

GENERAL NOTES

- EXISTING ZONING: R-20,000, RESIDENTIAL ZONING DISTRICT
- TOTAL AREA OF PROPERTY: 20.71 AC (902,053.37 S.F.)
- THE PROPERTY SHOWN HEREON IS OWNED BY: LONG MEADOW FARM 21784 LLC
- TAX MAP: 73 GRID: 12 PARCEL: 262
- DEED REFERENCE: 07240 / 00219
- PROPERTY BOUNDARY AND EXISTING TOPOGRAPHY SHOWN PER FIELD SURVEY BY SAMS COMPANIES (FORMERLY MTPLS, INC.) DATED 11/2021.
- LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION ARE EXISTING HYDRANTS LOCATED ON ROLLING VIEW DR. AND LONGMEADOW DR. ADDITIONAL HYDRANTS ARE PROPOSED ON SITE AS PART OF THIS SITE DEVELOPMENT PLAN TO ADDRESS FIRE PROTECTION REQUIREMENTS.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND WERE BASED ON ARCHIVAL DRAWINGS PROVIDED BY CARROLL COUNTY AND/OR THE STATE OF MARYLAND. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES TO THEIR SATISFACTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY RESULTING FROM ANY INACCURACIES THEREON.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES, AND NOT COMMENCE WORK UNTIL ALL UTILITIES HAVE BEEN CLEARLY MARKED.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- NOTE: ALL PROPOSED SPOT ELEVATIONS ARE LOCATED AT BOTTOM OF CURB AND ALL DIMENSIONS ARE TO FACE OF CURB UNLESS LABELED OTHERWISE.
- THE COORDINATES SHOWN HEREON ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM - NAD 83 (2011) AND ARE BASED UPON THE FOLLOWING CONTROL STATIONS:

DESIGNATION	NORTH (SFT)	EAST (SFT)	ELEV.
"BEVARD"	633722.46	1326946.06	615.11
"BEVARD AZ"	633573.26	1328331.51	583.43

- THERE IS AN EXISTING COUNTY REGULATED FLOODPLAIN AS WELL AS WETLANDS, STREAMS AND ASSOCIATED BUFFERS ON SITE.
- THE SITE IS APPROXIMATELY 10,000' FROM THE NEAREST PRODUCTION WELL.
- NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY.
- UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES ONCE APPROVAL HAS BEEN GRANTED.
- ENTRANCE CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THAT OFFICE AT 410-386-2157 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING WORK IN OR ALONG ANY PUBLIC ROAD.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF UTILITIES AT 410-386-2164 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON PUBLIC WATER OR SEWER WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS.
- THE SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND MANAGEMENT AREA. IF THE PROPOSED USE OF ANY BUILDING IS TO INCLUDE THE STORAGE OR USE OF REGULATED SUBSTANCES, THE REQUIREMENTS OF CHAPTER 154, WATER RESOURCE MANAGEMENT OF THE CARROLL COUNTY CODE OF PUBLIC LOCAL LAWS AND ORDINANCES MUST BE ADDRESSED.
- THE PROPERTY IS LOCATED IN THE FREEDOM PRIORITY FUNDING AREA (PFA).
- VARIABLE WIDTH STREAM BUFFER DELINEATION AND SUBSEQUENT EASEMENT DEDICATION ARE BEING ADDRESSED UNDER ELDERSBURG CORPORATE PARK (S-23-0022) SITE PLAN. IF THIS PLAN IS APPROVED PRIOR TO SITE PLAN (S-23-0022), ALL REQUIREMENTS OF CHAPTER 154 MUST BE ADDRESSED ON THIS PLAN FOR ANY WATER RESOURCES ON SITE.
- IMPACTS TO WATER RESOURCES RESULTING FROM THE ROAD CONSTRUCTION AND STREAM CROSSING ARE BEING ADDRESSED UNDER ELDERSBURG COPORATE PARK (S-23-0022) SITE PLANS. F THIS PLAN IS APPROVED PRIOR TO SITE PLAN (S-23-0022), ALL REQUIREMENTS OF CHAPTER 154 MUST BE ADDRESSED ON THIS PLAN FOR ANY WATER RESOURCES ON SITE.
- MAXIMUM NUMBER OF LOTS PERMITTED ON PARCEL PER ZONING = 45  
TOTAL NUMBER OF PROPOSED LOTS = 34
- THERE ARE NO TRAIL BLAZER ROUTE/ STOPS NEAR THE SUBJECT PROPERTY.

CONCEPT MAJOR SUBDIVISION PLANS

FOR

A CLUSTER SUBDIVISION

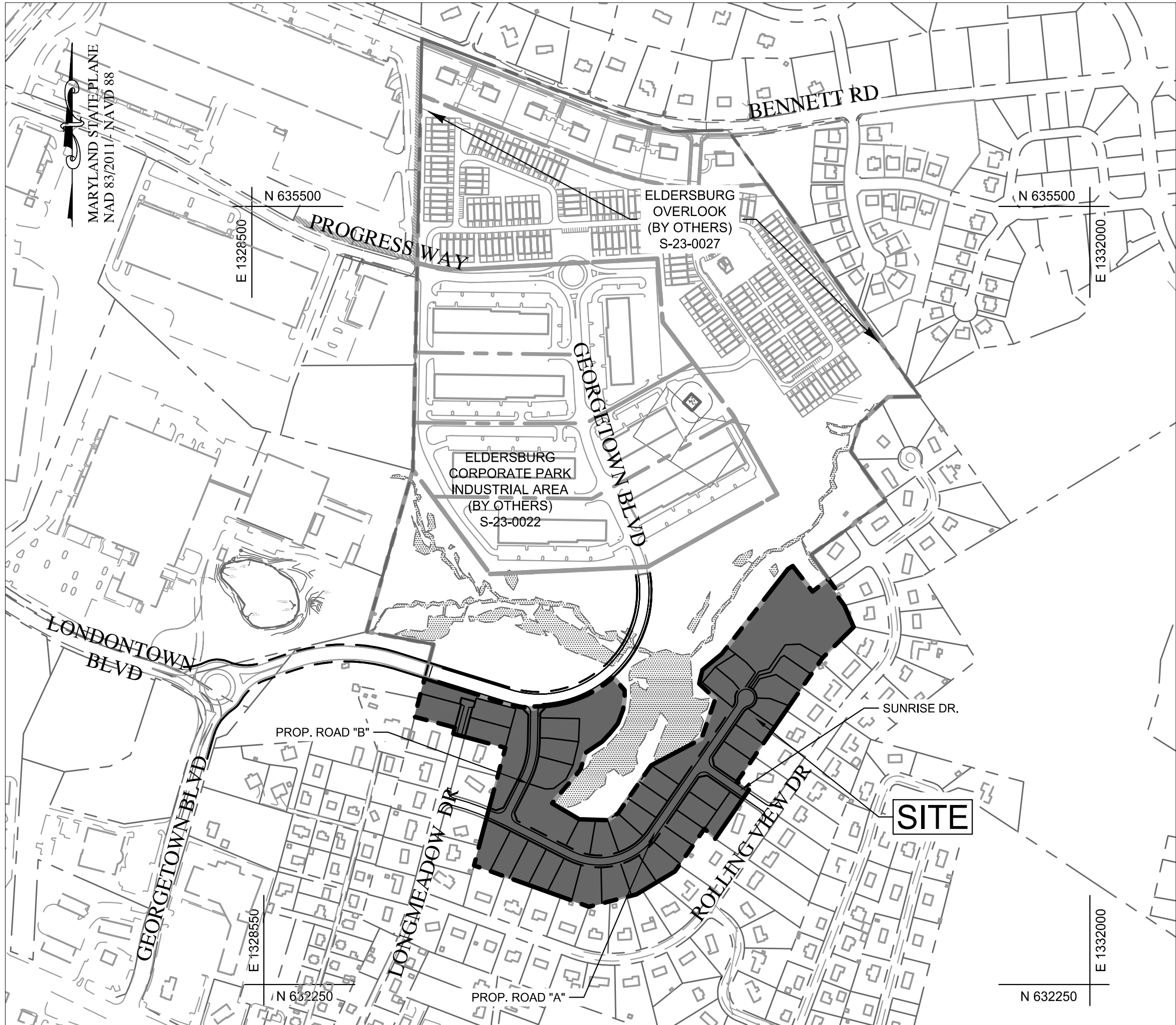
RESERVOIR RUN SUBDIVISION PLANS

TAX MAP #73, GRID #12, PARCEL #262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MARYLAND

OWNER ADDRESS  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
(410) 369-1207

DEVELOPER ADDRESS  
ST. JOHN PROPERTIES INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 369-1207

SITE ADDRESS  
1701 BENNETT ROAD  
ELDERSBURG, MD 21784



LOCATION MAP

SCALE: 1"=400'



TRIP GENERATION:

ITE TRIP GENERATION MANUAL (11<sup>TH</sup> EDITION) METHODOLOGY USED:

#210 SINGLE-FAMILY UNIT

28 AM PEAK HOUR TRIPS  
36 PM PEAK HOUR TRIPS  
39 SATURDAY PEAK HOUR TRIPS  
374 AVERAGE DAILY TRIPS (ADT)

SOIL TYPES:

GaC - GAILA LOAM  
GdB - GLENELG LOAM  
GdB - GLENVILLE SILT LOAM  
MaC - MANOR LOAM  
MaF - MANOR LOAM

SOILS FROM CUSTOM SOIL REPORT FROM NRCS WEB SOIL MAPPING SERVICE DOWNLOADED AUGUST, 2022.

SOIL CLASSIFICATION MAP No 48 & 49

OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

STORMWATER MANAGEMENT NOTE

STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE CARROLL COUNTY POLICY FOR STORMWATER MANAGEMENT, AS SPECIFIED IN CHAPTER 151.015 THE CARROLL COUNTY CODE. THE STORMWATER FROM THIS SITE DRAINS INTO SNOWDENS RUN, A USE III STREAM. ACCORDINGLY, THE 100-YEAR STORM WILL BE MANAGED THROUGH A COMBINATION OF BIOSWALE, SUBMERGED GRAVEL WETLANDS, DRY WELLS AND QUANTITY POND.

DATE	BY	REVISIONS

Reservoir Run Lots		
Lot Number	Lot Area	Open Space Required
1	17625	2375
2	14540	5460
3	14834	5166
4	14657	5343
5	15278	4722
6	14380	5620
7	11843	8157
8	12654	7346
9	12499	7501
10	12036	7964
11	11928	8072
12	11918	8082
13	12161	7839
14	12542	7458
15	14447	5553
16	13593	6407
17	15280	4720
18	11294	8706
19	12053	7947
20	12057	7943
21	14902	5098
22	14846	5154
23	11904	8096
24	11903	8097
25	12320	7680
26	14778	5222
27	13938	6062
28	14929	5071
29	16875	3125
30	14111	5889
31	13626	6374
32	14514	5486
33	15410	4590
34	17717	2283
Required Open Space		210608 sq.ft. or 4.83 ac.

LIST OF DRAWINGS

- Title Sheet
- Legends And Abbreviations Sheet
- Overall Site Plan
- Existing Conditions And Demolition Plan
- Existing Conditions And Demolition Plan
- Existing Conditions And Demolition Plan
- Site, Layout And Utility Plan
- Site, Layout And Utility Plan
- Site, Layout And Utility Plan
- Grading Plan
- Grading Plan
- Grading Plan
- Sediment And Erosion Control Plan
- Sediment And Erosion Control Plan
- Sediment And Erosion Control Plan
- Sediment And Erosion Control Plan
- Sediment And Erosion Control Plan
- Sediment And Erosion Control Specifications
- Sediment And Erosion Control Details
- Landscape Plan
- Landscape Plan
- Landscape Plan
- Landscape Details
- Concept Ultimate Conditions ESD Map
- Road A Sight Distance Exhibit
- Road B Sight Distance Exhibit
- Sunrise Drive Sight Distance Exhibit
- Common Drive Layout Plan & Public Road Details
- Site Details
- Open Space Plan

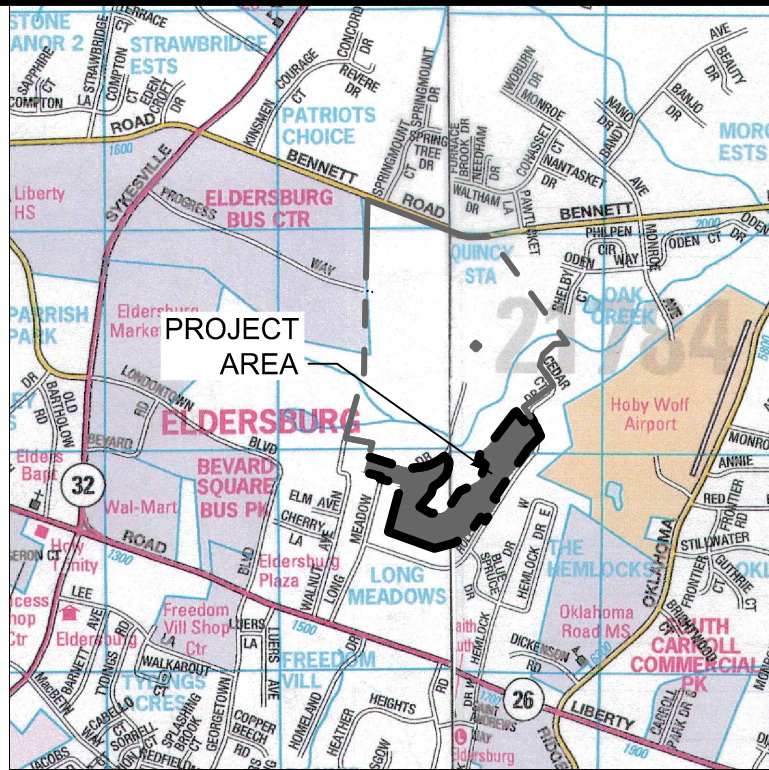
DATA TABLE

- ZONING DISTRICTS: R-20,000 (CLUSTER SUBDIVISION)
- NUMBER OF LOTS PROPOSED: 34 SINGLE FAMILY
- TOTAL AREA OF SUBDIVISION: 20.71 Ac (902,053.37 S.F.)
- TOTAL AREA OF BUILDABLE LOTS: 10.78 Ac (469,392 S.F.)
- TOTAL AREA OF ROADS (PUBLIC) 2.57Ac.

OPEN SPACE TABULATIONS				
Parcel	Parcel Area	Credited Area	Percentage of Credited Area	Percentage of Non-Credited Area
Parcel A	2.94	1.57	53.00%	47.00%
Parcel B	0.27	0.08	30.00%	70.00%
Parcel C	0.59	0.34	58.00%	42.00%
Parcel D	1.10	0.70	64.00%	36.00%
Parcel E	1.19	0.10	8.00%	92.00%
Total	6.09	2.79		

CREDITED AREA PER OPEN SPACE PARCEL IS ALL AREA NOT WITHIN STEEP SLOPES, STREAMS, PONDS, WATERCOURSES OR FLOODPLAINS

OPEN SPACE REQUIRED = 4.83 ac  
OPEN SPACE PROVIDED = 6.09 ac  
OPEN SPACE PROVIDED WITHIN CREDITED AREA = 2.79 ac  
ACTIVE OPEN SPACE REQUIRED = 1.50 ac  
ACTIVE OPEN SPACE PROVIDED = 1.65 ac WITHIN PARCEL A AND PARCEL C



VICINITY MAP

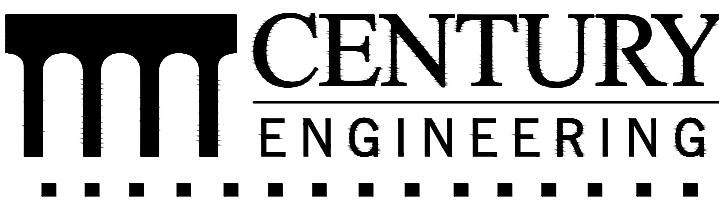
SCALE: 1"=2000'

WATER RESOURCE MANAGEMENT NOTES

THIS PROPERTY DOES NOT FALL WITHIN A TIER II WATERSHED. THE PROPERTY IS WITHIN A CLASS III WATERSHED. SURFACE WATER PROTECTION WATERSHED AND SURFACE WATER MANAGEMENT AREA.

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.



A Kleinfelder Company

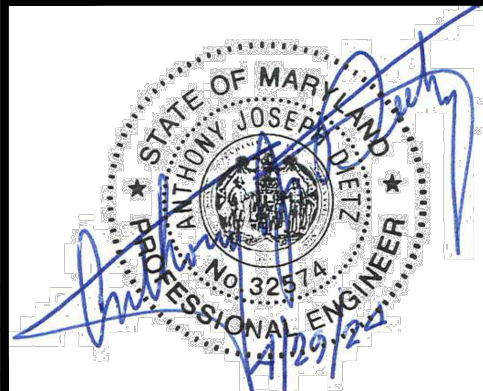
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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Title Sheet

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 32674  
EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN

DRAWING:

1 of 31



GENERAL NOTES

1. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES:
- A. DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
  - B. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
  - C. BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
  - D. STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, 2008 EDITION, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
  - E. MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
  - F. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.
- ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.
2. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
3. CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
4. LOCATIONS OF EXISTING UTILITIES ARE SHOWN ONLY AS NOTIFICATION TO CONTRACTOR OF THE PRESENCE OF UNDERGROUND UTILITIES. CARROLL COUNTY AND THE DESIGN ENGINEER DO NOT WARRANT OR GUARANTEE CORRECTNESS OR COMPLETENESS OF INFORMATION SHOWN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY AT 1-800-257-7777 FOR VERIFYING EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY DAMAGE TO EXISTING UTILITIES DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
5. DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.
6. IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
7. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS, IF THE DEPARTMENT OF PUBLIC WORKS DETERMINES PLAN REVISIONS ARE NECESSARY. NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.
8. FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.
9. CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.
10. DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.
11. INLET GRATES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.
12. PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
13. WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1.0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED ON PLANS.
14. ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED IN THE UTILITY PERMIT.
15. ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON THE TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE. AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.
16. OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROW MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.
17. THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.
18. PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.
19. CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY PUBLIC RIGHT-OF-WAY.

ABBREVIATIONS

APPROX.	APPROXIMATELY
AVE	AVENUE
BGE	BALTIMORE GAS & ELECTRIC
C.O.	CLEANOUT
CAP	CONCRETE ARCH PIPE
cfs	CUBIC FEET PER SECOND
C.I.	CAST IRON
CL	CLEARANCE
CL	CLEAR
C.L.F.	CHAIN LINK FENCE
CL IV	CLASS IV
CMAP	CORRUGATED METAL ARCH PIPE
CMP	CORRUGATED METAL PIPE
CONC.	CONCRETE
C&P	CHESAPEAKE & POTOMAC
	CENTER LINE
	STORM DRAIN
	DETECTOR CHECK
D.C.	DUCTILE IRON
D.I.	DUCTILE IRON PIPE
D.I.P./DIP	DEPARTMENT
DEPT	DRAWING
DWG	EAST
(E)	EAST BOUND
E.B.	ELECTRIC
ELEC	ELEVATION
ELEV	EASEMENT
ESMT	EXISTING
EX.	FIRE DEPARTMENT CONNECTION
FDC	FINISHED FLOOR ELEVATION
FF/FFE	FIRE HYDRANT
F.H.	FEET PER SECOND
fps	GAS
G.	GUY WIRE
G.W.	GALVANIZED
GALV.	HYDRAULIC GRADE LINE
HGL	HAND BOX
H.B.	HORIZONTAL
HORIZ	HIGHWAY
HWY	INLET
I.	INVERT
INV.	LANE
LN	LOW PRESSURE
LP	MANHOLE
MH	MINIMUM
MIN.	NORTH
(N)	NORTH BOUND
N.B.	NOT APPLICABLE
N/A	NORTH AMERICAN DATUM
NAD	NORTH AMERICAN VERTICAL DATUM
NAVD	OVERHEAD ELECTRIC
OHE	PARKWAY
PKWY	PROPOSED
PR/PROP.	POLYVINYL CHLORIDE
PVC	QUANTITY
QTY.	RIGHT-OF-WAY
R/W	REINFORCED CIRCULAR CONCRETE PIPE
RCCP	RETAINING
RET	REVISION
REV	ROOF DRAIN
RD	SOUTH
(S)	SANITARY
S./SAN.	SOUTH BOUND
S.B.	SANITARY HOUSE CONNECTION
S.H.C	SIDEWALK
S/W	SCHEDULE
SCH	STORM DRAIN
SD.	SQUARE FEET
SQ.FT.	STREET
ST.	STANDARD
STD.	TRAFFIC CONTROL BOX
TCB	TYPICAL
TYP.	UNDER GROUND
U/G	UNKNOWN
UK	VERTICAL
VERT	WEST
(W)	WATER
W.	WEST BOUND
W.B.	WITH
W/	WATER HOUSE CONNECTION
WHC	WATER METER
WM	

SITE LEGEND

<b>ZONE: C-2</b>	Zoning Line
<b>ZONE: T-1</b>	Property line with Bearing & Distance
<b>N 30°52'32" W - 100.00'</b>	Adjoiner Property line
---	Existing Easement line
-300---	Existing Field Run Major Contour
-299---	Existing Field Run Minor Contour
-300---	Existing GIS Major Contour
-298---	Existing GIS Minor Contour
<b>13UC (A)</b> <b>48UB (C)</b>	Existing Soils Limits with HSG Designation
<b>Ex 15" SD</b> SD	Existing Storm Drain Line (Less than 24") with Manhole
<b>Ex 30" SD</b>	Existing Storm Drain Line (24" and Greater)
	Existing Storm Drain Inlets
<b>Ex 8" S</b> S	Existing Sanitary Sewer Line With Manhole
<b>Ex 8" W</b> W	Existing Water Line With Valve
<b>Ex 8" GAS</b> G	Existing Gas Line With Valve
<b>UGE</b>	Existing Underground Electric Lines
<b>OHE</b>	Existing Overhead Electric Lines with Pole
X X X	Existing Chainlink Fence
// // // //	Existing Wood Fence
==	Existing Pavement Edge
==	Existing Curb & Gutter
---	Existing Sidewalk
	Existing Structure
	Existing Treeline
	Existing Non-tidal Wetlands
<b>SB</b> SB	25' Non-tidal Wetlands Buffer
<b>FP</b> FP	Stream Buffer
	Flood Plain
	Existing Street Light
	Ex. Water Valve
	Ex. Water Meter
	Existing Fire Hydrant
	Ex. Sanitary Cleanout
	Ex. Sign
---	Limit of Field Run Topo
290	Proposed Major Contour
287	Proposed Minor Contour
	Proposed Structure
---	Proposed Pavement Edge
---	Proposed Curb & Gutter
---	Proposed Sidewalk
	Proposed Retaining Wall
	Proposed Storm Drain with Manhole
	Proposed Storm Drain Inlets
	Proposed Sewer With Manhole
	Proposed Water
	Proposed Site Lighting (by others)
	Proposed Fire Hydrant
	Proposed Water Reducer
	Proposed Water Valve
	Proposed Sign
	Proposed Paving

SEDIMENT CONTROL LEGEND

SF	SF	Silt Fence
SSF	SSF	Super Silt Fence
RSF	RSF	Reinforced Silt Fence
		Earth Dike
		Temporary Swale
		Removable Pumping Station
LOD		Limit of Disturbance
		Stabilized Construction Entrance (SCE)
AGIP		At Grade Inlet Protection
SIP		Standard Inlet Protection
COIP		Combination Inlet Protection
IB		Inlet Blocking

DATA SOURCES

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.

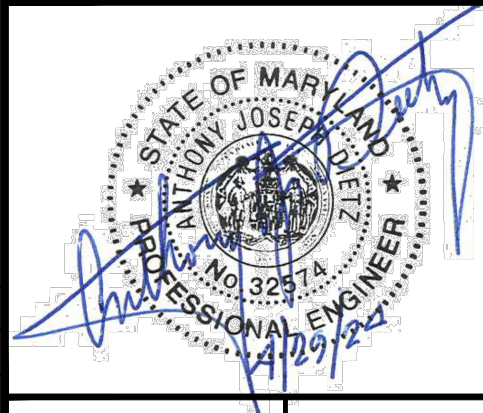


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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION  
Legends and Abbreviations  
Sheet  
RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



PROFESSIONAL  
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME, AND  
THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.

LICENSE NUMBER: 32674  
EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN

DRAWING:

2 of 31

NOTE

ALL ITEMS SHOWN IN LEGEND MAY NOT BE PRESENT ON ALL SHEETS. ADDITIONAL SUPPLEMENTAL LEGENDS MAY APPEAR ON INDIVIDUAL SHEETS AS NECESSARY.

OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

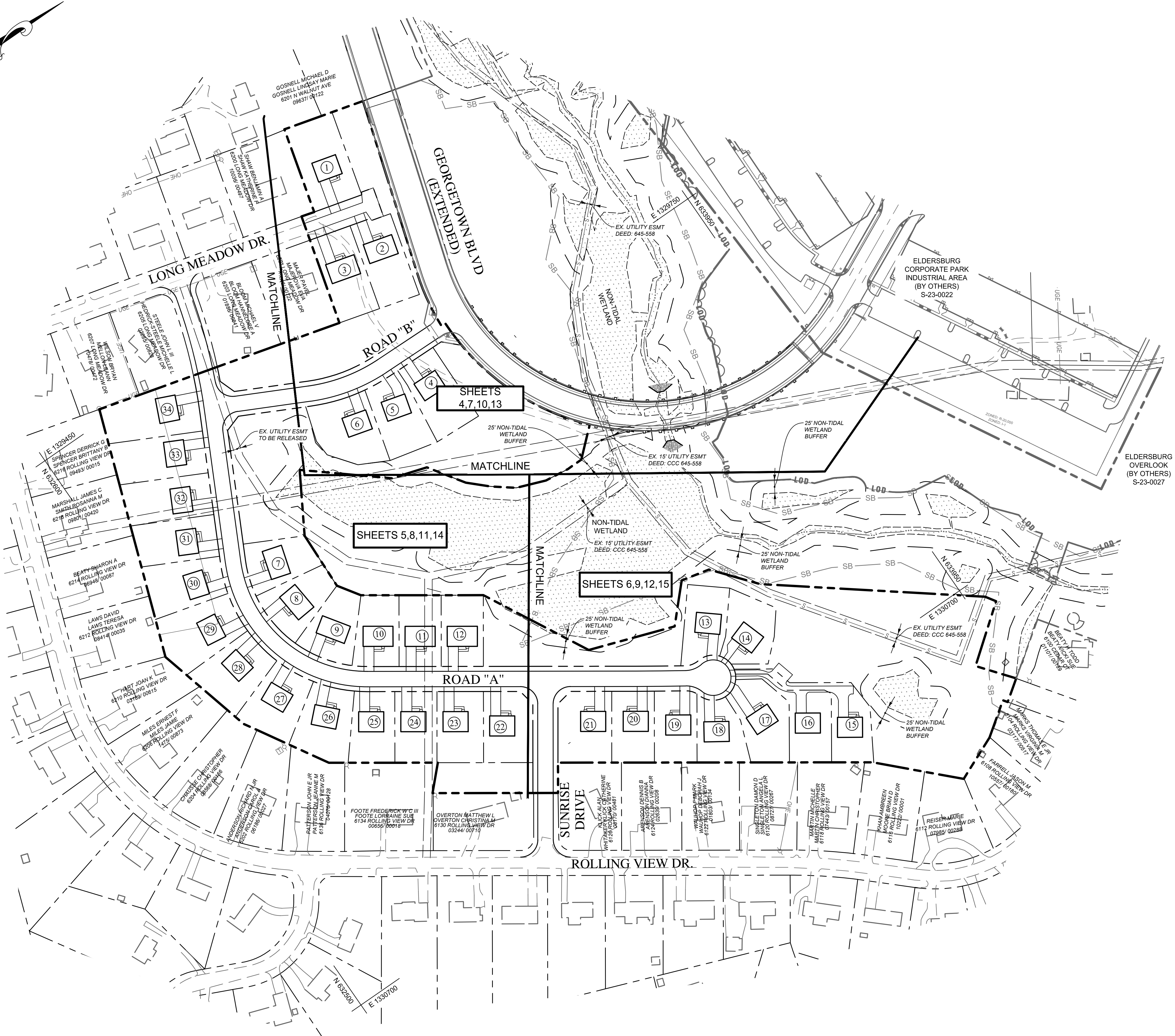
DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

P-23-0056

DATE	BY	REVISIONS

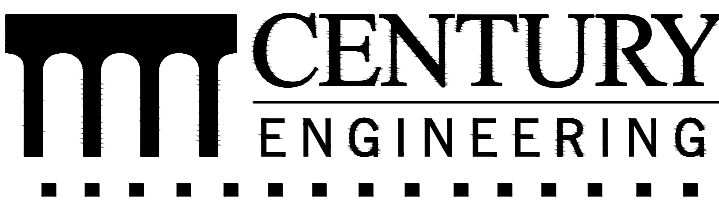


MARYLAND STATE PLANE  
NAD 83/2011 - NAVD 88



DATA SOURCES

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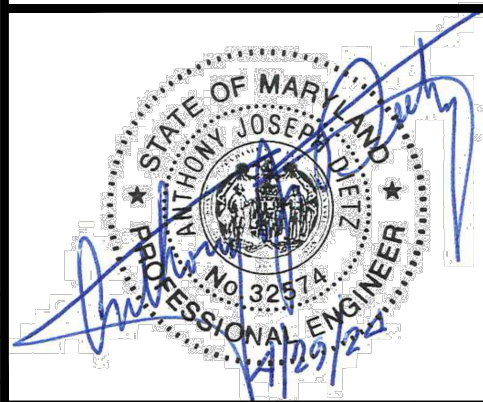
10710 Gilroy Road, Hunt Valley, MD 21031  
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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Overall Site Plan

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



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PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN

DRAWING:

3 of 31

PLAN  
SCALE: 1"=100'

0 100' 200'

OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
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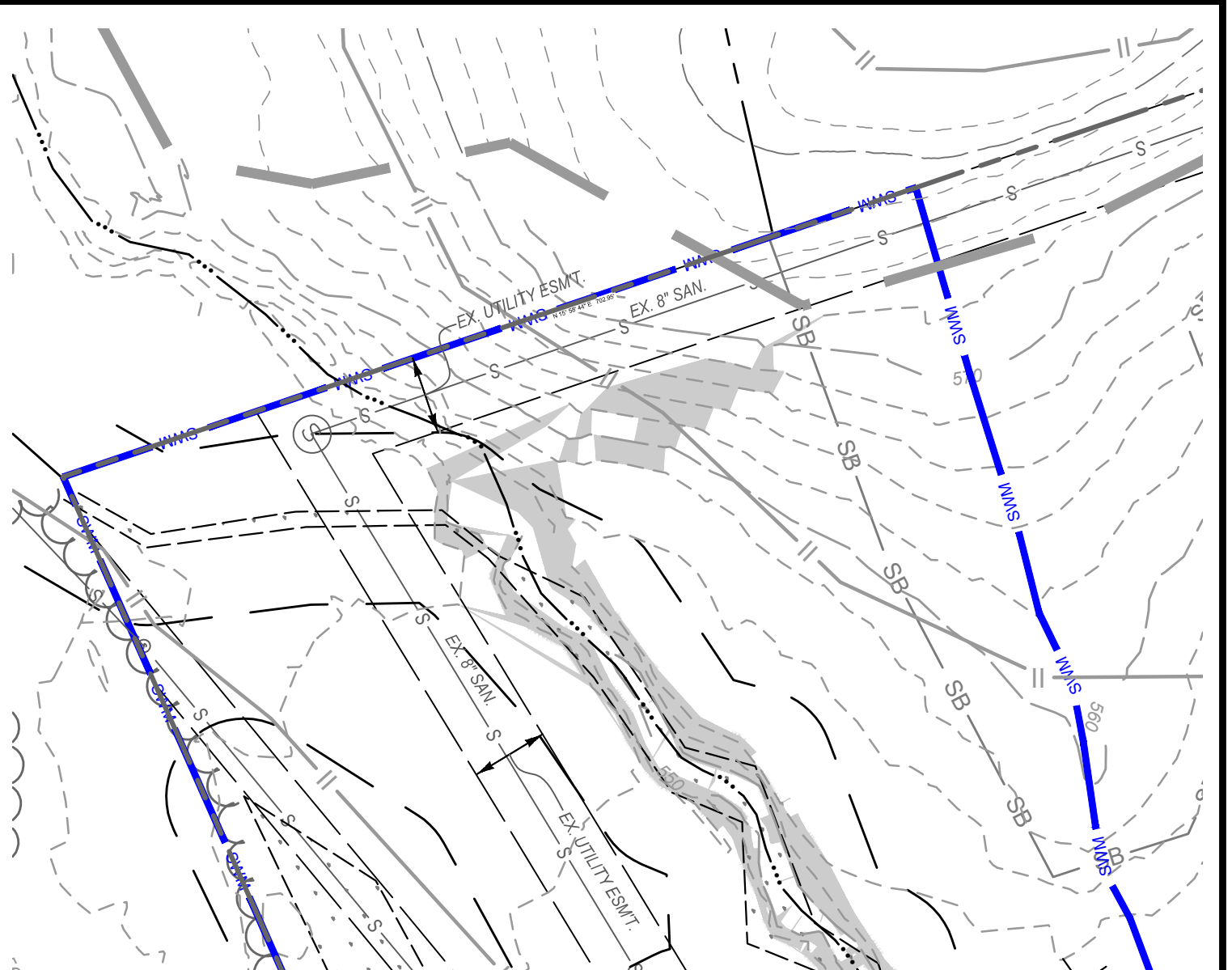
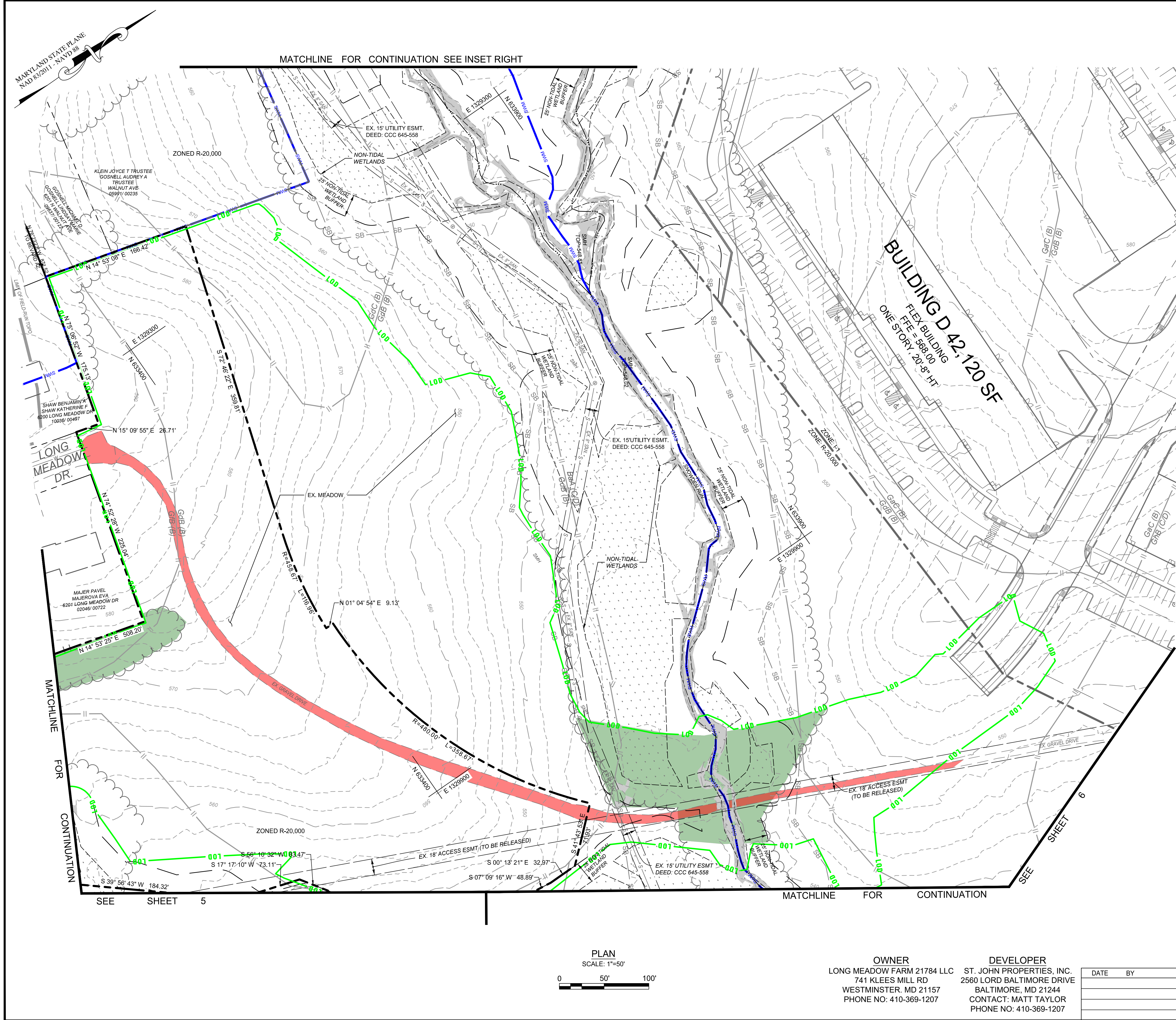
DEVELOPER  
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2560 LORD BALTIMORE DRIVE  
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P-23-0056

DATE	BY	REVISIONS



T:\2021\Facilities\00211253.001A Beaty Property\CIVIL\CAD\Drawings\Concept Southern Single Family\211253.00 (C-X) Ex Cond Plan.dwg May 13, 2024 12:38pm rlangehr



MATCHLINE FOR CONTINUATION SEE LEFT

**SUPPLEMENTAL  
LEGEND**

- Existing Impervious Areas within LOD (TBR)
- Existing Wooded Areas within LOD
- Limit of Disturbance
- SWM Study Limits

PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE  
PROJECT LEGEND

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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION  
Existing Conditions And Demolition Plan

**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



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EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024 SCALE: AS SHOWN DRAWING:  
PROJECT NUMBER: 00211253.001A

PLAN  
SCALE: 1"=50'  
0 50' 100'

**OWNER**  
LONG MEADOW FARM 21784 LLC  
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WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

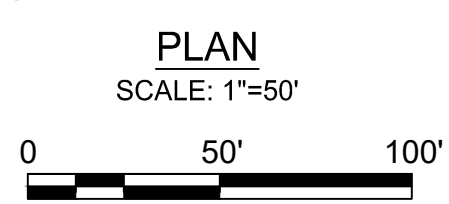
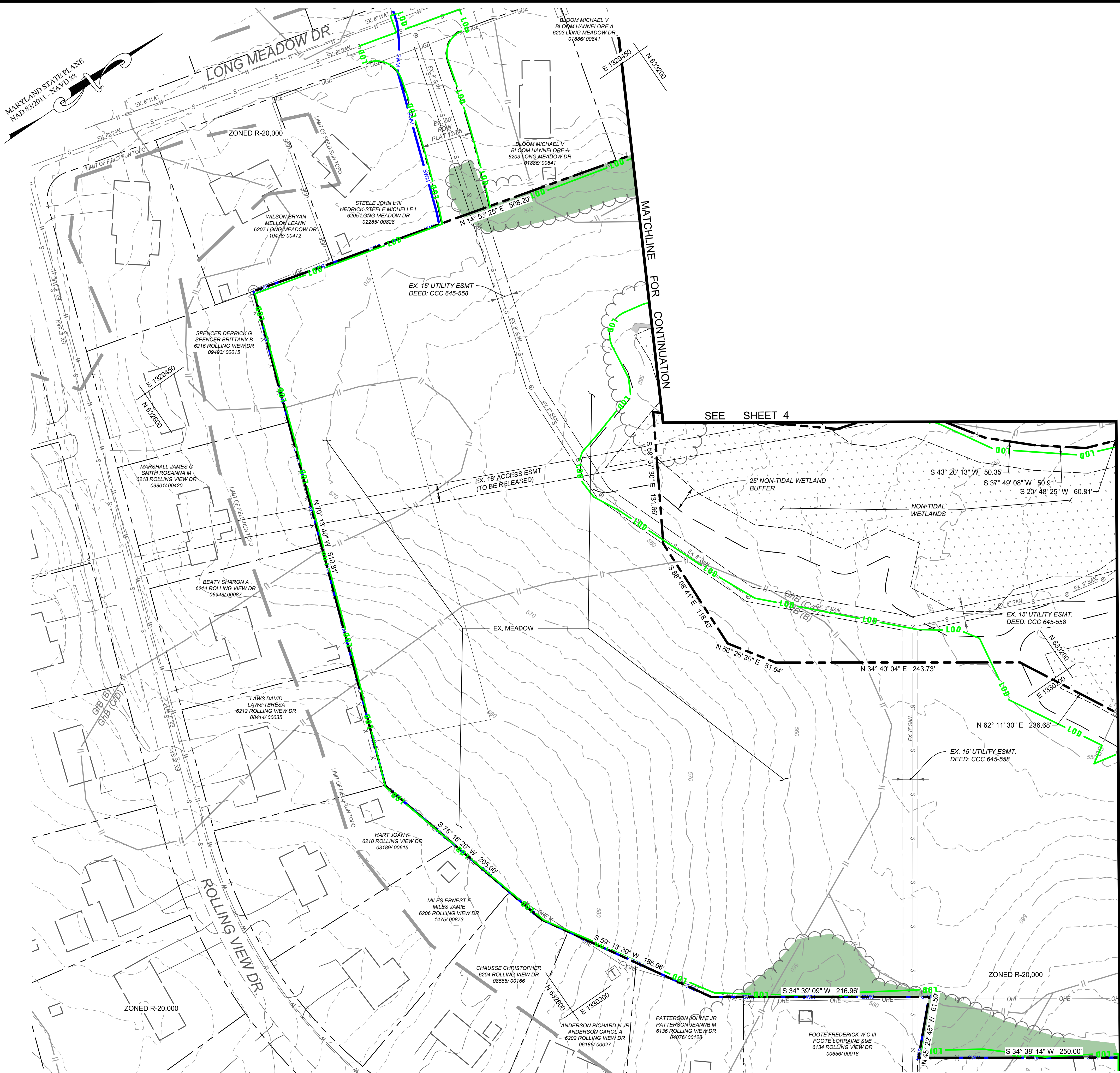
**DEVELOPER**  
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PHONE NO: 410-369-1207

DATE	BY	REVISIONS

P-23-0056



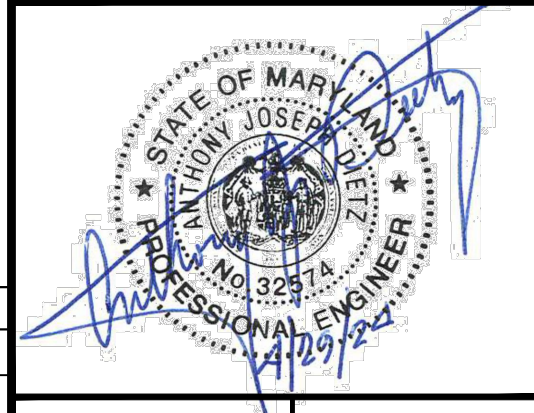
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P-23-0056		
DATE	BY	REVISIONS



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DATE: 5-9-2024 SCALE: AS SHOWN DRAWING: 5 of 31  
PROJECT NUMBER: 00211253.001A

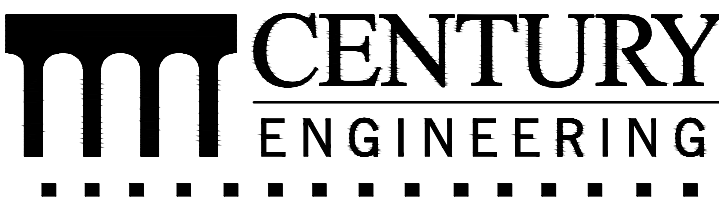
LEGEND

- Existing Impervious Areas within LOD
- Existing Wooded Areas within LOD
- LOD Limit of Disturbance
- SWM SWM Study Limits

PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE  
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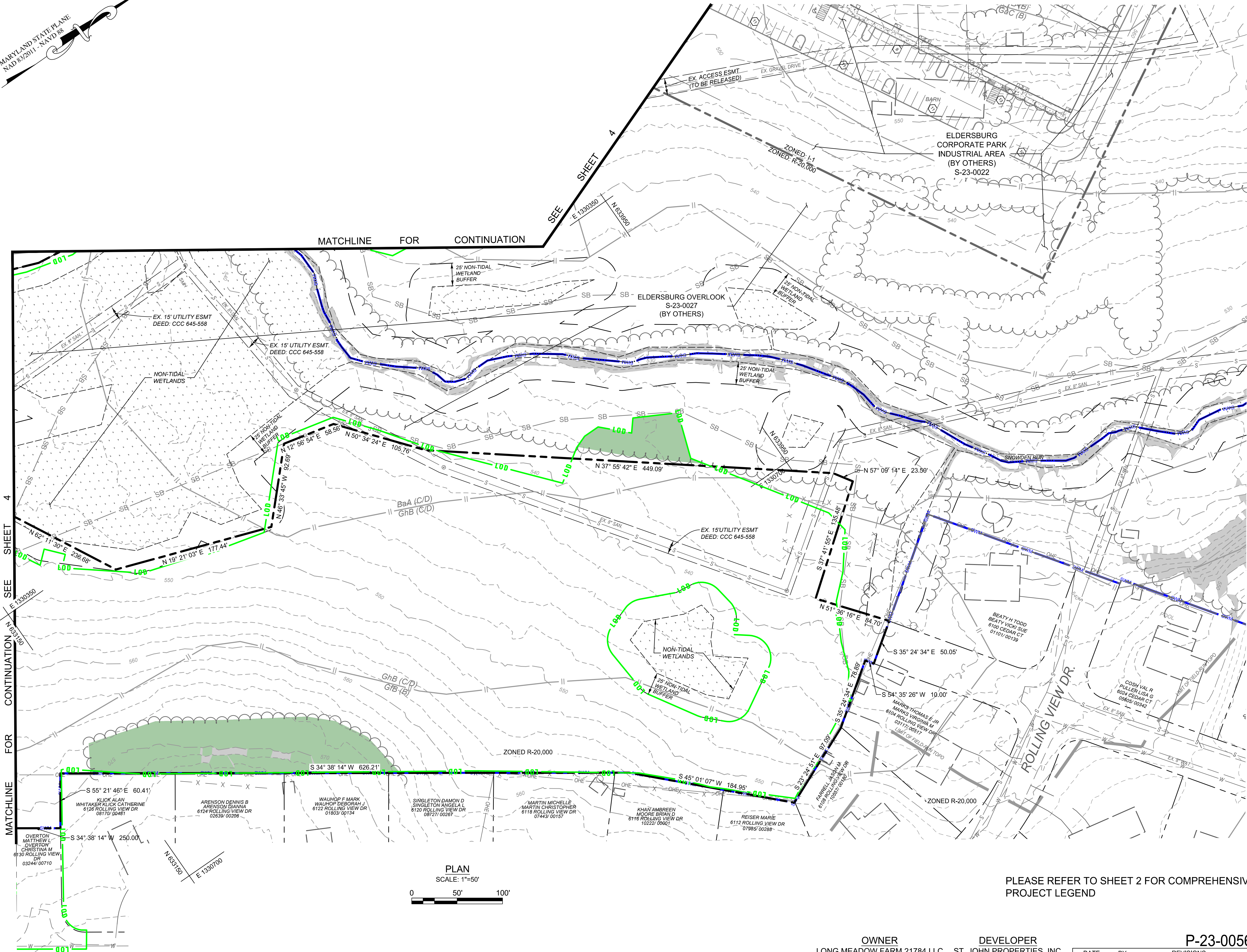
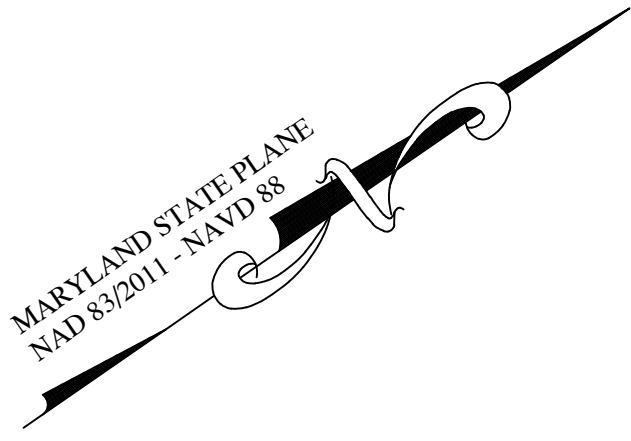
CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Existing Conditions And Demolition Plan

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD





**SUPPLEMENTAL  
LEGEND**

- Existing Impervious Areas within LOD
- Existing Wooded Areas within LOD
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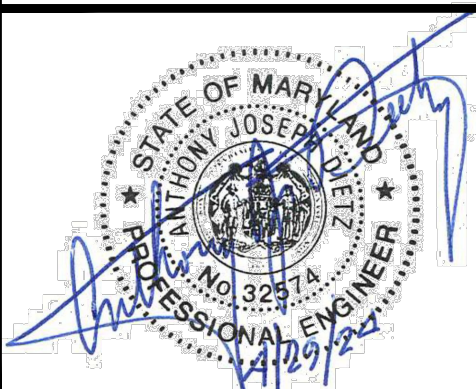
10710 Gilroy Road, Hunt Valley, MD 21031  
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**CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION**

Existing Conditions And Demolition Plan

**RESERVOIR RUN**

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SCALE: AS SHOWN

DRAWING:

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PROJECT LEGEND

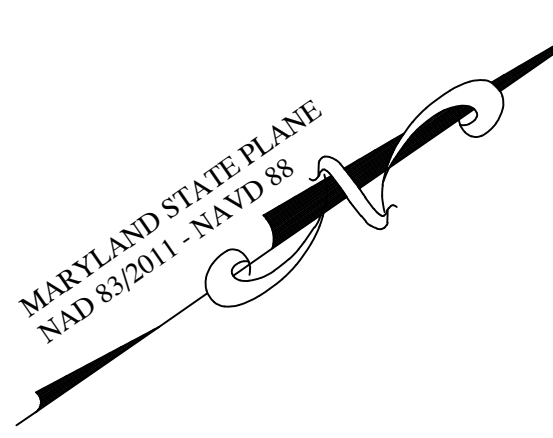
**OWNER**  
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PHONE NO: 410-369-1207

**DEVELOPER**  
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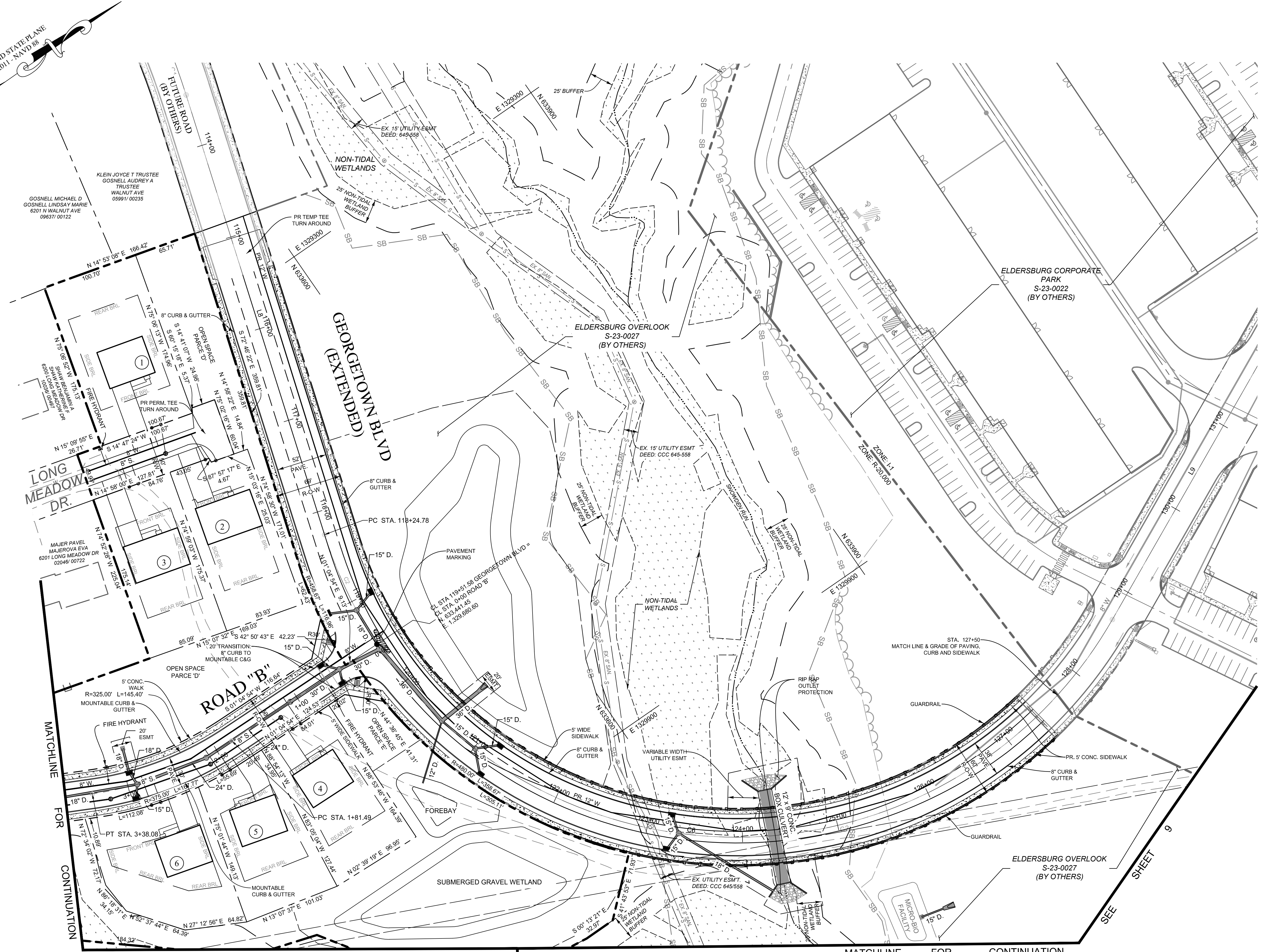
**P-23-0056**

DATE	BY	REVISIONS





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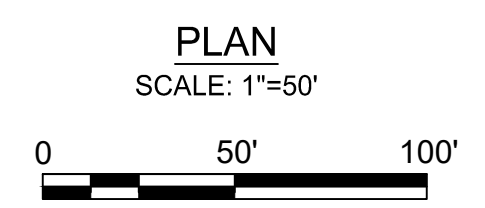
**CENTURY ENGINEERING**  
A Kleinfelder Company  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION  
Site, Layout And Utility Plan  
**RESERVOIR RUN**

ELDBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



**PROFESSIONAL CERTIFICATION**  
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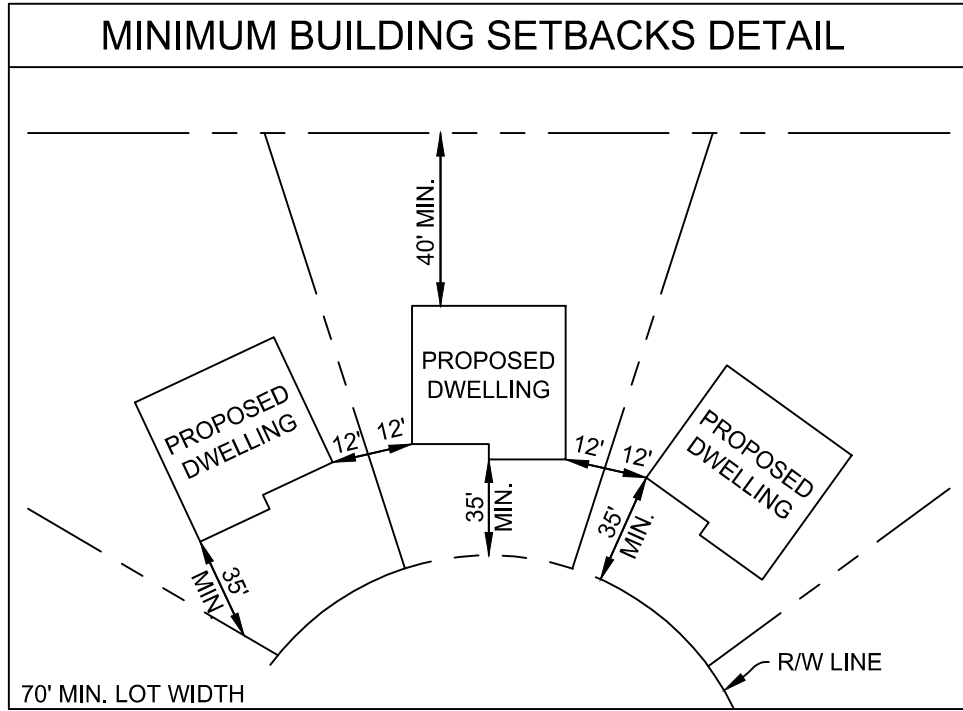
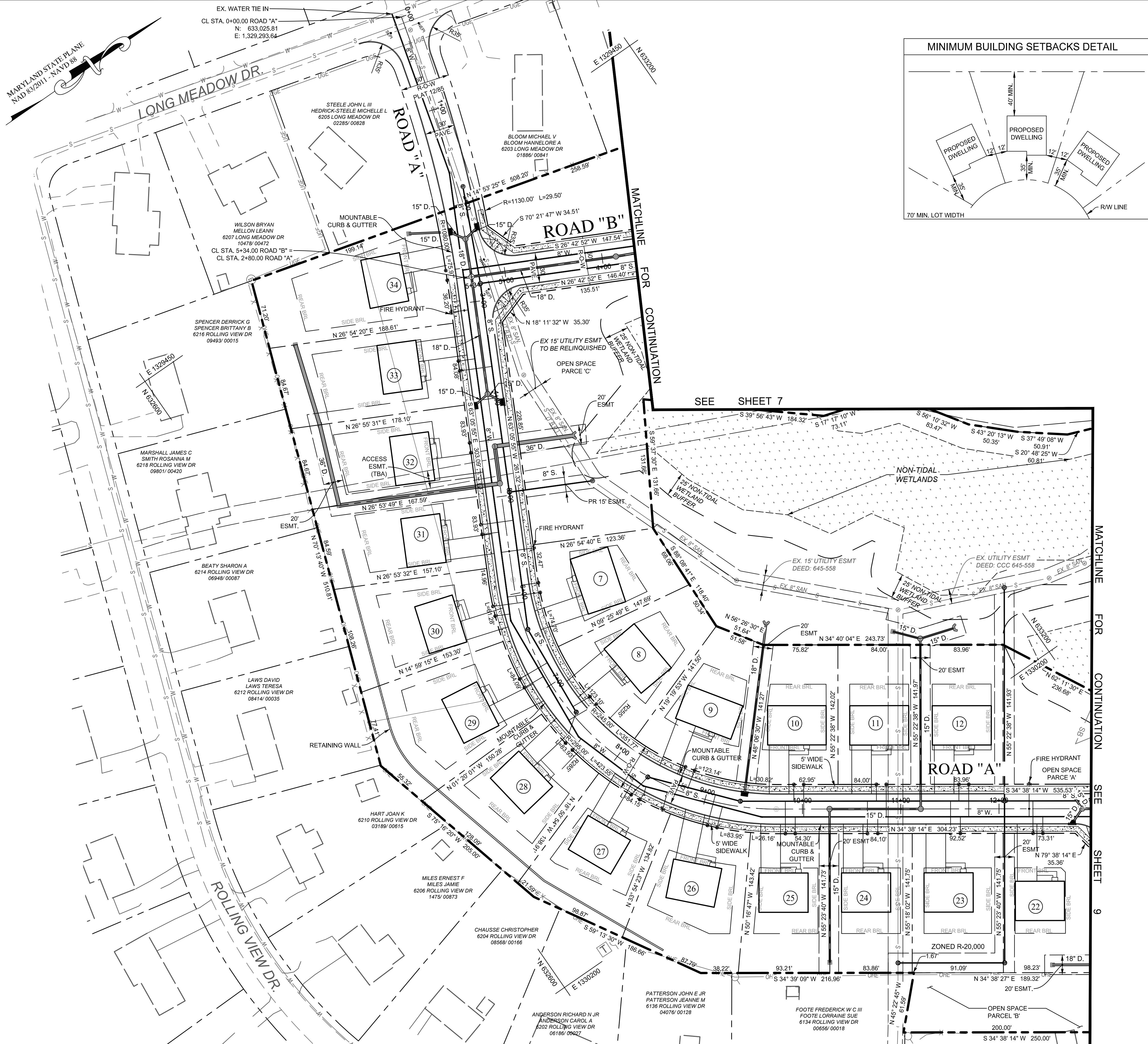
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P-23-0056		
DATE	BY	REVISIONS



T:\2021\Facilities\00211253.001A Beaty Property\CIVIL\CADD\Drawings\Concept Southern Single Family\211253.00 (C-X) Site Plan.dwg May 13, 2024 12:40pm riangehr



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Site, Layout And Utility Plan  
**RESERVOIR RUN**

ELDERSBURG, MD  
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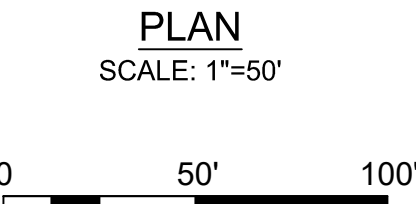
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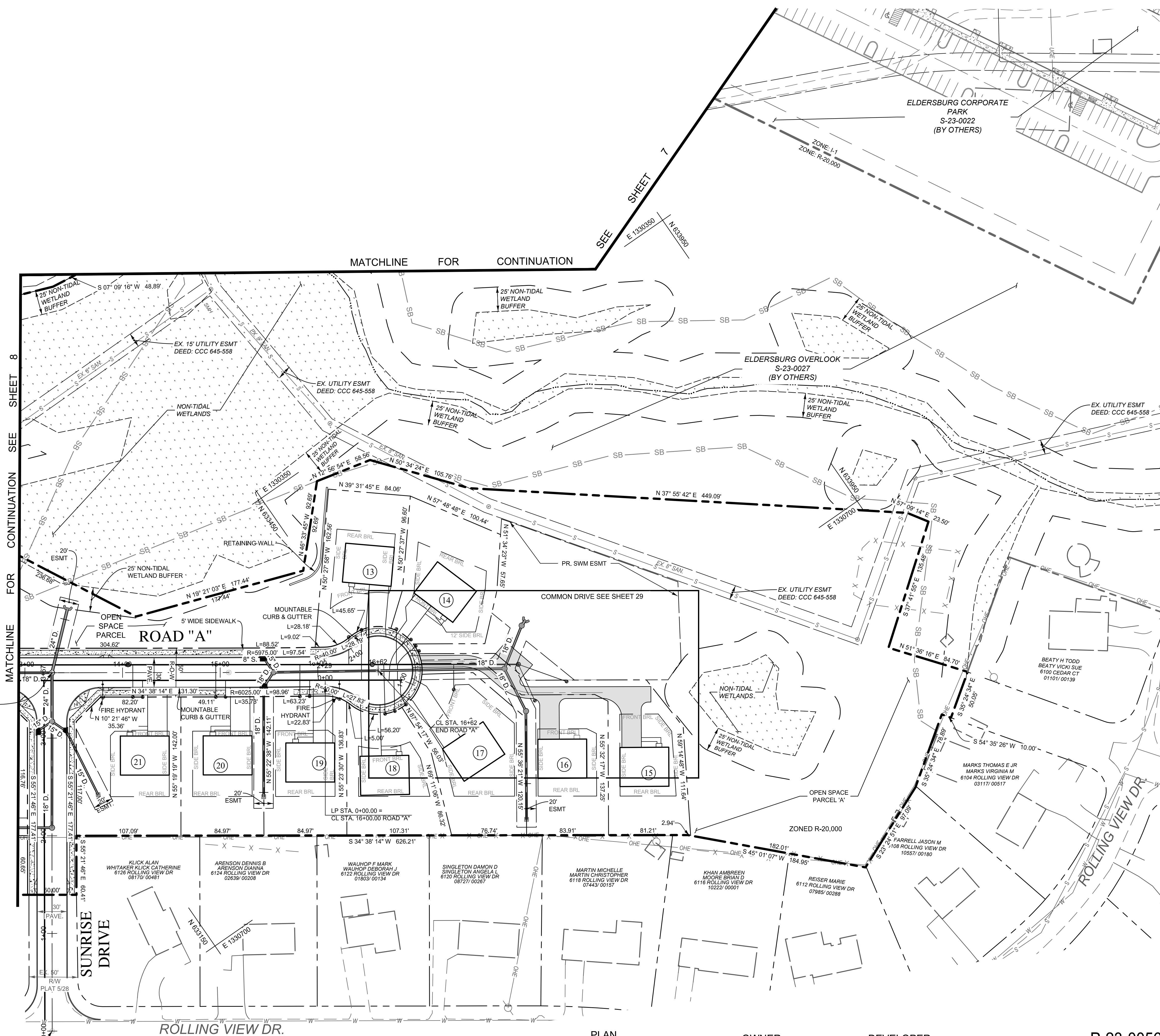
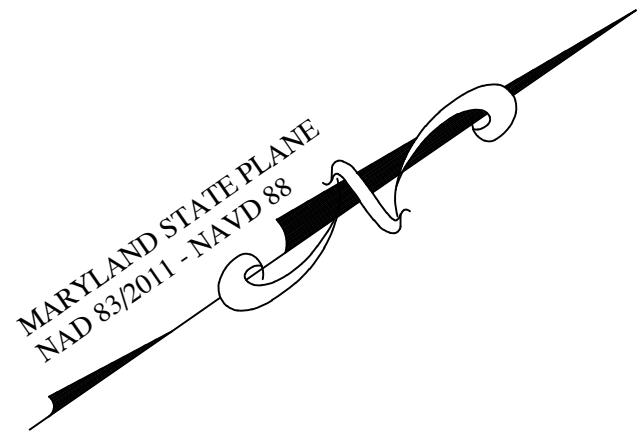
DATE	BY	REVISIONS

DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN  
DRAWING: 8 of 31







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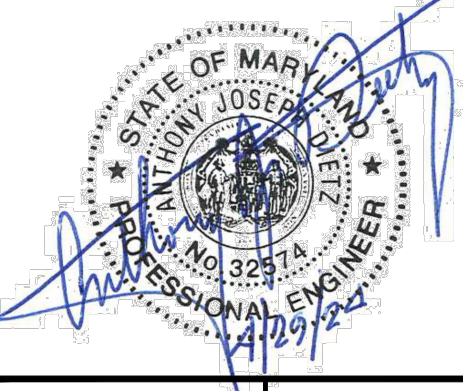
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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION  
Site, Layout And Utility Plan

**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



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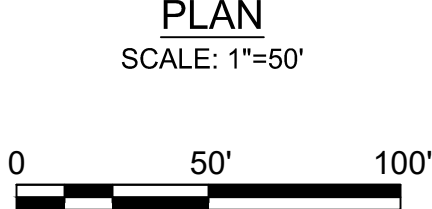
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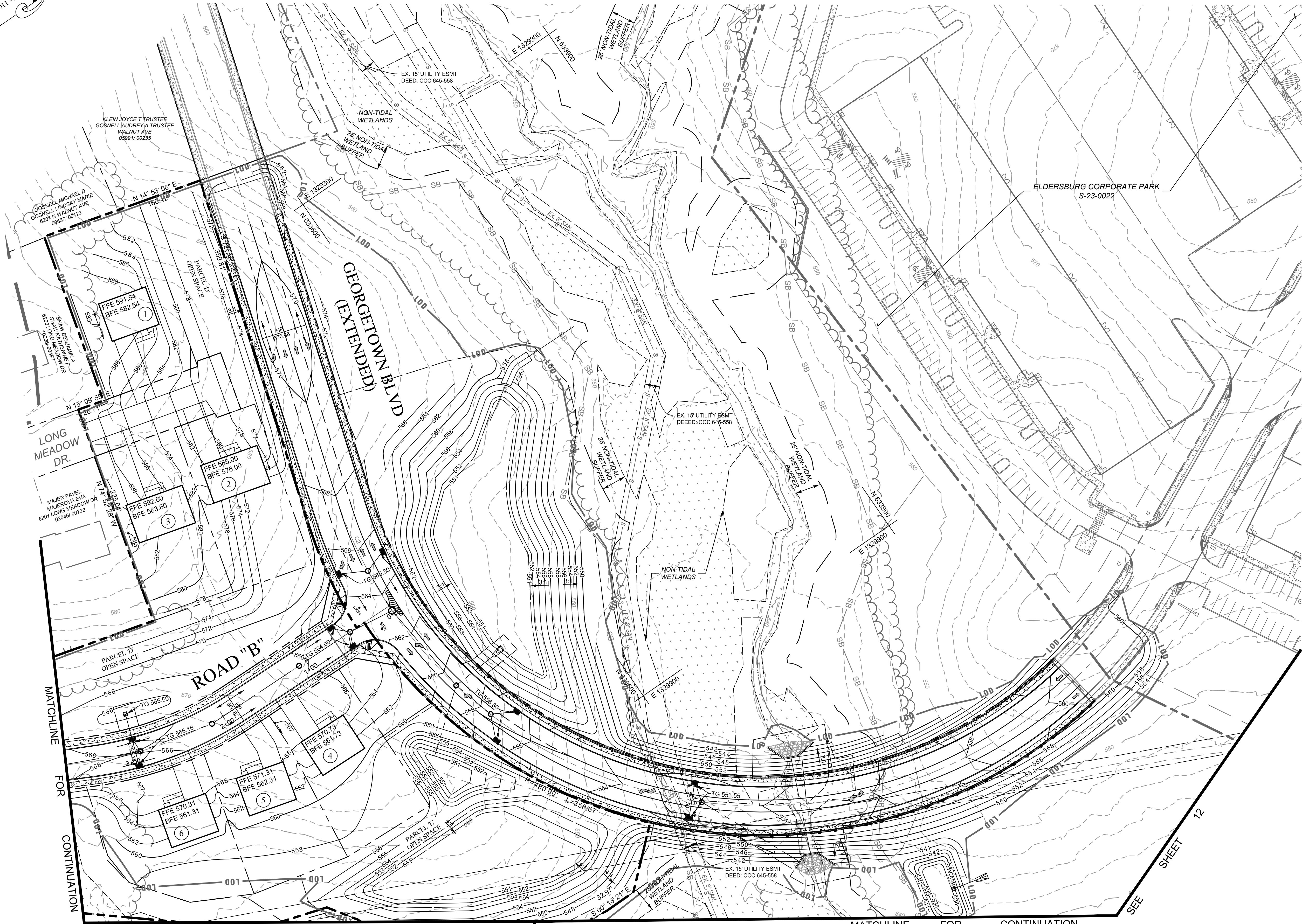
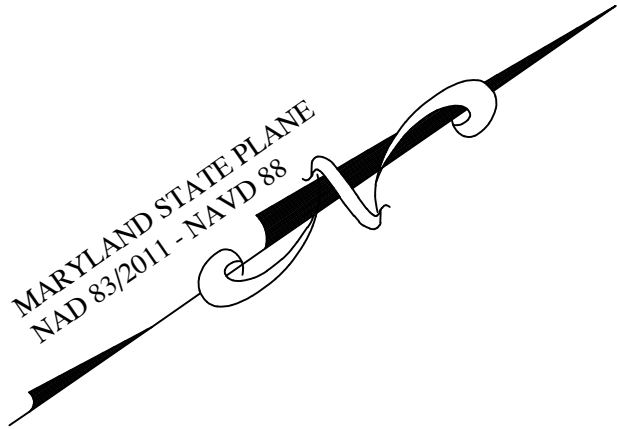
SCALE: AS SHOWN  
DRAWING: 9 of 31

CL STA. 0+00.00 SUNRISE DRIVE  
N: 632.963.27  
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T:\2021\Facilities\00211253.001A Beaty Property\CIVIL\CAD\Drawings\Concept Southern Single Family\211253.00 (C-X) Site Plan.dwg May 13, 2024 12:41pm rlangheh

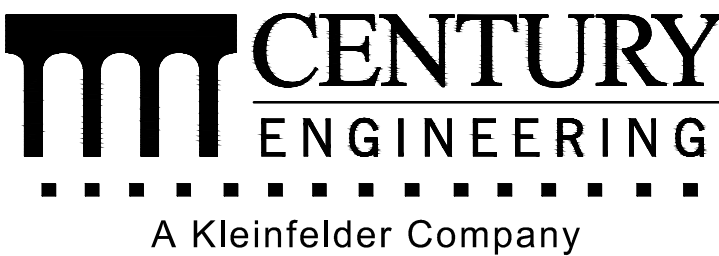




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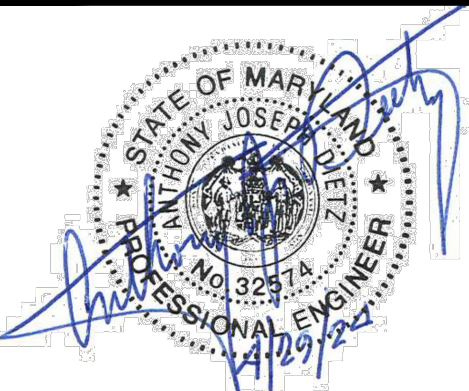
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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Grading Plan

RESERVOIR RUN

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LICENSE NUMBER: 32574  
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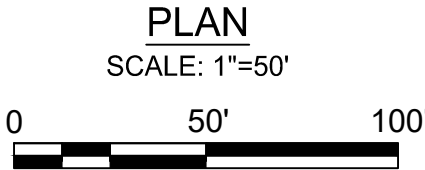
OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

P-23-0056		
DATE	BY	REVISIONS

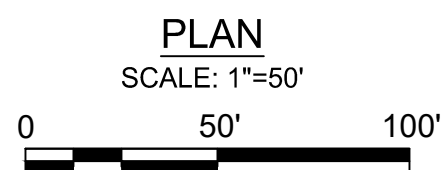
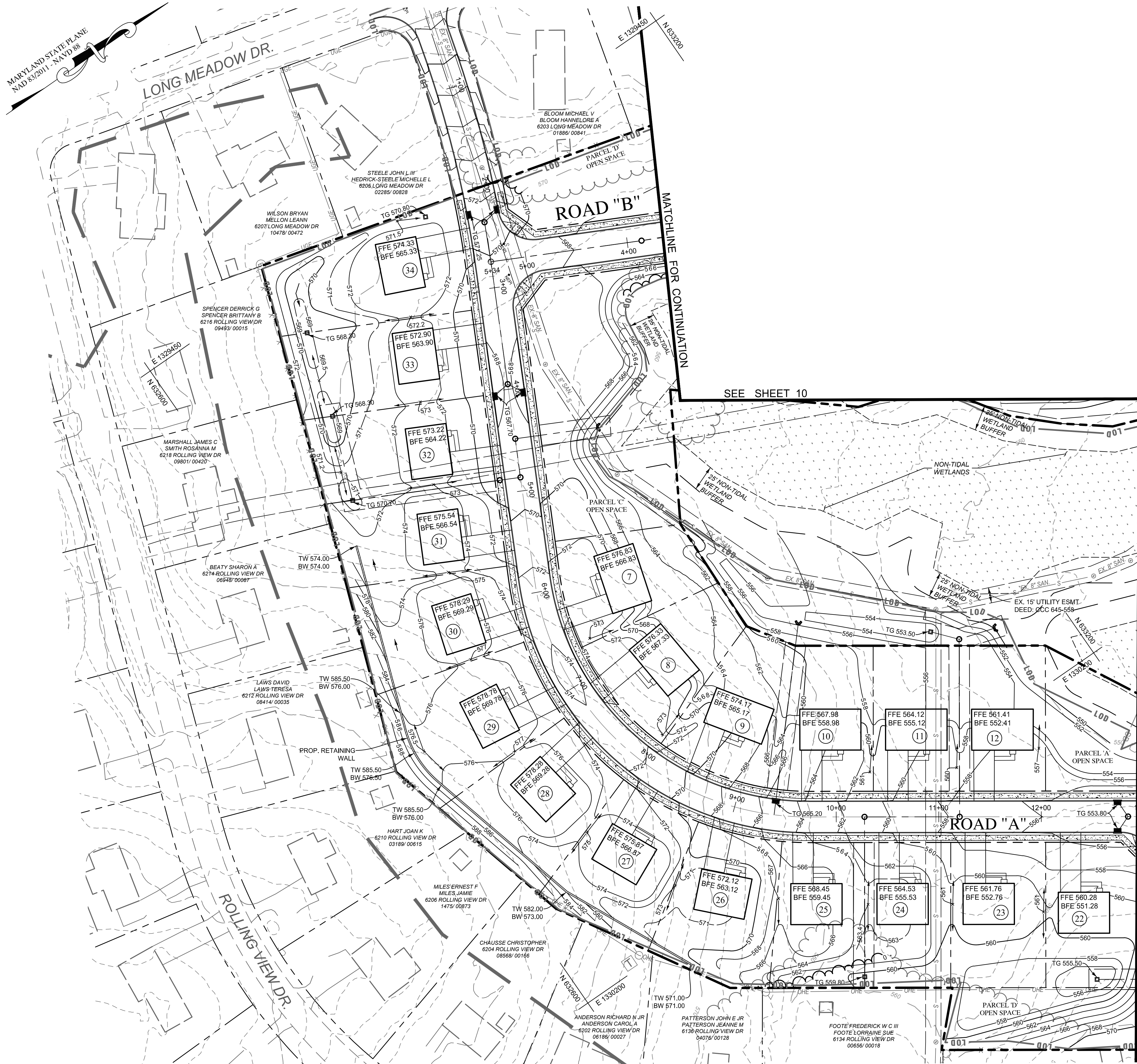
DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN  
DRAWING: 10 of 31





T:\2021\Facilities\00211253.001A Beaty Property\CIVIL\CAD\Drawings\Concept Southern Single Family\211253.00 (C-X) Grading Plan.dwg May 13, 2024 12:42pm rlangrehr



OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

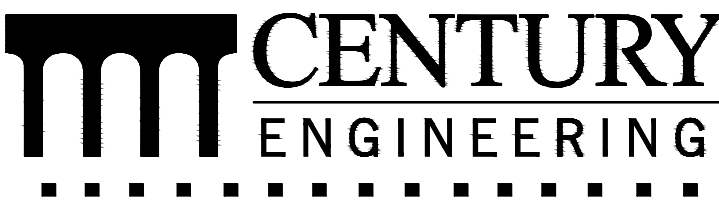
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2560 LORD BALTIMORE DRIVE  
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CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

P-23-0056		
DATE	BY	REVISIONS

PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE PROJECT LEGEND

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.



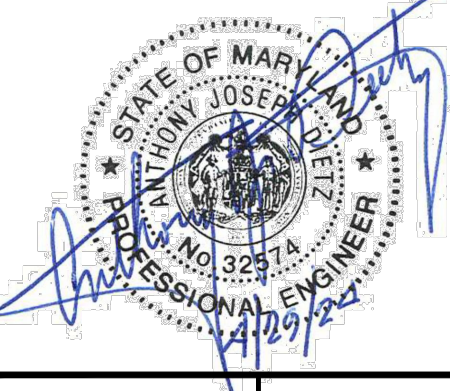
A Kleinfelder Company  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Grading Plan

RESERVOIR RUN

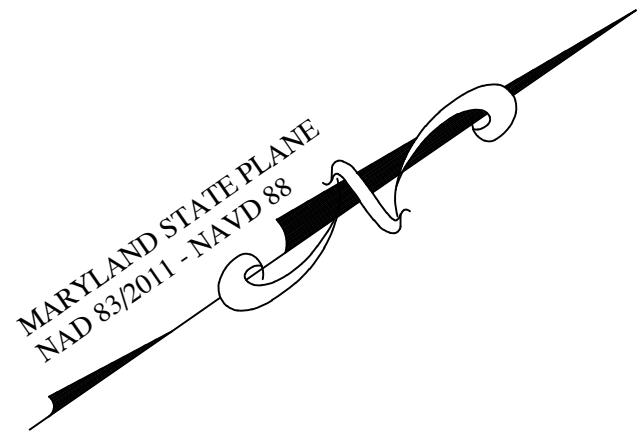
ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024 SCALE: AS SHOWN DRAWING: 11 of 31  
PROJECT NUMBER: 00211253.001A





PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE PROJECT LEGEND

DATA SOURCES

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**CENTURY**  
ENGINEERING

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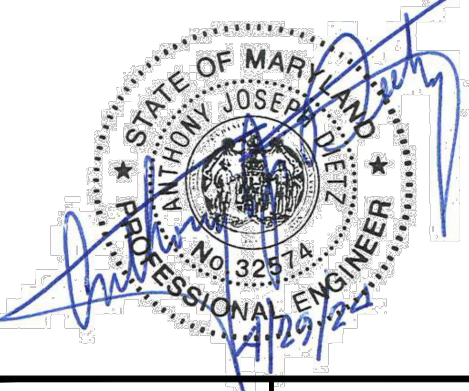
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400    www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Grading Plan

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5    CARROLL COUNTY, MD



**PROFESSIONAL CERTIFICATION**

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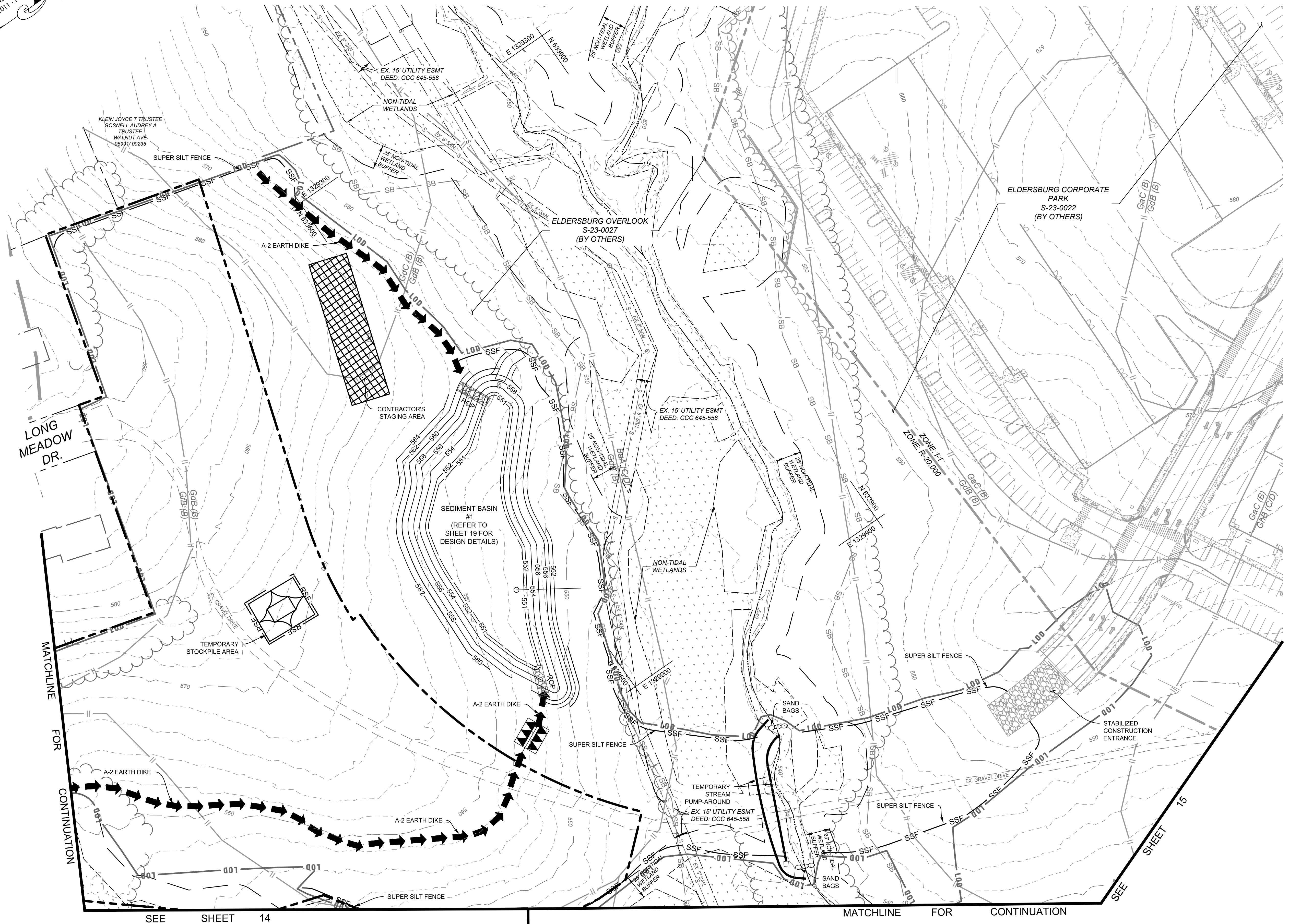
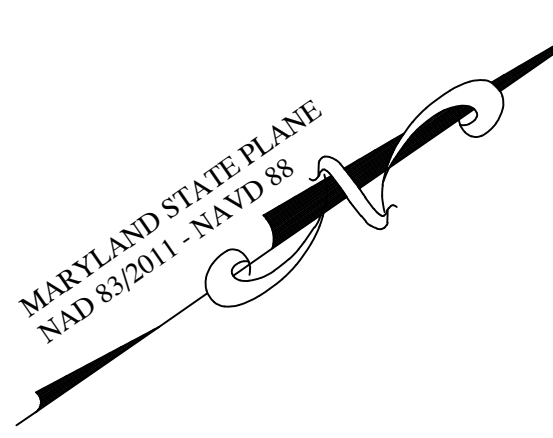
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

**OWNER**  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

**DEVELOPER**  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

P-23-0056		
DATE	BY	REVISIONS





**SEDIMENT BASIN #1**  
DRAINAGE AREA = 12.8 ac.  
REQUIRED TOTAL STORAGE = 46,080 cu.ft.  
PROVIDED TOTAL STORAGE = 76,081 cu.ft.  
REQUIRED WET STORAGE = 23,040 cu.ft.  
PROVIDED WET STORAGE = 23,040 cu.ft.  
REQUIRED DRY STORAGE = 23,040 cu.ft.  
PROVIDED DRY STORAGE = 53,041 cu.ft.  
BOTTOM ELEV = 551.00  
TOP ELEV = 556.00  
ESC WEIR ELEV = 553.60  
ESC WET STORAGE ELEV = 552.40  
CLEANOUT ELEV = 551.70

PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE PROJECT LEGEND

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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Sediment And Erosion Control Plan  
Existing Conditions  
**RESERVOIR RUN**

ELDBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



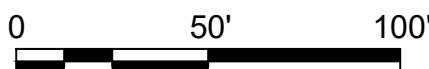
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LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024 SCALE: AS SHOWN  
PROJECT NUMBER: 00211253.001A

DRAWING: 13 of 31

**NOTE:**  
NO CONSTRUCTION SHALL ACCESS  
THROUGH LONG MEADOW DRIVE EXCEPT FOR LOTS 1-3

PLAN  
SCALE: 1"=50'



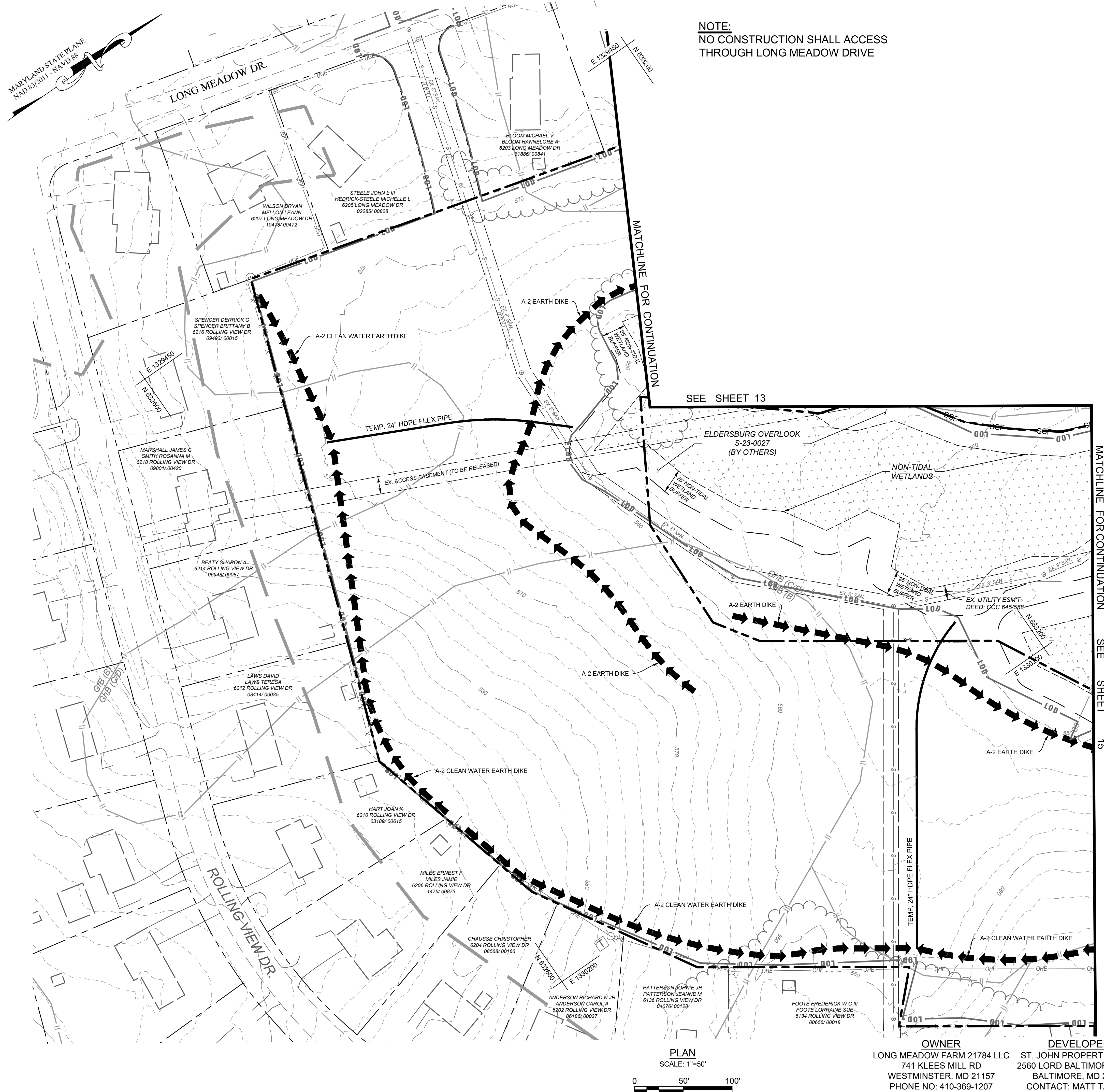
**OWNER**  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

**DEVELOPER**  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

P-23-0056

DATE	BY	REVISIONS





**NOTE:**  
NO CONSTRUCTION SHALL ACCESS  
THROUGH LONG MEADOW DRIVE

SFF SHEET 13

MATCHLINE FOR CONTINUATION SEE SHEET 15

PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE  
PROJECT LEGEND

## DATA SOURCES

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5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009

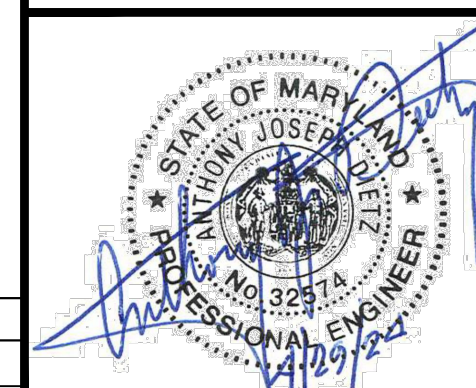


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Phone: 443.589.2400    [www.centuryeng.com](http://www.centuryeng.com)

CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Sediment And Erosion Control Plan  
Existing Conditions  
**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



## PROFESSIONAL CERTIFICATION

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OF MARYLAND.

LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-202

P-23-0056

DATE	BY	REVISIONS

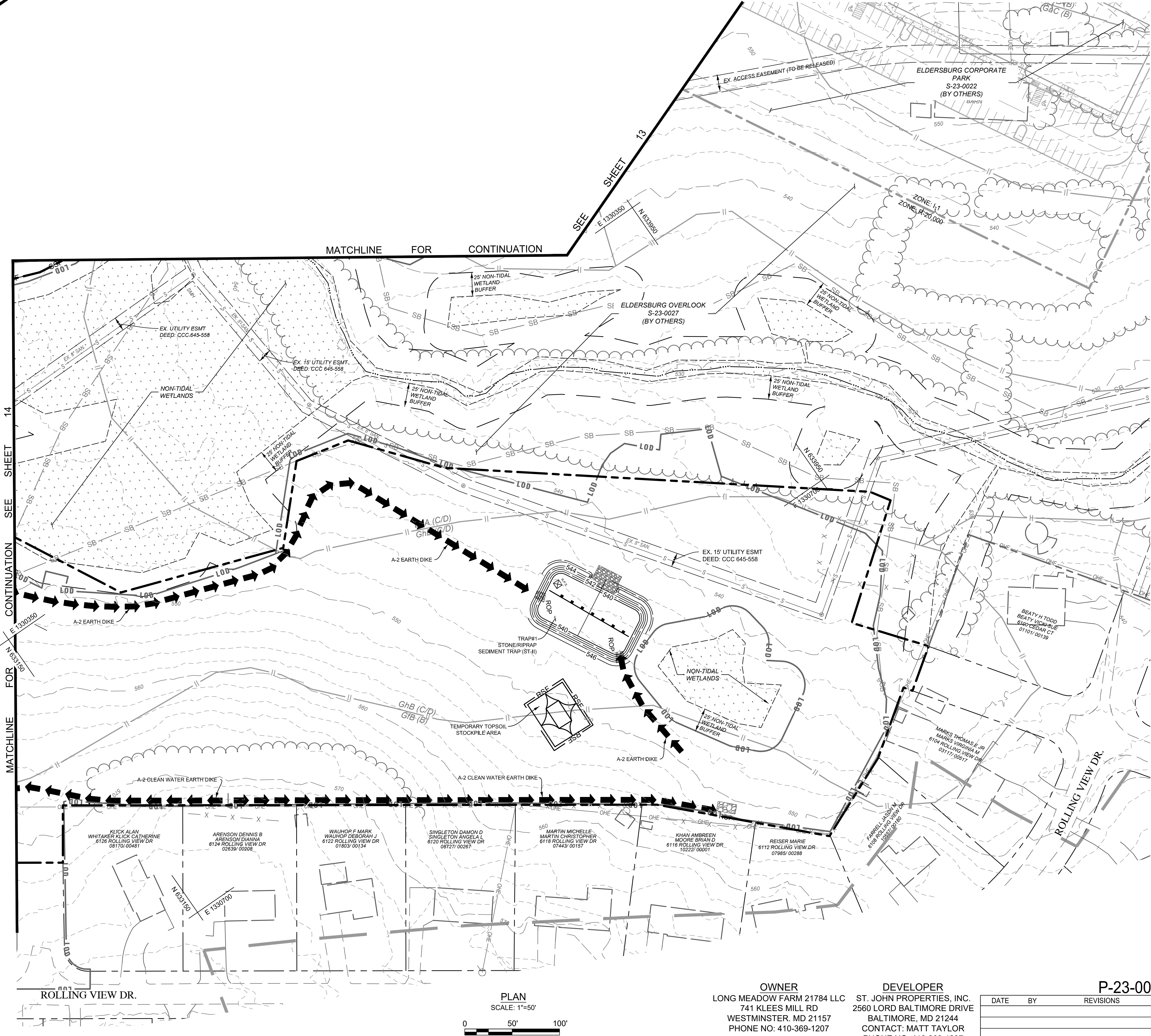
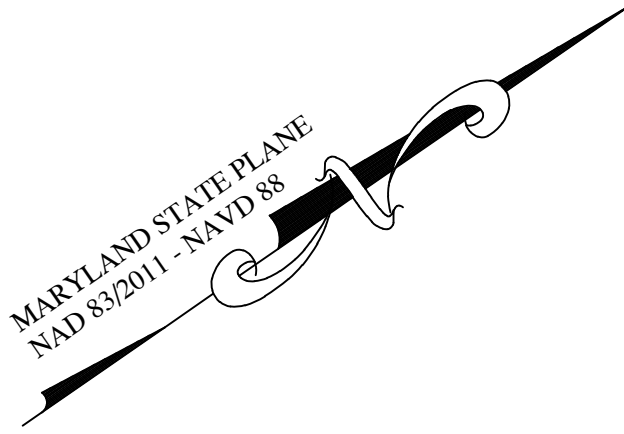
DATE: 5-9-2024 SCALE: AS SHOWN

PROJECT NUMBER: 00211253 001A

DRAWING: 14 of 31

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STONE/RIPRAP OUTLET SEDIMENT TRAP (ST-II)		TRAP#1
DRAINAGE AREA-INITIAL	6.77	ACRES
DRAINAGE AREA-INTERIM	6.77	ACRES
DRAINAGE AREA-FINAL	N/A	ACRES
TOTAL STORAGE STORAGE REQUIRED	25,200	CF
TOTAL STORAGE PROVIDED	25,802	CF
WET STORAGE REQUIRED	12,600	CF
WET STORAGE PROVIDED	12,600	CF
DRY STORAGE REQUIRED	12,600	CF
DRY STORAGE PROVIDED	13,202	CF
EXISTING GROUND ELEVATION AT OUTLET (WET STORAGE ELEVATION)	542.15	FT
TRAP BOTTOM ELEVATION	540.00	FT
TRAP BOTTOM DIMENSIONS	100 x 75	FT x FT
WEIR LENGTH	27	FT
WEIR CREST (DRY STORAGE) ELEVATION	543.50	FT x FT
CLEANOUT ELEVATION	541.08	FT
TOP OF EMBANKMENT ELEVATION	544.00	FT
SIDE SLOPE	2:1	H:V RATIO
EMBANKMENT TOP WIDTH	4.00	FT
OUTLET PROTECTION -LENGTH	10	FT
OUTLET PROTECTION-DEPTH	19	IN

PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE PROJECT LEGEND

DATA SOURCES

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**CENTURY**  
ENGINEERING

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Phone: 443.589.2400 www.centuryeng.com

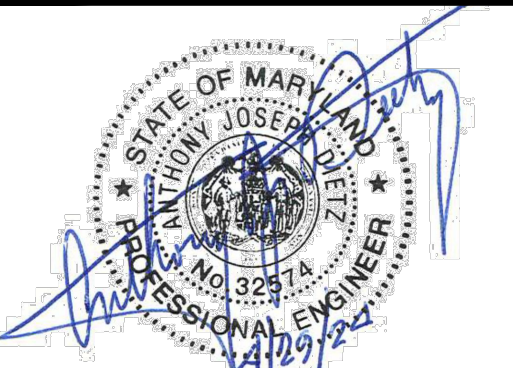
CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Sediment And Erosion Control Plan

Existing Conditions

**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5  
CARROLL COUNTY, MD



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ENGINEER UNDER THE LAWS OF THE STATE  
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LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

**OWNER**  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

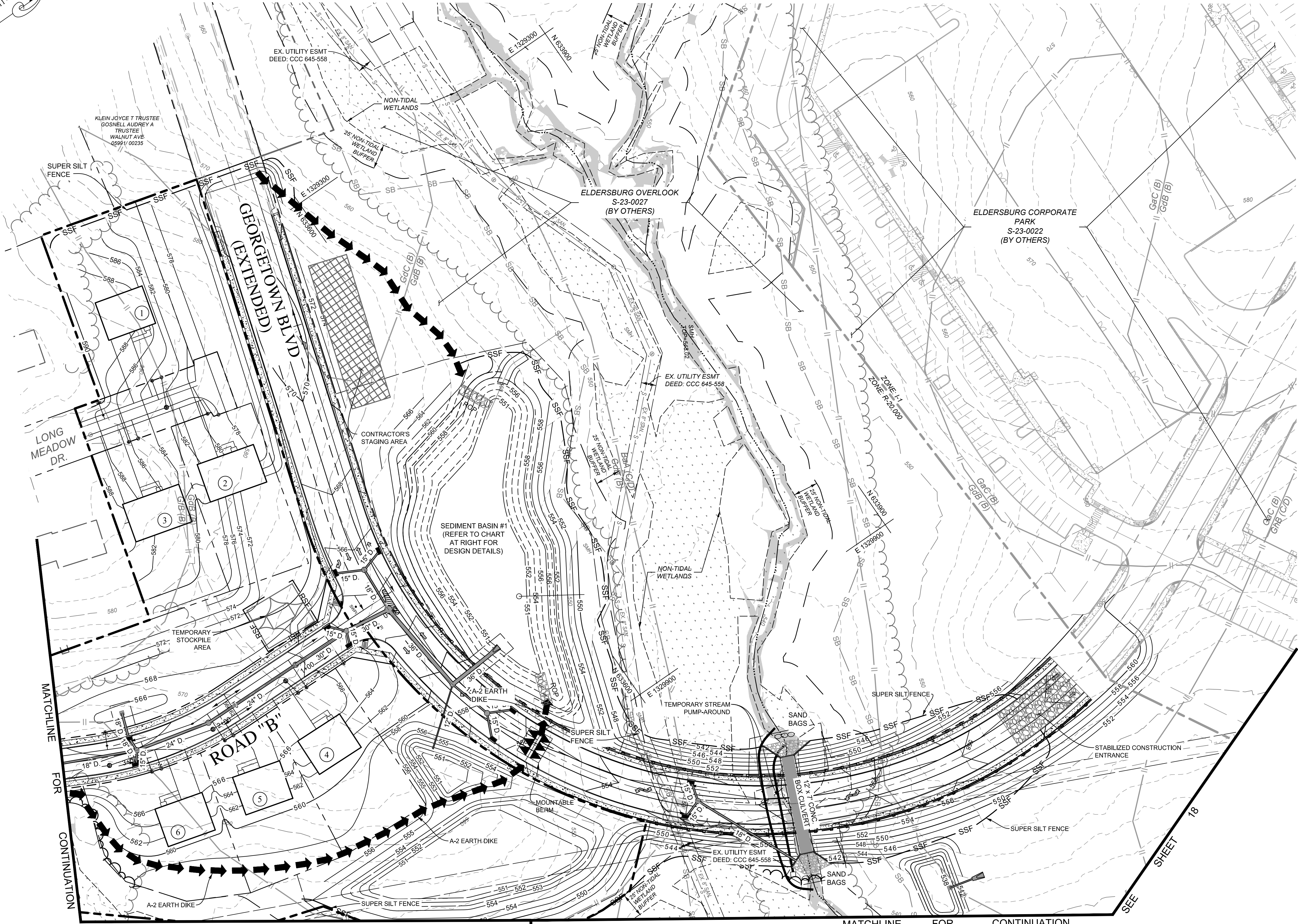
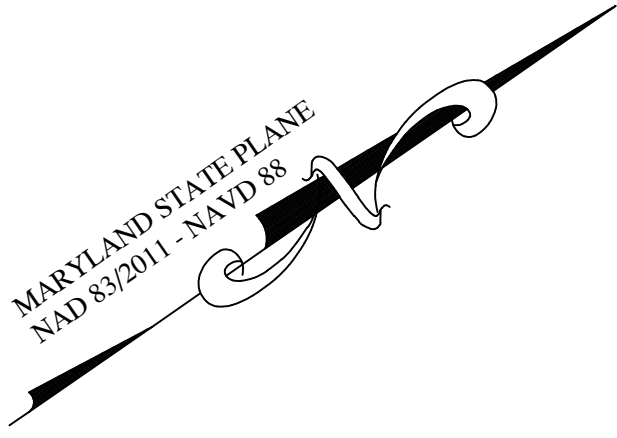
**DEVELOPER**  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

P-23-0056		
DATE	BY	REVISIONS

DATE: 5-9-2024  
SCALE: AS SHOWN  
PROJECT NUMBER: 00211253.001A

DRAWING:  
**15 of 31**





**SEDIMENT BASIN #1**  
DRAINAGE AREA = 12.8 ac.  
REQUIRED TOTAL STORAGE = 46,080 cu.ft.  
PROVIDED TOTAL STORAGE = 76,081 cu.ft.  
REQUIRED WET STORAGE = 23,040 cu.ft.  
PROVIDED WET STORAGE = 23,040 cu.ft.  
REQUIRED DRY STORAGE = 23,040 cu.ft.  
PROVIDED DRY STORAGE = 23,041 cu.ft.  
BOTTOM ELEV = 551.00  
TOP ELEV = 556.00  
ESC WEIR ELEV = 553.60  
ESC WET STORAGE ELEV = 552.40  
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PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE PROJECT LEGEND

DATA SOURCES

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**CENTURY**  
ENGINEERING

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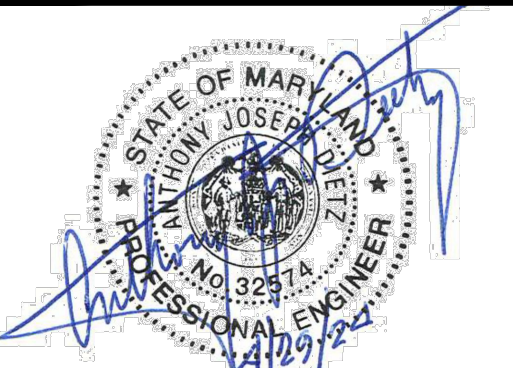
10710 Gilroy Road, Hunt Valley, MD 21031  
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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Sediment And Erosion Control Plan  
Proposed Conditions

**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5    CARROLL COUNTY, MD



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LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024    SCALE: AS SHOWN  
PROJECT NUMBER: 00211253.001A

DRAWING: **16 of 31**

**NOTE:**  
NO CONSTRUCTION SHALL ACCESS THROUGH LONG MEADOW DRIVE EXCEPT FOR LOTS 1-3

PLAN  
SCALE: 1"=50'  
0    50'    100'

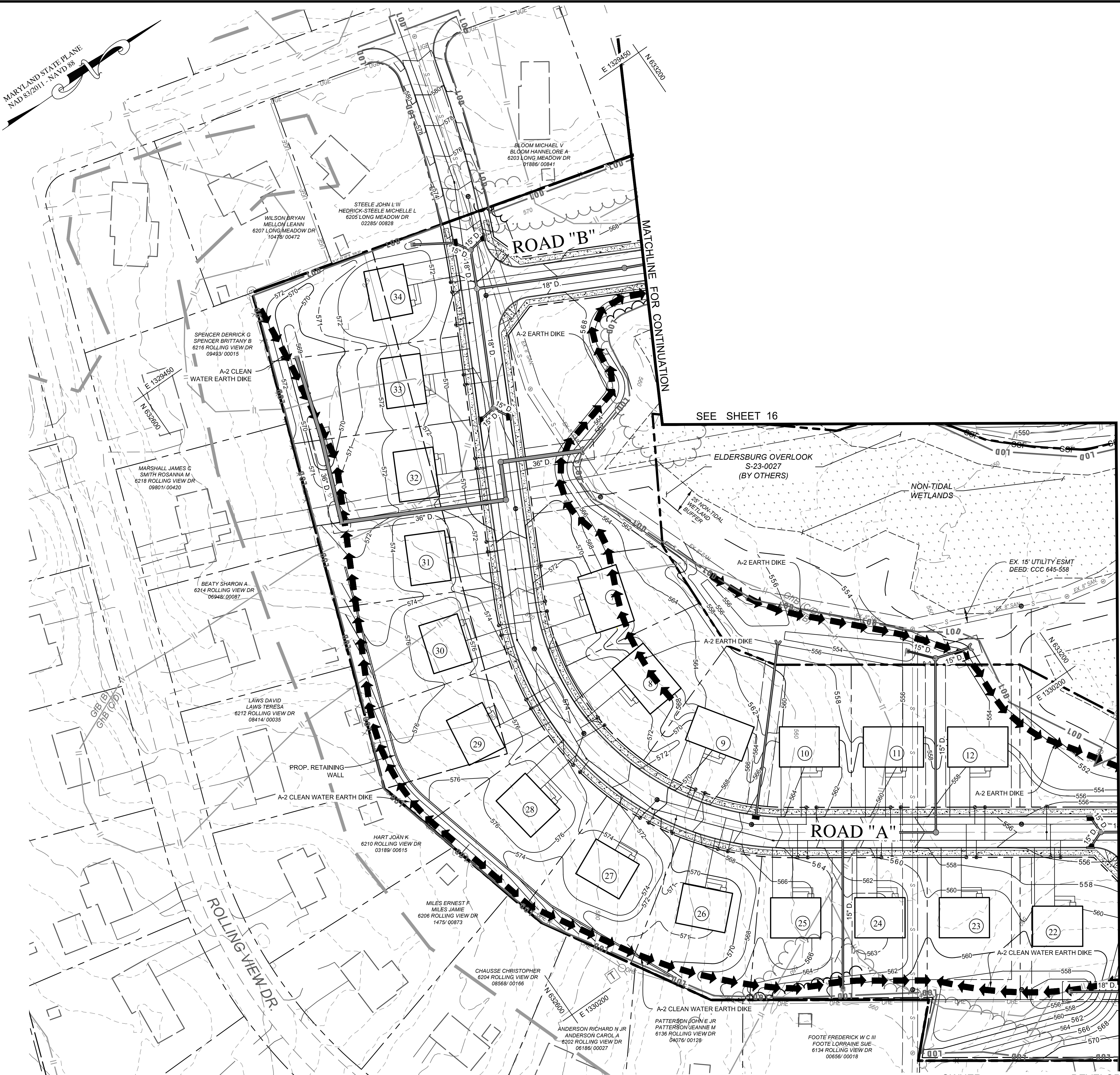
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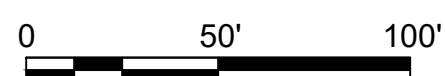
MARYLAND STATE PLANE  
NAD 83/2011 - NAVD 88



SEE SHEET 16

MATCHLINE FOR CONTINUATION SEE SHEET 18

PLAN  
SCALE: 1"=50'



OWNER  
LONG MEADOW FARM 21784 LLC  
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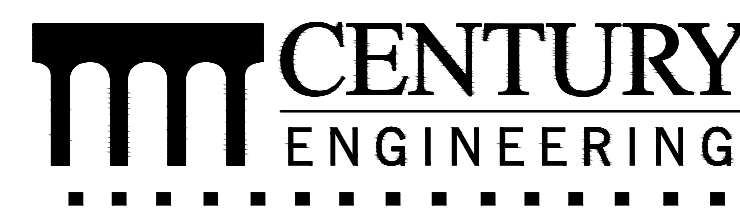
P-23-0056

DATE	BY	REVISIONS

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PROJECT LEGEND

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Sediment And Erosion Control Plan

Proposed Conditions

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



PROFESSIONAL  
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LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

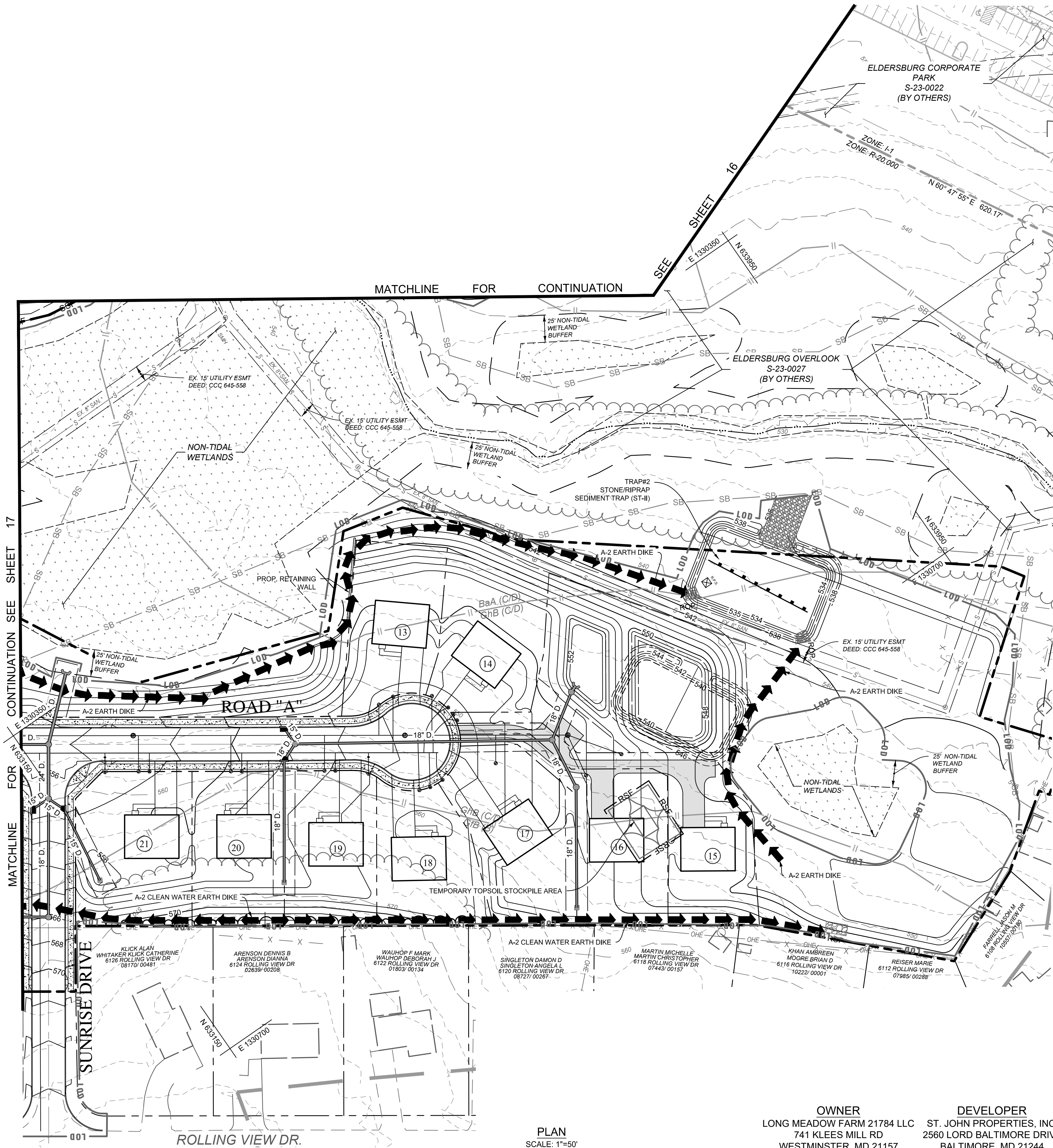
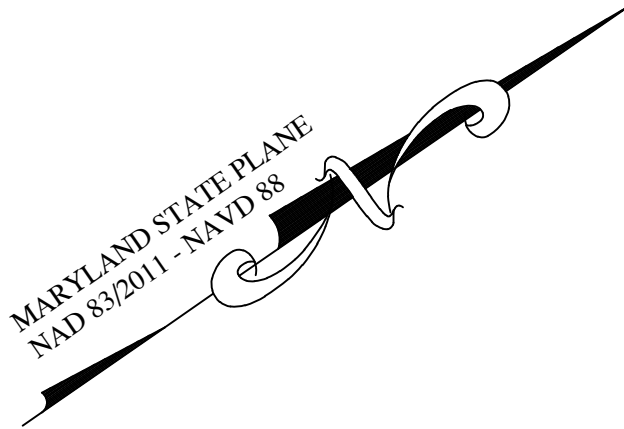
DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN

DRAWING:

17 of 31





STONE/RIPRAP OUTLET SEDIMENT TRAP (ST-II)		TRAP#2
DRAINAGE AREA-INITIAL	N/A	ACRES
DRAINAGE AREA-INTERIM	N/A	ACRES
DRAINAGE AREA-FINAL	7.50	ACRES
TOTAL STORAGE STORAGE REQUIRED	28,800	CF
TOTAL STORAGE PROVIDED	34,442	CF
WET STORAGE REQUIRED	14,400	CF
WET STORAGE PROVIDED	14,400	CF
DRY STORAGE REQUIRED	14,400	CF
DRY STORAGE PROVIDED	20,042	CF
EXISTING GROUND ELEVATION AT OUTLET (WET STORAGE ELEVATION)	536.00	FT
TRAP BOTTOM ELEVATION	534.00	FT
TRAP BOTTOM DIMENSIONS	105 x 55	FT x FT
WEIR LENGTH	30	FT
WEIR CREST (DRY STORAGE) ELEVATION	537.00	FT x FT
CLEANOUT ELEVATION	535.00	FT
TOP OF EMBANKMENT ELEVATION	538.00	FT
SIDE SLOPE	2:1	H:V RATIO
EMBANKMENT TOP WIDTH	4.00	FT
OUTLET PROTECTION -LENGTH	10	FT
OUTLET PROTECTION-DEPTH	19	IN

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**CENTURY**  
ENGINEERING

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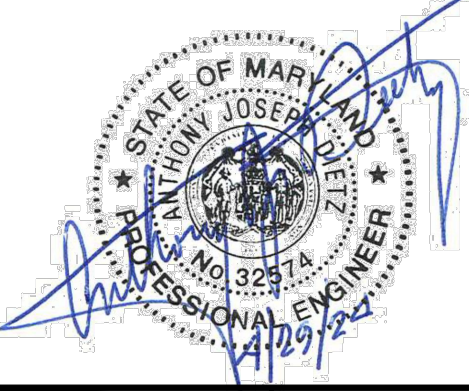
CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Sediment And Erosion Control Plan

Proposed Conditions

**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5    CARROLL COUNTY, MD



PROFESSIONAL  
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME, AND  
THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.

LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

P-23-0056		
DATE	BY	REVISIONS

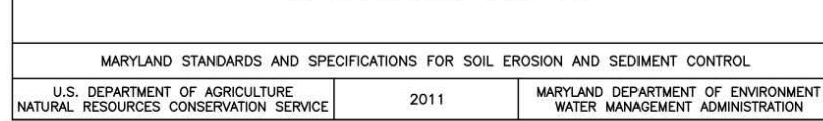
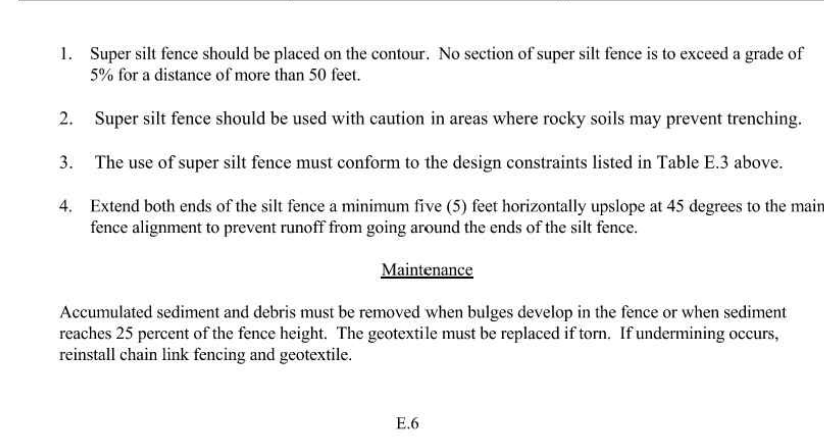
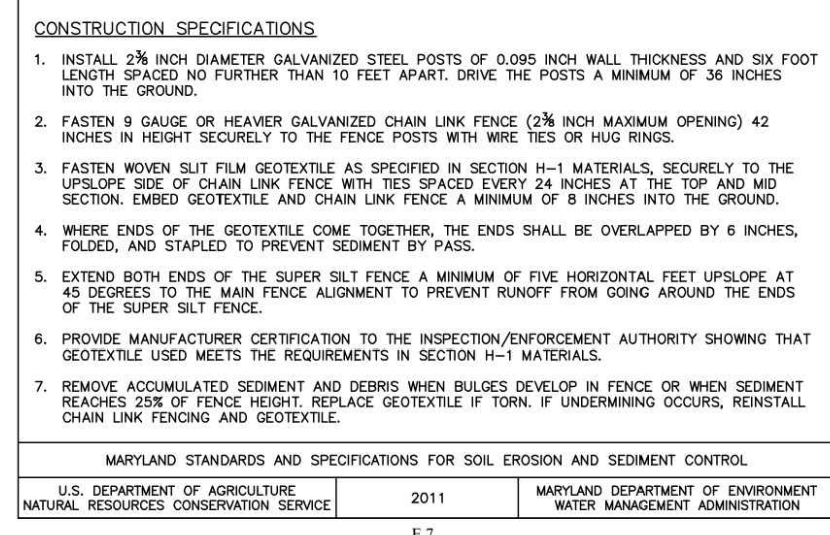
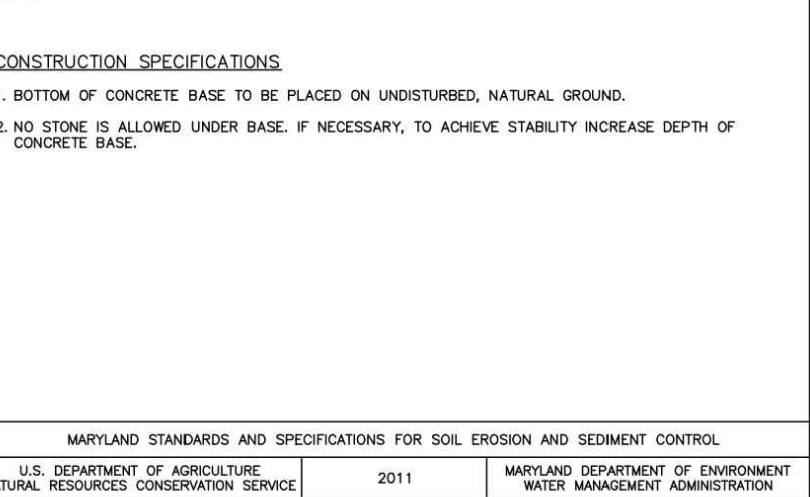
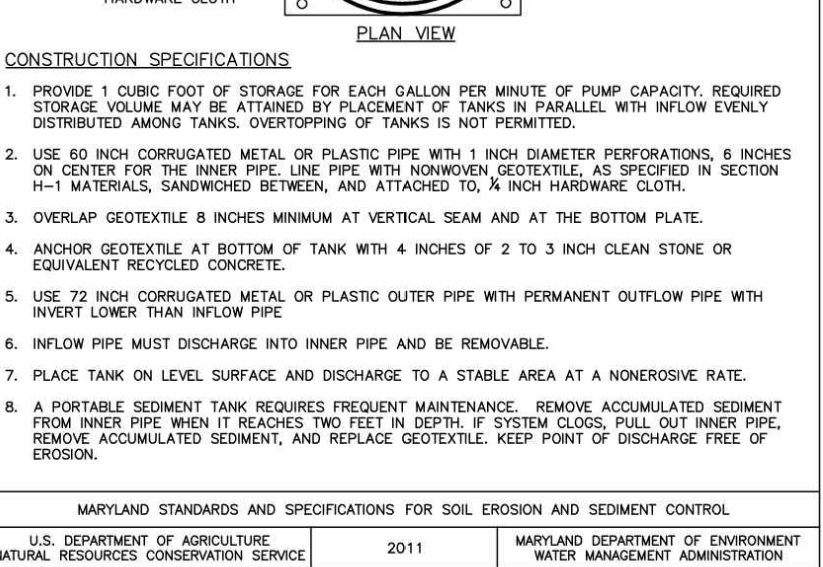
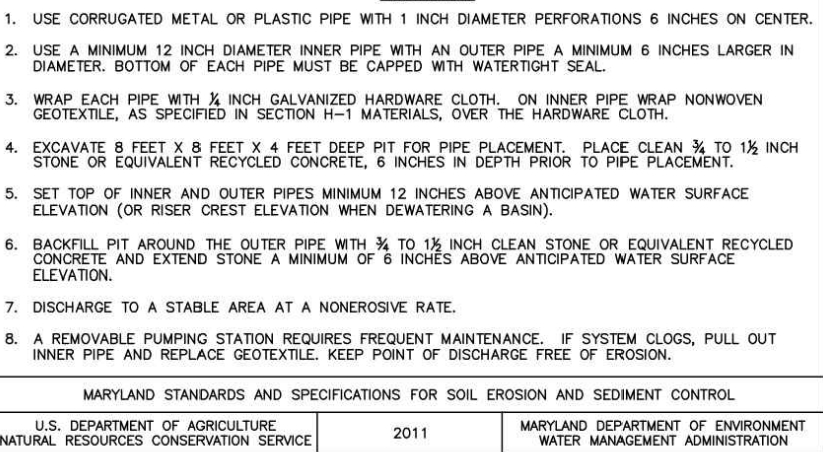
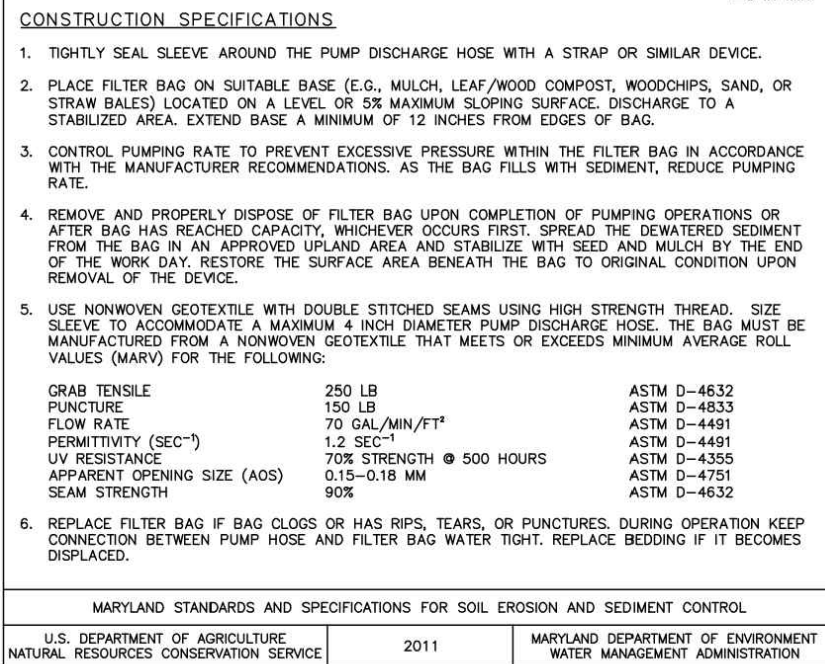
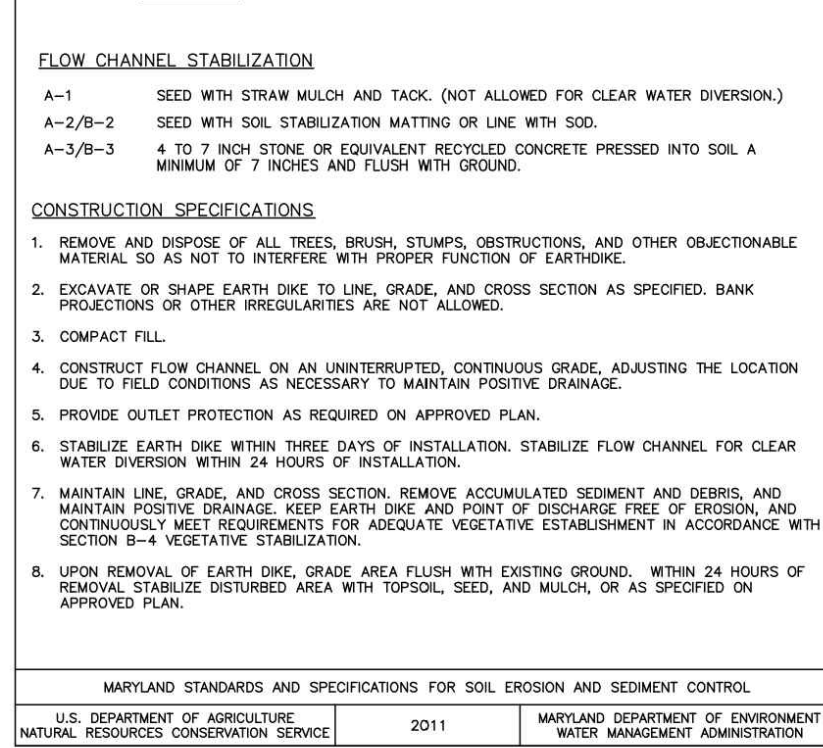
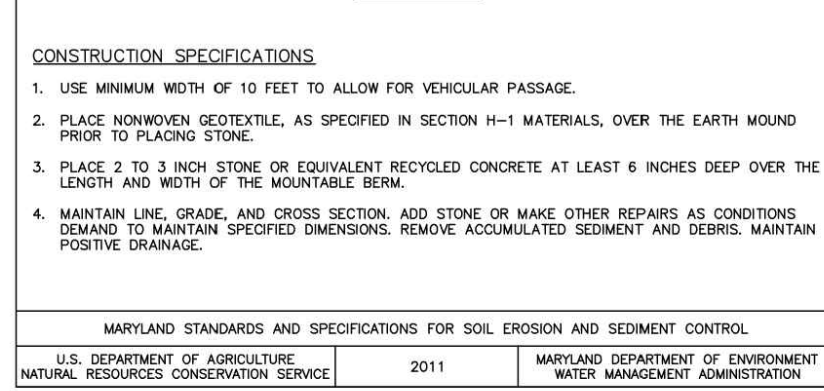
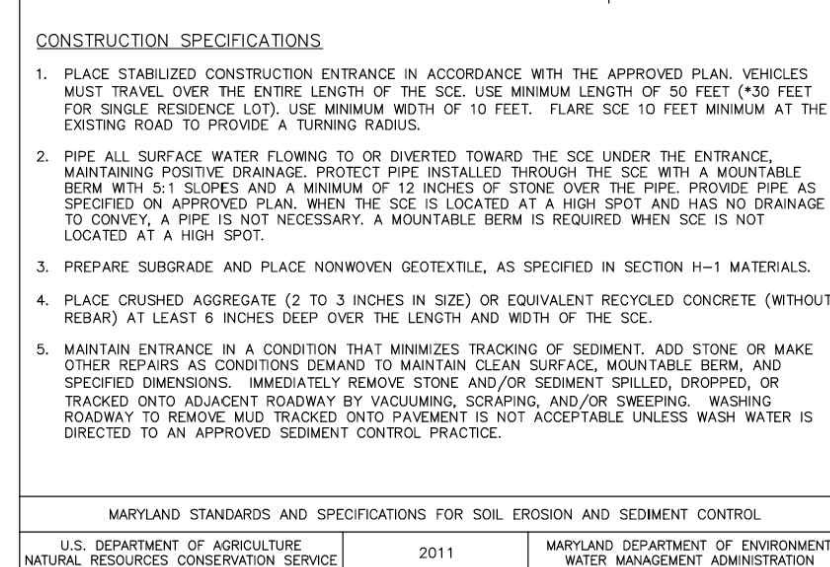
DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN  
DRAWING: 18 of 31

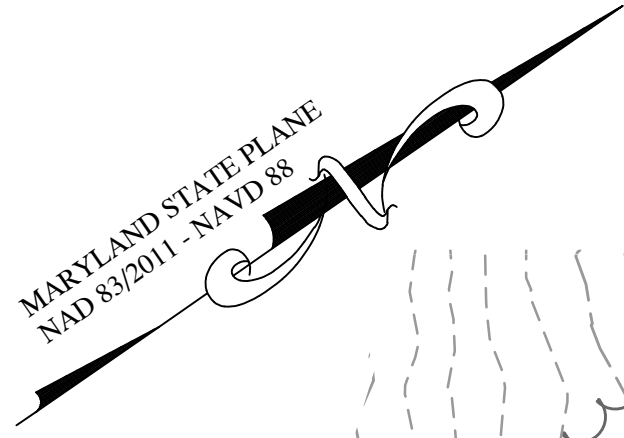












PROPOSED PLANT UNITS		
PLANT TYPE	QUANTITY	PLANT UNITS
SHADE TREE	77	1 TREE / 1 PU = 77 PU
FLOWERING TREE	16	2 TREES / 1 PU = 8
EVERGREEN TREE	27	2 TREES / 1 PU = 13.5 PU
SHURBS	35	5 SHRUBS / 1 PU = 7 PU
		TOTAL = 105.5 PU

LANDSCAPE REQUIREMENTS PER CARROLL COUNTY LANDSCAPE MANUAL, APRIL 2013				
SECTION	REQUIREMENT	BASIS	CREDIT	REQUIRED PUs
1.B.1	REAR/SIDE YARDS ADJACENT TO STREETS, CLASS 'A' SCREENING: 15' LANDSCAPE AREA (1 PU / 20 LF)	910 LF	0 LF	910 / 20 = 45.5 PU
		TOTAL		45.5 PU

LANDSCAPE SCREENING REQUIREMENTS LEGEND

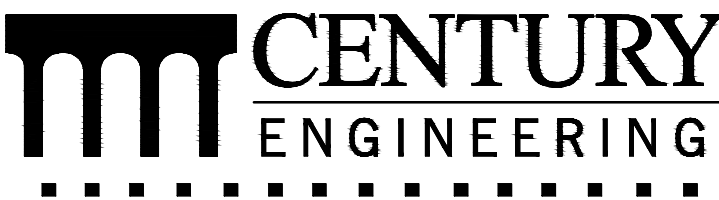
(A) Rear / Side Yards Adjacent to Streets, Class 'A' Screening: 15' Landscape Area Planted at 1 PU / 20 LF

LEGEND	
	Property line
	Adjoiner Property line
	Existing Easement line
	Existing Field Run Major Contour
	Existing Field Run Minor Contour
	Existing Soils Limits
	Existing Sanitary Sewer Line With Manhole
	Existing Pavement Edge
	Existing Curb & Gutter
	Existing Sidewalk
	Existing Structure
	Existing Non-tidal Wetlands
	25' Non-tidal Wetlands Buffer
	Stream Buffer
	Flood Plain
	Existing Treeline
	Existing Wood Fence
	Proposed Major Contour
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	Proposed Sidewalk
	Proposed Structure
	Proposed Shade Tree
	Proposed Flowering Tree
	Proposed Evergreen Tree
	Proposed Shrubs

PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE PROJECT LEGEND

DATA SOURCES

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- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
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- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.



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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Landscape Plan

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 1008  
EXPIRATION DATE: 5-20-2024

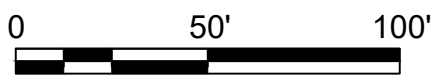
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SCALE: AS SHOWN

DRAWING:

21 of 31

PLAN  
SCALE: 1"=50'



OWNER  
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WESTMINSTER, MD 21157  
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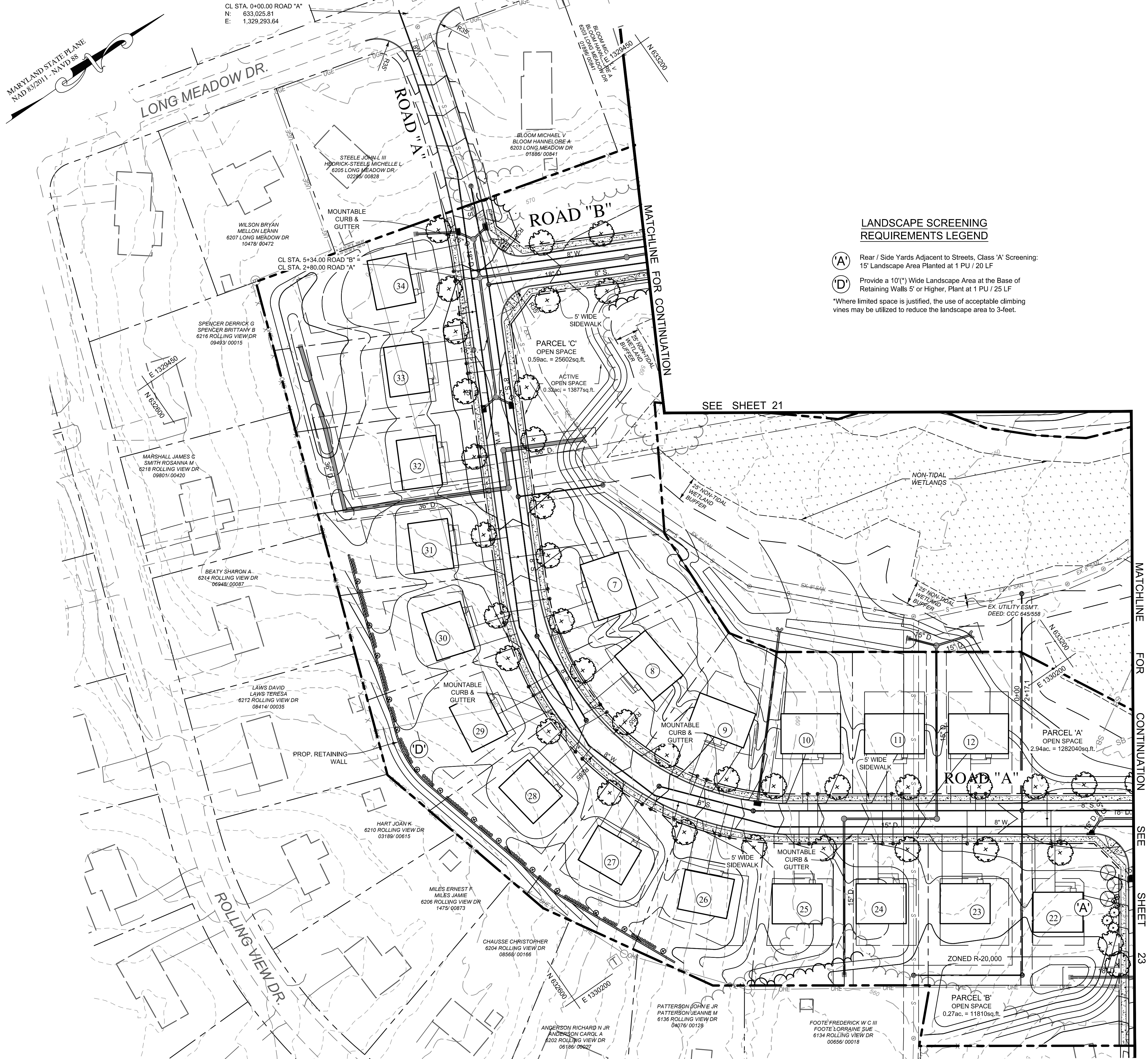
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P-23-0056

DATE	BY	REVISIONS



T:\2021\Facilities\00211253.001A Beaty Property\CIVIL\CAD\Drawings\Concept Southern Single Family\211253.00 (C-X) Landscape Plan.dwg May 13, 2024 12:47pm rlangrehr



LANDSCAPE SCREENING  
REQUIREMENTS LEGEND

- (A) Rear / Side Yards Adjacent to Streets, Class 'A' Screening:  
15' Landscape Area Planted at 1 PU / 20 LF
- (D) Provide a 10'(\*) Wide Landscape Area at the Base of  
Retaining Walls 5' or Higher, Plant at 1 PU / 25 LF
- \*Where limited space is justified, the use of acceptable climbing  
vines may be utilized to reduce the landscape area to 3-feet.

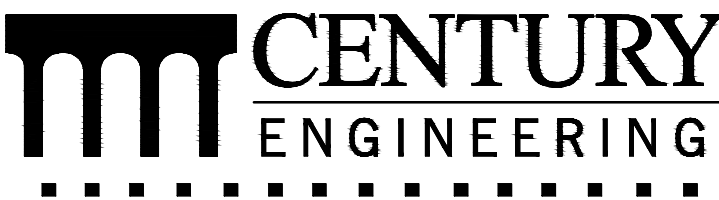
LEGEND

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Adjoiner Property line  
Existing Easement line  
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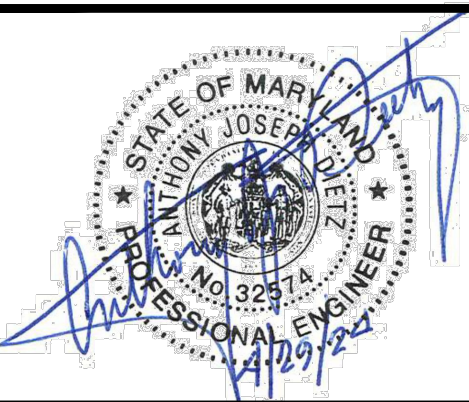
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DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN

DRAWING:

22 of 31

P-23-0056

DATE	BY	REVISIONS

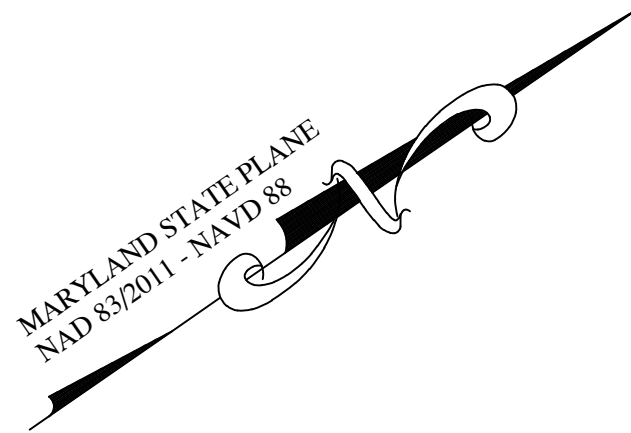
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PLAN  
SCALE: 1"=50'

0 50' 100'





### LANDSCAPE SCREENING REQUIREMENTS LEGEND

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15' Landscape Area Planted at 1 PU / 20 LF

### LEGEND

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Landscape Plan

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DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN

DRAWING:

23 of 31

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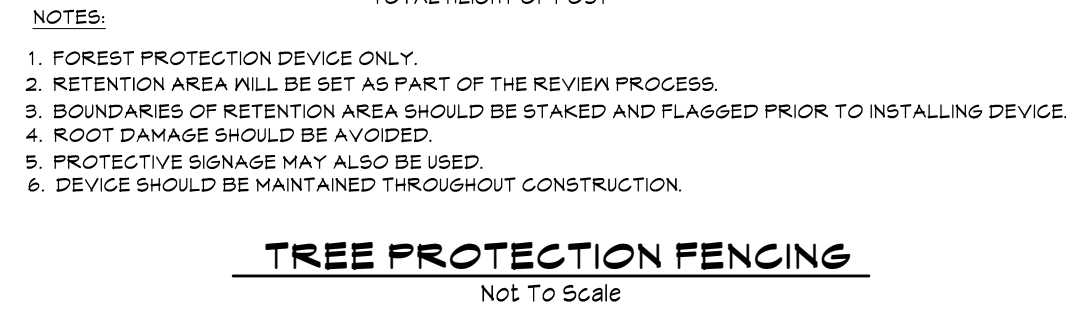
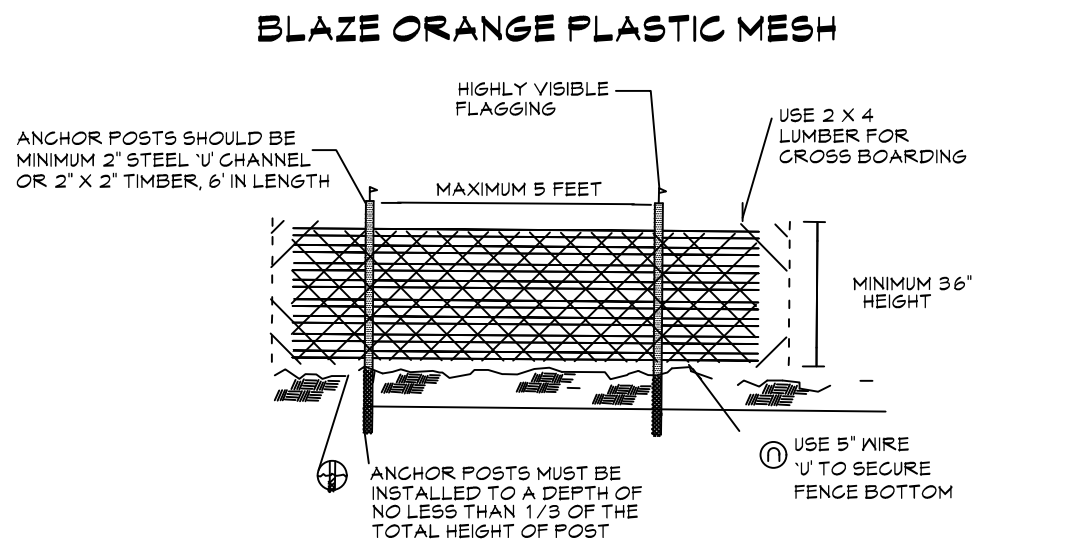
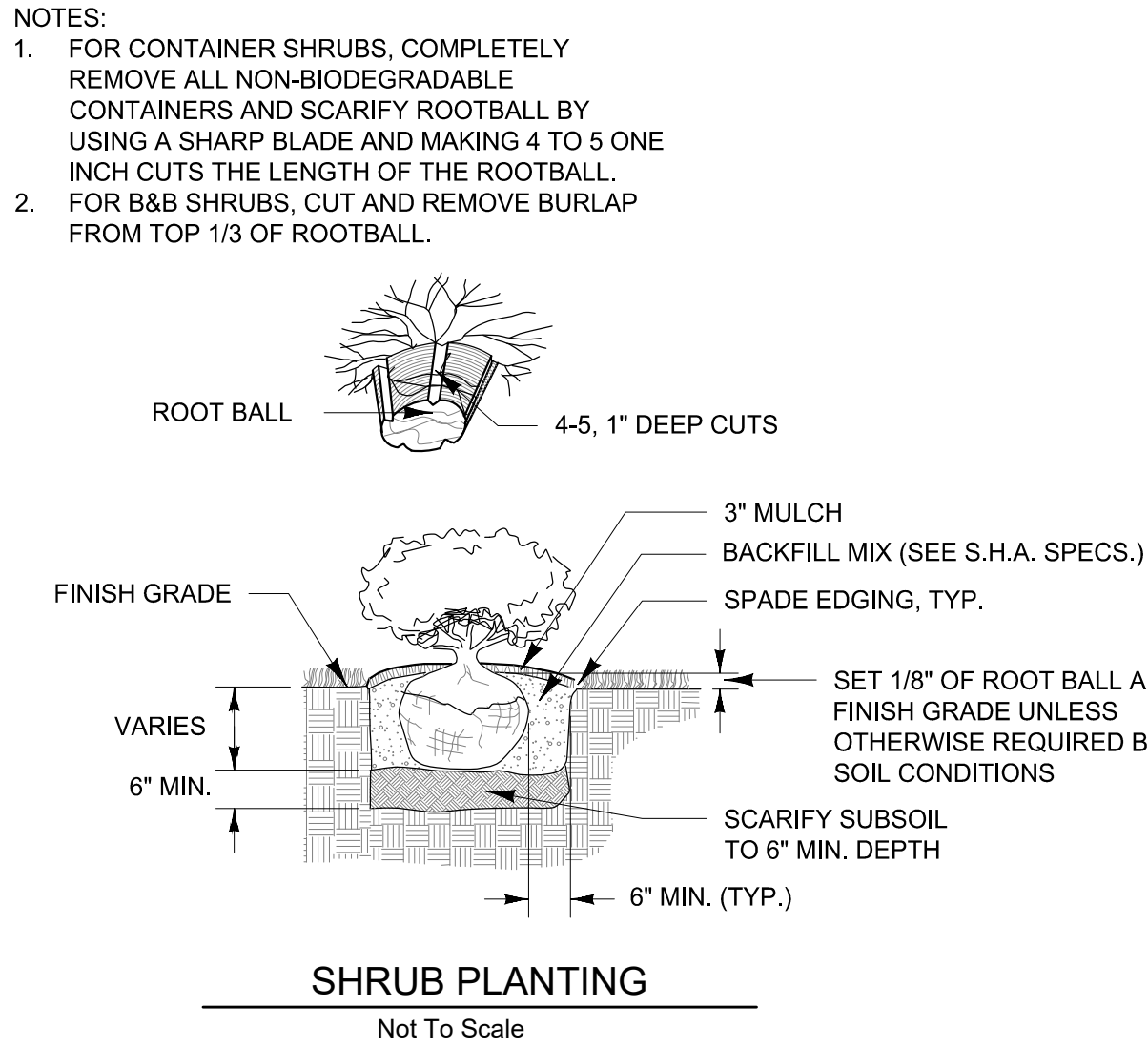
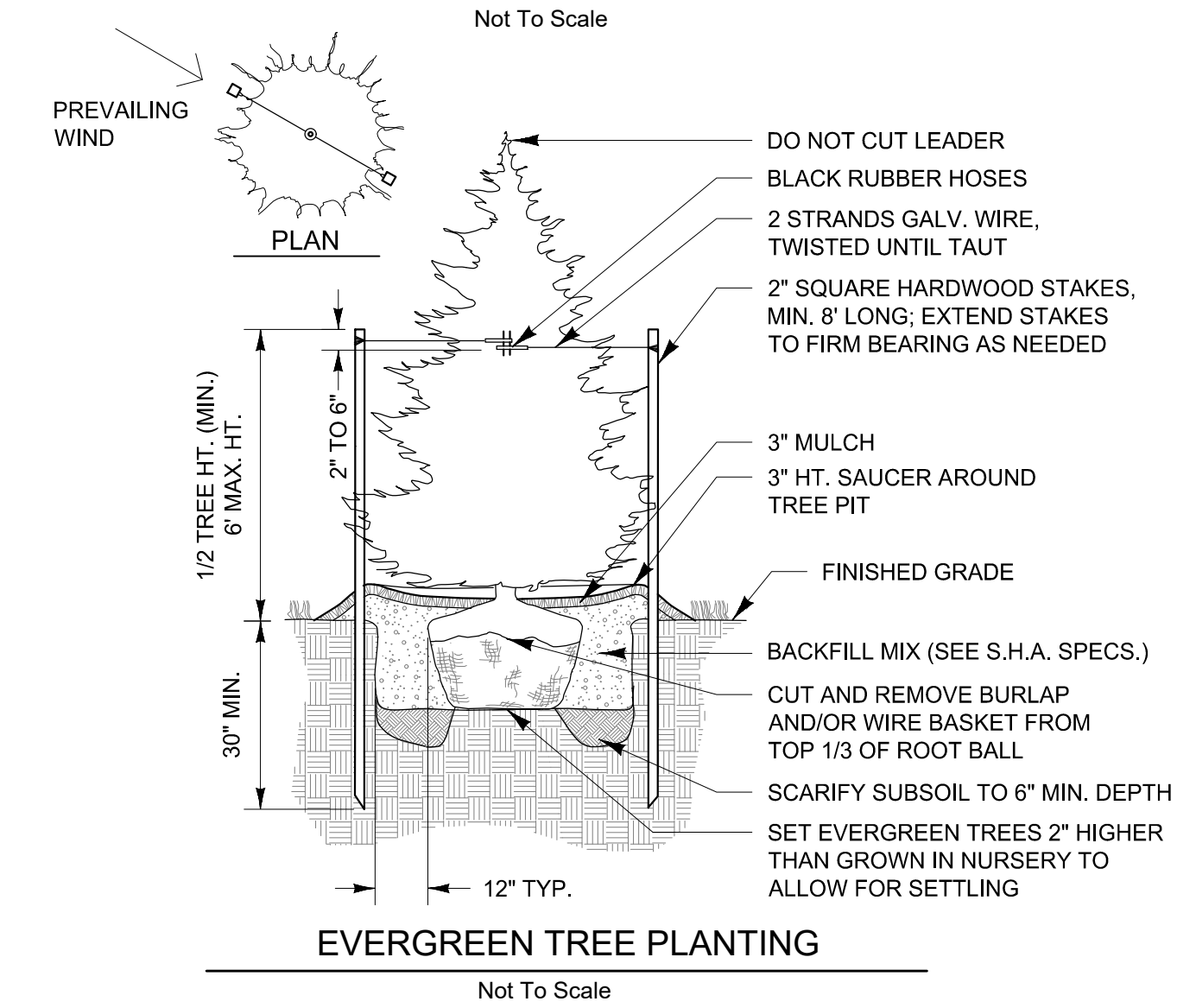
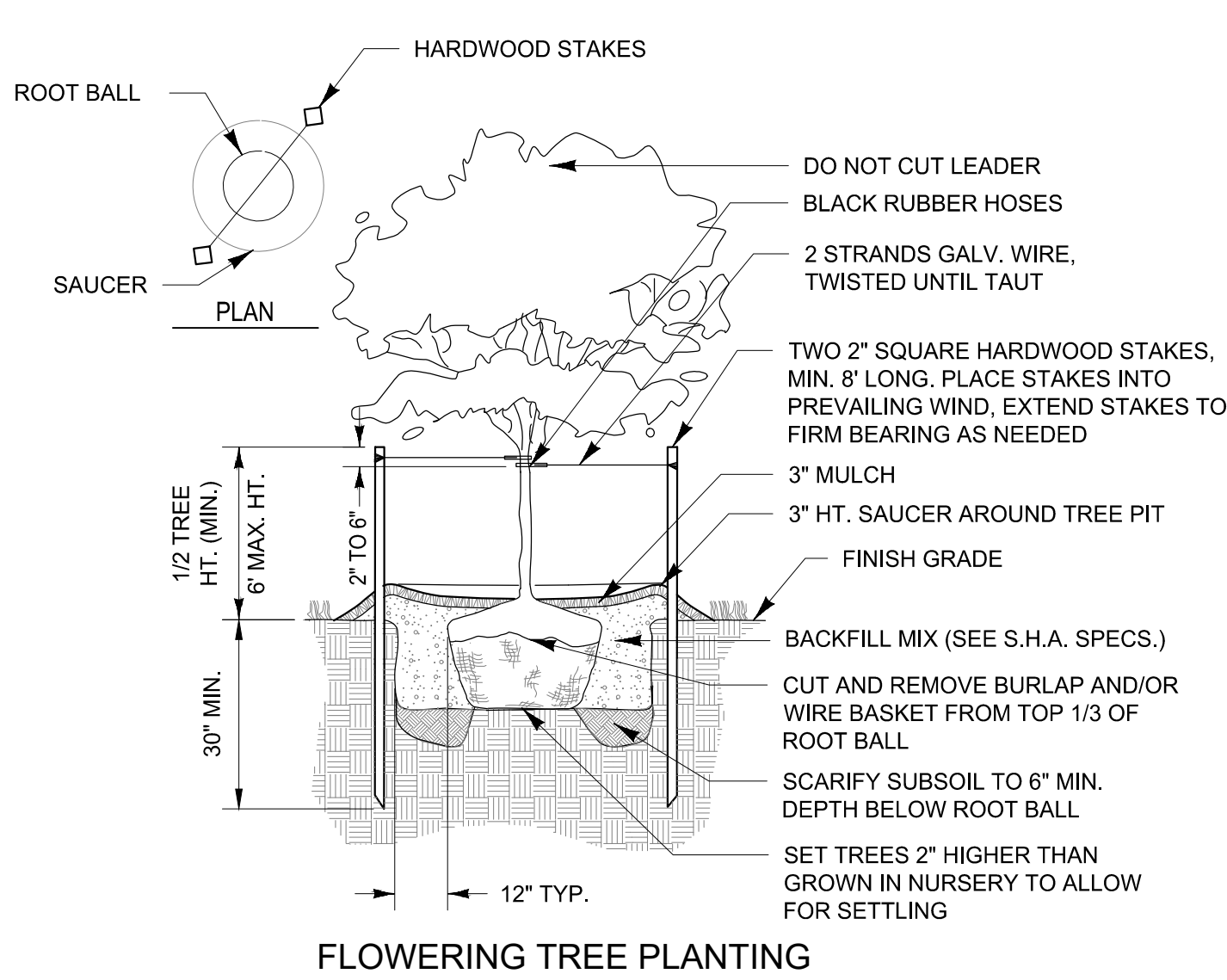
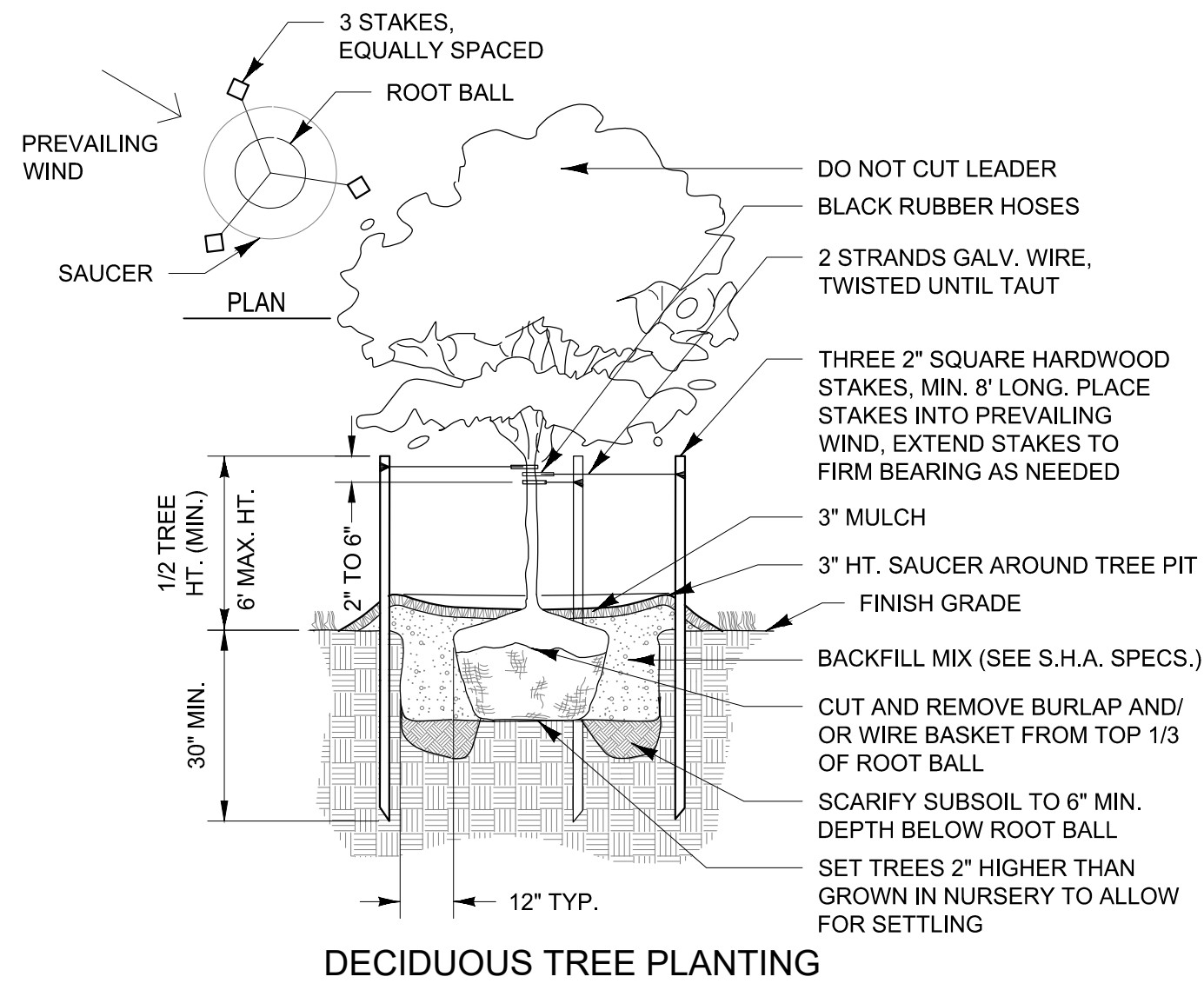
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DATE	BY	REVISIONS

PLAN  
SCALE: 1"=50'  
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## FOREST CONSERVATION PLANTING NOTES

### PLANT MATERIAL SELECTION -

- NURSERY GROWN PLANT MATERIAL SHOULD MEET OR EXCEED THE REQUIREMENTS OF THE AMERICAN NURSERYMAN SPECIFICATIONS.
- PLANTING MATERIAL SHALL BE SOURCED FROM WITHIN THE GEOGRAPHIC REGION SUITABLE TO THE SITE.
- PLANT MATERIAL SHALL BE STORED IN A COOL, SHADED AREA ON THE SITE AND KEPT MOIST TO PREVENT DESICCATION UNTIL READY FOR PLANTING. PLANTING SHALL BEGIN WITHIN 24 HOURS OF PLANT DELIVERY TO THE SITE. PLANT MATERIAL THAT REMAINS UNPLANTED BEYOND 24 HOURS SHALL BE PROTECTED FROM DIRECT SUN, AND WEATHER AND KEPT MOIST. PLANT MATERIALS SHALL NOT BE LEFT UNPLANTED FOR MORE THAN 2 WEEKS.
- THE CONTRACTOR IS REQUIRED TO OBTAIN CLEAN FRESH WATER FOR USE DURING PLANTING OPERATIONS AND THE SUBSEQUENT MAINTENANCE PERIOD.

### SITE PREPARATION AND PLANTING -

- NO CLEARING OR GRADING SHALL BEGIN BEFORE STRESS-REDUCTION MEASURES HAVE BEEN IMPLEMENTED. SUCH MEASURES MAY INCLUDE ROOT PRUNING, CROWN REDUCTION OR PRUNING, ETC.
- PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, TREE PROTECTION FENCING SHALL BE INSTALLED ALONG ALL SECTIONS OF THE LOD ABUTTING WOODED/FORESTED AREAS AND AROUND ALL TREE SAVE AREAS TO ENSURE PRESERVATION OF THESE AREAS.
- TREE PROTECTION AREA SIGNS MUST BE AFFIXED TO ALL TREE PROTECTION FENCING AT 100' SPACING, ON AVERAGE. SIGNS ARE NOT TO BE AFFIXED DIRECTLY TO TREES.
- ALL TREE PROTECTION MEASURES MUST BE IN PLACE AT THE TIME OF THE SEDIMENT & EROSION CONTROL INSPECTION, PRIOR TO THE COMMENCEMENT OF DEMOLITION, SITE CLEARING, GRADING, OR CONSTRUCTION. TREE PROTECTION DEVICES SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION. NO EQUIPMENT, TRUCKS, MATERIALS, OR DEBRIS MAY BE STORED WITHIN THE TREE PROTECTION AREAS DURING THE ENTIRE CONSTRUCTION PROJECT.
- ALL TREES TO BE REMOVED MUST BE REMOVED IN A MANNER THAT WILL NOT DAMAGE THE REMAINING TREES.
- ANY TREES THAT ARE TO REMAIN THAT ARE DAMAGED DURING THE CLEARING OPERATION MUST BE REPAIRED OR REMOVED AND REPLACED IN AN APPROVED MANNER BY AN MDLTA/ISA CERTIFIED ARBORIST AS SOON AS FINAL CLEARING HAS BEEN COMPLETED.
- ROOT PRUNING MAY BE NECESSARY WHERE THE CRITICAL ROOT ZONE IS IMPACTED, AS DETERMINED BY THE PLAN PREPARER OR AN MDLTA/ISA CERTIFIED ARBORIST. PRUNING SHALL BE ALONG THE LOD ADJACENT TO TREE PROTECTION FENCING. A CERTIFIED ARBORIST SHALL SUPERVISE OR CONDUCT ROOT PRUNING.
- REFER TO THE MDSHA STANDARDS AND SPECIFICATIONS SECTION 710.03.01 PLANTING SEASONS TABLE FOR ACCEPTABLE PLANTING PERIOD. PLANTING SHALL NOT BE COMPLETED IN SUB-FREEZING TEMPERATURES; WHEN THE GROUND IS FROZEN: WHEN WEATHER CONDITIONS WILL ADVERSELY AFFECT PLANT MATERIALS; OR WHEN THE SOIL IS TOO WET OR OTHERWISE IN A CONDITION NOT ACCEPTABLE FOR PLANTING.
- MOW PLANTING AREA CLOSE TO THE GROUND ONE WEEK (OR LESS) PRIOR TO PLANTING DATE.
- PREPARE PLANTING PITS PER MDSHA STANDARDS AND SPECIFICATIONS SECTION 710.03.04.
- TO ENSURE TREE SURVIVABILITY ALONG SLOPES THE FOLLOWING MEASURES WILL BE TAKEN:
  - THE ROOT COLLAR SHALL BE PLACED SLIGHTLY ABOVE GRADE TO PREVENT ROOTS FROM CIRCLING.
  - EARTHGROW OR A SIMILAR COMPOST SHALL BE USED WITHIN PLANTING PIT TO ENHANCE ORGANIC MATTER CONTENT WITHIN THE PLANTING PIT.
  - A SMALL PLANT SHELVE SHALL BE CREATED FOR EACH INSTALLATION TO PREVENT UPHILL ROOTS FROM BEING PLANTED TOO DEEP. THE SLOPE SHALL BE CUT BACK TO CREATE A FLAT AREA UPSLOPE OF THE PLANTING PIT. THE EXCESS SOIL SHALL BE PLACED DOWNSLOPE OF THE PLANTING PIT TO EXTEND THE SHELVE TO ENSURE DOWNSLOPE ROOTS WILL REMAIN BURIED. A SMALL BERM SHOULD BE FORMED AT THE DOWNSLOPE PORTION OF THIS NEWLY FORMED TERRACE TO RETAIN WATER FOR THE PLANT AND TO PREVENT EROSION.
  - STAKING SHALL BE INSTALLED ON EVERY TREE PER THE DETAIL ON THIS SHEET.
- INSTALL PLANT MATERIALS PER MDSHA STANDARDS AND SPECIFICATIONS 710.03.09.
- AFTER INSTALLATION OF PLANTS, MONITOR SOIL MOISTURE AND WATER NEEDS OF PLANTS. APPLY WATER TO PLANTING PITS AS SPECIFIED IN MDSHA STANDARDS AND SPECIFICATIONS SECTION 710.03.04(C).

### MAINTENANCE -

- UPON COMPLETION OF INSTALLATION, THE PLANTING AREA IS TO BE MAINTAINED FOR A 3 YEAR PERIOD. A 85% SURVIVAL RATE MUST BE ACHIEVED AT THE END OF THE SECOND GROWING SEASON. MAINTENANCE SHALL BE AS FOLLOWS:
  - ANY PLANT MATERIAL SHOWING SIGNS OF DISTRESS ARE TO BE REPLACED IMMEDIATELY BY THE CONTRACTOR.
  - NATIVE VOLUNTEER SEEDLINGS SHALL BE REMOVED ONLY IF THEY ARE ADVERSELY IMPACTING THE GROWTH OF THE PLANTED MATERIAL. NON-NATIVE AND INVASIVE SPECIES ARE TO BE REMOVED FROM THE ENTIRE PLANTING AREA THROUGH SELECTED AND APPROVED MEANS.
  - ALL MAN-MADE MATERIALS SHALL BE REMOVED FROM THE SITE WHICH WOULD IMPACT THE ESTABLISHMENT OF THE PLANTED MATERIALS.
  - THOROUGHLY WATER PLANTED MATERIAL ONCE WEEKLY OR AS NEEDED DURING THE GROWING SEASON.
  - PLANTED MATERIAL IS TO BE MONITORED FOR SIGNS OF DAMAGE AND APPROPRIATE ACTIONS SHALL BE TAKEN TO PREVENT FURTHER DAMAGE. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING: PEST DAMAGE OR INFESTATION, DISEASE OR BROWSING, ANY DEAD OR DECIMATED MATERIAL SHALL BE REPLACED WITH THE IDENTICAL SPECIES OR AN APPROVED REPLACEMENT.
  - AT THE END OF THE 3 YEAR MAINTENANCE PERIOD, THE SITE SHALL BE INSPECTED FOR THE 85% SURVIVAL RATE AS REQUIRED BY CARROLL COUNTY.

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\* WHEN TUBE SHELTERS ARE USED, THEY MUST BE REMOVED PRIOR TO RELEASE OF BOND MONEY.

## CARROLL COUNTY LANDSCAPE SPECIFICATIONS

- All plants shall be identified in accordance with the latest Edition of Hortus Third, by "The Staff of the Hortorium".
- All nursery stock shall conform to American Association of Nurserymen, Inc., standards as described in American Standard for Nursery Stock, current ANSI Z-60.1 specifications.
- Landscape specifications shall conform to Landscape Contractors Association Specification Guidelines for Maryland, Washington, D.C., and Virginia, latest edition and Century Engineering, Inc. specifications. All nursery stock shall be planted in accordance with the procedures outlined in the guidelines.
- Three (3) inches of topsoil on all disturbed areas to be landscaped, seeded or sodded is required.
- A separate plan labeled "Landscape Plan" (may be combined with Forest Conservation Plan) is required. Landscape requirements may not be combined with the Forest Conservation Plan.

## PLANTING NOTES

- Plant material substitutions will not be accepted without approval of the Landscape Architect.
- All shrubs and groundcover areas shall be planted in continuous prepared planting beds.
- All shrub beds shall be mulched with hardwood mulch as detailed and specified except where noted on plans.
- Maintain positive drainage out of planting beds at a minimum of two percent slope.
- Plant quantities are provided for the convenience of the contractor. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All areas within contract limits disturbed during or prior to construction not designated to receive plantings and mulch shall be fine graded and seeded in accordance with planting and construction.
- The contractor shall notify Miss Utility, (800-257-7777) a minimum of three working days prior to planting and construction.
- Contractor shall test pit prior to plant installation.

## IRRIGATION METHODS

- The use and maintenance of drip irrigation bags or rings around the trunks of newly-planted trees.
- Hand watering, with water sources provided through either or both of the following methods:
  - Exterior faucets on a building, located so that the farthest planting can be reached by a length of hose (100 feet recommended).
  - A quick-coupling system, with connections located so that the farthest planting can be reached by a length of hose (100 feet recommended).
  - A water tank or truck.
- An automatic irrigation system with a moisture-sensing device and/or rain shut-off switch. If using an automatic irrigation system, the following requirements shall be met:
  - All irrigation systems shall be designed to minimize vandalism.
  - Sprinklers must not over-spray onto pavement. Sprinkler and spray heads are not permitted for planting areas less than eight (8) feet in width, to prevent overspray and run-off. Other irrigation methods shall be specified in such areas.
  - Place lawn areas in a separate irrigation zone from shrub and groundcover beds so that each planting type can receive adequate irrigation without over-watering areas with lower irrigation needs.
  - Drip irrigation is recommended for shrub and groundcover beds. Drip irrigation shall be used in areas smaller than five (5) feet in any direction.
- The use of rainwater harvesting techniques combined with the use of harvested rainwater for landscape irrigation is encouraged.

## NON-INVASIVE NOTE

- Non-invasive vegetation that is native or regionally appropriate for local growing conditions has been selected to promote biodiversity.

## MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- A two year plant replacement warranty and two years of maintenance are required by the County.
- Lawn areas shall be mowed to a height of 2 to 3 inches and not allowed to reach a height of 4 inches before mowing.
- All curbs and walks shall be edged as needed.
- All lawn areas adjacent to building facades or structures shall be trimmed.
- A slow release nitrogen balanced fertilizer with a 2-1-1 ratio shall be applied at a rate of 2 pounds of nitrogen per 1000 square feet in September, October, and February.
- Lime shall be applied at the rate determined by a soils report.
- It is recommended that lawn areas be treated in mid-March to early April with pre-emergent herbicide (Betasan) or equal applied at the manufacturer's rate.
- A post-emergent herbicide (Trimec) or equal is recommended to be sprayed on lawn areas in the late spring or early fall. Follow manufacturer's rates and recommendations.
- Insecticides and fungicides are recommended for insect and disease control.
- Reseed bare areas of lawn as necessary. Yearly aeration is recommended.
- All trash, litter, and debris shall be removed from lawn areas, parking lots, and shrub beds as needed.
- Mulch all shrub and groundcover beds yearly with 3 inches of shredded hardwood bark.
- Permit shrubs and trees to grow and enlarge to their design size. Consult project Landscape Architect for details.
- Prune trees in accordance with Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas.
- Maintenance of landscape areas includes, but is not limited to weeding, mulching, mowing, trimming, pruning, edging, cultivation, seeding, fertilization, watering, pest control, and any other maintenance necessary to ensure healthy, vigorous plant growth and well-kept property condition.
- Landscaping elements such as walls and fences shall be constructed in a sound workmanlike manner with adequate support or footings and must be repaired or replaced as needed to preserve an attractive appearance and to function as intended.
- Any dead plants or plants which fail to show healthy growth must be removed and replaced within 60 days of identification of deteriorated health or notification by the County. Replacement may be delayed until the next growing season only if the 60 day period occurs during a time of year not suitable for planting.
- All replacement plants must meet the size and other characteristics of newly planted material as required in the manual.
- Trees and large shrubs must be adequately supported, when necessary to insure proper growth. Tree staking must be removed prior to final inspection, with the exception of plants replaced during the warranty period and not yet established.
- It is desirable to avoid excessive use of fertilizers and pesticides to minimize impacts on water quality. It is recommended that fertilizer application be need-based rather than as an automatic component of maintenance schedules and when appropriate, slow-release or natural fertilizers be selected over highly-soluble chemical fertilizers.
- The implementation of an Integrated Pest Management (IMP) program is recommended to prevent and treat pest problems.

## FINAL LANDSCAPE PLAN OWNER CERTIFICATION FORM

I certify that I have reviewed this Final Landscape Plan; that I have read and understood the regulations presented in the Carroll County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan no later than one (1) year from the date of approval of this plan to the Department of Planning, Bureau of Resource Management, Room 209, 225 N. Center Street, Westminster, MD 21157-5194.

Applicant Signature	Date	Print Name
Address	Street	Phone No.
City	State	Zip
File #		

DATE BY REVISIONS

P-23-0056

## STANDARDS & SPECIFICATIONS FOR PLANTING

### TIMETABLE FOR PLANTING

ALL B&B AND CONTAINER PLANTING SHALL BE DONE BETWEEN MARCH 25 AND APRIL 30. FOR SPRING PLANTING, AND BETWEEN OCTOBER 15 AND DECEMBER 1 FOR FALL PLANTING.

### PLANT MATERIAL

SEE PLANT LIST FOR EACH PLANTING AREA.

### PLANTING SITE PREPARATION

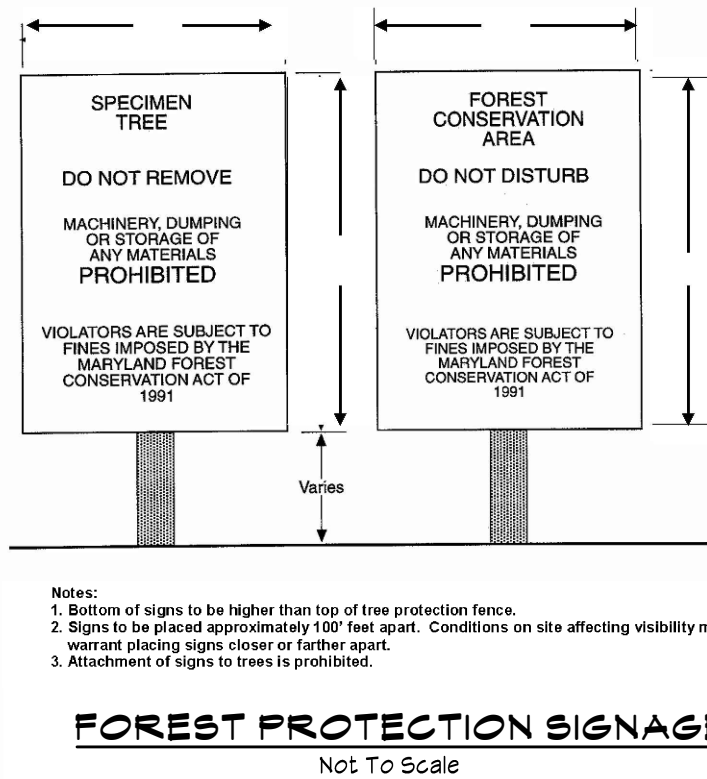
CONTRACTOR SHALL ERADICATE ALL INVASIVE PLANT MATERIAL WITHIN PLANTING AREAS PRIOR TO PLANTING. ONCE THE PLANTING AREA IS CLEAR OF INVASIVES, PREPARE A PLANTING PIT FOR EACH TREE AND SHRUB. THE AREA DISTURBED FOR THE PIT IS TO BE MULCHED WITH A SHREDDED HARDWOOD PRODUCT. SOIL TESTING IS RECOMMENDED FOR MACRONUTRIENT DEFICIENCIES AND pH LEVELS. PROPER SOIL AMENDMENTS SHOULD BE MADE IF DEEMED NECESSARY.

### PLANT MATERIAL STORAGE

IT IS RECOMMENDED THAT PLANTING OCCUR WITHIN 24 HOURS OF DELIVERY TO THE SITE. PLANT MATERIALS LEFT UNPLANTED FOR MORE THAN 24 HOURS SHALL BE PROTECTED FROM DIRECT SUN AND WEATHER AND KEPT MOIST. PLANT MATERIAL SHOULD NOT BE LEFT UNPLANTED FOR MORE THAN TWO WEEKS.

### PLANTING METHOD

SEE PLANTING DETAILS FOR EACH TYPE OF PLANT MATERIAL USED. ALL TREES SHALL BE INSTALLED WITH TREE SHELTERS.



### DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSCREEN CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.

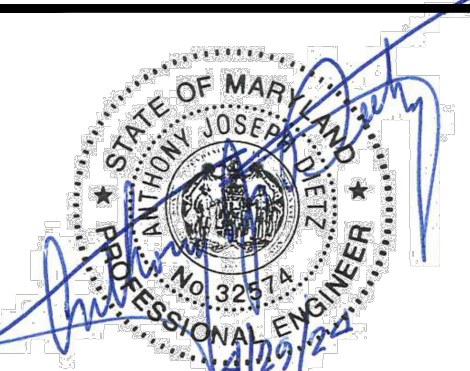
**CENTURY**  
ENGINEERING  
A Kleinfelder Company  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

## CONCEPT MAJOR SUBDIVISION PLANS FOR A CLUSTER SUBDIVISION

### Landscape Details

## RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



### PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

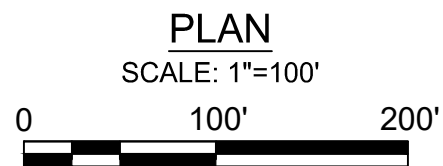
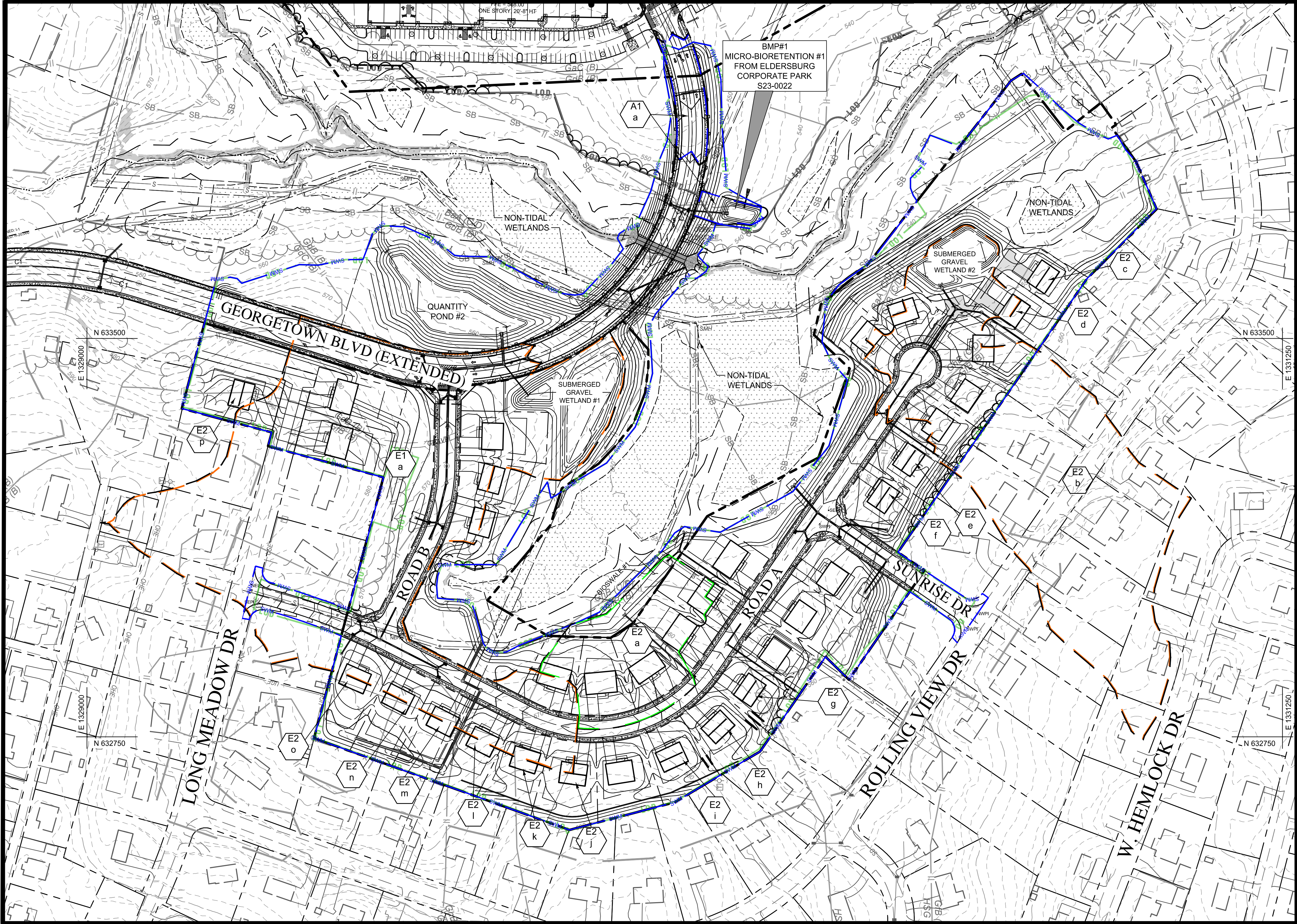
LICENSE NUMBER: 1008  
EXPIRATION DATE: 5-20-2024

DATE: 5-9-2024 SCALE: AS SHOWN  
PROJECT NUMBER: 00211253.001A

DRAWING: 24 of 31



T:\2021\Facilities\00211253.001A Beaty Property\CIVIL\CADD\Drawings\Concept Southern Single Family\211253.001 (SWM-x) ESD Ut DA Map.dwg May 13, 2024 12:48pm rlangrehr



LEGEND

- LOD Limit of Disturbance
- SWM SWM Study Limits
- PROPOSED ESD DRAINAGE AREA
- Drainage Area ID

OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

\*\* REV CANNOT BE PROVIDED WITHIN THE SUBMERGED GRAVEL WETLANDS.  
3,094 CUFT OF REV IS BEING PROVIDED WITHIN THE DRYWELLS

DATA SOURCES

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**CENTURY**  
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A Kleinfelder Company  
10710 Gilroy Road, Hunt Valley, MD 21031  
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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Concept Ultimate Conditions ESD  
Map  
**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



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THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.  
LICENSE NUMBER: 32674  
EXPIRATION DATE: 1-16-2026

P-23-0056		
DATE	BY	REVISIONS

DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN

DRAWING:



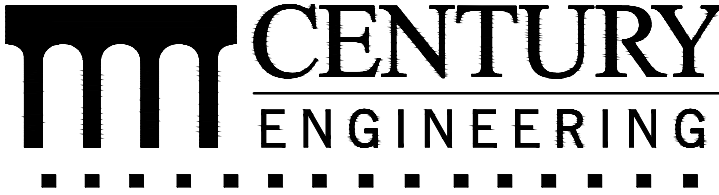
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OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
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P-23-0056		
DATE	BY	REVISIONS



**CENTURY**  
ENGINEERING

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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Road A Sight Distance Exhibit

**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



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LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

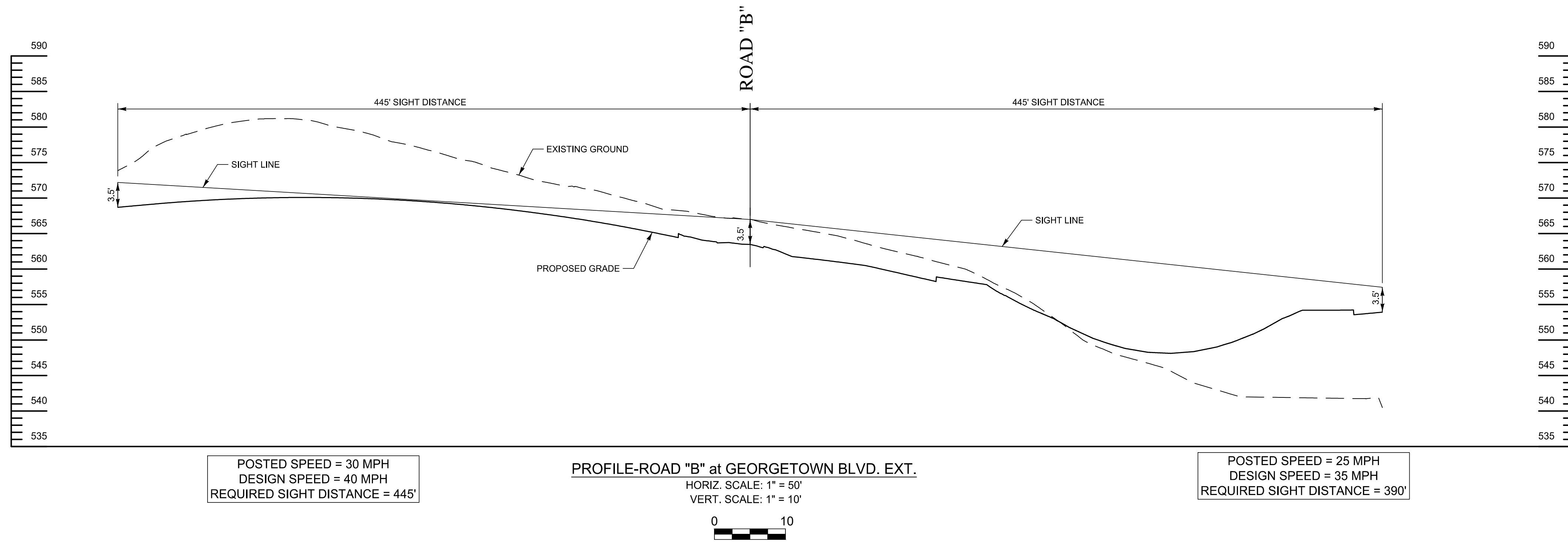
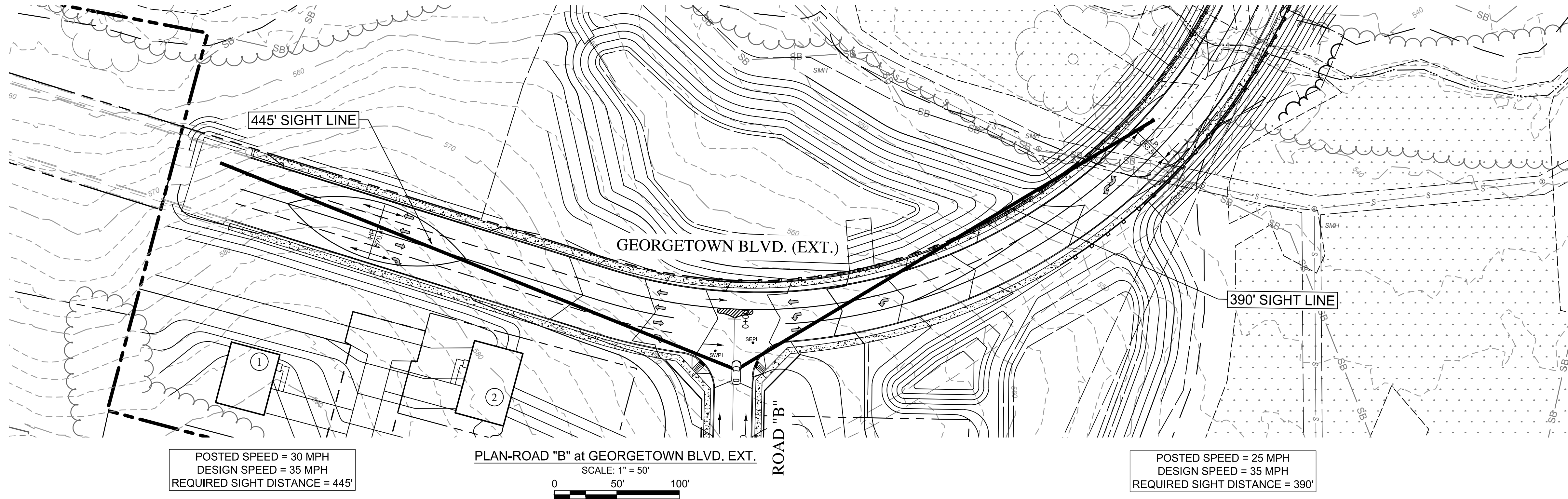
DATE: 5-9-2024 SCALE: AS SHOWN DRAWING: 26 of 31

PROJECT NUMBER: 00211253.001A



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MARYLAND STATE PLANE  
NAD 83/2011 - NAVD 88



OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
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P-23-0056		
DATE	BY	REVISIONS

**CENTURY**  
ENGINEERING

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10710 Gilroy Road, Hunt Valley, MD 21031  
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CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Road B Sight Distance Exhibit

**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD

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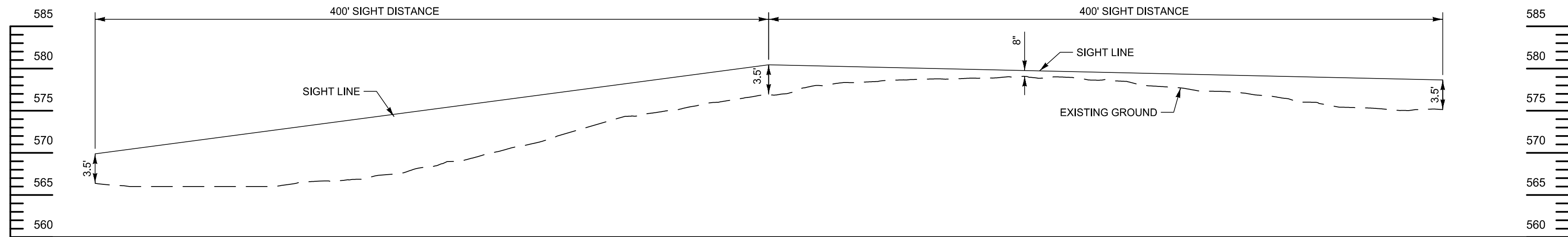
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

DATE: 5-9-2024 SCALE: AS SHOWN DRAWING: 27 of 31

PROJECT NUMBER: 00211253.001A



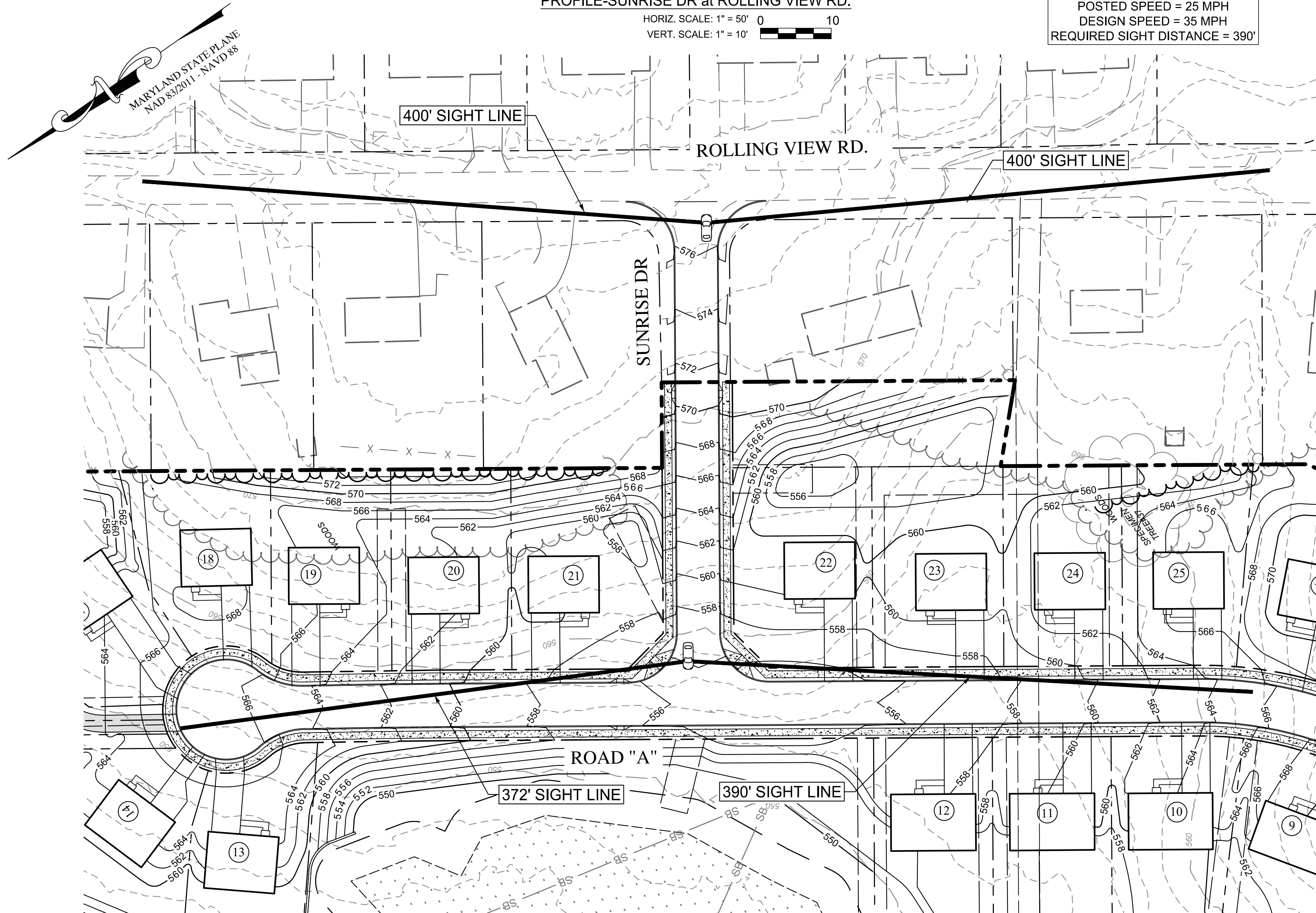
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PROFILE-SUNRISE DR at ROLLING VIEW RD.

HORIZ. SCALE: 1" = 50' 0 10  
VERT. SCALE: 1" = 10'

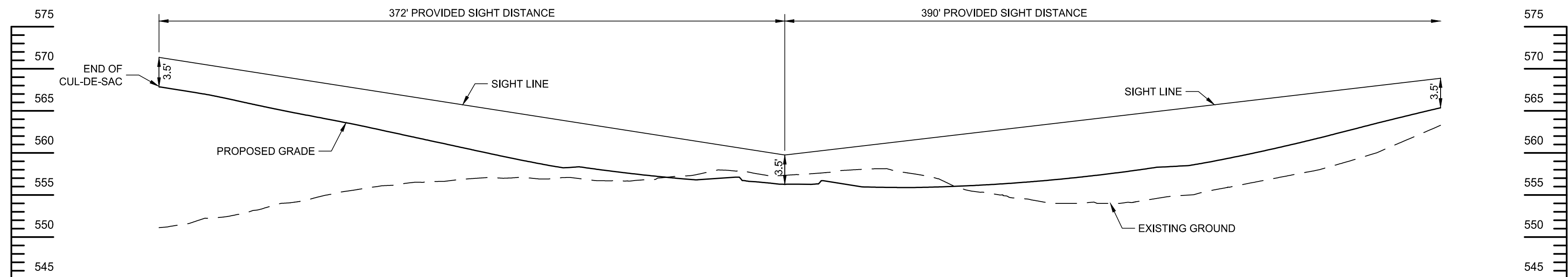
POSTED SPEED = 25 MPH  
DESIGN SPEED = 35 MPH  
REQUIRED SIGHT DISTANCE = 390'



PLAN - SUNRISE DRIVE

SCALE: 1" = 50'  
0 50' 100'

POSTED SPEED = 25 MPH  
DESIGN SPEED = 35 MPH  
REQUIRED SIGHT DISTANCE = 390'



PROFILE-SUNRISE DR at ROAD "A"

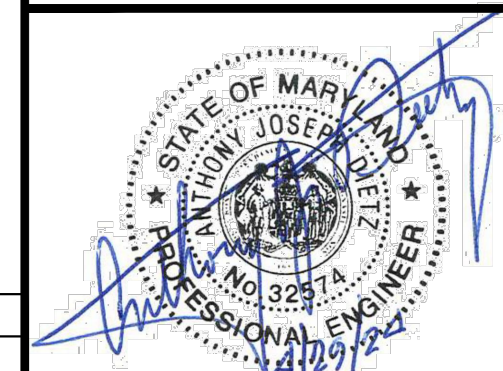
HORIZ. SCALE: 1" = 50' 0 10  
VERT. SCALE: 1" = 10'

OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

P-23-0056

DATE	BY	REVISIONS



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DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN

DRAWING:

28 of 31



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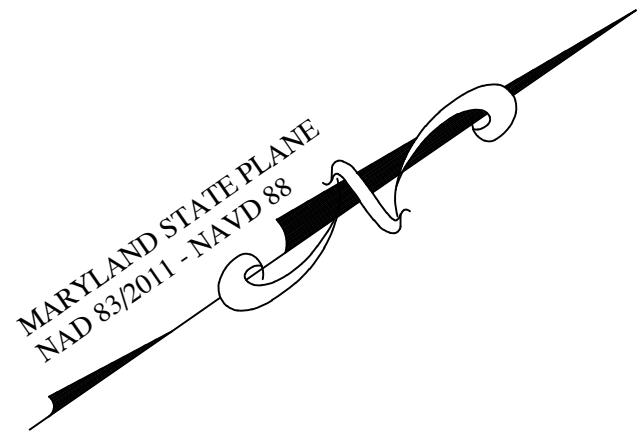
CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Road A Sight Distance Exhibit

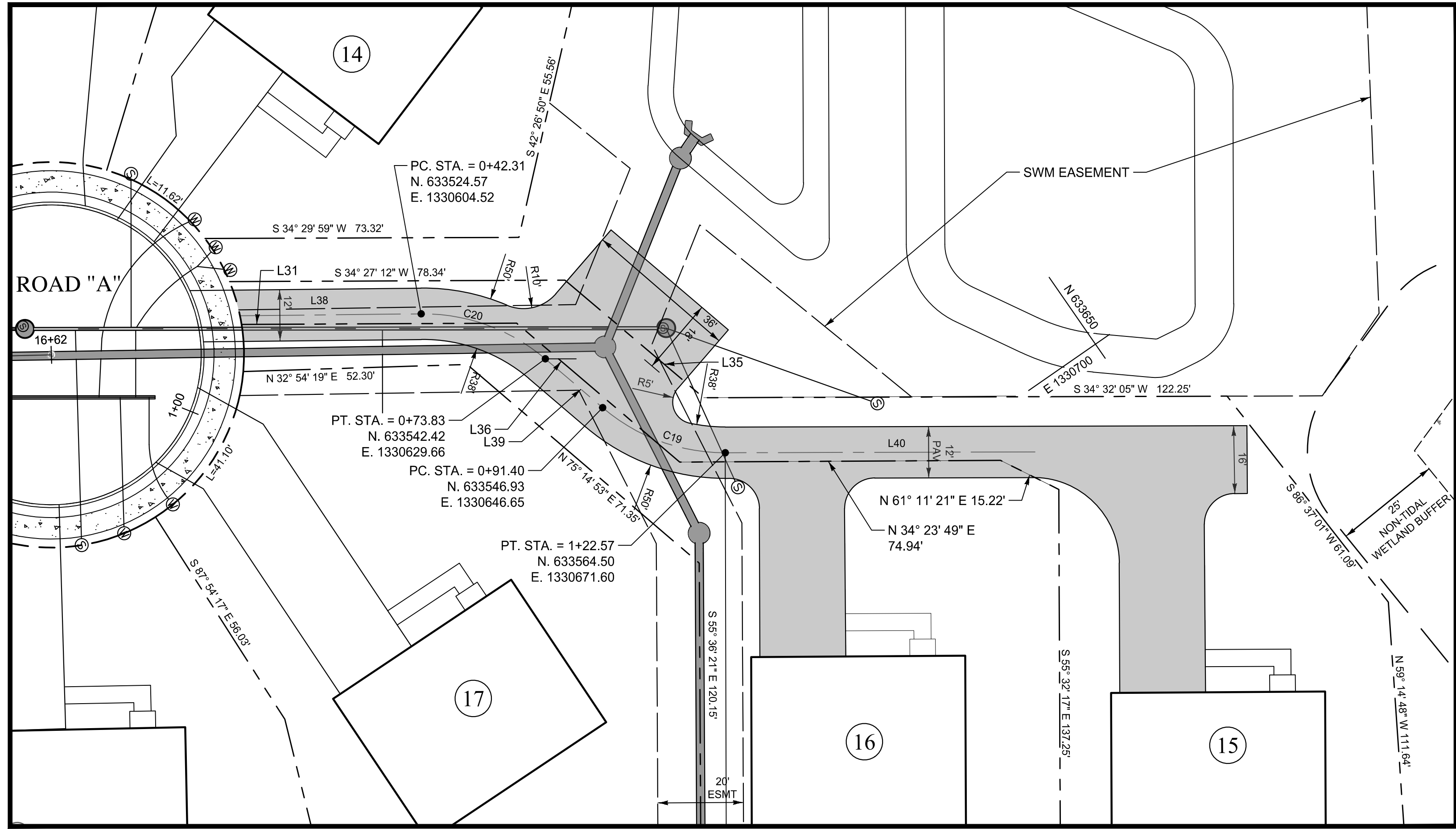
RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



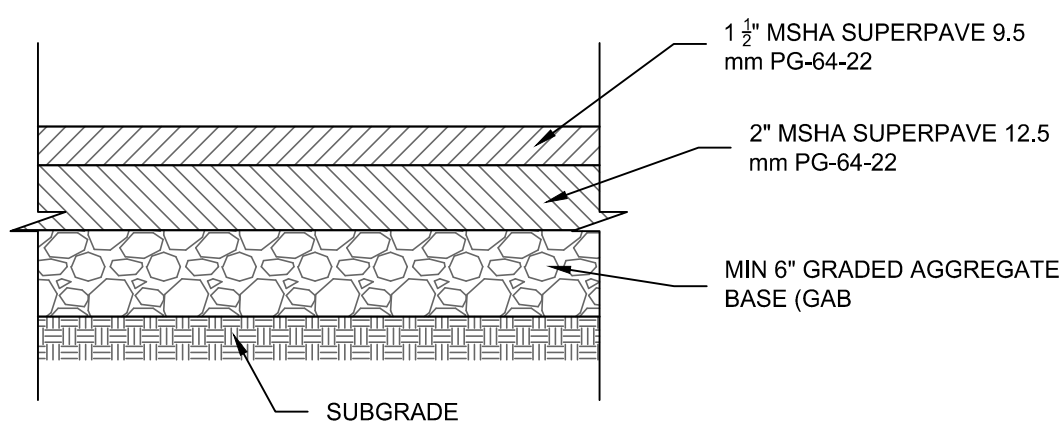
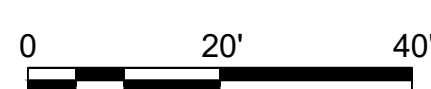


E 1330500  
N 633400



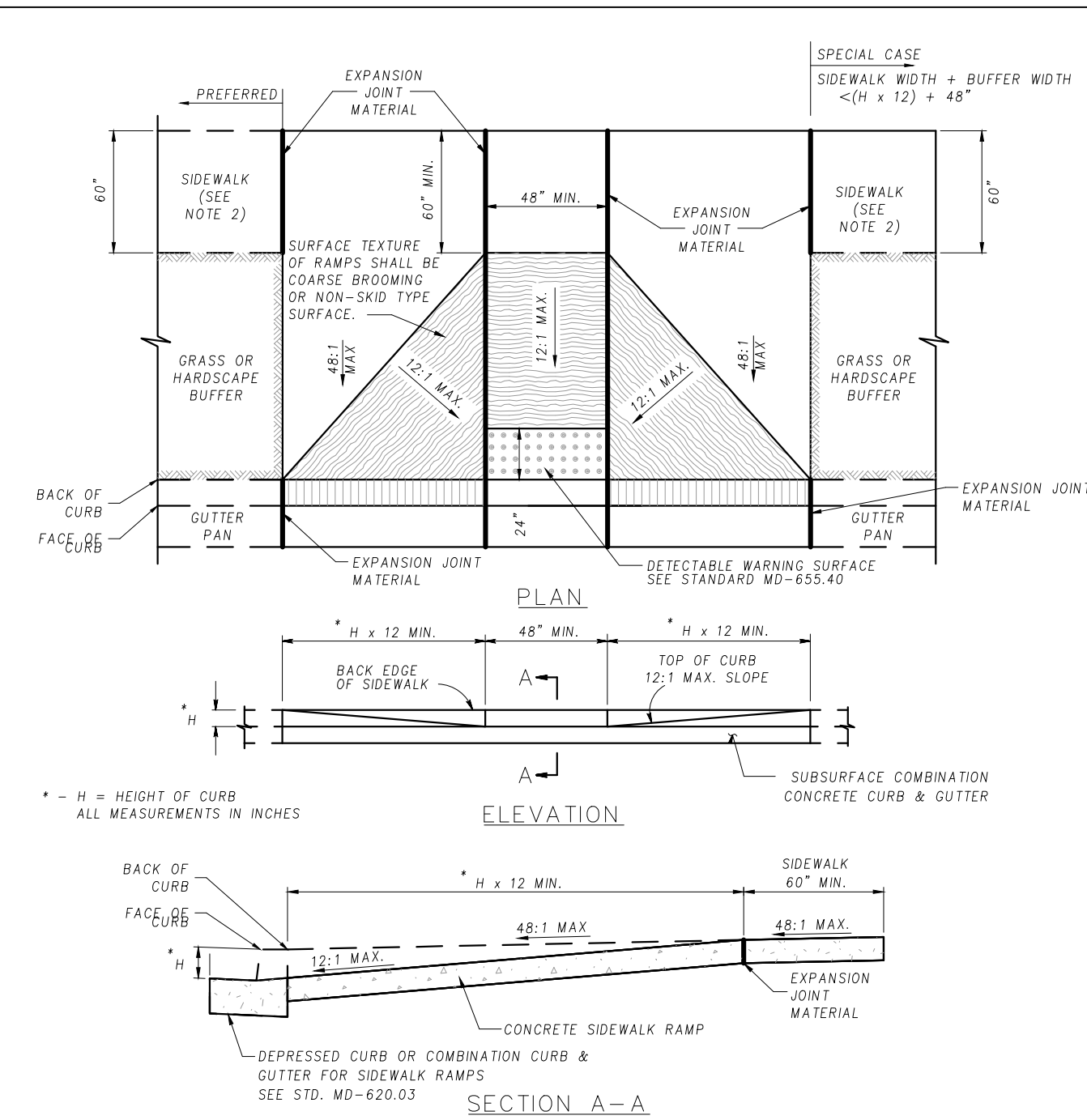
PLAN

SCALE: 1"=20'



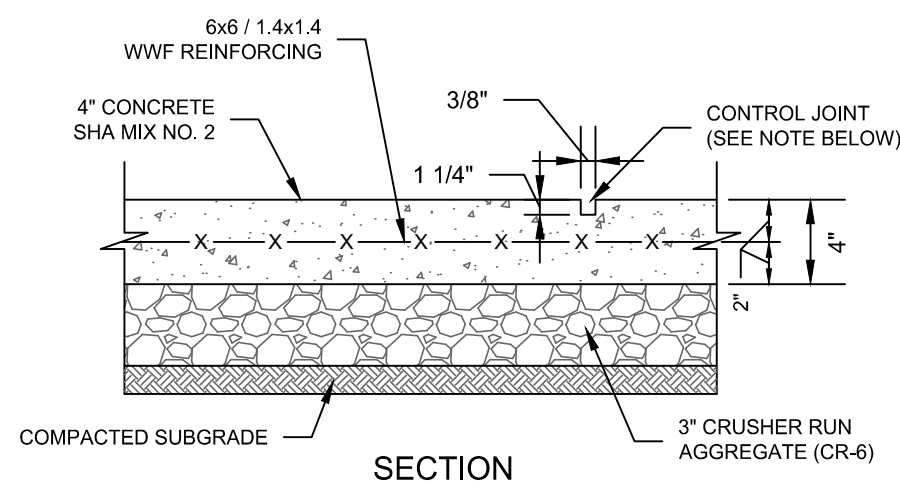
USE IN COMMON DRIVE PAVING SECTION

NOT TO SCALE

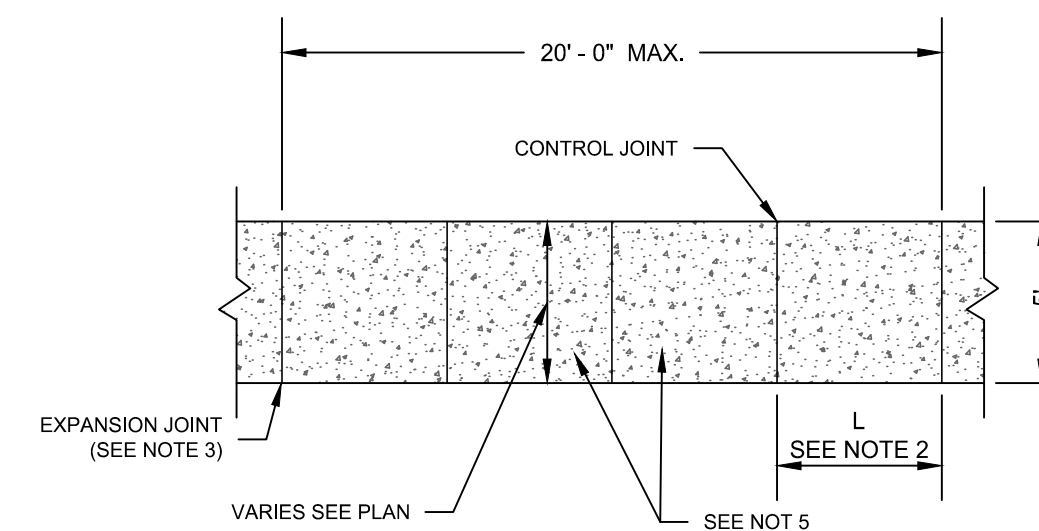


NOTES

1. TO BE USED ON WIDE SIDEWALKS OR SIDEWALKS WITH SIGNIFICANT SEPARATION FROM THE ROADWAY WHERE THE GEOMETRY SPECIFIED IN THE DETAILS ABOVE CAN BE SATISFIED. MAY BE MODIFIED TO SUIT A PARTICULAR LOCATION.
2. WHERE 60" SIDEWALK CAN NOT BE PROVIDED, A DESIGN VARIATION MUST BE REQUESTED.
3. NO IRREVERSIBLE SLOPE ON THE RAMP OR SIDEWALK SHALL EXCEED 12:1 IN THE DIRECTION OF PEDESTRIAN TRAVEL, OR 48:1 PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.
4. EXPANSION JOINT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH STD. MD-655.01.
5. SIDEWALK RAMP TO BE SHOWN ON PLANS SYMBOLICALLY AND REFERENCED WITH THE CENTER OF THE RAMP ALIGNED TO A STATION ON THE CONSTRUCTION CENTERLINE. SEPARATE DETAILS SHALL BE SHOWN WHERE PROPOSED RAMP VARIES FROM STANDARD CASES.
6. TRANSITION PANELS TO TIE INTO EXISTING SIDEWALK MUST BE A MINIMUM OF 5' IN LENGTH.



SECTION



PLAN

NOTES

1. ALL CONCRETE SHALL BE 6% AIR-ENTRAINED, 3000 P.S.I. SHA MIX. NO. 2, DEPTH SHALL BE 4".
2. PROVIDE SCORED CONTROL JOINTS EVERY 4'-0" MIN. BOTH DIRECTIONS.
3. PROVIDE 1/2" EXPANSION JOINT EVERY 20' O/C MAX. MARK EXPANSION/CONTRACTION JOINTS FOR SIDE-WALK WIDTHS 4'-0" TO 8'-0". IF "W" IS 8'-0" OR GREATER, ADD ADDITIONAL LONGITUDINAL EXPANSION JOINT AT CENTERLINE OF SIDEWALK.
4. PROVIDE 1/2" EXPANSION JOINT SEALANT WHERE SIDEWALK ABUTS CURB OR OTHER RIGID STRUCTURE(S).
5. ALL BROOM FINISH STROKES IN CONCRETE SIDEWALK TO BE PERPENDICULAR TO EDGES OF CONCRETE. DO NOT ALTERNATE PATTERN.

CONCRETE SIDEWALK DETAIL  
NOT TO SCALE

Line Table		
Line	Length	Direction
C19	31.17'	N 53°35'54" E
C20	31.51'	N 59°07'28" E
L31	64.25'	N34°26' 54"E
L35	42.45'	S74°58' 54"W
L36	50.01'	N75°07' 48"E
L38	42.31'	N 34°06'31" E
L39	17.57'	N 75°08'29" E
L40	72.35'	N 34°33'21" E

PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE PROJECT LEGEND  
REFER TO SHEET 10, 11 AND 12 OF 31 FOR GRADING.

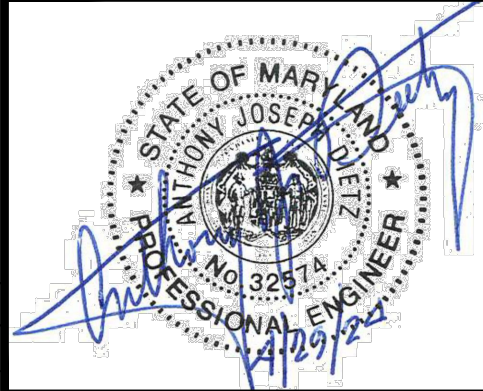
DATA SOURCES

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5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.

**CENTURY ENGINEERING**  
A Kleinfelder Company  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION  
Common Drive Layout Plan  
& Public Road Details  
**RESERVOIR RUN**

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



**PROFESSIONAL CERTIFICATION**  
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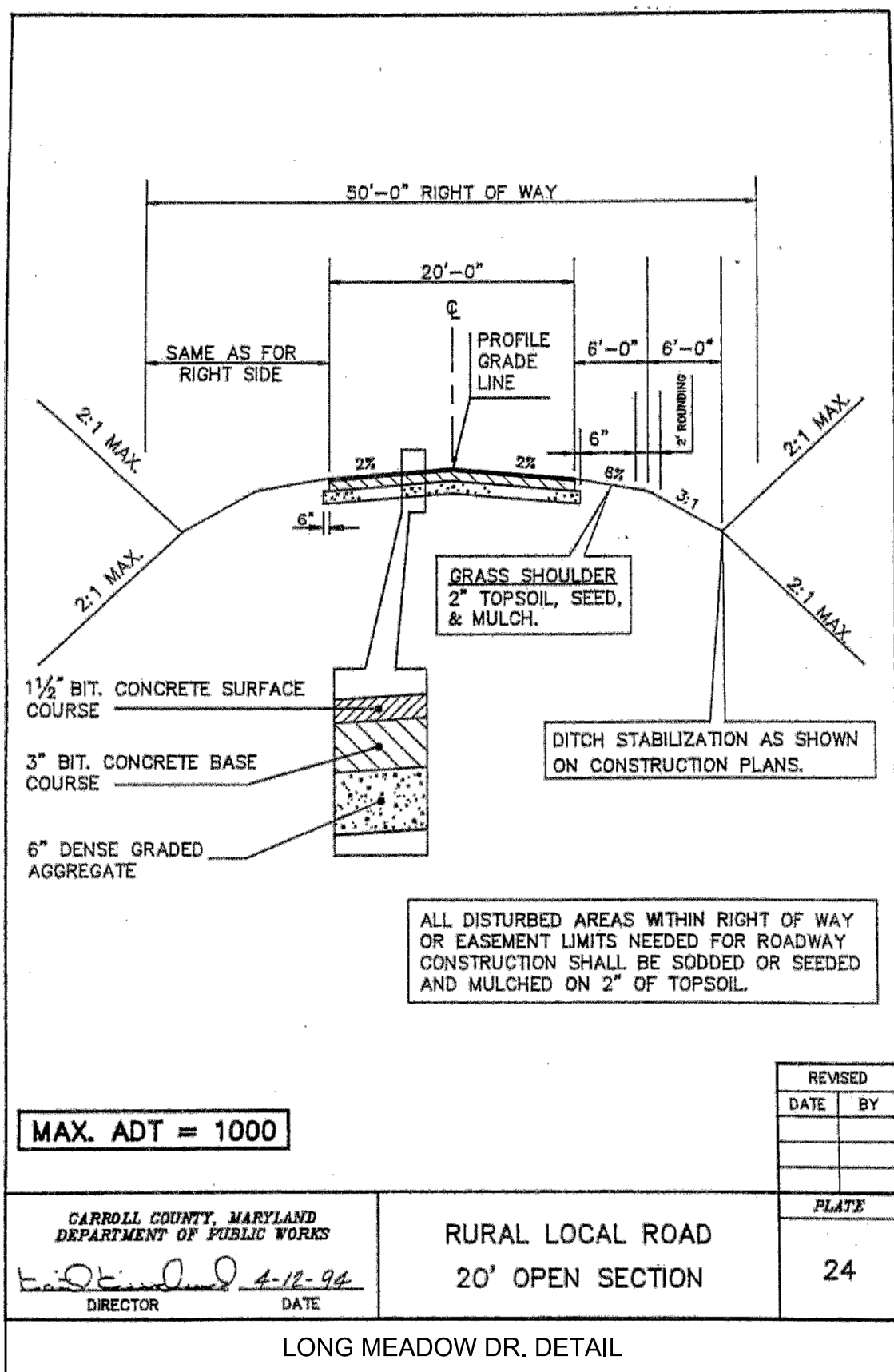
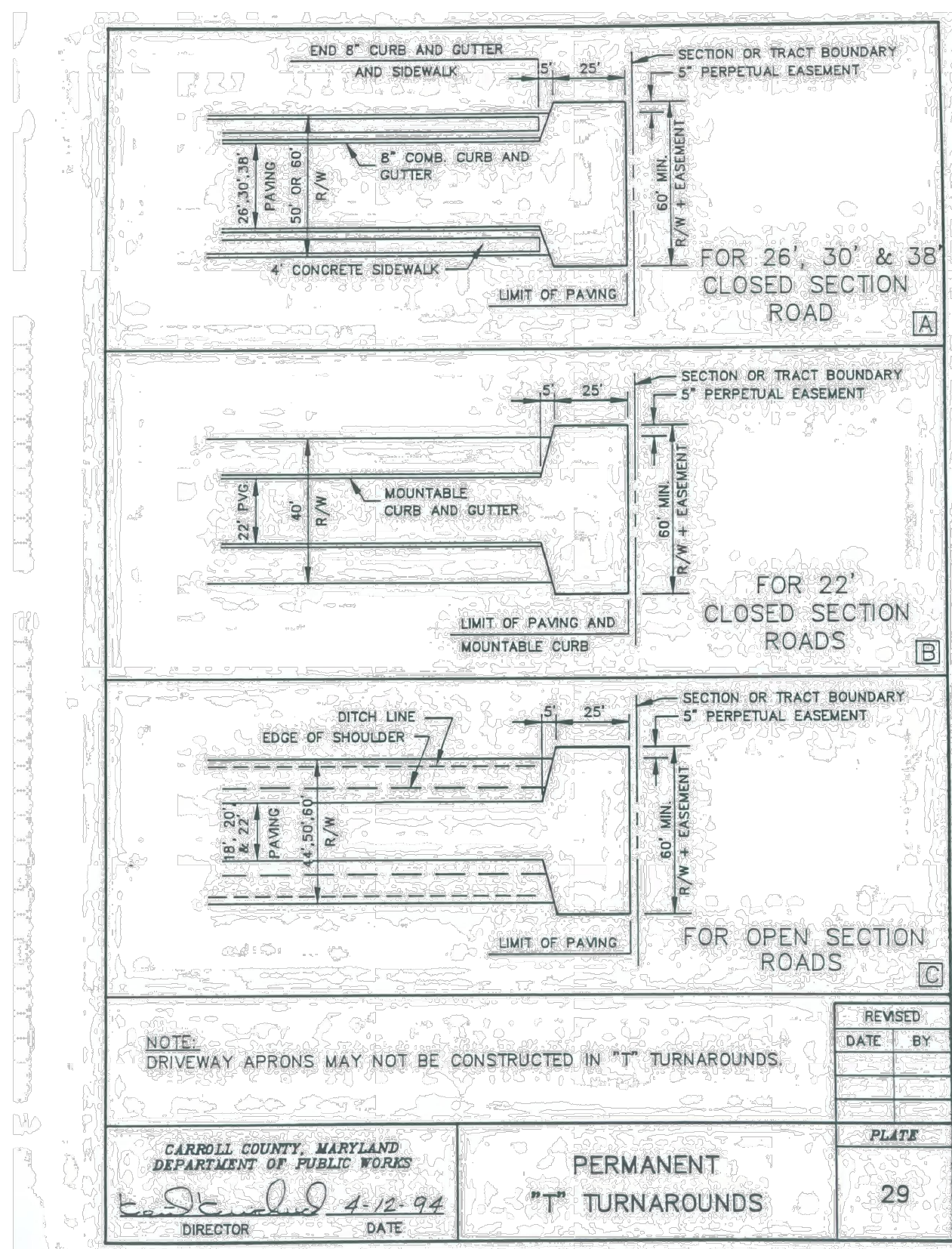
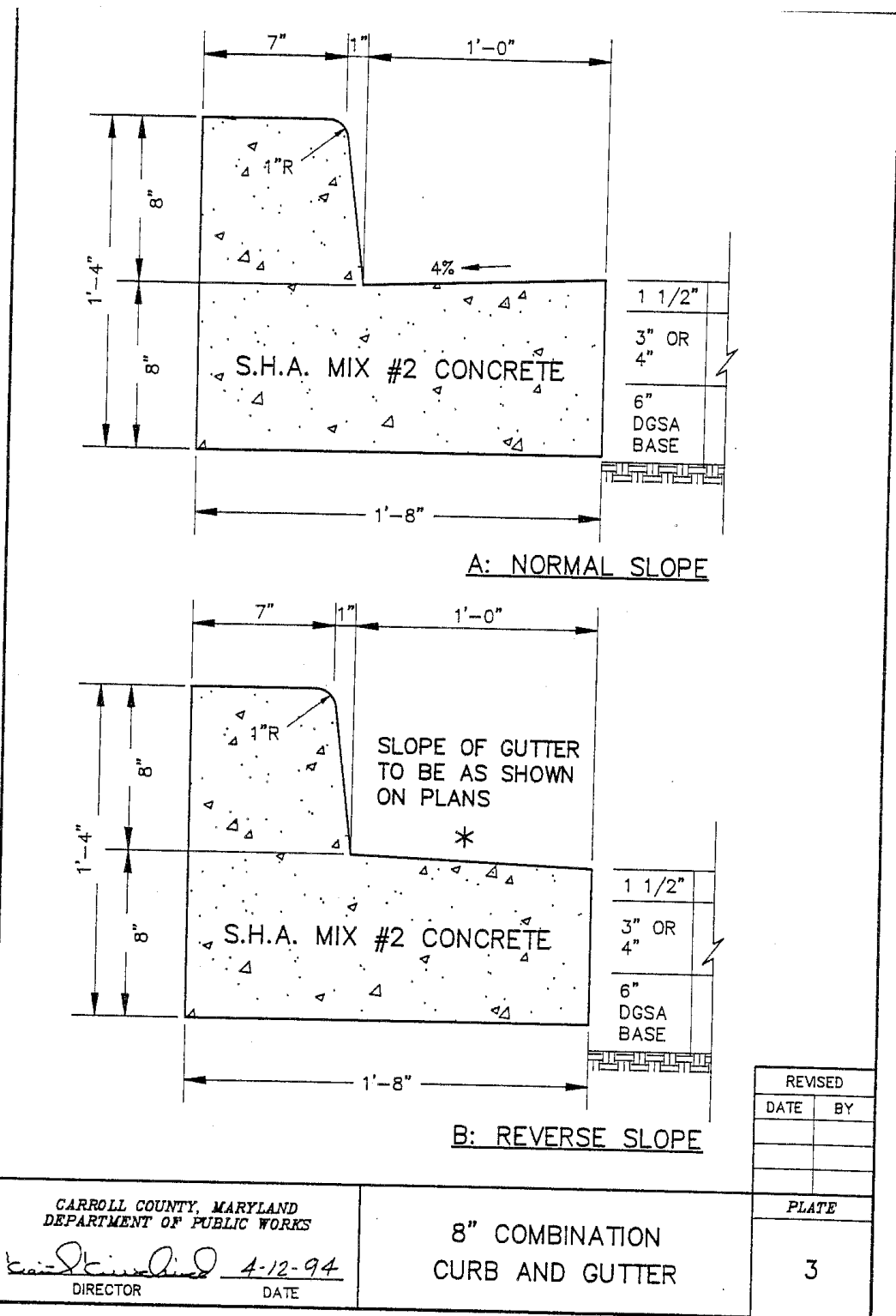
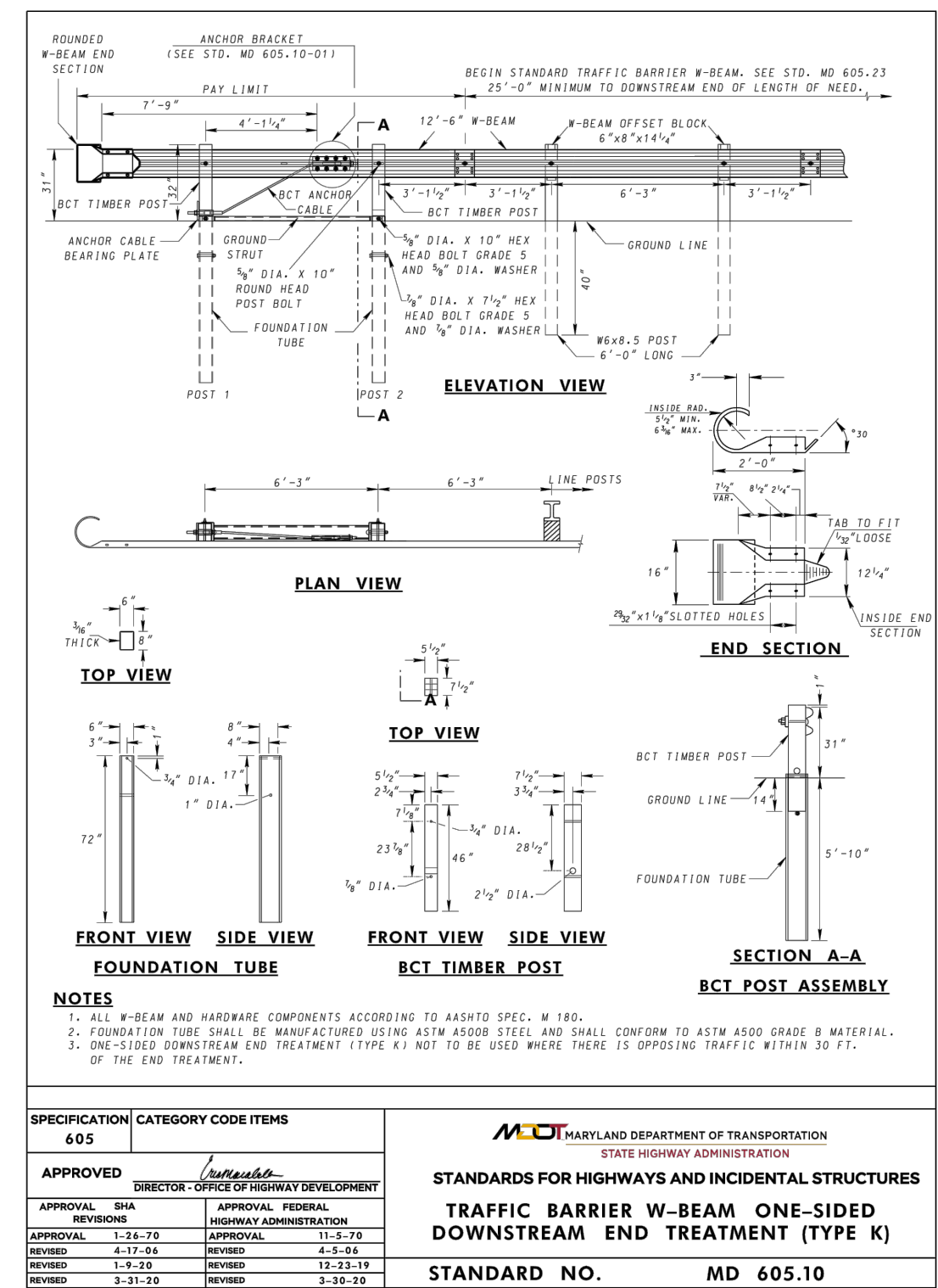
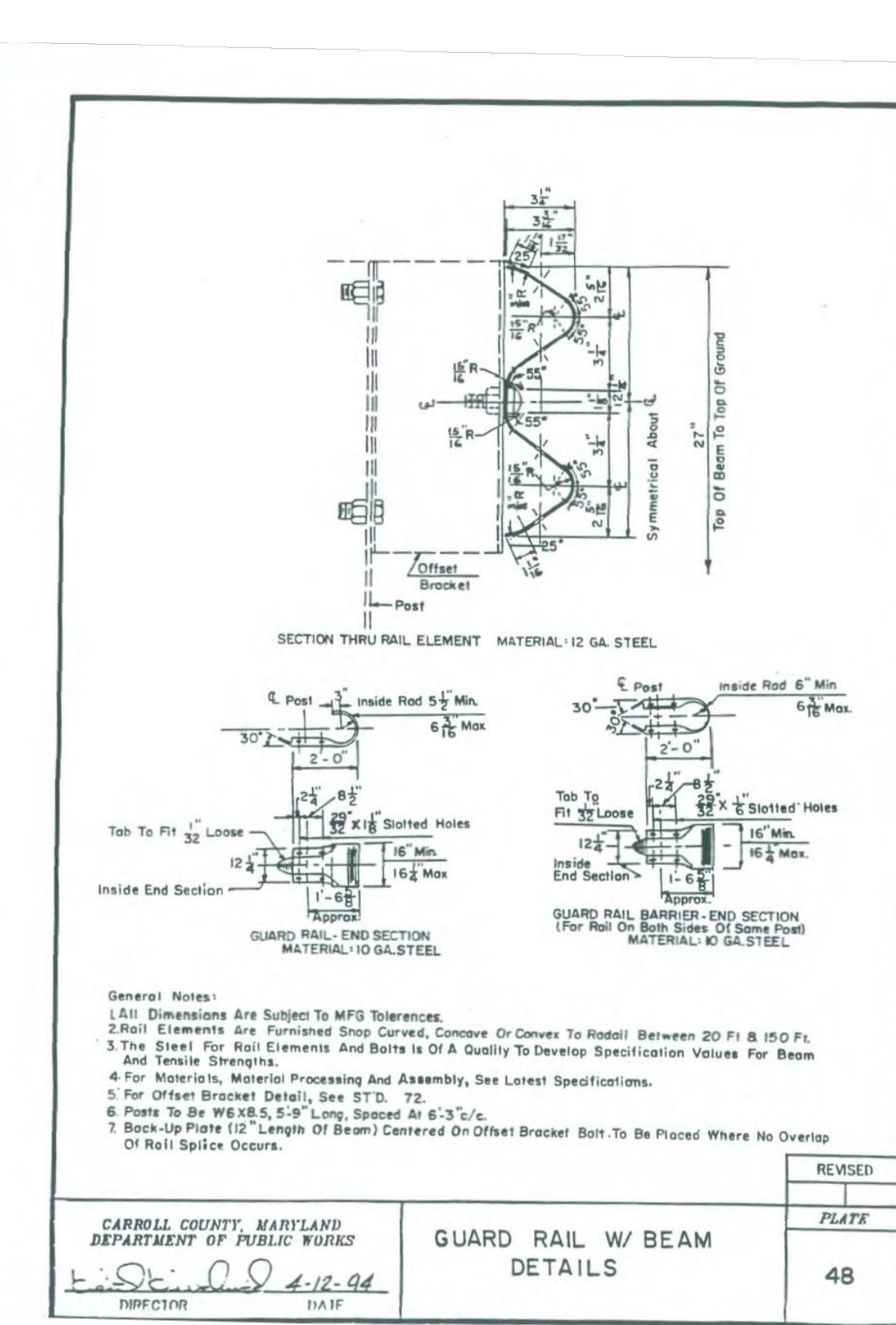
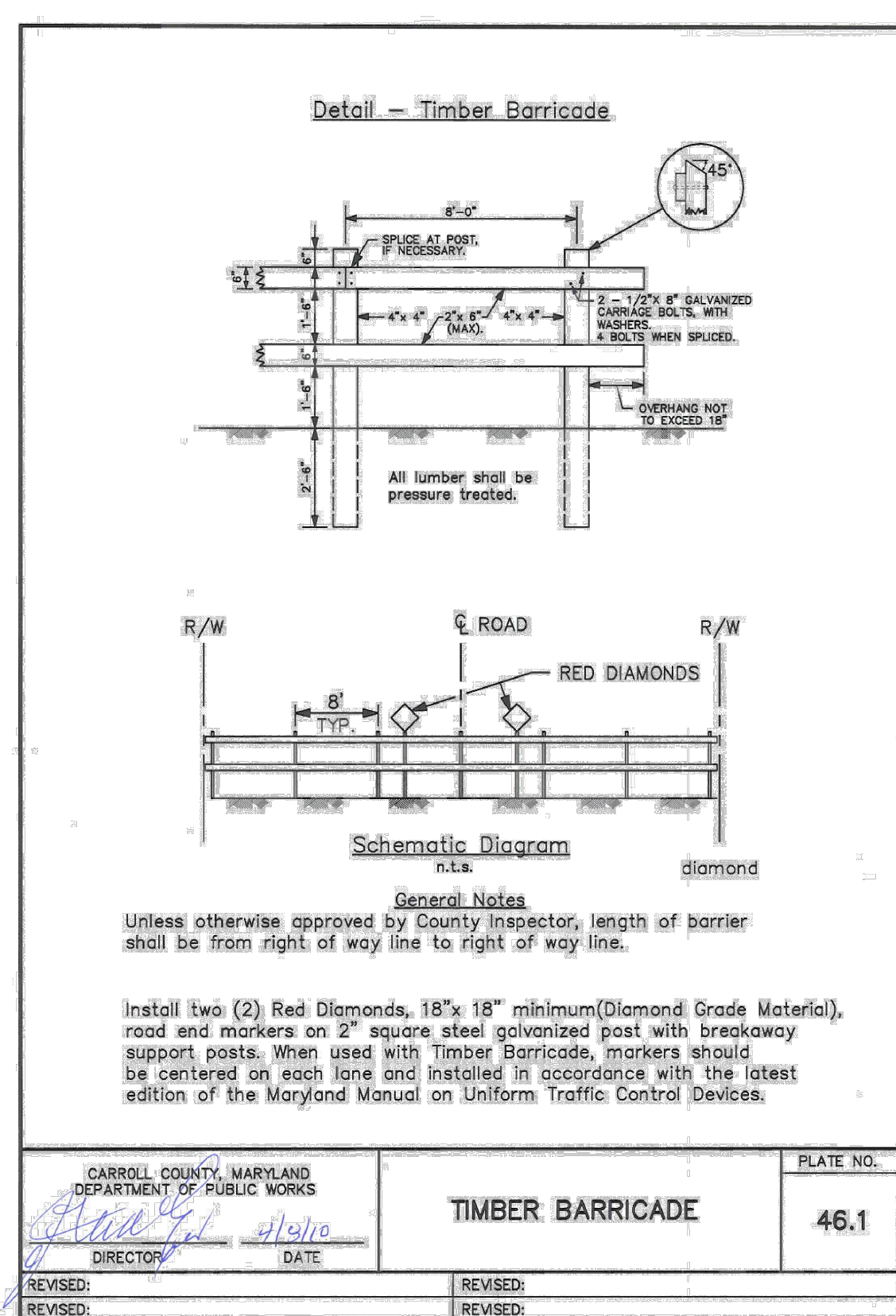
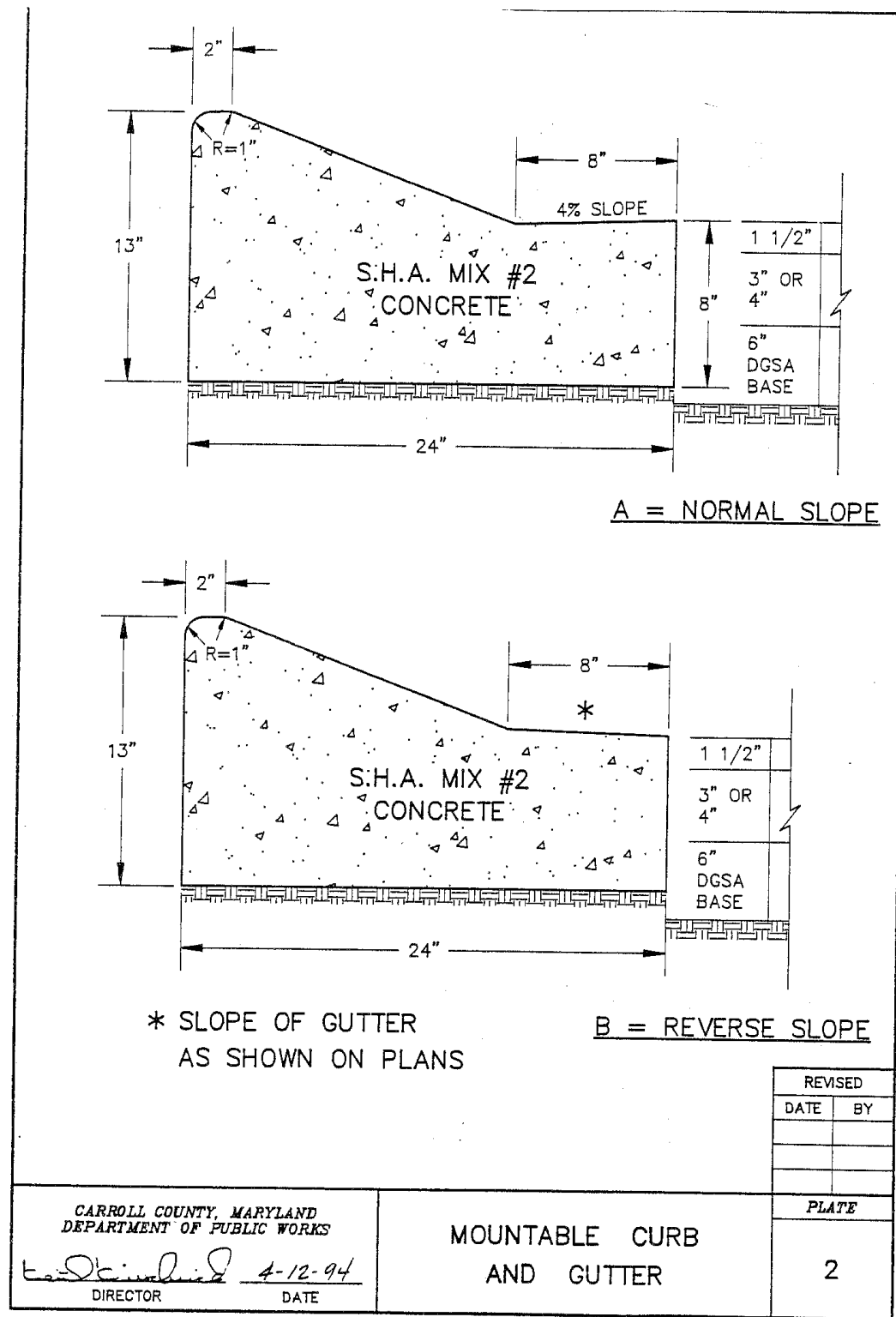
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DEVELOPER  
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P-23-0056		
DATE	BY	REVISIONS

DATE: 5-9-2024 SCALE: AS SHOWN DRAWING: 29 of 31  
PROJECT NUMBER: 00211253.001A





DATA SOURCES

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- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.

**CENTURY ENGINEERING**

A Kleinfelder Company

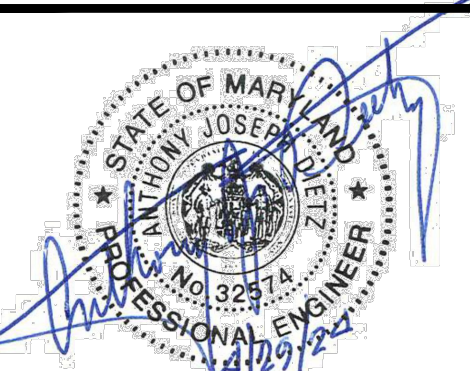
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION

Site Details

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD



**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 32574  
EXPIRATION DATE: 1-16-2026

P-23-0056

DATE	BY	REVISIONS

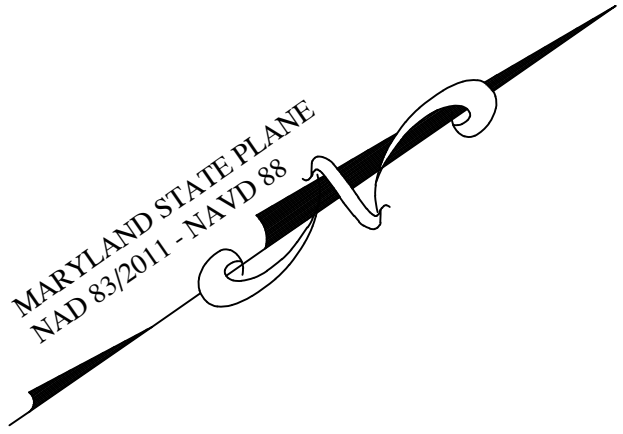
OWNER  
LONG MEADOW FARM 21784 LLC  
741 KLEES MILL RD  
WESTMINSTER, MD 21157  
PHONE NO: 410-369-1207

DEVELOPER  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
CONTACT: MATT TAYLOR  
PHONE NO: 410-369-1207

DATE: 5-9-2024 SCALE: AS SHOWN DRAWING: PROJECT NUMBER: 00211253.001A

30 of 31

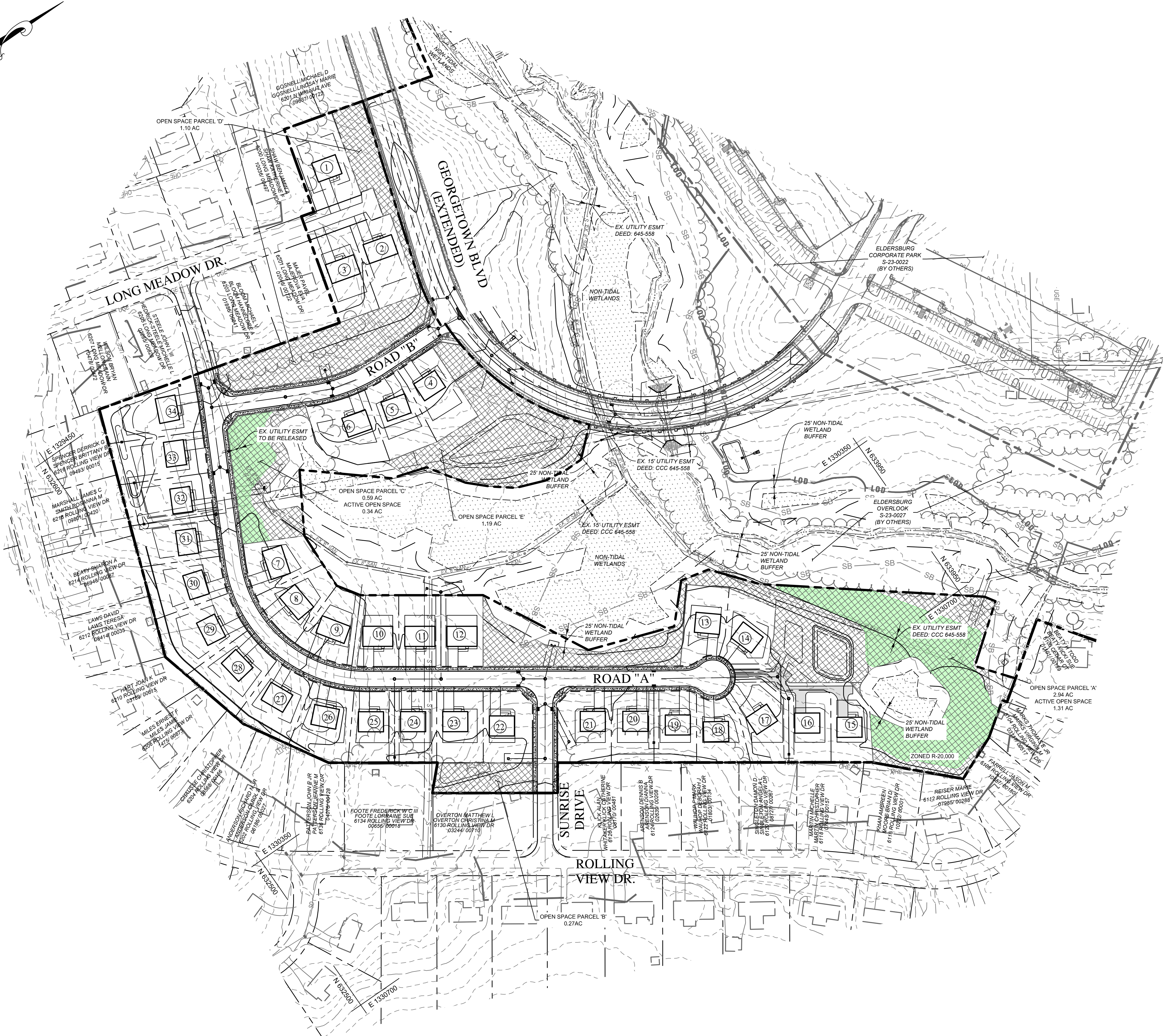




SUPPLEMENTAL  
LEGEND

- Proposed Open Space = 6.09 AC.
- Proposed Active Open Space = 1.65 AC.  
(3% max. slopes)

PLEASE REFER TO SHEET 2 FOR COMPREHENSIVE  
PROJECT LEGEND



- DATA SOURCES
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
  - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
  - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
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**CENTURY**  
ENGINEERING  
A Kleinfelder Company  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLANS  
FOR A CLUSTER SUBDIVISION  
Open Space Plan

RESERVOIR RUN

ELDERSBURG, MD  
TAX MAP 73 : GRID 12 : PARCEL 262  
ELECTION DISTRICT: 5 CARROLL COUNTY, MD

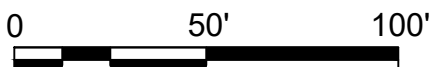


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DATE: 5-9-2024  
PROJECT NUMBER: 00211253.001A

SCALE: AS SHOWN  
DRAWING: 31 of 31

PLAN  
SCALE: 1"=100'



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