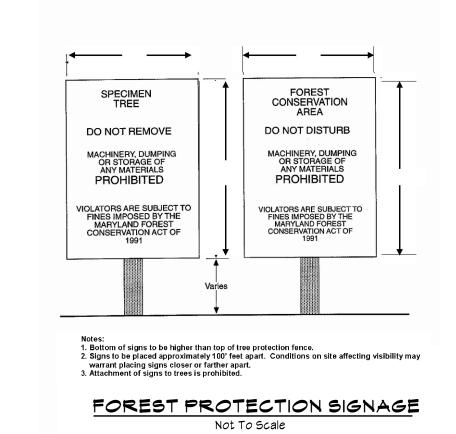
CONTRACTOR SHALL ERADICATE ALL INVASIVE PLANT MATERIAL WITHIN PLANTING AREAS PRIOR TO PLANTING. ONCE THE PLANTING AREA IS CLEAR OF INVASIVES, PREPARE A PLANTING PIT FOR EACH TREE AND SHRUB, THE AREA DISTURBED FOR THE PIT IS TO BE MULCHED WITH A SHREDDED HARDWOOD PRODUCT. SOIL TESTING IS RECOMMENDED FOR MACRONUTRIENT DEFICIENCIES AND pH LEVELS. PROPER SOIL AMENDMENTS SHOULD BE MADE IF DEEMED NECESSARY.

#### PLANT MATERIAL STORAGE

IT IS RECOMMENDED THAT PLANTING OCCUR WITHIN 24 HOURS OF DELIVERY TO THE SITE. PLANT MATERIALS LEFT UNPLANTED FOR MORE THAN 24 HOURS SHALL BE PROTECTED FROM DIRECT SUN AND WEATHER AND KEPT MOIST. PLANT MATERIAL SHOULD NOT BE LEFT UNPLANTED FOR MORE THAN TWO WEEKS.

#### PLANTING METHOD

SEE PLANTING DETAILS FOR EACH TYPE OF PLANT MATERIAL USED . ALL TREES SHALL BE INSTALLED WITH TREE SHELTERS.



#### **DATA SOURCES**

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.

2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED

3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS

LAND SURVEYORS, LLC, NOVEMBER, 2021. 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND

STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88) 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009

A Kleinfelder Company 10710 Gilroy Road, Hunt Valley, MD 21031

Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLANS FOR A CLUSTER SUBDIVISION

Landscape Details

# RESERVOIR RUN

ELDERSBURG, MD

TAX MAP 73 : GRID 12 : PARCEL 262

**ELECTION DISTRICT: 5** CARROLL COUNTY, MD

SCALE: AS SHOWN

DATE: 5-9-2024

PROJECT NUMBER: 00211253.001

**PROFESSIONAL** CERTIFICATION

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 1008 EXPIRATION DATE: <u>5-20-2024</u>

DRAWING: 24 of 31

SECTION 710.03.04. 11. TO ENSURE TREE SURVIVABILITY ALONG SLOPES THE FOLLOWING MEASURES

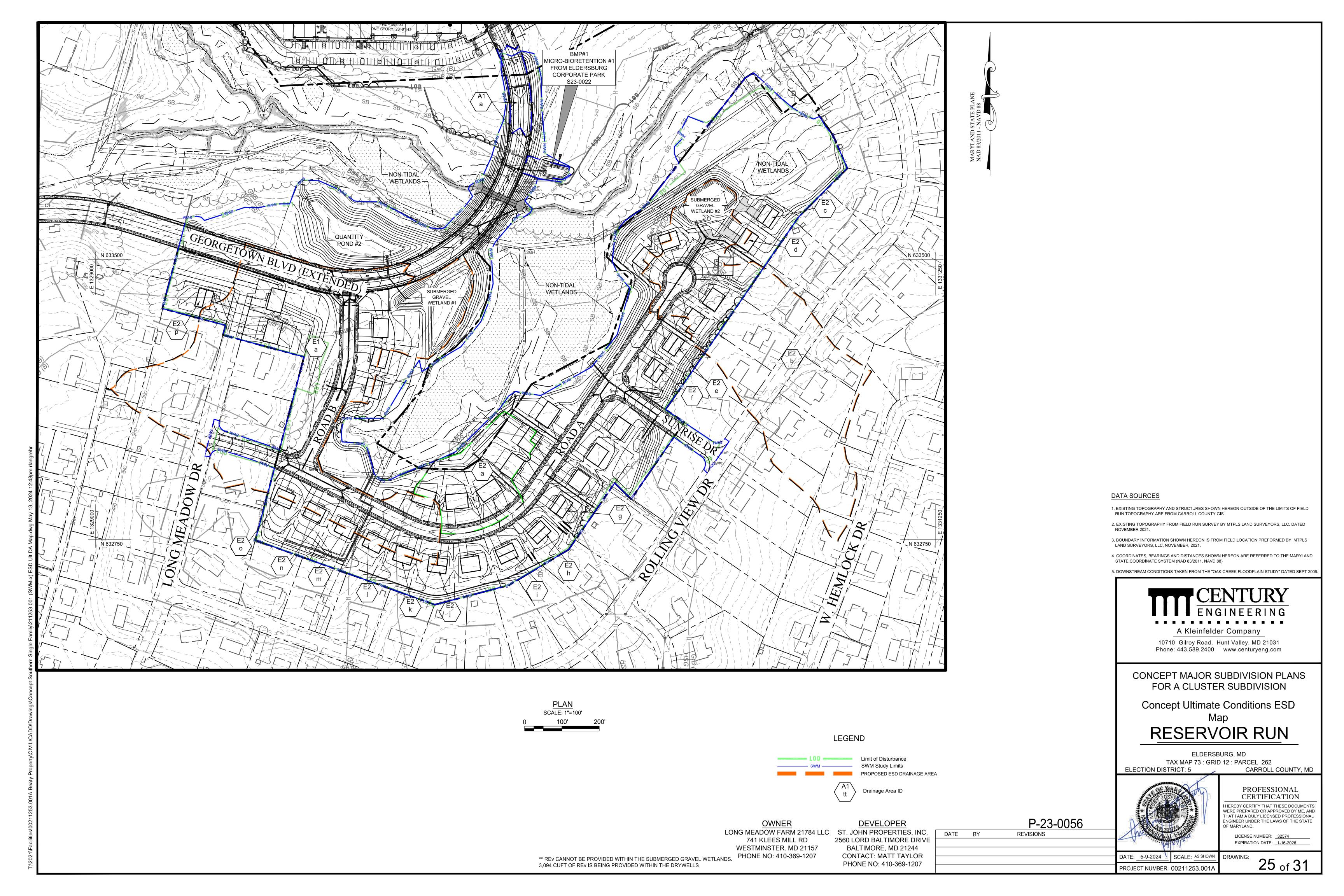
ENHANCE ORGANIC MATTER CONTENT WITHIN THE PLANTING PIT.

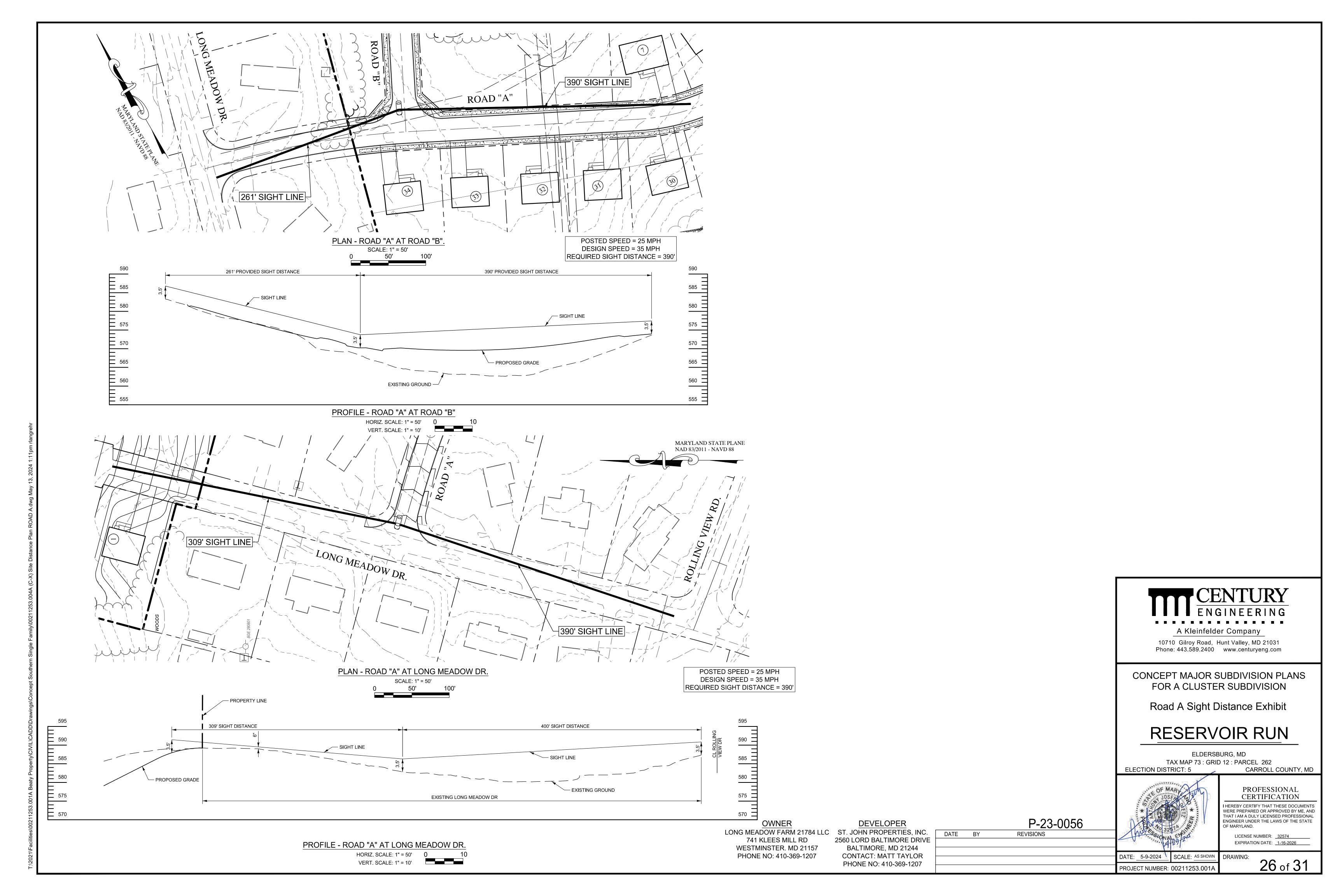
PREVENT UPHILL ROOTS FROM BEING PLANTED TOO DEEP. THE SLOPE SHALL BE CUT BACK TO CREATE A FLAT AREA UPSLOPE OF THE PLANTING PIT. THE EXCESS SOIL SHALL BE PLACED DOWNSLOPE OF THE PLANTING PIT TO EXTEND THE SHELF TO ENSURE DOWNSLOPE ROOTS WILL REMAIN BURIED. A SMALL BERM SHOULD BE FORMED AT THE DOWNSLOPE PORTION OF THIS NEWLY FORMED TERRACE TO RETAIN WATER FOR THE PLANT AND TO PREVENT EROSION.

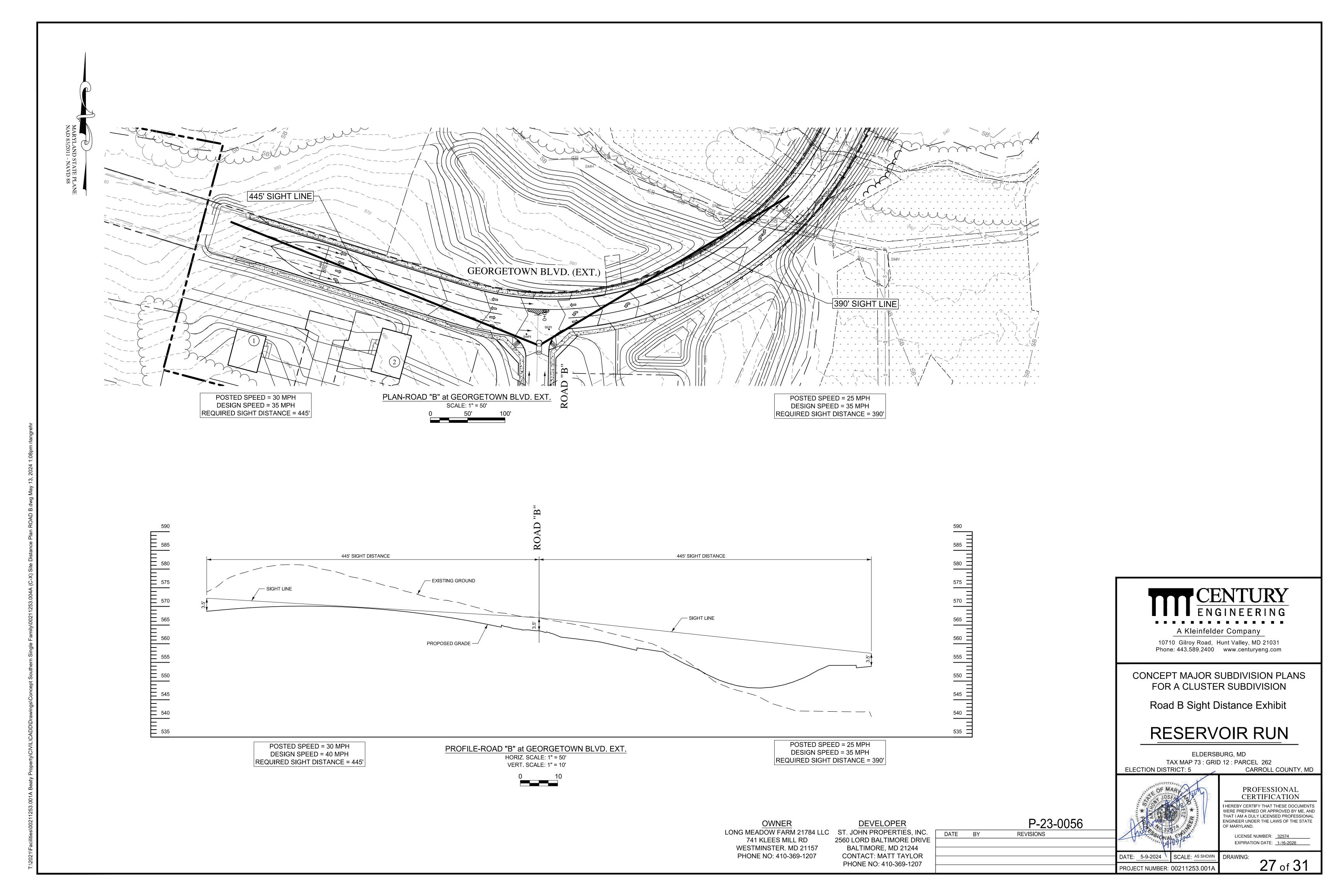
- a. ANY PLANT MATERIAL SHOWING SIGNS OF DISTRESS ARE TO BE REPLACED
- c. ALL MAN-MADE MATERIALS SHALL BE REMOVED FROM THE SITE WHICH
- e. PLANTED MATERIAL IS TO BE MONITORED FOR SIGNS OF DAMAGE AND
- f. AT THE END OF THE 3 YEAR MAINTENANCE PERIOD, THE SITE SHALL BE

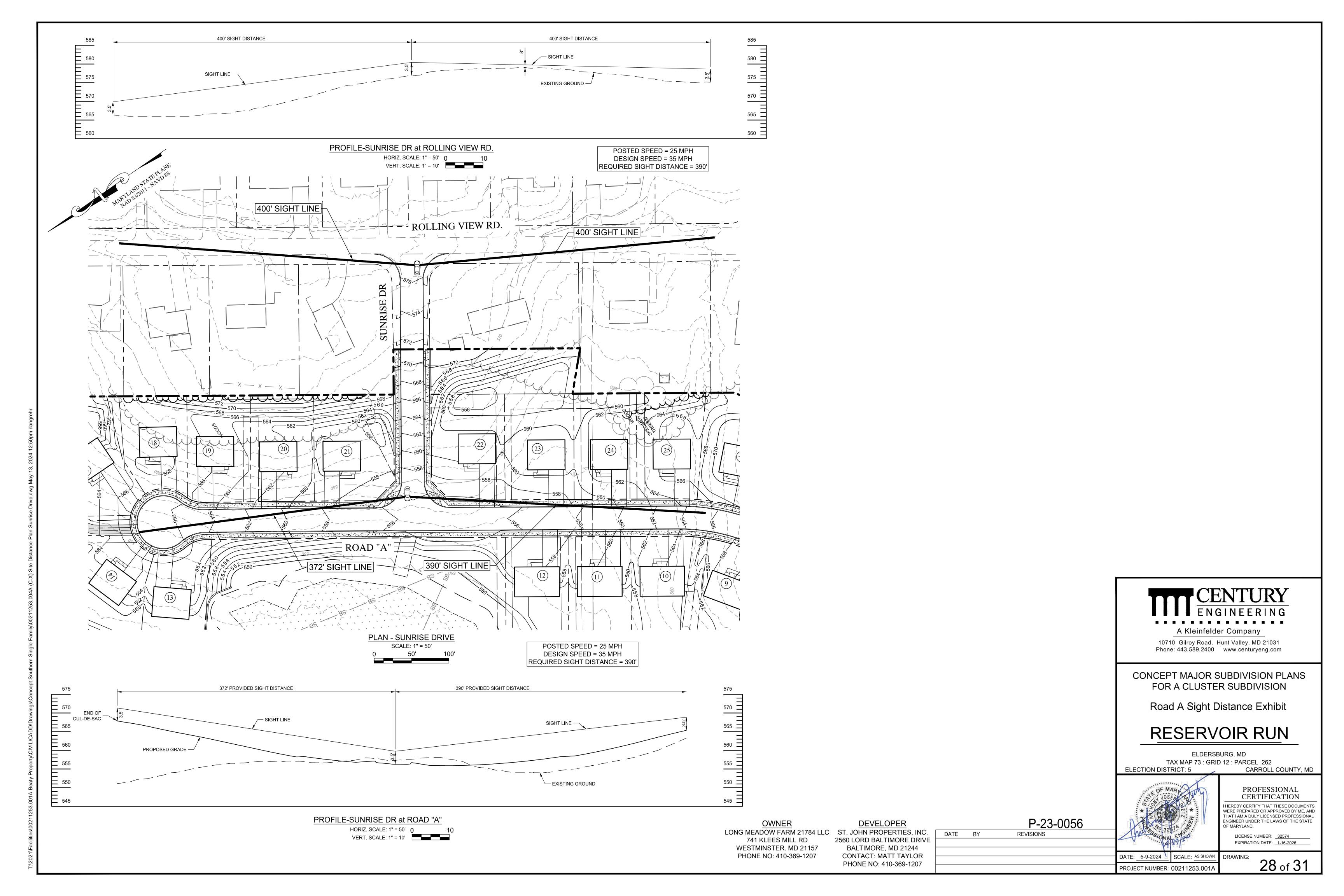
PHONE NO: 410-369-1207

2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

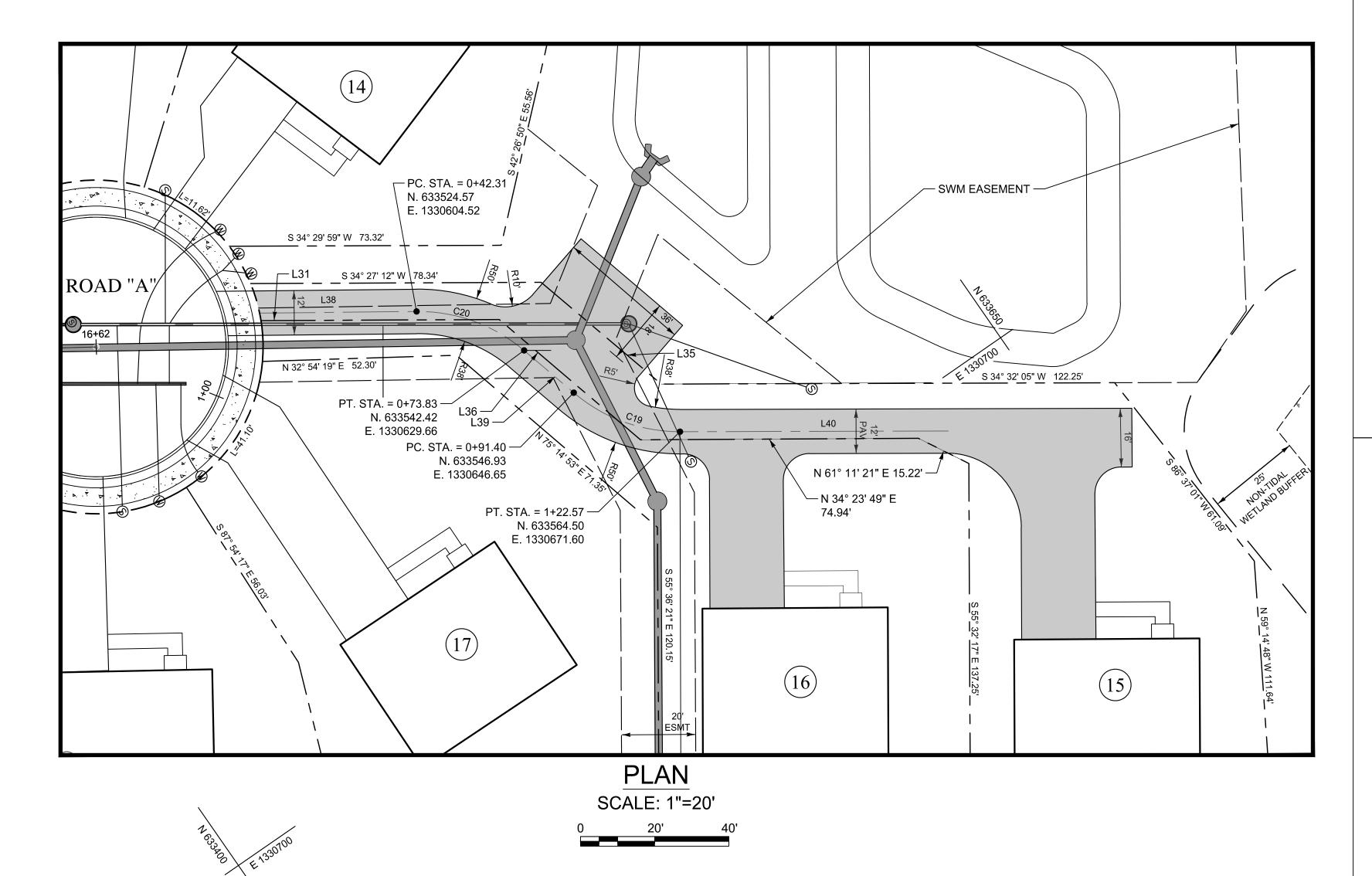


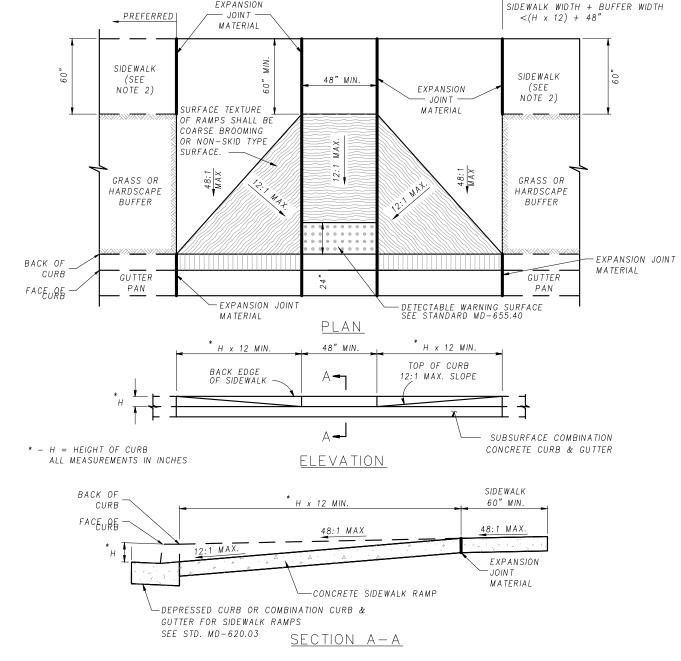




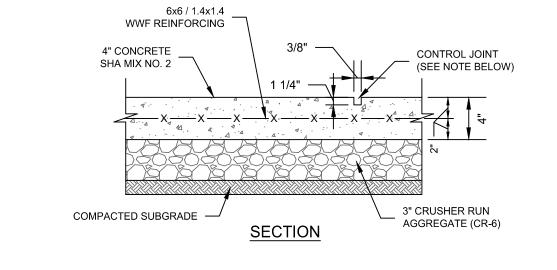


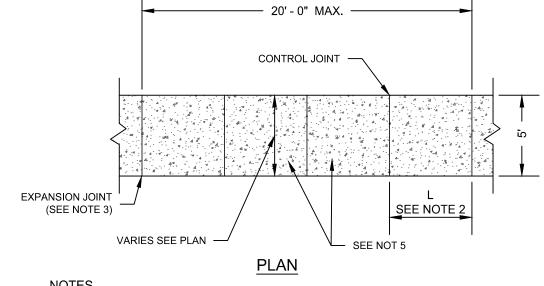






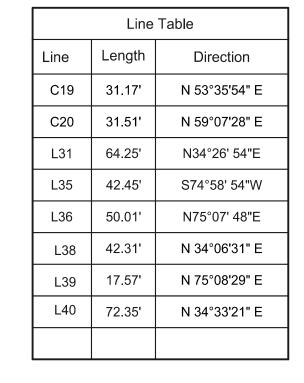
- 1. TO BE USED ON WIDE SIDEWALKS OR SIDEWALKS WITH SIGNIFICANT SEPARATION FROM THE ROADWAY WHERE THE GEOMETRY SPECIFIED IN THE DETAILS ABOVE CAN BE SATISFIED. MAY BE MODIFIED TO SUIT A PARTICULAR LOCATION.
- 2. WHERE 60" SIDEWALK CAN NOT BE PROVIDED, A DESIGN WAIVER MUST BE REQUESTED
- 3. NO TRVERSABLE SLOPE ON THE RAMP OR SIDEWALK SHALL EXCEED 12:1 IN THE DIRECTION OF PEDESTRIAN TRAVEL, OR 48:1 PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL. 4. EXPANSION JOINT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH STD. MD-655.01.
- 5. SIDEWALK RAMPS TO BE SHOWN ON PLANS SYMBOLICALLY AND REFERENCED WITH THE CENTER OF THE RAMP ALIGNED TO A STATION ON THE CONSTRUCTION CENTERLINE. SEPARATE DETAILS SHALL BE SHOWN WHERE PROPOSED RAMP VARIES FROM STANDARD CASES.
- 6. TRANSITION PANELS TO TIE INTO EXISTING SIDEWALK MUST BE A MINIMUM OF 5' IN LENGTH.





- ALL CONCRETE SHALL BE 6% AIR-ENTRAINED, 3000 P.S.I. SHA MIX. NO. 2, DEPTH SHALL BE 4".
- 2. PROVIDE SCORED CONTROL JOINTS EVERY 4'-0" MIN. BOTH DIRECTIONS.
- 3. PROVIDE 1/2" EXPANSION JOINT EVERY 20' O/C MAX. MARK EXPANSION/CONTRACTION JOINTS FOR SIDE-WALK WIDTHS 4'-0" TO 8'-0". IF "W" IS 8'-0" OR GREATER, ADD ADDITIONAL LONGITUDINAL EXPANSION JOINT AT CENTERLINE OF
- 4. PROVIDE 1/2" EXPANSION JOINT SEALANT WHERE SIDEWALK ABUTS CURB OR OTHER RIGID STRUCTURE(S).
- 5. ALL BROOM FINISH STROKES IN CONCRETE SIDEWALK TO BE PERPENDICULAR TO EDGES OF CONCRETE. DO NOT

CONCRETE SIDEWALK DETAIL NOT TO SCALE



PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE PROJECT LEGEND REFER TO SHEET 10, 11 AND 12 OF 31 FOR GRADING.

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CONCEPT MAJOR SUBDIVISION PLANS FOR A CLUSTER SUBDIVISION

Common Drive Layout Plan & Public Road Details RESERVOIR RUN

ELDERSBURG, MD

TAX MAP 73 : GRID 12 : PARCEL 262 **ELECTION DISTRICT: 5** CARROLL COUNTY, MD



PROJECT NUMBER: 00211253.001

**PROFESSIONAL** CERTIFICATION

WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE

LICENSE NUMBER: 32574 EXPIRATION DATE: 1-16-2026

SCALE: AS SHOWN DRAWING: 29 of 31

 $1\frac{1}{2}$ " MSHA SUPERPAVE 9.5 2" MSHA SUPERPAVE 12.5 mm PG-64-22 MIN 6" GRADED AGGREGATE

USE IN COMMON DRIVE PAVING SECTION

NOT TO SCALE

OWNER LONG MEADOW FARM 21784 LLC ST. JOHN PROPERTIES, INC. 741 KLEES MILL RD WESTMINSTER. MD 21157 PHONE NO: 410-369-1207

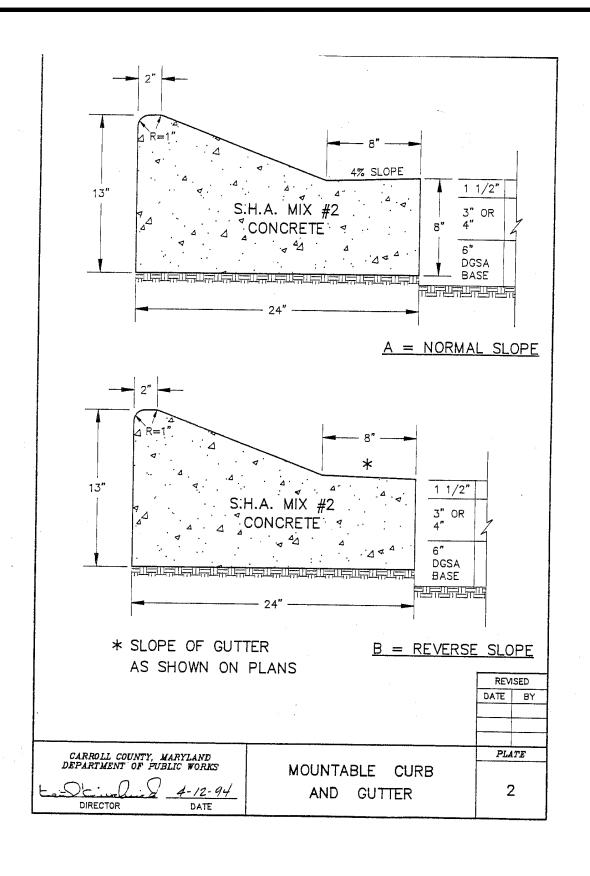
DEVELOPER 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR

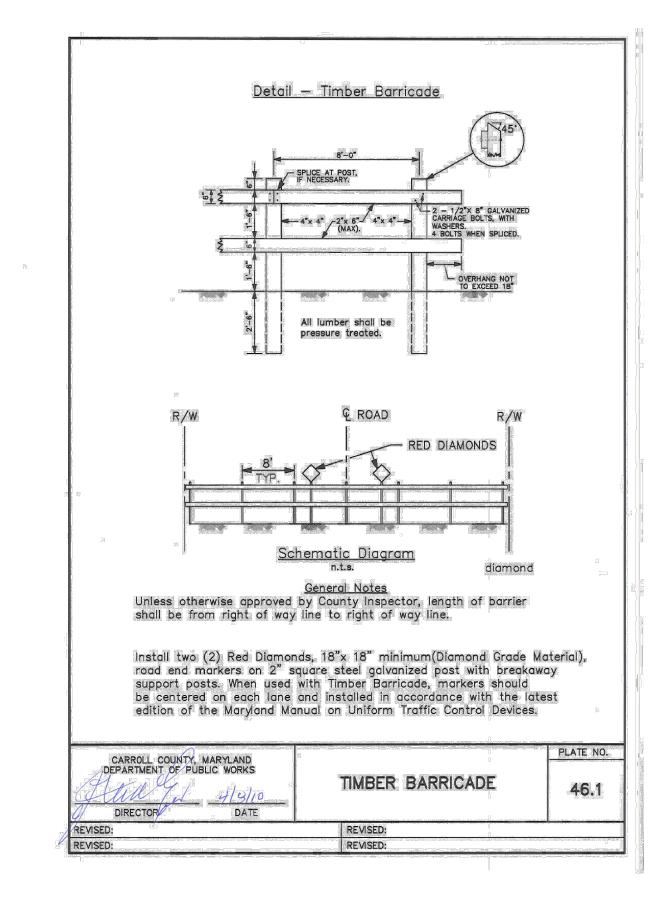
PHONE NO: 410-369-1207

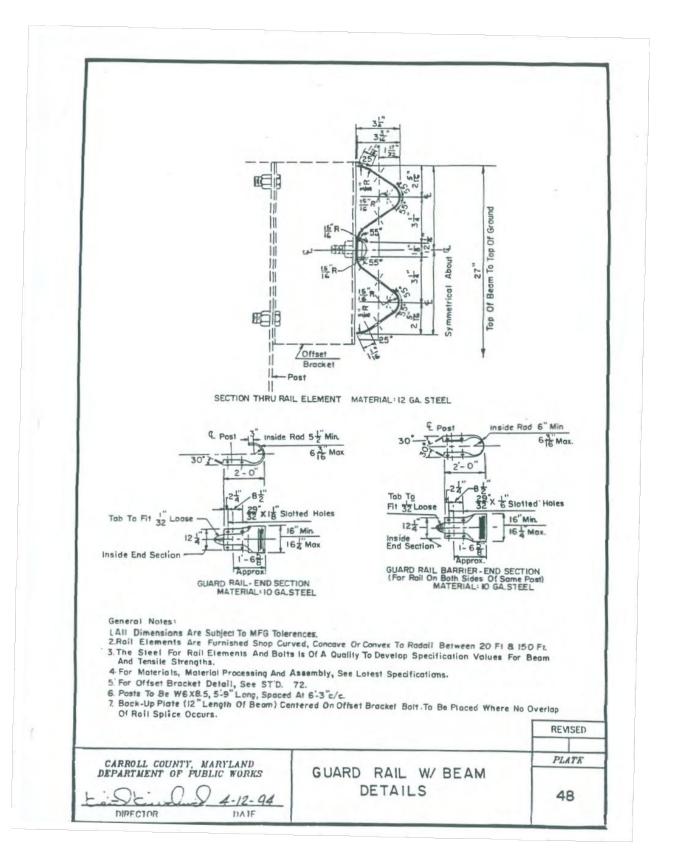
DATE BY

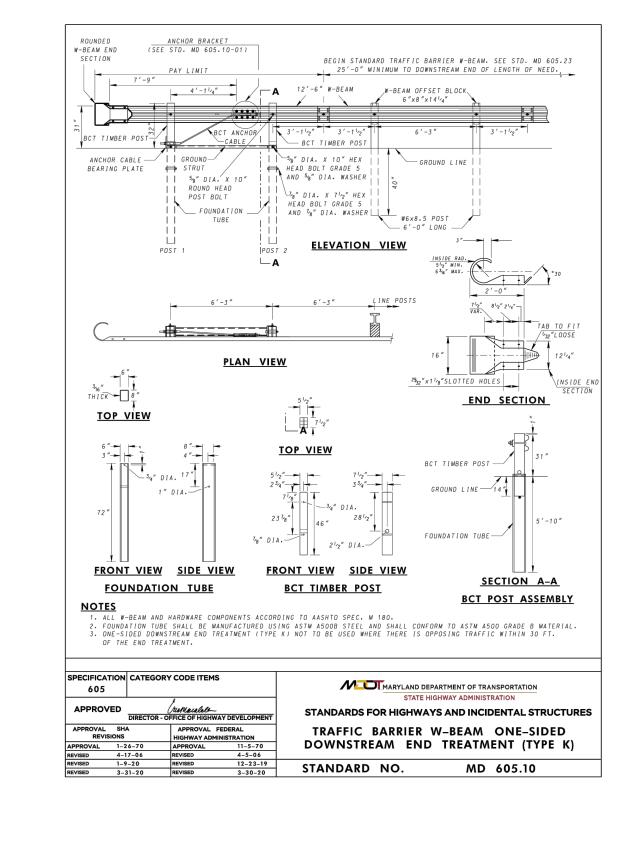
P-23-0056

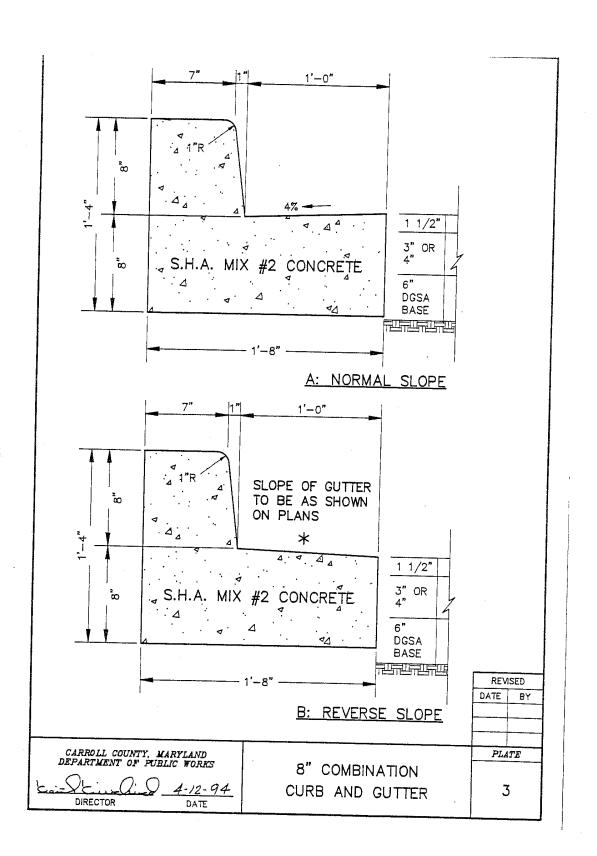
**REVISIONS** 

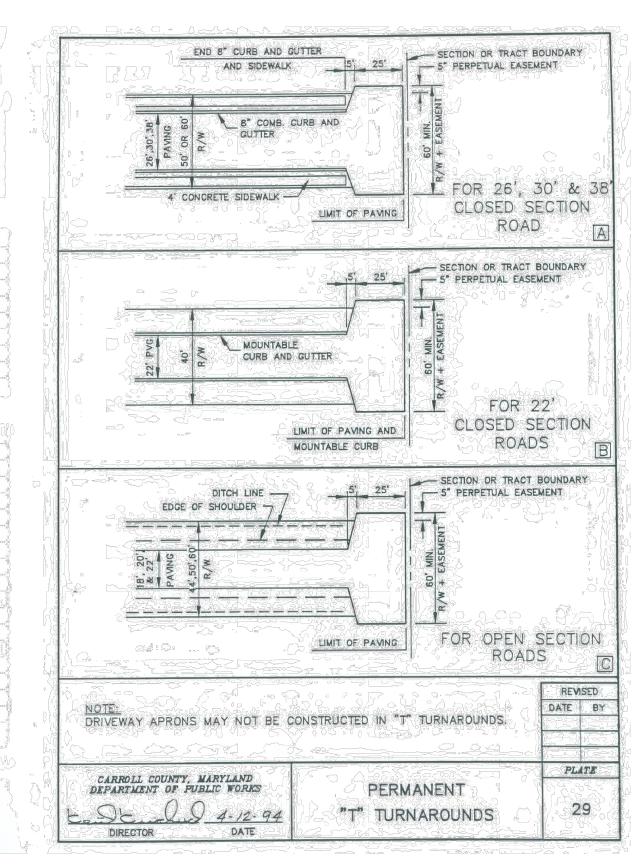


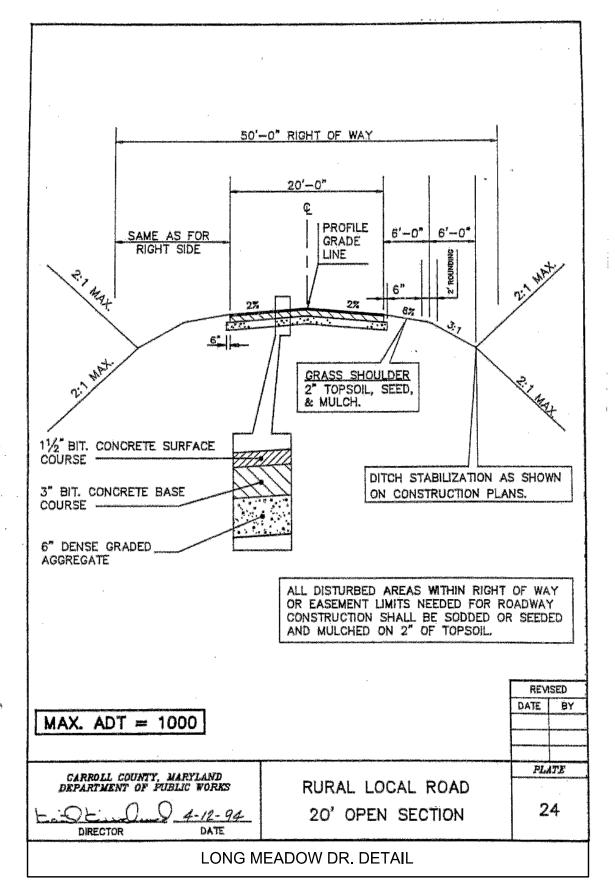








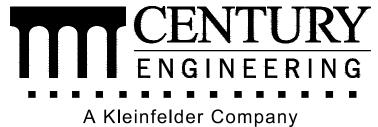






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CONCEPT MAJOR SUBDIVISION PLANS FOR A CLUSTER SUBDIVISION

Site Details

# RESERVOIR RUN

ELDERSBURG, MD

TAX MAP 73 : GRID 12 : PARCEL 262 **ELECTION DISTRICT: 5** CARROLL COUNTY, MD



P-23-0056

REVISIONS

**PROFESSIONAL** CERTIFICATION

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LICENSE NUMBER: 32574 EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024 SCALE: AS SHOWN DRAWING: 30 of 31 PROJECT NUMBER: 00211253.001

OWNER 741 KLEES MILL RD WESTMINSTER. MD 21157

DEVELOPER 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR

PHONE NO: 410-369-1207

DATE BY

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