GENERAL NOTES

- 1. EXISTING ZONING: R-40,000 RESIDENTIAL
- 2. TOTAL AREA OF SITE: 7.68 Ac. 3. THE PROPERTIES SHOWN HEREON IS OWNED BY:

LONG MEADOW PARK LLC 2560 LORD BALTIMORE RD

- BALTIMORE, MD 21244
- TAX MAP: 73; PARCEL: 247 DEED REFERENCE: C. F.
- DATE: SEPTEMBER 12, 2024
- 4. PROPERTY BOUNDARY AND EXISTING TOPOGRAPHY SHOWN PER FIELD SURVEY BY SAMS COMPANIES
- (FORMERLY MTPLS, INC.) DATED 11/2021. 5. LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION ARE EXISTING HYDRANTS LOCATED ON BENNETT ROAD, PROGRESS WAY, LONDONTOWN BLVD AND GEORGETOWN BLVD. ADDITIONAL HYDRANTS ARE
- PROPOSED ON SITE AS PART OF THIS SITE DEVELOPMENT PLAN TO ADDRESS FIRE PROTECTION REQUIREMENTS. 6. THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND WERE BASED ON ARCHIVAL DRAWINGS PROVIDED BY CARROLL COUNTY AND/OR THE STATE OF MARYLAND. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES TO THEIR OWN SATISFACTION AND SHALL NOTIFY THE ENGINEER (CENTURY/KLEINFELDER) OF RECORD OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY RESULTING FROM ANY INACCURACIES THEREON.
- 7. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES, AND NOT COMMENCE WORK UNTIL ALL UTILITIES HAVE BEEN CLEARLY MARKED.
- 8. THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED
- DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN. 9. ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SUBDIVISION PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
- 10. THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF TIME LIMIT
- IS ISSUED BY THE DIRECTOR OF LAND AND RESOURCE MANAGEMENT. 11. NOTE: ALL PROPOSED SPOT ELEVATIONS ARE LOCATED AT BOTTOM OF CURB AND ALL DIMENSIONS ARE TO FACE OF CURB UNLESS LABELED OTHERWISE.
- 12. THE COORDINATES SHOWN HEREON ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM - NAD 83 (2011) AND ARE BASED UPON THE FOLLOWING CONTROL STATIONS:

 $\bigcup_{NA^{*}}$

MARYL. NAD 83,

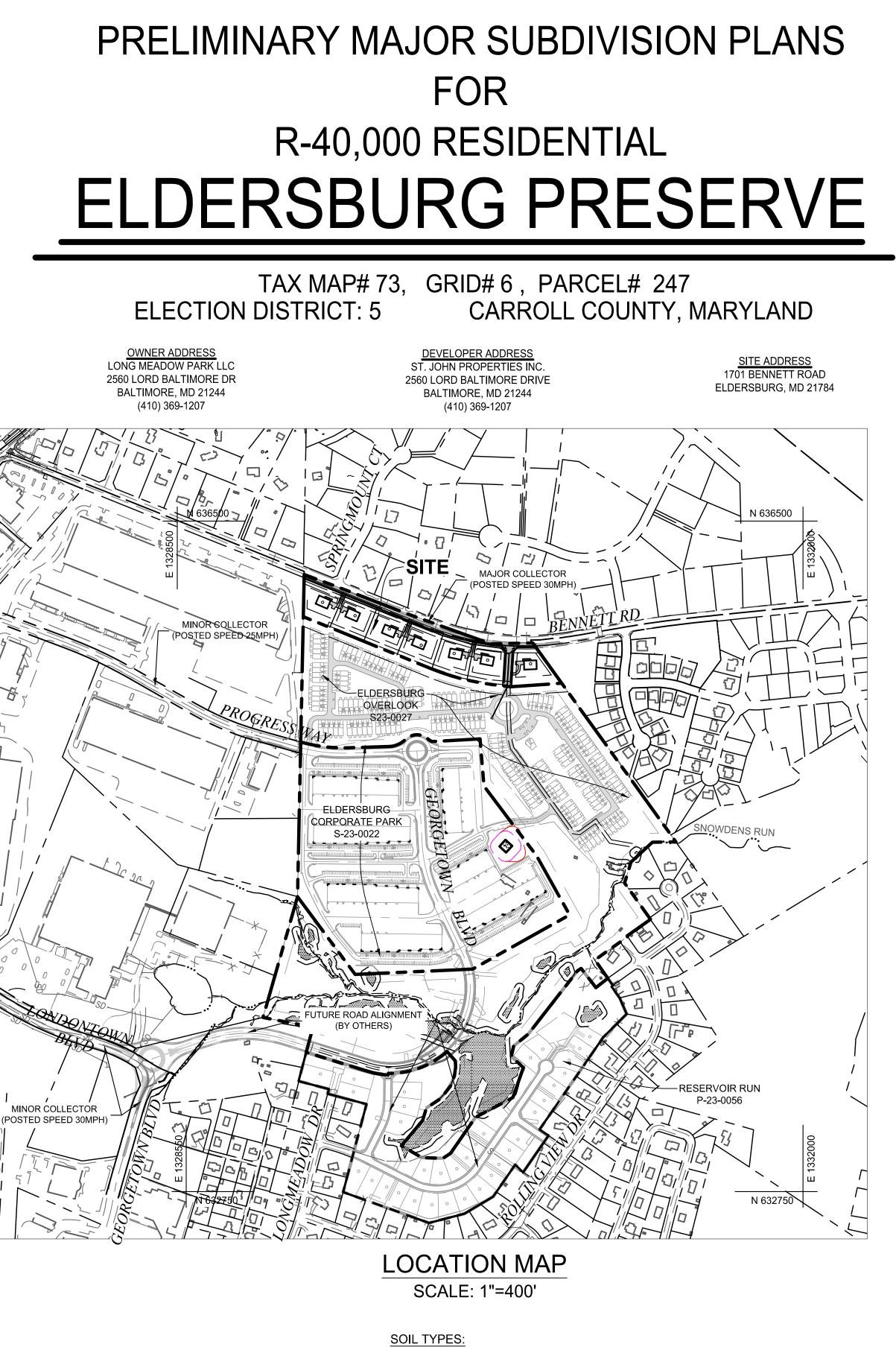
DESIGNATION	<u>NORTH (SFT)</u>	EAST (SFT)	ELEV.
"BEVARD"	633722.46	1326946.06	615.11
"BEVARD AZ"	633573.26	1328331.51	583.43

- 13. NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR
- EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY. 14. UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE
- ENVIRONMENT, CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, OWNER, AND ENGINEER. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES ONCE APPROVAL HAS BEEN GRANTED.
- 15. ENTRANCE CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THAT OFFICE AT 410-386-2157 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING WORK IN OR ALONG ANY PUBLIC ROAD.
- 16. CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF UTILITIES AT 410-386-2164 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON PUBLIC WATER OR SEWER WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS.
- 17. THE SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND MANAGEMENT AREA.
- 18. A GRADING PERMIT WILL BE REQUIRED FOR ALL DISTURBANCE GREATER THEN 5,000 SQ FT.
- 19. A NOI PERMIT THROUGH MDE WILL BE REQUIRED FOR ANY DISTURBANCE 1 ACRE OR GREATER.
- 20. FOREST CONSERVATION ACT REQUIREMENTS WILL BE MET BY 21. ANY PUBLIC WATER AND SEWER IMPROVEMENTS SHALL COMPLY WITH CARROLL COUNTY REGULATIONS AND SPECIFICATIONS.
- 22. THE SITE IS LOCATED IN THE 12TH FIRE AND EMERGENCY SERVICES DISTRICT

PROJECT OVERLAP NOTES

- 1. BENNETT ROAD IMPROVEMENTS OVERLAP ON ELDERSBURG PRESERVE (P-23-0055) AND ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT COMES FIRST SHALL CONSTRUCT SAID BENNETT ROAD
- IMPROVEMENTS FULLY. A PUBLIC WORKS AGREEMENT WILL BE REQUIRED FOR THE CONSTRUCTION. 2. THE PROPOSED SANITARY SEWER SHOWN ON THESE PLANS OVERLAPS WITH SAME ON ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT PROCEEDS TO CONSTRUCTION FIRST SHALL CONSTRUCT THIS SANITARY SEWER. IN THE CASE OF ELDERSBURG PRESERVE FROM SMH-14 TO THE EXISTING SMH ON ELDERSBURG OVERLOOK. IN THE CASE OF ELDERSBURG OVERLOOK FROM SMH-9 TO THE EXISTING SMH.

ENGINEER				
CERTIFY THAT THIS PLAN OF SEDIMENT CONTRO (NOWLEDGE OF THE SITE CONDITIONS AND HAS E SPECIFICATIONS ADOPTD BY CARROLL SOIL CONS	BEEN DESIGN TO THE STANDARDS AND			
	SERVATION DISTRICT.	ENGINEERIN	IG REVIEW	
SIGNATURE:		OF PUBLIC WO	S BEEN REVIEWED FOR COMPLIANCE WITH DRKS DESIGN MANUAL - VOLUME 1 ROAD A CENGINEER OF RECORD IS SOLELY RESPO DIFICATIONS FOR CONSTRUCTION.	AND STORM DRAINS. THE DESIGN
PRINTED NAME:				
PE No: EX	PIRATION DATE:	BY:		DATE:
		CARROLL S	OIL CONSERVATION DISTRICT	
DEVELOPER CERTIFY THAT THIS PLAN OF SEDIMENT CONTRO EXTENT, AND ALL STRCUTURES WILL BE INSTALLE	D TO THE DISIGN AND SPECIFICATIONS AS		PMENT PLAN IS APPROVED FOR SOIL ERO NSERVATION DISTRICT.	SION AND SEDIMENT CONTROL BY
SPELLED OUT IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC DN-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTICT PERSONNEL AND		APPROVED	CARROLL S.C.D.	DATE:
COOPERATING AGENCIES.		CARROLL C	OUNTY DEPARTMENT OF PUBLIC WOR	K BUREAU OF UTILITIES
SIGNATURE:				
PRINTED NAME:		BY:		DATE:
COMPANY NAME:	PHONE No:	CARROLL	COUNTY DEPARTMENT OF PUBLIC WO	RK BUREAU OF ENGINEERING
OWNER		1		
/WE CERTIFY THAT ALL PROPOSED WORK SHOWN HAS BEEN REVIEWED BY ME/USE AND THAT I/WE F	ULLY UNDERSTAND WHAT IS NECESSARY	BY:		DATE:
TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IS STRICT ACCORDANCE WITH THESE PLANS. I/WE UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE		CARROLL C	COUNTY PLANNING AND ZONING COMM	<u> IISSION</u>
CARROLL COUNTY PLANNING AND ZONING COMMI S MADE.				
		BY:		DATE:
		CARROLL CO	UNTY HEALTH DEPARTMENT	
SIGNATURE:	DATE:			
PRINTED NAME:		BY:		DATE:



- Jac	GAILA LUAM
GdB -	GLENELG LOAM
GhB -	GLENVILLE SILT LOAN
/laC -	MANOR LOAM
/laF -	MANOR LOAM

SOILS FROM CUSTOM SOIL REPORT FROM NRCS WEB SOIL MAPPING SERVICE DOWNLOADED AUGUST, 2022.

SOIL CLASSIFICATION MAP No 48 & 49

WATER RESOURCE MANAGEMENT NOTES

A CLASS III WATERSHED, SURFACE WATER PROTECTION WATERSHED AND SURFACE WATER MANAGEMENT AREA.

STORMWATER MANAGEMENT NOTE

STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE CARROLL COUNTY POLICY FOR STORMWATER MANAGEMENT, AS SPECIFIED IN CHAPTER 151.015 THE CARROLL COUNTY CODE. THE STORMWATER FROM THIS SITE DRAINS INTO SNOWDENS RUN, A USE III STREAM. ACCORDINGLY, THE 100-YEAR STORM WILL BE MANAGED THROUGH A COMBINATION OF GRASS SWALES, SUBMERGED GRAVEL WETLANDS, MICRO-BIORETENTION FACILITIES AND QUANTITY PONDS. STORMWATER MANAGEMENT IS BEING PROVIDED BY ELDERSBURG OVERLOOK STORMWATER MANAGEMENT PLAN AND REPORT UNDER THE SAME PERMIT.

DATE BY

DEVELOPER

OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DR BALTIMORE, MD 21244 PHONE NO: 410-369-1207

ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

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		DIGE IN PINE KNOR		NAL CONTRACT IN CO	SHERLOCK
	The state of the state	SPRINGLAK	PINE CO	NAN WEEK BARAN	HOLMES B
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	CT PLACED Freedom	Contraction	CHOICE DR		DOVLE INVCROFT
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	MANOR 2 STRAWBRIDE	Martin Da CONC	Millio	AVE	CARROLL CAROL
	COMPTON LA CONSTANT	PATRIOTS	MI MONROF	Navo Dave	DALE OF
	RUM 1000 5	CHOICE	BILLOOK DI BILLOOK DI DI DI DI DI DI DI DI DI DI DI DI DI D	Sil Morg	AN BOAD
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	Eldersburg	SITE -	STA IIII	PAK	VIEW
	A PARISH Eldersburg Marketplace				HERITAGE
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		BURG		Airport	AGUNDARY SALAND
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		LA THE WEIT	100 H	E etil VNATER	RE RD STUINATER
	A CONTRACTOR OF THE	aza z s LONG MEADOWS	AND VEMLE	TING	AHOMA C7 C4
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	TO DE		E U KAU	S B W	NOUR 2100 ROA
	ABRAHAM OF THE ADD BE DECK	BONNE BONNE OF	olitowne	S WATEROAL	MANOR 38 5 K

VICINITY MAP

SCALE: 1"=2000'

SITE COMPLIANCE CHECKLIST

- 1. CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY WORK
- 2. SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS
 - SHOWN ON THESE APPROVED PLANS. PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON
 - THESE APPROVED PLANS.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING D. ____ GRADING
 - E. COMPLETION OF ALL WORK SHOWN ON PLAN.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION AS OUTLINED ABOVE.

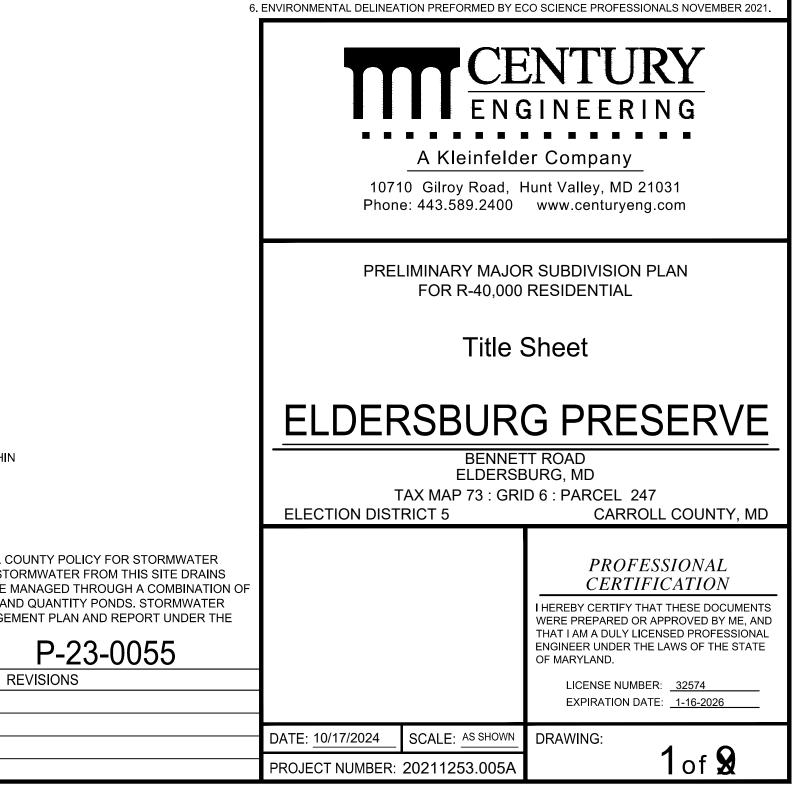
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED T RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT WRITTEN APPROVA FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMEN MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL. THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION

DATA SOURCES

UNTIL GIVEN APPROVAL OF PRIOR PHASE

- 1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
- 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)

5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009



DATA TABULATION 1. ZONING DISTRICT: 2. NUMBER OF BUILDABLE LOTS: 3. TOTAL AREA OF BUILDABLE LOTS:

4.	TOTAL AREA OF PROPOSED ROADS (PRIVATE):	0.28 AC.
5.	TOTAL AREA OF PARCELS:	0.70 AC.
	PARCEL A (BENNETT ROAD R/W):	0.70 AC.
7.	AREA OF SUBDIVISION:	7.68 AC

R-40,000

6.70 AC

LIST OF DRAWINGS

Title Sheet

- Legends And Abbreviations Sheet
- Preliminary Subdivision Plan
- Mass Grading Plan
- Erosion And Sediment Control Plan
- Erosion And Sediment Control Specifications
- Erosion And Sediment Control Details Storm Drain Drainage Area Map And Flow Tabulations
- 10 Private Storm Drain Profiles
- 11 Landscape Plan
- 12 Landscape Details And Specifications

THIS PROPERTY DOES NOT FALL WITHIN A TIER II WATERSHED. THE PROPERTY IS WITHIN

. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL	ABBK
ADDENDA, SUPPLEMENTS OR UPDATES: A. DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF	
PUBLIC WORKS.	
B. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.	APPROX.
C. BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES OF THE MARYLAND DEPARTMENT OF TRANSPORTATION,	AVE
STATE HIGHWAY ADMINISTRATION.	BGE
D. STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, 2008 EDITION, OF THE MARYLAND DEPARTMENT OF	C.O.
TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.	CAP
E. MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT	cfs
OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.	C.I. CL
F. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED	CL
JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION	C.L.F.
COMMITTEE.	CL IV
LL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.	CMAP
	CMP
. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION	CONC.
DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.	C&P
	<u>ب</u>
. CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS	D.
SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO	D.C.
NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE.	D.I.
TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.	D.I.P./DIP
	DEPT DWG
. DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.	(E)
. IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.	(E) E.B.
. IN CASE OF DISCREPANCE BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALE GOVERN.	ELEC
. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS,	ELEV
CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION	ESMT
(410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLICWORKS	EX.
DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL	FDC
REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF	FF/FFE
DEVELOPMENT REVIEW.	F.H.
	fps
. FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE	G. G.W.
WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS	GALV.
RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.	HGL
. CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT	H.B.
AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE	HORIZ
MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO	HWY
T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING	Ι.
THE SAME METHOD.	INV.
	LN
. DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A	LP
CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED	MH
BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS	MIN.
MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS	(N) N.B.
AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND	N.B. N/A
APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.	NAD
0. INLET GRATES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE	NAVD
SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO	OHE
CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.	PKWY
	PR./PROP.
1. PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.	PVC
	QTY.
2. WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE IN ACCORDANCE	R/W
WITH MANUFACTURER'S RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE	RCCP

EITHER 1.0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED ON PLANS.

THROUGH THE RED-LINE REVISION PROCESS.

PLANS.

13. ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY

MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.

WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.

STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED IN THE UTILITY PERMIT.

14. ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN

ON THE TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE. AGGREGATE BASE COURSE AND HOT

15. OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET

OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE

THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING

BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE

APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROW MATERIAL.

16. THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION

17. PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS

OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3)

ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED

EVIATIONS

RET

REV

RD

(S)

S./SAN.

S.B.

S.H.C

S/W

SCH

SQ.FT

SD.

ST.

STD.

тсв

TYP.

U/G

UK VERT

(W)

W.B.

WHC

WM

W/

	N 30°52'32' W - 100.00'
APPROXIMATELY	
AVENUE	
BALTIMORE GAS & ELECTRIC	200
CLEANOUT	-300
	-299
CUBIC FEET PER SECOND CAST IRON	-300
CLEARANCE	-298 — — — — — —
CLEAR	13UC (A)
CHAIN LINK FENCE	<u>13UC (A)</u> 45UB (C)
CLASS IV	<u>Ex 15" SD</u> _{SD} <u>(D</u>
CORRUGATED METAL ARCH PIPE	
CORRUGATED METAL PIPE	Ex 30" SD
CONCRETE	
CHESAPEAKE & POTOMAC	
CENTER LINE STORM DRAIN	
DETECTOR CHECK	<u>Ex 8" S</u> S (S)
DUCTILE IRON	<u> Ex 8" W </u> W
DUCTILE IRON PIPE	<u> Ex 8" GAS</u> _G
DEPARTMENT	UGE
DRAWING	OHE
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EASEMENT	
FIRE DEPARTMENT CONNECTION	
FINISHED FLOOR ELEVATION	
FIRE HYDRANT	, —— —
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GUY WIRE	
GALVANIZED	·
HYDRAULIC GRADE LINE	
HAND BOX HORIZONTAL	1 8 8 8 8 8 3 3
HIGHWAY	////////
INLET	
INVERT	
LANE	
LOW PRESSURE	
MANHOLE	·
MINIMUM	
	—— SB —— SB ——
NORTH BOUND NOT APPLICABLE	——— FP ———— FP ———
NORTH AMERICAN DATUM	*
NORTH AMERICAN VERTICAL DATUM	þ
OVERHEAD ELECTRIC	w.
PARKWAY	
PROPOSED	Sco
POLYVINYL CHLORIDE	0000
RIGHT-OF-WAY REINFORCED CIRCULAR CONCRETE PIPE	
RETAINING	290
REVISION	
ROOFDRAIN	201
SOUTH	
SANITARY	
SOUTH BOUND	
SANITARY HOUSE CONNECTION	
SIDEWALK	
SCHEDULE STORM DRAIN	
SQUARE FEET	
STREET	
STANDARD	
TRAFFIC CONTROL BOX	
TYPICAL	
UNDER GROUND	
UNKNOWN	
VERTICAL	PROP. 8" S.
WEST WATER	PROP. 8" W.
WATER WEST BOUND	
WITH	
WATER HOUSE CONNECTION	
WATER METER	×
	Ø
	þ

SITE LEGEND

ZONE: C-2 ZONE: I-1

ZONING LINE

PROPERTY LINE WITH BEARING & DISTANCE ADJOINER PROPERTY LINE EXISTING EASEMENT LINE EXISTING FIELD RUN MAJOR CONTOUR EXISTING FIELD RUN MINOR CONTOUR EXISTING GIS MAJOR CONTOUR EXISTING GIS MINOR CONTOUR

EXISTING SOILS LIMITS WITH HSG DESIGNATION

EXISTING STORM DRAIN LINE (LESS THAN 24") WITH MANHOLE

EXISTING STORM DRAIN LINE (24" AND GREATER)

EXISTING STORM DRAIN INLETS

EXISTING SANITARY SEWER LINE WITH MANHOLE EXISTING WATER LINE WITH VALVE EXISTING GAS LINE WITH VALVE EXISTING UNDERGROUND ELECTRIC LINES EXISTING OVERHEAD ELECTRIC LINES WITH POLE EXISTING CHAINLINK FENCE -//-//-- EXISTING WOOD FENCE **EXISTING PAVEMENT EDGE** EXISTING CURB & GUTTER

EXISTING SIDEWALK

EXISTING STRUCTURE

Existing Treeline -//---- Existing Wood Fence

Existing Non-tidal Wetlands

25' Non-tidal Wetlands Buffer Stream Buffer ------ Flood Plain

> Existing Street Light Ex. Water Valve Ex. Water Meter Existing Fire Hydrant Ex. Sanitary Cleanout Ex. Sign Limit of Field Run Topo Proposed Major Contour

Proposed Structure

Proposed Minor Contour

Proposed Pavement Edge Proposed Curb & Gutter

Proposed Sidewalk

Proposed Retaining Wall Proposed Storm Drain with Manhole

Proposed Storm Drain Inlets

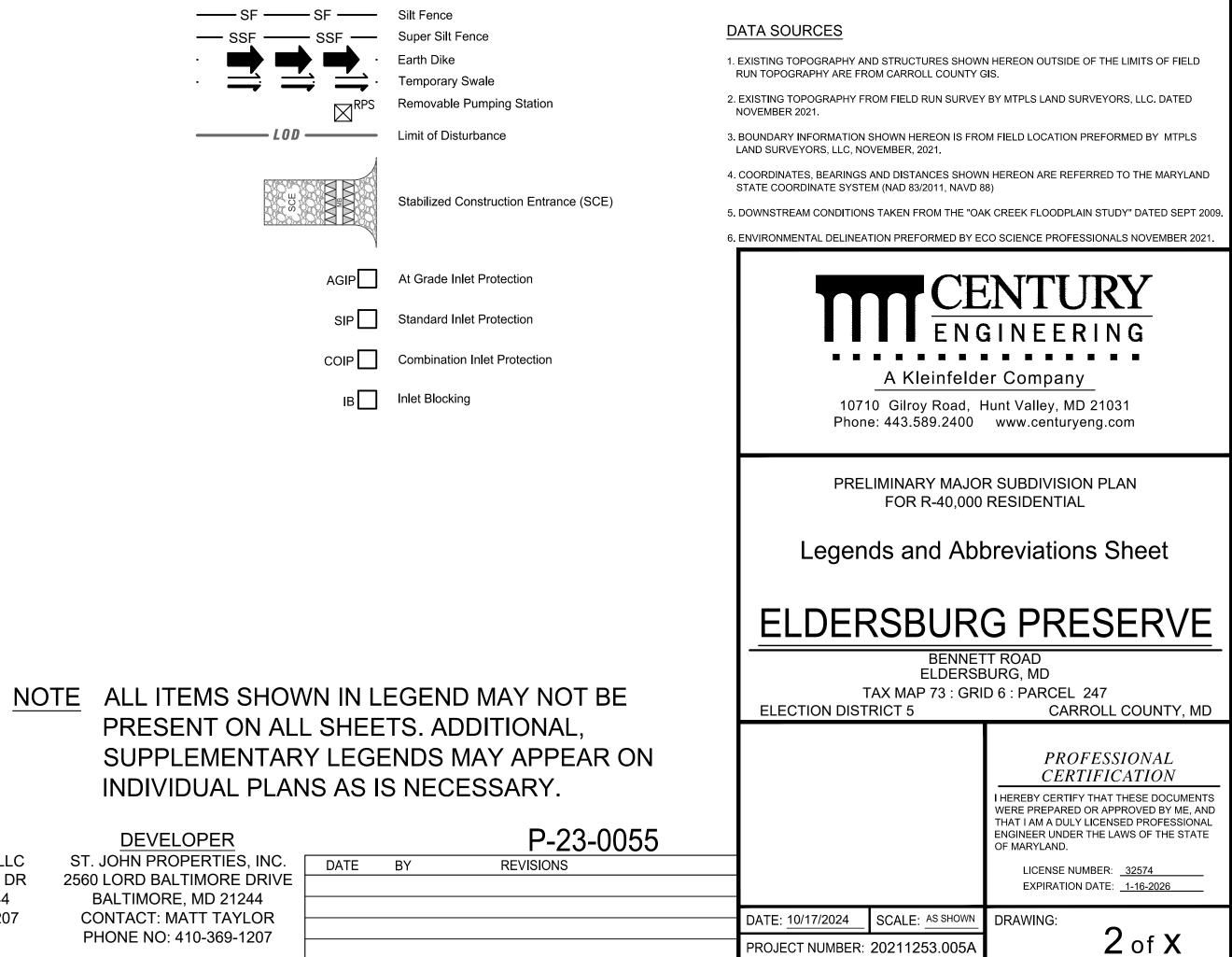
Proposed Sewer With Manhole **Proposed Water**

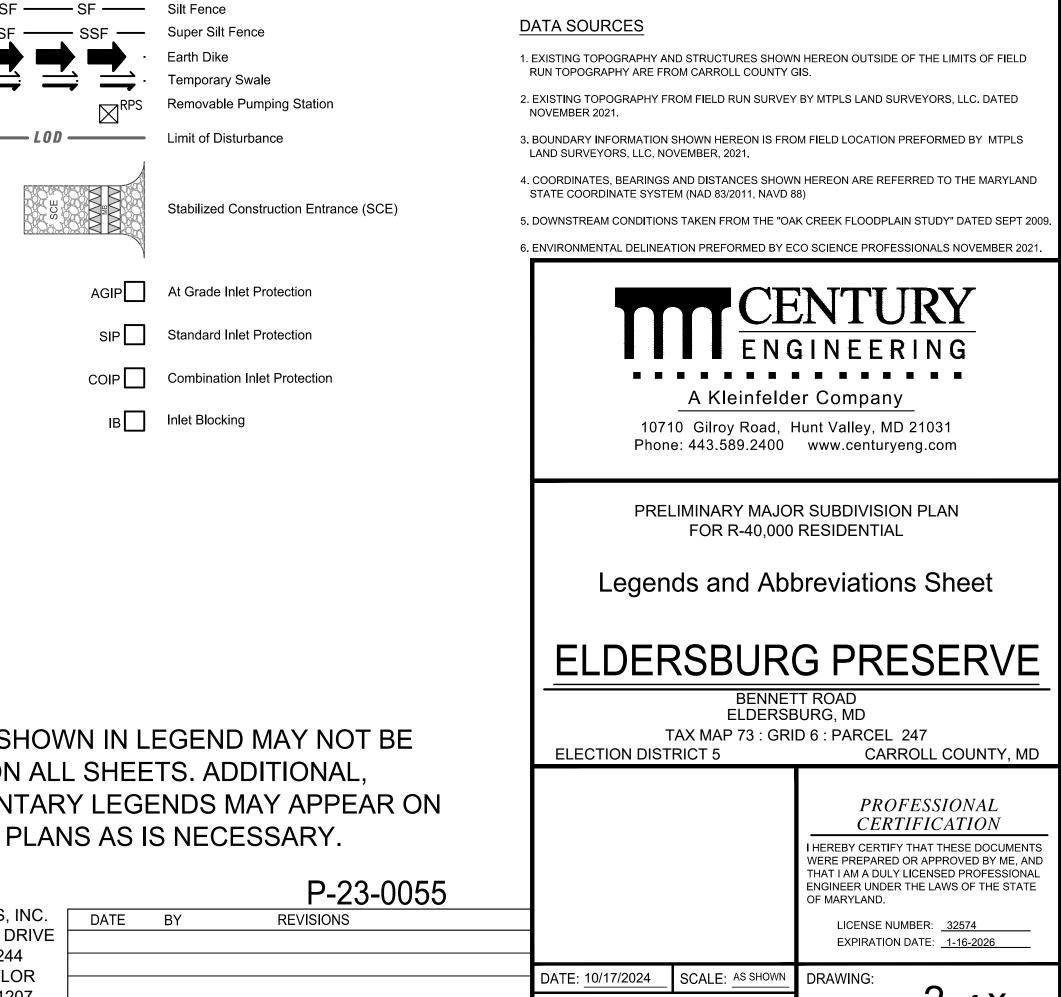
Proposed Site Lighting (by others)

Proposed Fire Hydrant Proposed Water Reducer Proposed Water Valve Proposed Sign

Proposed Paving





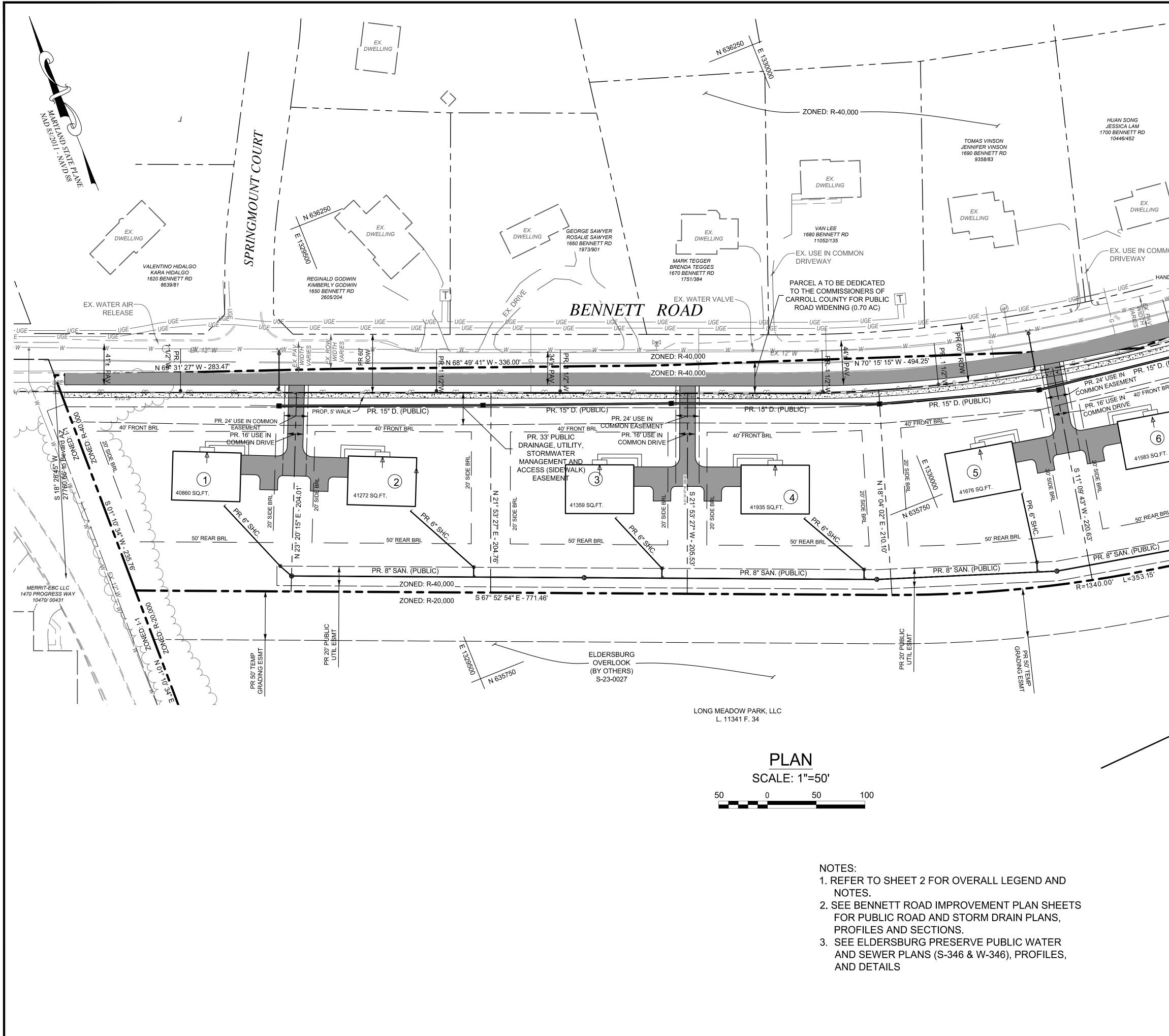


PROJECT NUMBER: 20211253.0054

DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DR BALTIMORE, MD 21244 PHONE NO: 410-369-1207

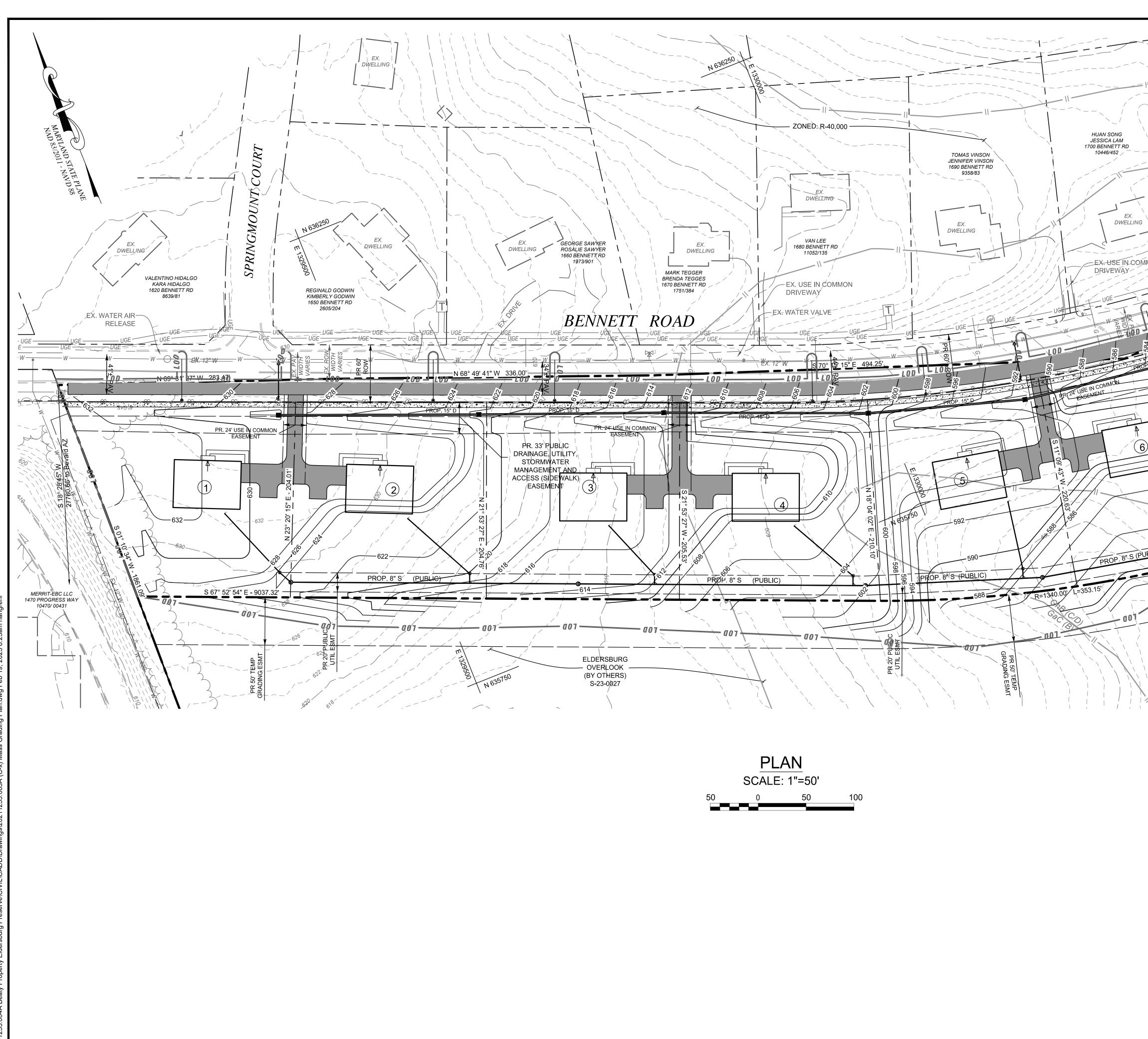
CONTROL	LEGEND



2021/Facilities\20211253.004A Beaty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Site Plan.dwg Feb 19, 2025 8:23am rlangi

OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DR BALTIMORE, MD 21244 PHONE NO: 410-369-1207 DEVELOPER ST. JOHN PROPERTIES, INC 2560 LORD BALTIMORE DRIV BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

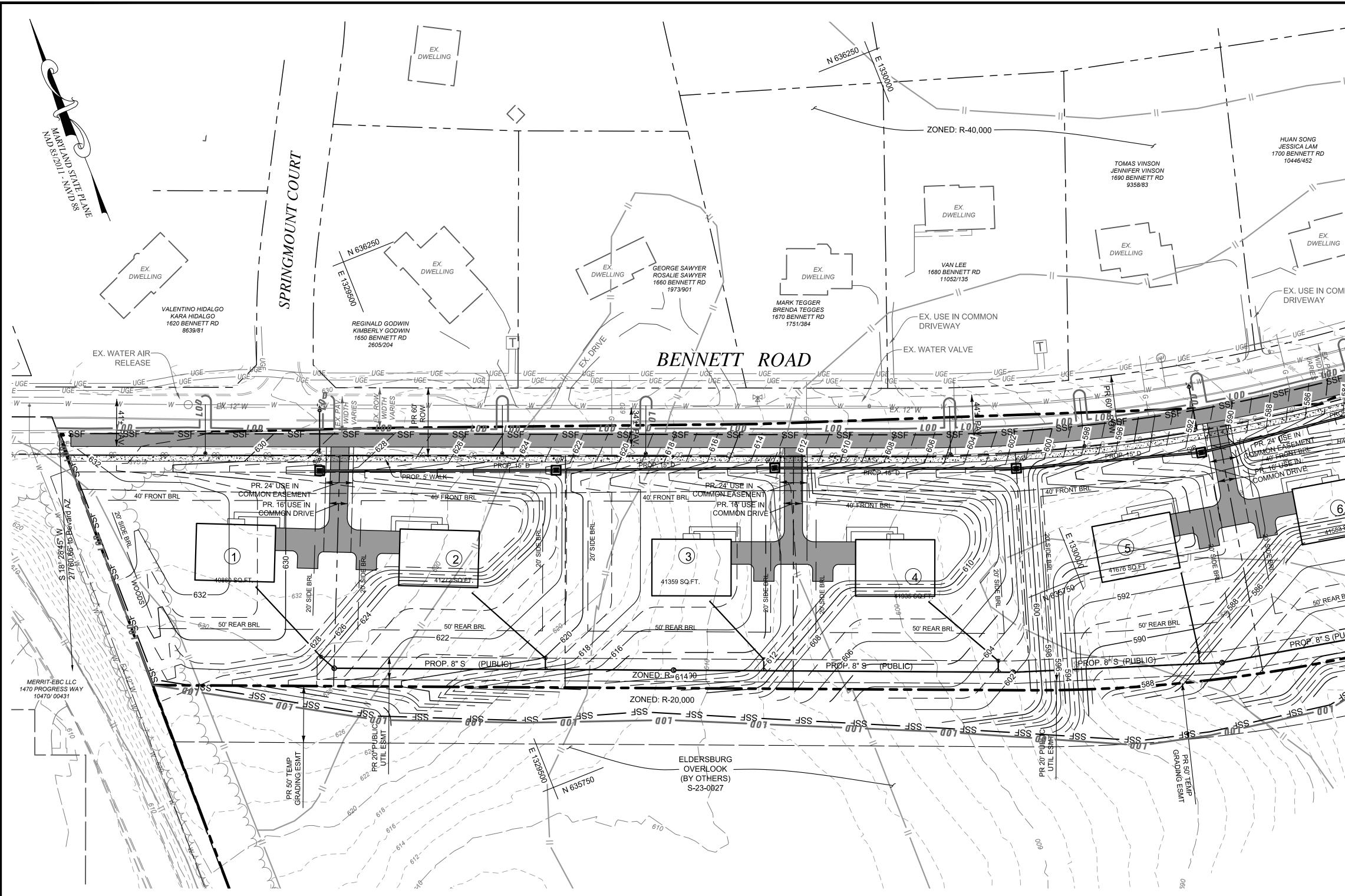
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PROPOSED I HE POURS	EX. 15' PUBLIC ALTON CT. ACCESS 08097/00273 EASEMENT PB 50/51
ANDICAP RAMP AND CROSSWALK WE 402	DEED: 8094/50 MATCH LINE AND GRADE OF EXISTING SIDEWALK
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AU FRONT	CORPORATE PARK IS DEMOLISHED
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TH DRUCCE FIL	86° 05 10
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S 82° 58' 54" E - 103.46'	
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	EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
	BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
UTURE 8" SAIL	COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
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	CENTTIDV
	<u>CENTURY</u> ENGINEERING
	<u>A Kleinfelder Company</u> 10710 Gilroy Road, Hunt Valley, MD 21031
	Phone: 443.589.2400 www.centuryeng.com
NOTE: ROAD A (PARCEL B) TO BE	PRELIMINARY MAJOR SUBDIVISION PLAN
OWNED AND MAINTAINED BY ELDERSBURG OVERLOOK	FOR R-40,000 RESIDENTIAL Preliminary Subdivision Plan
CONDOMINIUM ASSOCIATION	
BENNETT ROAD	ELDERSBURG PRESERVE
POSTED SPEED = 30 MPH DESIGN SPEED = 40 MPH	BENNETT ROAD
ROAD 'A'	ELDERSBURG, MD TAX MAP 73 : GRID 6 : PARCEL 247
POSTED SPEED = 25 MPH	ELECTION DISTRICT 5 CARROLL COUNTY, MD
DESIGN SPEED = 30 MPH	PROFESSIONAL CERTIFICATION
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENCINEED UNDER THE LAWS OF THE STATE
C. DATE BY REVISIONS	ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: <u>32574</u>
VE	EXPIRATION DATE: <u>1-16-2026</u>
	DATE: <u>10/17/2024</u> SCALE: <u>AS SHOWN</u> DRAWING: PROJECT NUMBER: 20211253.005A 3 of X



2021/Facilities\20211253.004A Beaty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Mass Grading Plan.dwg Feb 19, 2025 8:23am rlan

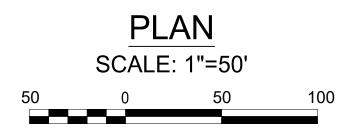
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SEQUENCE OF CONSTRUCTION

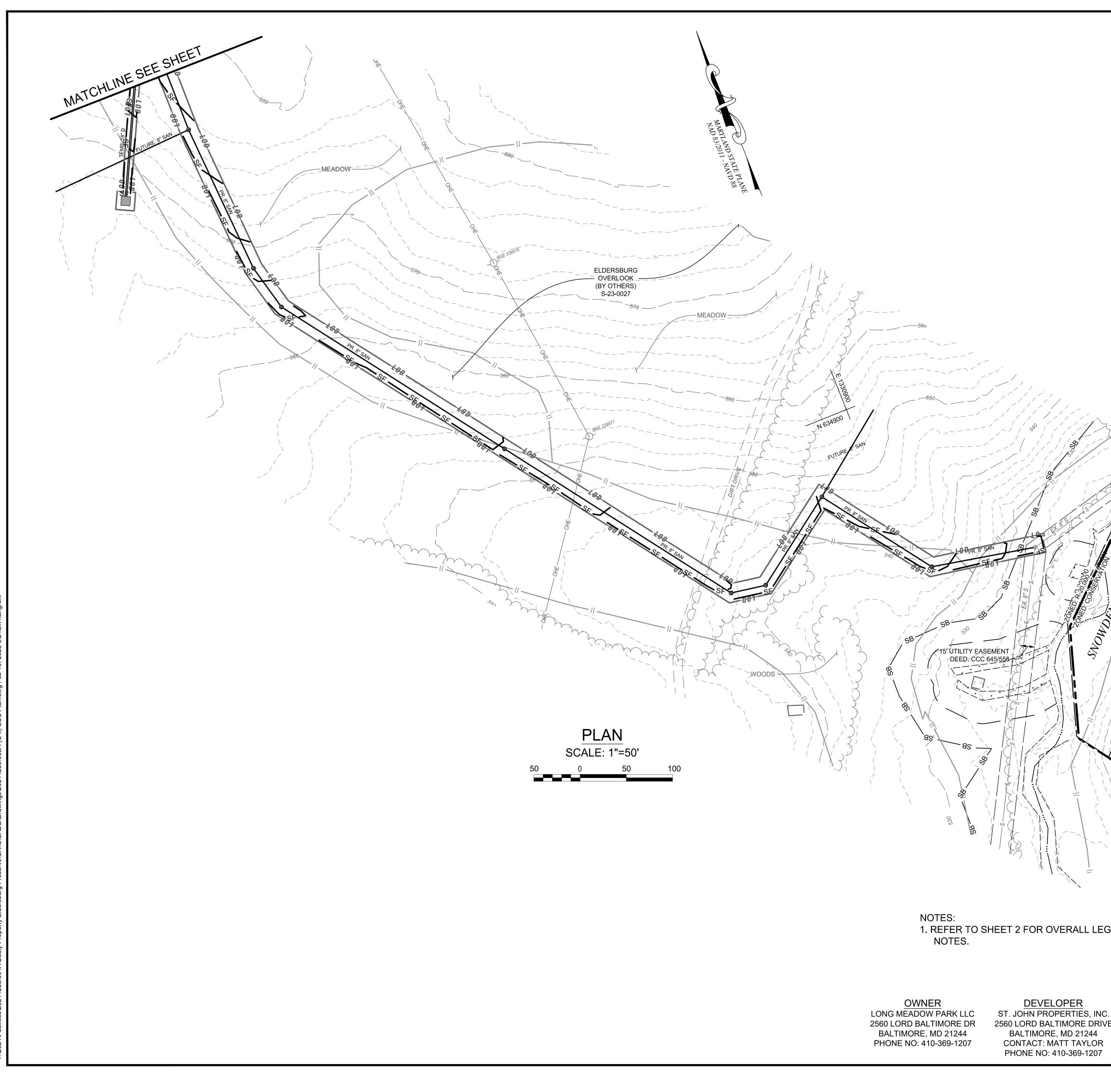
- Notify Carroll County Bureau of Sediment Control (410-386-2210) at least 24 hours prior to the start of construction activities. All protection fencing and permanent signs required under the Carroll County Code of Public Laws and Ordinances, Forest Conservation (Chapter 150) and water resource Management (Chapter 154) shall be installed prior to the pre-construction meeting with the Carroll County Sediment Control Inspector. Notify MDE inspection and compliance program (410) 537-3510 at least 5 days prior to beginning work. See stream closure schedule for working in a class 3 stream.
- 2. Contact Miss Utility at 1-800-257-7777 at least 3 days in advance of starting work shown on plans.
- 3. With approval from sediment control inspector, install stabilized construction entrance with mountable berm.
- 4. Clear, grub and install super silt fence.
- 5. Install utilities, construct roads and begin building construction.
- 6. Fine grade site and install permanent vegetated stabilization and utilities and paved roads have been installed.
- 7. With permission from the sediment control inspector and notification of SWM As-built certifying engineer no less than 5 days in advance, fine grade grass swale facilities per details and specifications. Construction of each facility is only to begin when the contributing drainage area has been completely stabilized.
- With the approval of the sediment control inspector, remove perimeter sediment control measures.
 Permanently stabilize areas disturbed by this process.



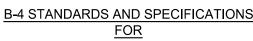
NOTES: 1. REFER TO SHEET 2 FOR OVERALL LEC NOTES.

OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DR BALTIMORE, MD 21244 PHONE NO: 410-369-1207 DEVELOPER ST. JOHN PROPERTIES, INC 2560 LORD BALTIMORE DRIV BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

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			PROFESSIONAL CERTIFICATION
	P-23-0055		I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
C. DATE BY	REVISIONS		LICENSE NUMBER: <u>32574</u> EXPIRATION DATE: <u>1-16-2026</u>
		DATE: <u>10/17/2024</u> SCALE: PROJECT NUMBER: 2021125	— 5 . v



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	<u>A Kleinfelder Company</u> 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com		
	PRELIMINARY MAJOR SUBDIVISION PLAN FOR R-40,000 RESIDENTIAL		
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	DATE: <u>10/17/2024</u> SCALE: <u>AS SHOWN</u> DRAWING:		
	PROJECT NUMBER: 20211253.005A 6 of X		



VEGETATIVE STABILIZATION

DEFINITION Using vegetation as cover to protect exposed soil from erosion

To promote the establishment of vegetation on exposed soil

CONDITIONS WHERE PRACTICE APPLIES On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization.

EFFECTS ON WATER QUALITY AND QUANTITY

Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.

Vegetation will help reduce the movement of sediment, nutrients, and other chemical carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.

SEDIMENT CONTROL PRACTICES MUST REMAIN IN PLACE DURING GRADING, SEEDBED PREPARATION, SEEDING, MULCHING, AND VEGETATIVE ESTABLISHMENT.

ADEQUATE VEGETATIVE ESTABLISHMENT Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.

- 1. Adequate vegetative stabilization requires 95 percent groundcover.
- 2. If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding,
- 3. If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified.
- 4. Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

B-4-1 STANDARDS AND SPECIFICATIONS

INCREMENTAL STABILIZATION

Establishment of vegetative cover on cut and fill slopes

To provide timely vegetative cover on cut and fill slopes as work progresses

CONDITIONS WHERE PRACTICE APPLIES Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

A. Incremental Stabilization - Cut Slopes

1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.

<u>CRITERIA</u>

- Construction sequence example (Refer to Figure B.1) 2.a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
- 2.b. Perform Phase I excavation, prepare seedbed, and stabilize. 2.c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as
- 2.d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

NOTE: ONCE EXCAVATION HAS BEGUN, THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

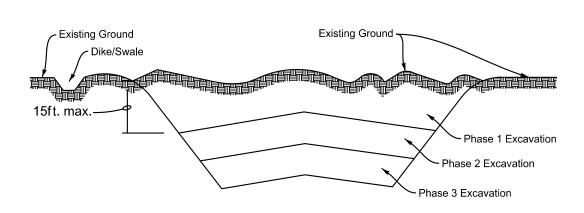
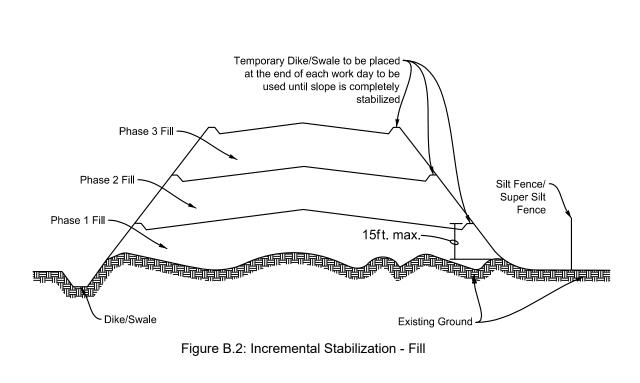


Figure B.1: Incremental Stabilization - Cut

B. Incremental Stabilization - Fill Slopes

- 1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses
- 2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet or when the grading
- operation ceases as prescribed in the plans. 3. At the end of each day, install temporary water conveyance practice(s), as necessary, to
- intercept surface runoff and convey it down the slope in a non-erosive manner.
- 4. Construction sequence example (Refer to Figure B.2): 4.a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the
- plans address this area. 4.b. At the end of the day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
- 4.c. Place Phase 1 fill, prepare seedbed, and stabilize.
- 4.d. Place Phase 2 fill, prepare seedbed, and stabilize. 4.e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

NOTE: ONCE THE PLACEMENT OF FILL HAS BEGUN, THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.



B-4-2 STANDARDS AND SPECIFICATION

SOIL PREPARATION, TOPSOILING, AND SOIL AM

DEFINITION The process of preparing the soils to sustain adequate vegetative stabilization.

PURPOSE

To provide a suitable soil medium for vegetative growth. CONDITIONS WHERE PRACTICE APPLIES

Where vegetative stabilization is to be established. CRITERIA

A. Soil Preparation

- 1. Temporary Stabilization 1.a. Seed preparation consists of loosening soil to a depth of 3 to 5 agricultural or construction equipment, such as disc harrows of mounted on construction equipment. After soil is loosened, it dragged smooth but left in roughened condition. Slopes 3:1 or f ridges running parallel to the contour of the slope. 1.b. Apply fertilizer and lime as prescribed on the plans.
- 1.c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil means
- 2. Permanent Stabilization
- 2.a. A soil test is required for any earth disturbance of 5 acres or mo conditions required for permanent vegetative establishment are a. Soil pH between 6.0 to 7.0.
- b. Soluble salts less than 500 parts per million (ppm).
- c. Soil contains less than 40 percent clay but enough fine gr 30 percent silt plus clay) to provide the capacity to hold a moisture. An exception: if lovegrass will be planted, then
- percent silt plus clay) would be acceptable d. Soil contains 1.5 percent minimum organic matter by weig
- e. Soil contains sufficient pore space to permit adequate root 2.b. Application of amendments or topsoil is required if on-site soils
- conditions. 2.c. Graded areas must be maintained in a true and even grade as
- on the approved plan, then scarified or otherwise loosened to 2.d. Apply soil amendments as specified on the approved plan or a indicated by the results of a soil test.
- 2.e. Mix soil amendments into the top 3 to 5 inches of soil by diskin other suitable means. Rake lawn areas to smooth the surface large objects like stones and branches, and ready the area for s application. Loosen surface soil by dragging with a heavy chair other equipment to roughen the surface where site conditions permit normal seedbed preparation. Track slopes 3:1 or flatter tracked equipment leaving the soil in an irregular condition with running parallel to the contour of the slope. Leave the top 1 to inches of soil loose and friable. Seedbed loosening may be un on newly disturbed areas.

B. Topsoiling

- 1. Topsoil is placed over prepared subsoil prior to establishment of pern purpose is to provide a suitable soil medium for vegetative growth. moisture content, low nutrient levels, low pH, materials toxic to plants gradation.
- 2. Topsoil salvaged from an existing site may be used provided it meets in these specifications. Typically, the depth of topsoil to be salvaged
- found in representative soil profile section in the Soil Survey publish 3. Topsoiling is limited to areas having 2:1 or flatter slopes where: 3.a. The texture of the exposed subsoil/parent material is not adeq
- 3.b. The soil material is so shallow that the rooting zone is not deep or furnish continuing supplies of moisture and plant nutrients.
- 3.c. The original soil to be vegetated contains material toxic to plan
- 3.d. The soil is so acidic that treatment with limestone is not feasible 4. Areas having slopes steeper than 2:1 require special consideration a 5. Topsoil Specifications: Soil to be used as topsoil must meet the follow 5.a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sand Other soils may be used if recommended by an agronomist or s
- by the appropriate approval authority. Topsoil must not be a m textured subsoils and must contain less than 5 percent by volu coarse fragments, gravel, sticks, roots, trash, or other materials 5.b. Topsoil must be free of noxious plants or plant parts such as B
- Johnson grass, nut sedge, poison ivy, thistle, or others as spec 5.c. Topsoil substitutes or amendments, as recommended by a qual scientist and approved by the appropriate approval authority,
- topsoi 6. Topsoil Application 6.a. Erosion and sediment control practices must be maintained w
- 6.b. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly con thickness of 4 inches. Spreading is to be performed in such a r seeding can proceed with a minimum of additional soil prepara irregularities in the surface resulting from topsoiling or other op in order to prevent the formation of depressions or water pocket 6.c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when

- the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation. C. Soil Amendments (Fertilizer and Lime Specifications) 1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
- 2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
- 3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh seive and 98 to 100 percent will pass through a #20 mesh seive.
- 4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means. 5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at
- the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

B-4-3 STANDARDS AND SPECIFICATIONS

SEEDING AND MULCHING

DEFINITION

The application of seed and mulch to establish vegetative cover

PURPOSE To protect disturbed soils from erosion during and at the end of construction.

CONDITIONS WHERE PRACTICE APPLIES To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

<u>CRITERIA</u>

- Specifications
 - 1.a. All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available
 - upon request to the inspector to verify type of seed and seeding rate. 1.b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws. 1.c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure
- culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. use four times the recommended rate when hydroseeding. Note: it is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80
- degrees Fahrenheit can weaken bacteria and make the inoculant less effective. 1.d. Sod and seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
- 2. Application
- 2.a. Dry seeding: This includes use of conventional drop or broadcast spreaders. a. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries. b. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.

DNS	2.b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.a. Cultipacking seeders are required to bury the seed in such a fashion as to provide at	2.b. Select one or more of the species or mixtures listed below
MENDMENTS	least ¼ inch of soil covering. Seedbed must be firm after planting. b. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.	purpose. Enter selected mixture(s), application rates, and Seeding Summary. The Summary is to be placed on the a. Kentucky Bluegrass: Full Sun Mixture: For use in an
	2.c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).	management. Irrigation required in the areas of centre
	 a. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total soluble nitrogen; P₂O₅ 	Recommended Certified Kentucky Bluegrass Cultivar pounds per 1000 square feet, Choose a minimum of
	(phosphorous), 200 pounds per acre; K_2O (potassium), 200 pounds per acre.	cultivars with each ranging from 10 to 35 percent of to
	b. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by	
	hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.	b. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture rapid establishment is necessary and when turf will re
	c. Mix seed and fertilizer on site and seed immediately and without interruption.	management. Certified Perennial Ryegrass Cultivars
	d. When hydroseeding, do not incorporate seed into the soil.	Seeding Rate: 2 pounds mixture per 1000 square fee
	B. Mulching	Kentucky Bluegrass cultivars with each ranging from mixture by weight.
	1. Mulch Materials (in order of preference)	c. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: F
o 5 inches by means of suitable	1.a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law	and/or for areas receiving low to medium management Recommended mixture includes; Certified Tall Fescu
s or chisel plows or rippers	and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw	Certified Kentucky Bluegrass Cultivars 0 to 5 percent
it must not be rolled or 1 or flatter are to be tracked with	mulch in areas where one species of grass is desired.	per 1000 square feet. One or more cultivars may be
	 Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state. 	 Kentucky Bluegrass/Fine Fescue: Shade Mixture: Fo Bluegrass lawns. For establishment in high quality, ir
bil by disking or other suitable	a. WCFM is to be dyed green or contain a green dye in the package that will provide an	Mixture includes; Certified Kentucky Bluegrass Cultive
bir by disking of other suitable	appropriate color to facilitate visual inspection of the uniformly spread slurry. b. WCFM, including dye, must contain no germination or growth inhibiting factors.	Fine Fescue 60 to 70 percent. Seeding Rate: $1\frac{1}{2}$ to
	c. WCFM materials are to be manufactured and processed in such a manner that the	NOTES:
r more. The minimum soil	wood cellulose fiber mulch will remain in uniform suspension in water under agitation	SELECT TURFGRASS VARIETIES FROM THOSE L
are:	and will blend with seed, fertilizer and other additives to form a homogenous slurry. the mulch material must form a blotter-like ground cover, on application, having	CURRENT UNIVERSITY OF MARYLAND PUBLICA "TURFGRASS CULTIVAR RECOMMENDATIONS F
	moisture absorption and percolation properties and must cover and hold grass seed in	TURFURASS CULTIVAR RECOMMENDATIONS P
argined material (greater than	contact with the soil without inhibiting the growth of the grass seedlings.	CHOOSE CERTIFIED MATERIAL. CERTIFIED MAT
grained material (greater than a moderate amount of	 WCFM material must not contain elements or compounds at concentration levels that will by phyto-toxic. 	GUARANTEE OF CULTIVAR PURITY. THE CERTIF MARYLAND DEPARTMENT OF AGRICULTURE, TU
en a sandy soil (less than 30	e. WCFM must conform to the following physical requirements: fiber length of	PROVIDES A RELIABLE MEANS OF CONSUMER F
eight	approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to	PURE GENETIC LINE.
eight. oot penetration.	8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.	3. Ideal Times of Seeding for Turf Grass Mixtures
oils do not meet the above		Western Maryland: March 15 to June 1, August 1 to October
as specified	2. Application	
to a depth of 3 to 5 inches.	2.a. Apply mulch to all seeded areas immediately after seeding.2.b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to	Central Maryland: March 1 to May 15, August 15 to October
or as	a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and	Southern MD, Eastern Shore: March 1 to May 15, August 15
king or	depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase	7a, 7b)
ace, remove	the application rate to 2.5 tons per acre. 2.c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds	4. Till areas to receive seed by disking or other approved methods
for seed	per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50	and rake the areas to prepare a proper seedbed. Remove ston
chain or ns will not	pounds of wood cellulose fiber per 100 gallons of water. 3. Anchoring	diameter. The resulting seedbed must be in such condition that
tter with	 Anchoring 3.a. Perform mulch anchoring immediately following application of mulch to minimize loss by 	pose no difficulty. 5. If soil moisture is deficient, supply new seedings with adequate
with ridges I to 3	wind or water. This may be done by one of the following methods (listed by preference),	inch ever 3 to 4 days depending on soil texture) until they are fir
e unnecessary	depending upon the size of the area and erosion hazard: a. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor	especially true when seedings are made late in the planting sea seasons, or on adverse sites.
-	mulch into the soil surface a minimum of 2 inches. This practice is most effective on	seasons, or on adverse sites.
	large areas, but is limited to flatter slopes where equipment can operate safely. If used	B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).
permanent vegetation. The	on sloping land, this practice should follow the contour. b. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net	 General Specifications 1.a. Class of turfgrass sod must be Maryland State Certified.
Soils of concern have low	dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a	available to the job foreman and inspector.
ants, and/or unacceptable soil	maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.	1.b. Sod must be machine cut at a uniform soil thickness of $\frac{3}{4}$
eets the standards as set forth	c. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as	the time of cutting. Measurement for thickness must excl Broken pads and torn or uneven ends will not be accepta
ged for a given soil type can be	specified by the manufacturer. Application of liquid binders needs to be heavier at the	1.c. Standard size sections of sod must be strong enough to s
shed by USDA-NRCS.	edges where wind catches mulch, such as in valleys and on crests of banks. <u>Use of</u> asphalt binders is strictly prohibited.	retain their size and shape when suspended vertically wit
lequate to produce vegetative	 d. Lightweight plastic netting may be stapled over the mulch according to manufacturer 	percent of the section. 1.d. Sod must not be harvested or transplanted when moisture
oop opough to support plants	recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to	may adversely affect its survival.
eep enough to support plants s.	3,000 feet long.	1.e. Sod must be harvested, delivered, and installed within a p transplanted within this period must be approved by an ex-
plant growth.		transplanted within this period must be approved by an age its installation.
sible. n and design.	B-4-4 STANDARDS AND SPECIFICATIONS	2. Sod Installation
ollowing criteria:	FOR	 During periods of excessively high temperature or in area irrigate the subsoil immediately prior to laying the sod.
andy clay loam, or loamy sand.	TEMPORARY STABILIZATION	2.b. Lay the first row of sod in a straight line with subsequent r
or soil scientist and approved a mixture of contrasting	DEFINITION	wedged against each other. Stagger lateral joints to pron
olume of cinders, stones, slag,	To stabilize disturbed soils with vegetation for up to 6 months.	strength. Ensure that sod is not stretched or overlapped a in order to prevent voids which would cause air drying of t
rials larger than 1 $\prime_{\!2}'$ inches in	PURPOSE	2.c. Wherever possible, lay sod with the long edges parallel to
s Bermuda grass, guack grass,	To use fast growing vegetation that provides cover on disturbed soils.	joints. Roll and tamp, peg or otherwise secure the sod to
pecified.		Ensure solid contact exists between sod roots and the un 2.d. Water the sod immediately following rolling and tamping u
qualified agronomist or soil	<u>CONDITIONS WHERE PRACTICE APPLIES</u> Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time,	pad and soil surface below the sod are thoroughly wet. C
y, may be used in lieu of natural	permanent stabilization practices are required.	tamping and irrigating for any piece of sod within eight ho
		 Sod Maintenance a. In the absence of adequate rainfall, water daily during the
when applying topsoil.	CRITERIA	sufficiently as necessary to maintain moist soil to a depth
compact to a minimum n a manner that sodding or	1. Select one or more of the species or seed mixtures listed in Table B.1 for the	the heat of the day to prevent wilting. 3.b. After the first week, sod watering is required as necessar
aration and tillage. Any	appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the	3.D. After the first week, sod watering is required as necessary
operations must be corrected	Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If the Summary is not put on the plan and completed, then Table B.1	3.c. Do not mow until the sod is firmly rooted. No more than $ atural$
ockets. Dzen or muddy condition, when	plus fertilizer and lime rates must be put on the plan.	removed by the initial cutting or subsequent cuttings. Mai
onvise he detrimental to proper	2 For sites having soil tests performed use and show the recommended rates by the	inches unless otherwise specified.

2. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soils tests are not required for Temporary Seeding. 3. When stabilization is required outside of a seeding season, apply seed and mulch or

straw mulch alone as prescribed in Section B-4-3.A.1.1b and maintain until the next seeding season.

Temporary Seeding Summary

	Hardiness Zone: 6b					
	Seed Mixture: N/A				Fertilizer Rate	Lime Rate
No.	Species	Application Rate (Ib/ac)	Seeding Dates	Seeding Depths	(10-20-20)	
	Annual Ryegrass (Lolium perenne ssp. multiflorum)	40	Mar 1 to May 15; Aug 1 to Oct 15	0.5 in.		2 tons/ac
N//A	Barley (Hordeum vulgare)	96	Mar 1 to May 15; Aug 1 to Oct 15	1.0 in.	436 lb/ac	
N/A	Foxtail Millet (Setaria italica)	30	May 16 to Jul 31	0.5 in.	(10 lb/1000sf)	(90 lb/1000 sf)
	Pearl Millet (Pennisetum glaucum)	20	May 16 to Jul 31	0.5 in.		

B-4-5 STANDARDS AND SPECIFICATIONS

PERMANENT STABILIZATION

To stabilize disturbed soils with permanent vegetation.

To use long-lived perennial grasses and legumes to establish permanent cover on disturbed soils.

CONDITIONS WHERE PRACTICE APPLIES Exposed soils where ground cover is needed for 6 months or more...

CRITERIA

A. Seed Mixtures 1. General Use

- 1.a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the
- Permanent Seeding Summary. The Summary is to be placed on the plan. 1.b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or
- dunes or for special purposes such as wildlife or aesthetic treatment may be found in
- USDA-NRCS Technical Field Office Guide, Section 342 Critical Area Planting. 1.c. For sites having disturbed area over 5 acres, use and show the rates recommended by the
- soil testing agency. 1.d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at $3\frac{1}{2}$ pounds per
- 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary. 2 Turfgrass Mixtures
- 2.a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.

OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DR BALTIMORE, MD 21244 PHONE NO: 410-369-1207

DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

DEFINITION A mound or pile of soil protected by appropriately designed erosion and sediment control measures. <u>PURPOSE</u> To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

CONDITIONS WHERE PRACTICE APPLIES Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

- <u>CRITERIA</u>
- A. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan B. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and
- based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading. C. Runoff from the stockpile area must drain to a suitable sediment control practice.
- D. Access the stockpile area from the upgrade side. E. Clear water runoff into the stockpile area must be minimized by use of a diversion fence such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in
- a non-erosive manner. F. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control
- practice must be used to intercept the discharge. G. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as
- Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization. H. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

MAINTENANCE

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

f turfgrass sod must be Maryland State Certified. Sod labels must be made le to the job foreman and inspector iust be machine cut at a uniform soil thickness of $m ^3\!\!\!/_4$ inches, plus or minus $m ^1\!\!\!/_4$ inch, at e of cutting. Measurement for thickness must exclude top growth and thatch. pads and torn or uneven ends will not be acceptable.

- and size sections of sod must be strong enough to support their own weight and
- heir size and shape when suspended vertically with a firm grasp on the upper 10 t of the section.
- ust not be harvested or transplanted when moisture content (excessively dry or wet) versely affect its survival. ust be harvested, delivered, and installed within a period of 36 hours. Sod not anted within this period must be approved by an agronomist or soil scientist prior to
- allation
- periods of excessively high temperature or in areas having dry subsoil, lightly the subsoil immediately prior to laying the sod. e first row of sod in a straight line with subsequent rows place parallel to it and tightly against each other. Stagger lateral joints to promote more uniform growth and
- h. Ensure that sod is not stretched or overlapped and that all joints are butted tight r to prevent voids which would cause air drying of the roots. ver possible, lay sod with the long edges parallel to the contour and with staggering Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes.
- solid contact exists between sod roots and the underlying soil surface. the sod immediately following rolling and tamping until the underside of the new sod
- d soil surface below the sod are thoroughly wet. Complete the operation of laying, g and irrigating for any piece of sod within eight hours. ance psence of adequate rainfall, water daily during the first week or as often and
- ntly as necessary to maintain moist soil to a depth of 4 inches. Water sod during at of the day to prevent wilting. he first week, sod watering is required as necessary to maintain adequate moisture
- ed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3
- mow until the sod is firmly rooted. No more than $\frac{1}{3}$ of the grass leaf must be
- inches unless otherwise specified.

B-4-8 STANDARDS AND SPECIFICATIONS

STOCKPILE AREAS

one or more of the species or mixtures listed below based on the site conditions or e. Enter selected mixture(s), application rates, and seeding dates in the Permanent g Summary. The Summary is to be placed on the plan:

ntucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive anagement. Irrigation required in the areas of central Maryland and Eastern Shore. commended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 unds per 1000 square feet Choose a minimum of three Kentucky Bluegrass tivars with each ranging from 10 to 35 percent of total mixture by weight.

ntucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where bid establishment is necessary and when turf will receive medium to intensive nagement. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass eding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three ntucky Bluegrass cultivars with each ranging from 10 to 35 percent of the total

Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas d/or for areas receiving low to medium management in full sun to medium shade. commended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, rtified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds r 1000 square feet. One or more cultivars may be blended.

ntucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in legrass lawns. For establishment in high guality, intensively managed turf area. xture includes; Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified e Fescue 60 to 70 percent. Seeding Rate: $1\frac{1}{2}$ to 3 pounds per 1000 square feet.

LECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST JRRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77,

OOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST JARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE ARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, OVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A

aryland: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a) ryland: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)

re is deficient, supply new seedings with adequate water for plant growth ($\frac{1}{2}$ to 1 o 4 days depending on soil texture) until they are firmly established. This is

JRFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".

D, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardness Zones:

eceive seed by disking or other approved methods to a depth of 2 to 4 inches, level areas to prepare a proper seedbed. Remove stones and debris over 1 $\frac{1}{2}$ inches in e resulting seedbed must be in such condition that future mowing of grasses will

e when seedings are made late in the planting season, in abnormally dry or hot

Permanent Seeding Summary

	Hardiness Zone: 6b Seed Mixture: Cool-S		Lime Rate					
No.	Species	Application Rate (lb/ac)	*Seeding Dates	Ν	P ₂ O ₅	K ₂ O		
	Tall Fescue (Lolium arundinaceum)	60		\mathscr{V}_4 to \mathscr{V}_2 in.				
9	Kentucky Bluegrass (Poa pratensis)	40	Mar 1 to May 15; Aug 1 to Oct 15	\mathscr{V}_4 to \mathscr{V}_2 in.	45 lb/ac (1 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	2 tons/ac (90 lb/ 1000 sf)
	Perenial Ryegrass (Lolium perenne)	20		γ_4 to γ_2 in.				

* For the period May 1 to August 14, add 6.0 lbs./Ac. of either Foxtail, or Pearl Millet to the permanent seed mix, (No.9)

	Hardiness Zone: 6b Seed Mixture: Wa		Lime Rate					
).	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	Ν	P ₂ O ₅	K ₂ O	
	Deertongue (Dichanthelium clandestinum)	15	Mar 1 to May 15 ♦♦;	1/4" to 1/2"			90 lb/ac	2 tons/ac
	Creeping Red Fescue (Festuca rubra var. rubra)	20	May 16 to Jun 15 *	1/4 10 1/2	45 lb/ac (1 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	(2 lb/ 1000sf)	(90 lb/ 1000 sf)
	Virginia Wild Rye (Elymus virginicus)	5						

◆ Warm-season grasses need a soil temperature of at least 50 degrees F in order to germinate. If soil temperatures are colder than 50 degrees, or moisture is not adeguate. the seeds will remain dormant until conditions are favorable. In general, planting during the latter portion of this period allows more time for weed emergence and weed control prior to planting. When selecting a planting date, consider the need for weed control vs. the likelihood of having sufficient moisture for later plantings, especially on droughty * Additional planting dates during which supplemental watering may be needed to ensure plant establishment

Table B.6: Maintenance Fertilizer for Permanent Seeding

Seeding Mixture	Туре	lb/ac	lb/1000 sf	Time	Mowing
Tall fescue makes up 70 percent or more of cover.	10 - 10 -10 or 30 - 10 - 10	500 400	11.5 9.2	Yearly or as needed. Fall	Not closer than 3 inches, if occasional mowing is desired.
Birdsfoot Trefoil.	0 - 20 - 0	400	9.2	Spring, the year following establishment, and every 4 to 5 years, thereafter.	Mow no closer than 2 inches.
Fairly uniform stand of tall fescue or birdsfoot trefoil.	5 - 10 - 10	500	11.5	Fall, the year following establishment, and every 4 to 5 years, thereafter.	Not required, no closer than 4 inches in the fall after seed has matured.
Weeping lovegrass fairly uniform plant distribution.	5 - 10 - 10	500	11.5	Spring, the year following establishment, and every 3 to 4 years, thereafter.	Not required, not closer than 4 inches in fall after seed has matured.
Red & chewings fescue, Kentucky bluegrass, hard fescue mixtures.	20 - 10 - 10	250 100	5.8 2.3	September, 30 days later. December, May 20, June 30, if needed.	Mow no closer than 2 inches for red fescue and Kentucky bluegrass, 3 inches for fescue.

DATA SOURCES

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.

2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.

3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.

4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)

5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009 6. ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN FOR R-40,000 RESIDENTIAL



SCALE: AS SHOWN DRAWING:

BENNETT ROAD ELDERSBURG, MD TAX MAP 73 : GRID 6 : PARCEL 247 ELECTION DISTRICT 5 CARROLL COUNTY, MD

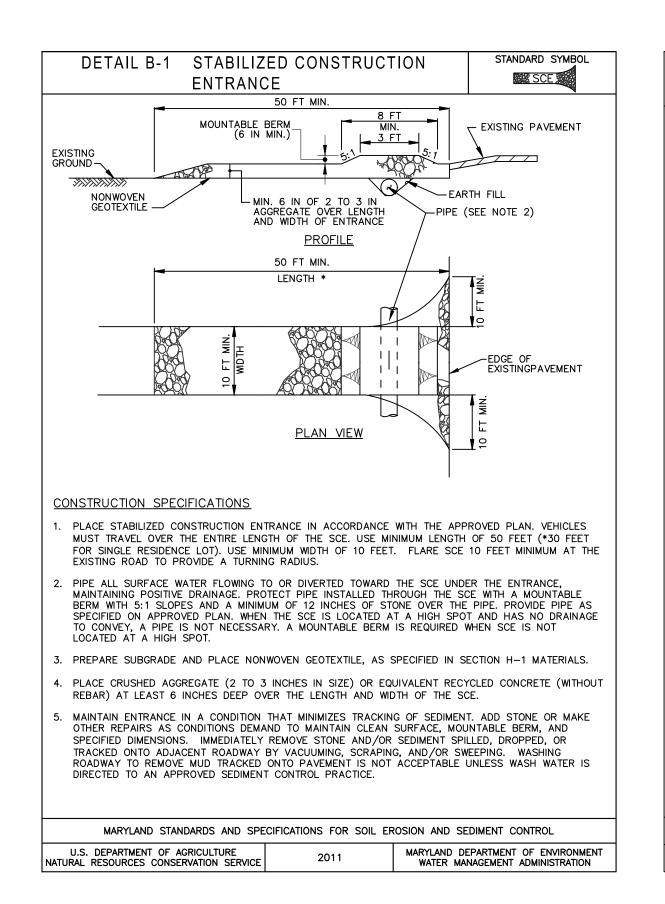
> PROFESSIONAL CERTIFICATION

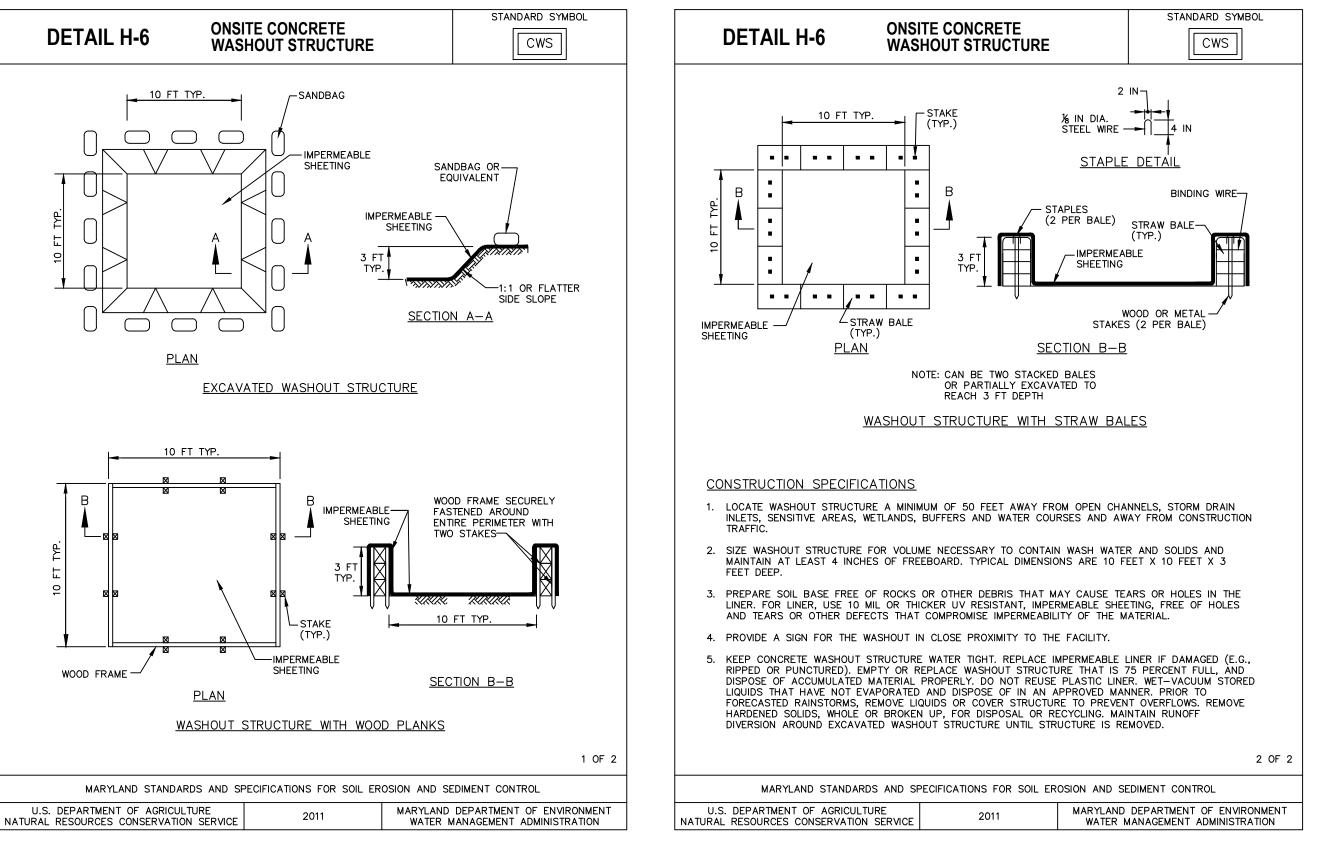
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

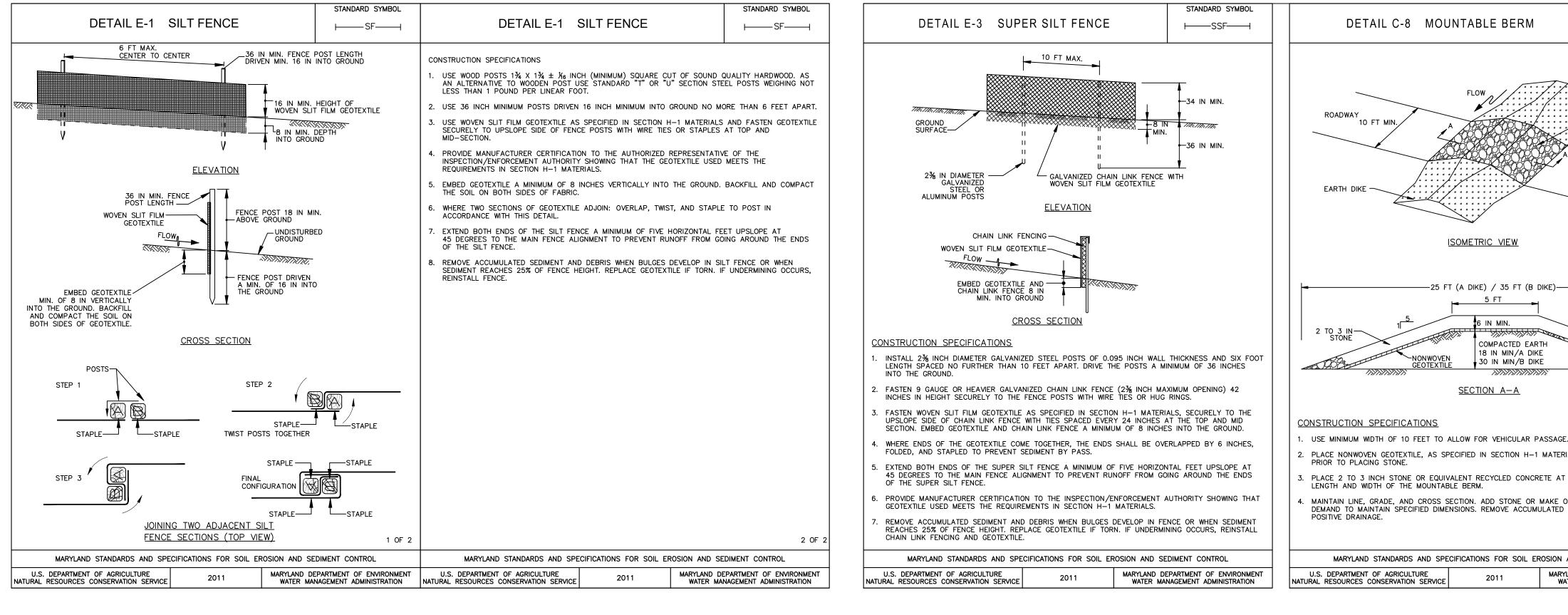
> LICENSE NUMBER: <u>32574</u> EXPIRATION DATE: <u>1-16-2026</u>

> > 7 of X

P-23-0055 DATE BY REVISIONS DATE: 10/17/2024 PROJECT NUMBER: 20211253.005





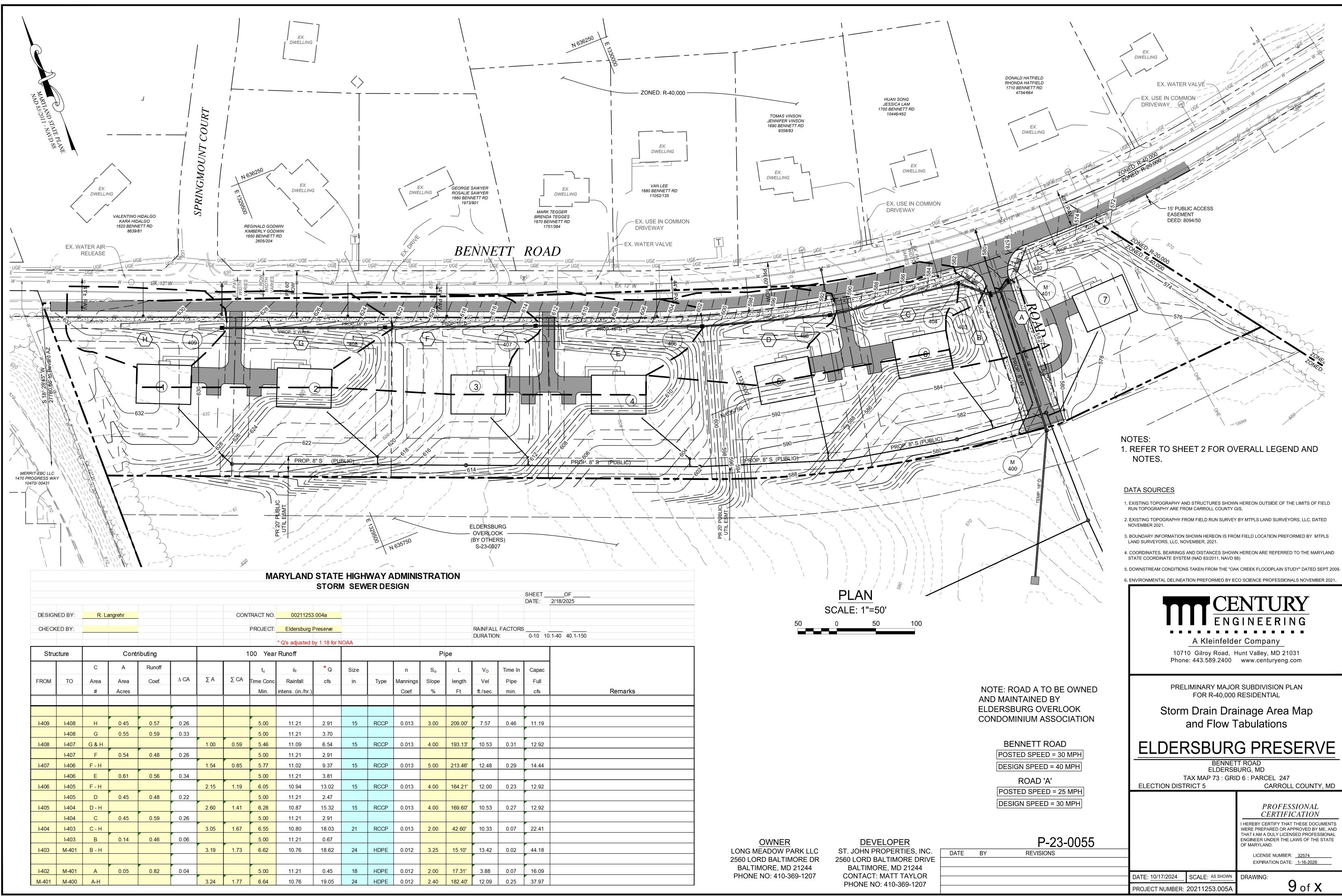


DEVELOPER ST. JOHN PROPERTIES, INC 2560 LORD BALTIMORE DRIV BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

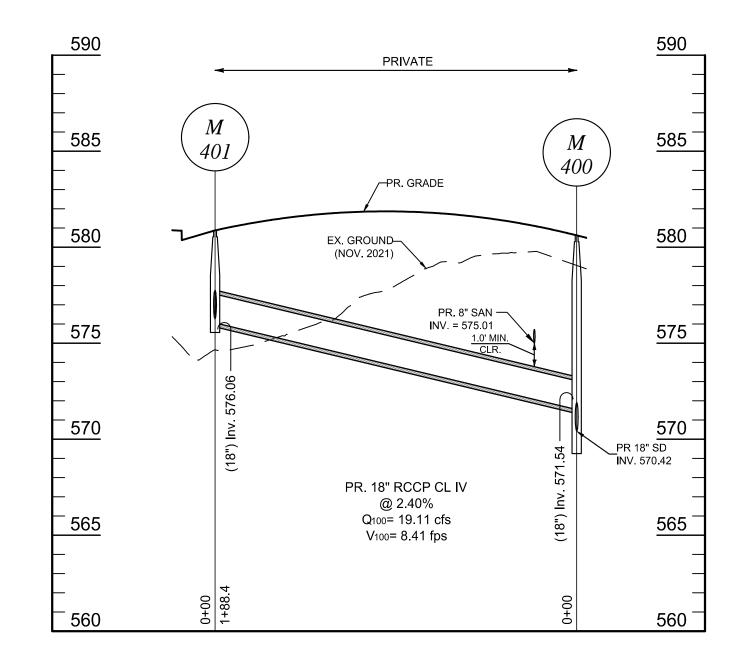
SEDIMENT AND EROSION CONTROL NOTES

- All erosion/sediment control measures shall comply with the "Maryland Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of the Environment, Water Management Administration in association with the Natural Resources Conservation Service and the Maryland Association of Soil Conservation Districts (referenced as the 2011 Standards and Specs).
- 2. Areas that have been cleared and/or graded, but will not be constructed on or permanently vegetated for more than 5 days (3 days for sediment control measures and for steep slopes) must be stabilized with mulch or temporary stabilization. Any areas that are in temporary vegetation for over 6 months will need to be permanently vegetated.
- 3. For specifications on permanent or temporary stabilization, see B-4-4 and B-4-5.
- Mulching only is restricted to use on disturbed areas as a temporary cover where vegetation is not feasible or where seeding germination cannot be completed because of weather conditions. For specifications see B-4-3, A.1.B
- 5. For specifications on the stabilization of cut and fill slopes steeper than 3 horizontal to 1 vertical, see Incremental Stabilization B-4-1
- 6. The existing topsoil from on or off site that is used must meet the minimum specification in B-4-2
- 7. The required sequence of construction must be followed during site development. Any changes in the sequence of construction must be approved by the Soil Conservation District.
- 8. Any revisions to the sediment control plan, not covered under the list of plan modifications that can be approved by the sediment control inspector, need to be submitted to the Soil Conservation District for approval.
- 9. No proposed slope that is required to be seeded and/or mulched shall be steeper than 2:1. Slopes steeper then 2:1 shall require a engineered design for stabilization
- 10. All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 2011 Standards and Specs.
- 11. The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.
- 12. The district approval for this sediment control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be resubmitted to the Soil Conservation District for review and re-approval. Any plans that are currently under construction after 2 years may be required to be resubmitted to the Soil Conservation District by the sediment control inspector.

STANDARD SYMBOL	
EARTH DIKE	DATA SOURCES
	1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD
2 TO 3 IN STONE	RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
	2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED
A A	NOVEMBER 2021.
	 BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
ROADWAY	4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
	5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
	6. ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.
	<u>CENTURY</u>
	ENGINEERING
	A Kleinfelder Company
	10710 Gilroy Road, Hunt Valley, MD 21031
	Phone: 443.589.2400 www.centuryeng.com
Ε.	PRELIMINARY MAJOR SUBDIVISION PLAN FOR R-40,000 RESIDENTIAL
RIALS, OVER THE EARTH MOUND	TOR RE-40,000 RESIDENTIAL
T LEAST 6 INCHES DEEP OVER THE	
I LEAST O INCITES DELF OVER THE	Erosion and Sediment
OTHER REPAIRS AS CONDITIONS D SEDIMENT AND DEBRIS. MAINTAIN	Control Details
	ELDERSBURGPRESERVE
	ELUERSDURG FRESERVE
AND SEDIMENT CONTROL	BENNETT ROAD
YLAND DEPARTMENT OF ENVIRONMENT ATER MANAGEMENT ADMINISTRATION	ELDERSBURG, MD TAX MAP 73 : GRID 6 : PARCEL 247
	ELECTION DISTRICT 5 CARROLL COUNTY, MD
	PROFESSIONAL
	CERTIFICATION
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
	THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE
C. DATE BY REVISIONS	OF MARYLAND.
C. DATE BY REVISIONS	LICENSE NUMBER: <u>32574</u> EXPIRATION DATE: <u>1-16-2026</u>
	DATE: <u>10/17/2024</u> SCALE: <u>AS SHOWN</u> DRAWING:
	PROJECT NUMBER: 20211253.005A 8 of X



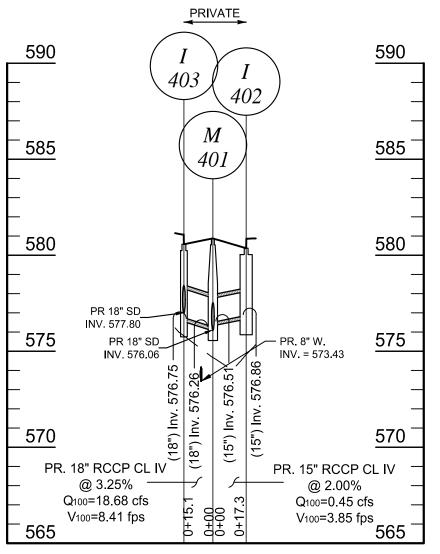
DESIGN	NED BY:	R. La	angrehr				CON	RACT NO.	00211253	.004a				
CHECK	ED BY:							PROJECT:	Eldersburg F	Preserve				
									* Q's adjusted b	ov 1 18 for N				
Stru	cture		Contr	ributing			1	00 Year	Runoff	<i>y</i> 1.10 lot 1				Р
		С	А	Runoff				t _c	ii _f	* Q	Size		n	S。
FROM	то	Area	Area	Coef.	ΔCA	ΣA	ΣCA	Time Conc.		cfs	in.	Туре	Mannings	Slope
		#	Acres					Min.	intens. (in./hr.)				Coef.	%
I-409	I-408	н	0.45	0.57	0.26			5.00	11.21	2.91	15	RCCP	0.013	3.00
	I-408	G	0.55	0.59	0.33			5.00	11.21	3.70				
I-408	I-407	G&H				1.00	0.59	5.46	11.09	6.54	15	RCCP	0.013	4.00
	I-407	F	0.54	0.48	0.26			5.00	11.21	2.91				
I-407	I-406	F-H				1.54	0.85	5.77	11.02	9.37	15	RCCP	0.013	5.00
	I-406	E	0.61	0.56	0.34			5.00	11.21	3.81				
I-406	I-405	F - H				2.15	1.19	6.05	10.94	13.02	15	RCCP	0.013	4.00
	I-405	D	0.45	0.48	0.22			5.00	11.21	2.47				
I-405	I-404	D - H				2.60	1.41	6.28	10.87	15.32	15	RCCP	0.013	4.00
	I-404	С	0.45	0.59	0.26			5.00	11.21	2.91				
I-404	I-403	C-H				3.05	1.67	6.55	10.80	18.03	21	RCCP	0.013	2.00
	I-403	В	0.14	0.46	0.06			5.00	11.21	0.67				
I-403	M-401	B - H				3.19	1.73	6.62	10.76	18.62	24	HDPE	0.012	3.25
I-402	M-401	A	0.05	0.82	0.04			5.00	11.21	0.45	18	HDPE	0.012	2.00
M-401	M-400	A-H				3.24	1.77	6.64	10.76	19.05	24	HDPE	0.012	2.40

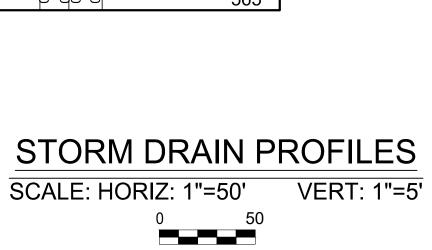


PRIVATE MANHOLE SCHEDULE									
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	DETAIL				
M-400	48" Dia Manhole	(18") 571.54 (N)	(18") 570.42 (SW)	580.61	MD 384.01				
M-401	48" Dia Manhole	(18") 576.26 (W) (15") 576.51 (NE)	(18") 576.06 (S)	580.87	MD 384.01				

	PRIVATE INLET SCHEDULE									
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	DETAIL					
I-402	Type S Combination Inlet Double Grate		(15") 576.86 (SW)	580.37	MD 379.04					
I-403	Type S Combination Inlet Double Grate	(18") 576.95 (NW)	(18") 576.75 (E)	580.57	MD 379.04					

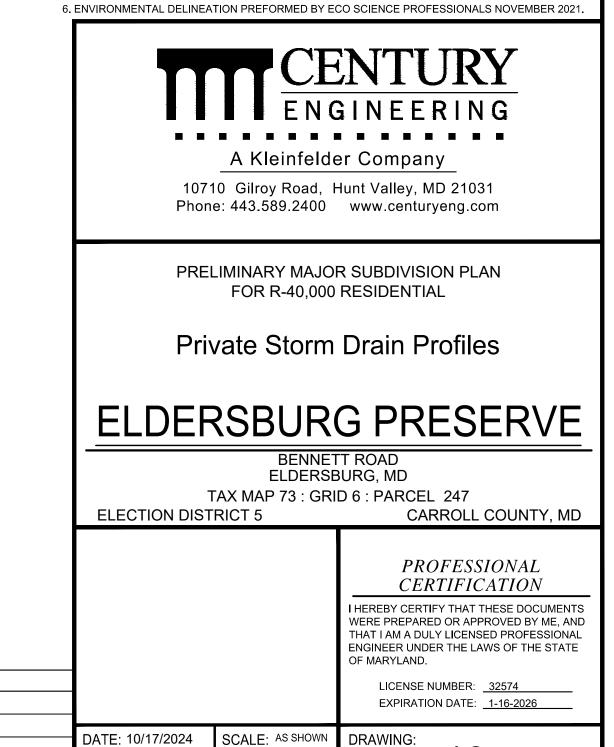
DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207





DATA SOURCES

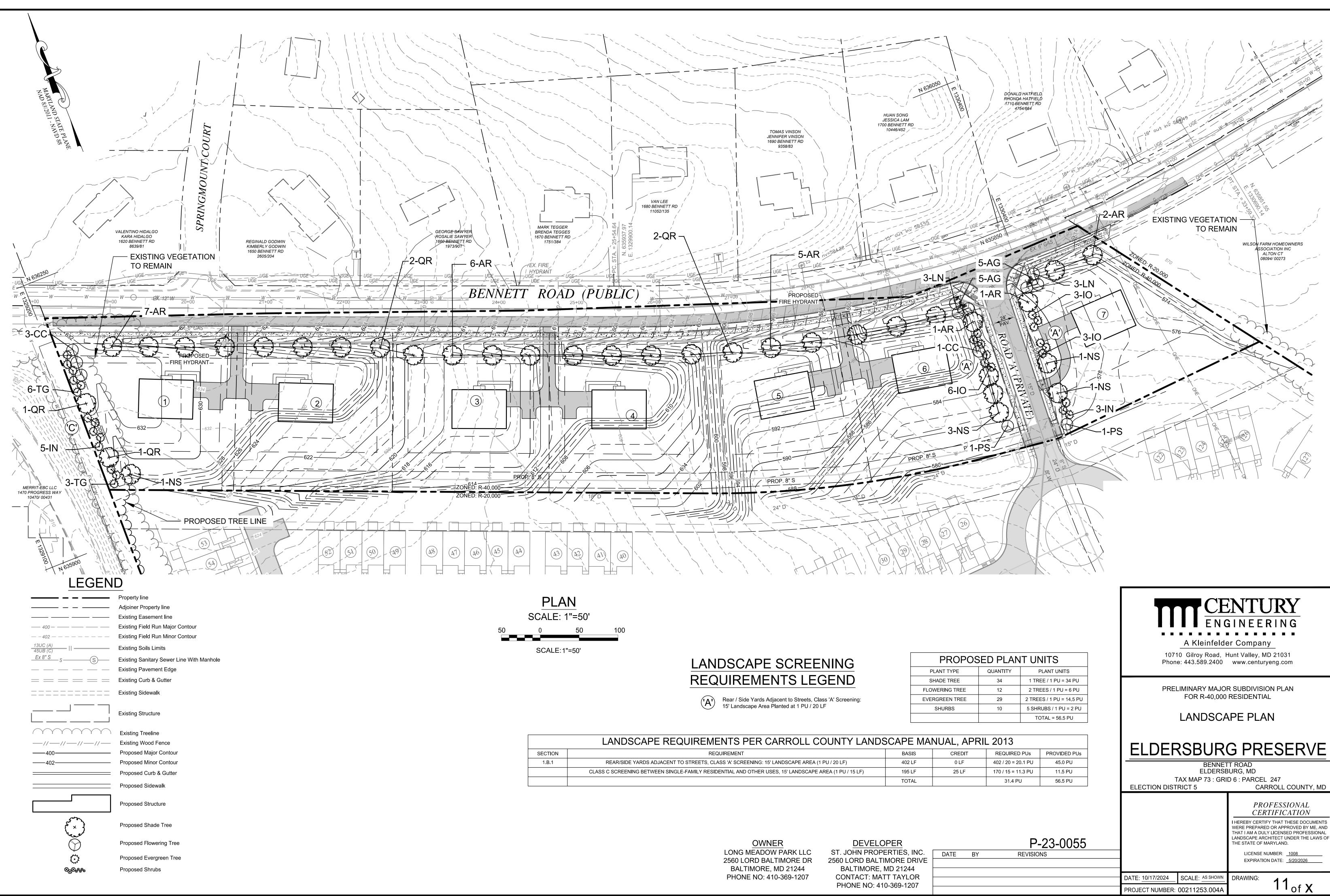
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PROJECT NUMBER: 20211253.005A

10 of X

		P-23-0055
DATE	BY	REVISIONS



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EVE

	LANDSCAPE REQUIREMENTS PER CARROLL COUNTY LANDS	SCAPE MA
SECTION	REQUIREMENT	BASIS
1.B.1	REAR/SIDE YARDS ADJACENT TO STREETS, CLASS 'A' SCREENING: 15' LANDSCAPE AREA (1 PU / 20 LF)	402 LF
	CLASS C SCREENING BETWEEN SINGLE-FAMILY RESIDENTIAL AND OTHER USES, 15' LANDSCAPE AREA (1 PU / 15 LF)	195 LF
		TOTAL

CARROLL COUNTY LANDSCAPE SPECIFICATIONS

- 1. All plants shall be identified in accordance with the latest Edition of Hortus Third, by "The Staff of the
- Hortorium". 2. All nursery stock shall conform to American Association of Nurserymen, Inc., standards as described in
- American Standard for Nursery Stock, current ANSI Z-60.1 specifications. 3. Landscape specifications shall conform to Landscape Contractors Association Specification Guidelines for Maryland, Washington, D.C., and Virginia, latest edition and Century Engineering, Inc. specifications.
- All nursery stock shall be planted in accordance with the procedures outlined in the guidelines. 4. Three (3) inches of topsoil on all disturbed areas to be landscaped, seeded or sodded is required. 5. A separate plan labeled "Landscape Plan" (may be combined with Forest Conservation Plan) is
- required. Landscape requirements may not be combined with the Forest Conservation Plan.

PLANTING NOTES

- 1. Plant material substitutions will not be accepted without approval of the Landscape Architect. 2. All Shrubs and groundcover areas shall be planted in continuous prepared planting beds. 3. All shrub beds shall be mulched with hardwood mulch as detailed and specified except where noted on
- plans. 4. Maintain positive drainage out of planting beds at a minimum of two percent slope.
- 5. Plant quantities are provided for the convenience of the contractor. If discrepancies exist between guantities shown on the plan and those shown on the plant list, the guantities on the plan shall take precedence.
- 6. All areas within contract limits disturbed during or prior to construction not designated to receive plantings and mulch shall be fine graded and seeded in accordance with planting and construction. 7. The contractor shall notify Miss Utility, (800-257-7777) a minimum of three working days prior to planting and construction.
- 8. Contractor shall test pit prior to plant installation.

IRRIGATION METHODS

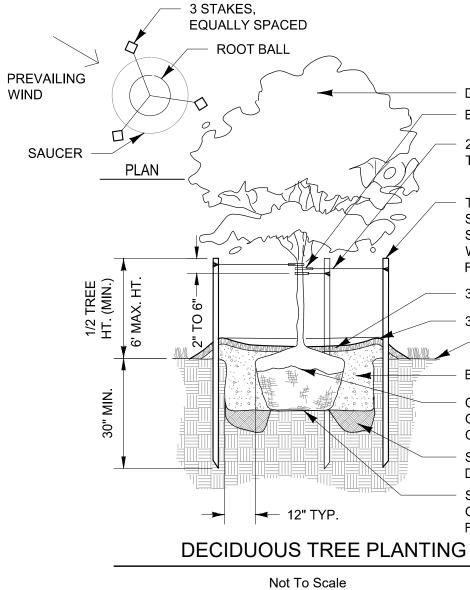
- 1. The use and maintenance of drip irrigation bags or rings around the trunks of newly-planted trees. 2. Hand watering, with water sources provided through either or both of the following methods:
- 2.1. Exterior faucets on a building, located so that the farthest planting can be reached by a length of hose (100 feet recommended). 2.2. A quick-coupling system, with connections located so that the farthest planting can be reached by
- a length of hose (100 feet recommended). 2.3. A water tank or truck.
- 3. An automatic irrigation system with a moisture-sensing device and-or rain shut-off switch. If using an automatic irrigation system, the following requirements shall be met: 3.1. All irrigation systems shall be designed to minimize vandalism.
 - 3.2. Sprinklers must not over-spray onto pavement. Sprinkler and spray heads are not permitted for planting areas less than eight (8) feet in width, to prevent overspray and run-off. Other irrigation methods shall be specified in such areas.
 - 3.3. Place lawn areas in a separate irrigation zone from shrub and groundcover beds so that each planting type can receive adequate irrigation without over-watering areas with lower irrigation
- 3.4. Drip irrigation is recommended for shrub and groundcover beds. Drip irrigation shall be used in areas smaller than five (5) feet in any direction.
- 4. The use of rainwater harvesting techniques combined with the use of harvested rainwater for landscape irrigation is encouraged.

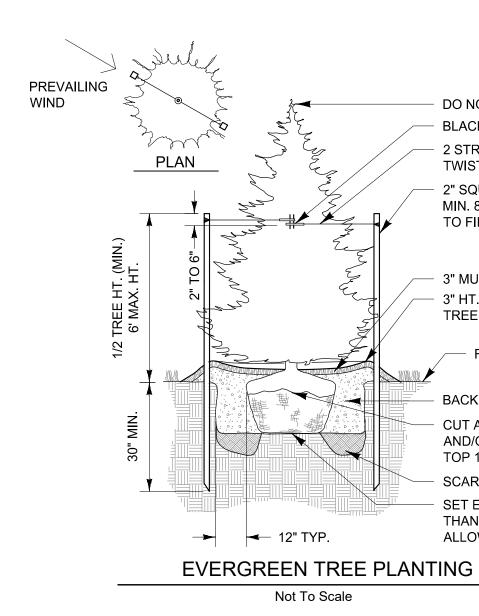
NON-INVASIVE NOTE

Non-invasive vegetation that is native or regionally appropriate for local growing conditions has been selected to promote biodiversity.

MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- 1. A two year plant replacement warranty and two years of maintenance are required by the County. 2. Lawn areas shall be mowed to a height of 2 to 3 inches and not allowed to reach a height of 4 inches before mowing.
- 3. All curbs and walks shall be edged as needed.
- 4. All lawn areas adjacent to building faces or structures shall be trimmed. 5. A slow release nitrogen balanced fertilizer with a 2-1-1 ratio shall be applied at a rate of 2 pounds of
- nitrogen per 1000 square feet in September, October, and February.
- 6. Lime shall be applied at the rate determined by a soils report.
- 7. It is recommended that lawn areas be treated in mid-March to early April with pre-emergent herbicide (Betasan) or equal applied at the manufacturer's rate.
- 8. A post-emergent herbicide (Trimec) or equal is recommended to be sprayed on lawn areas in the late spring or early fall. Follow manufacturer's rates and recommendations. Insecticides and fungicides are recommended for insect and disease control.
- 10. Reseed bare areas of lawn as necessary. Yearly aeration is recommended.
- 11. All trash, litter, and debris shall be removed from lawn areas, parking lots, and shrub beds as needed.
- 12. Mulch all shrub and groundcover beds yearly with 3 inches of shredded hardwood bark. 13. Permit shrubs and trees to grow and enlarge to their design size. Consult project Landscape Architect for details.
- 14. Prune trees in accordance with Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas.
- 15. Maintenance of landscape areas includes, but is not limited to weeding, mulching, mowing, trimming, pruning, edging, cultivation, seeding, fertilization, watering, pest control, and any other maintenance necessary to ensure healthy, vigorous plant growth and well-kept property condition.
- 16. Landscaping elements such as walls and fences shall be constructed in a sound workmanlike manner with adequate support or footings and must be repaired or replaced as needed to preserve an attractive appearance and to function as intended.
- 17. Any dead plants or plants which fail to show healthy growth must be removed and replaced within 60 days of identification of deteriorated health or notification by the County. Replacement may be delayed until the next growing season only if the 60 day period occurs during a time of year not suitable for planting.
- 18. All replacement plants must meet the size and other characteristics of newly planted material as required in the manual.
- 19. Trees and large shrubs must be adequately supported, when necessary to insure proper growth. Tree staking must be removed prior to final inspection, with the exception of plants replaced during the warranty period and not yet established.
- 20. It is desirable to avoid excessive use of fertilizers and pesticides to minimize impacts on water quality. It is recommended that fertilizer application be need-based rather than as an automatic component of maintenance schedules and when appropriate, slow-release or natural fertilizers be selected over highly-soluble chemical fertilizers.
- 21. The implementation of an Integrated Pest Management (IMP) program is recommended to prevent and treat pest problems.



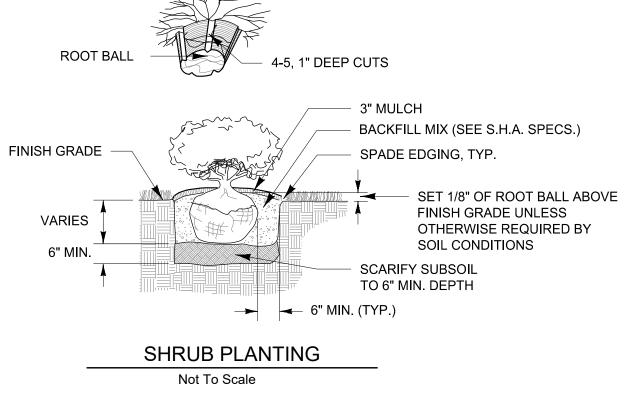




OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DR BALTIMORE, MD 21244 PHONE NO: 410-369-1207

DEVELOPER ST. JOHN PROPERTIES. INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

of approval of this plan to Room 209, 225 N. Center Applicant Signature Address City File #



REMOVE ALL NON-BIODEGRADABLE CONTAINERS AND SCARIFY ROOTBALL BY USING A SHARP BLADE AND MAKING 4 TO 5 ONE INCH CUTS THE LENGTH OF THE ROOTBALL.

2. FOR B&B SHRUBS, CUT AND REMOVE BURLAP

FROM TOP 1/3 OF ROOTBALL.

- 1. FOR CONTAINER SHRUBS, COMPLETELY

- NOTES:

SCARIFY SUBSOIL TO 6" MIN. DEPTH BELOW ROOT BALL SET TREES 2" HIGHER THAN GROWN IN NURSERY TO ALLOW FOR SETTLING

DO NOT CUT LEADER

BLACK RUBBER HOSES

2 STRANDS GALV. WIRE,

- 3" HT. SAUCER AROUND

- FINISHED GRADE

CUT AND REMOVE BURLAP

TOP 1/3 OF ROOT BALL

ALLOW FOR SETTLING

AND/OR WIRE BASKET FROM

BACKFILL MIX (SEE S.H.A. SPECS.)

SCARIFY SUBSOIL TO 6" MIN. DEPTH

SET EVERGREEN TREES 2" HIGHER

THAN GROWN IN NURSERY TO

2" SQUARE HARDWOOD STAKES,

MIN. 8' LONG; EXTEND STAKES

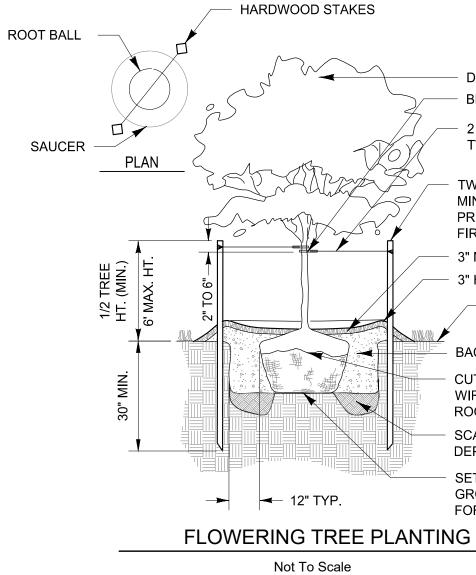
TO FIRM BEARING AS NEEDED

TWISTED UNTIL TAUT

- 3" MULCH

TREE PIT

- CUT AND REMOVE BURLAP AND/ OR WIRE BASKET FROM TOP 1/3 OF ROOT BALL
- BACKFILL MIX (SEE S.H.A. SPECS.)
- 3" HT. SAUCER AROUND TREE PIT — FINISH GRADE
- STAKES, MIN. 8' LONG. PLACE STAKES INTO PREVAILING WIND, EXTEND STAKES TO FIRM BEARING AS NEEDED 3" MULCH
- THREE 2" SQUARE HARDWOOD
- 2 STRANDS GALV. WIRE, TWISTED UNTIL TAUT
- BLACK RUBBER HOSES
- DO NOT CUT LEADER



GROWN IN NURSERY TO ALLOW

FOR SETTLING

2 STRANDS GALV. WIRE, TWISTED UNTIL TAUT

TWO 2" SQUARE HARDWOOD STAKES. MIN. 8' LONG. PLACE STAKES INTO PREVAILING WIND, EXTEND STAKES TO

3" HT. SAUCER AROUND TREE PIT

FINISH GRADE

3" MULCH

BACKFILL MIX (SEE S.H.A. SPECS.)

CUT AND REMOVE BURLAP AND/OR

WIRE BASKET FROM TOP 1/3 OF

SCARIFY SUBSOIL TO 6" MIN.

SET TREES 2" HIGHER THAN

DEPTH BELOW ROOT BALL

FIRM BEARING AS NEEDED

DO NOT CUT LEADER

BLACK RUBBER HOSES

ROOT BALL

PLANT LIST

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
		1	MAJOR DECIDUOUS TREES	I	
AR	22	Acer rubrum 'Franksred' RED SUNSET	Red Sunset Red Maple	2" - 2 1⁄2" cal.	B&B
NS	6	Nyssa sylvatica	Black Gum	2" - 2 1⁄2" cal.	B&B
QR	6	Quercus rubra	Red Oak	2" - 2 ½" cal.	B&B
TOTAL	34				
			MINOR DECIDUOUS TREES		
СС	4	Cercis canadensis	Eastern Redbud	1" - 1 ½" cal.	B&B
LN	6	Lagerstroemia 'Natchez'	Natchez Crape Myrtle	1" - 1 ½" cal.	B&B Multi-stem, 3 cane min.
PS	2	Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry	1" - 1 ½" cal.	B&B
TOTAL	12				
			EVERGREEN TREES		
IN	8	Ilex 'Nellie R. Stevens'	Nellie R Stevens Holly	6' - 8' ht.	B&B full to ground
Ю	12	llex opaca	American Holly	6' - 8' ht.	B&B full to ground
TG	9	Thuja 'Green Giant'	Giant Arborvitae	6' - 8' ht.	B&B full to ground
FOTAL	29				
		1	SHRUBS		
AG	10	Abelia x grandiflora 'Rose Creek'	Rose Creek Abelia	18" - 24" ht.	Container
TOTAL	10				

			<u>A Kleinfelder Company</u> 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com
	NAL LANDSCAI		PRELIMINARY MAJOR SUBDIVISION PLAN FOR R-40,000 RESIDENTIAL
I certify that I have reviewed this Final Landscape Plan; that I have read and understood the regulations presented in the Carroll County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan no later than one (1) year from the date of approval of this plan to the Department of Planning, Bureau of Resource Management, Room 209, 225 N. Center Street, Westminster, MD 21157-5194.		Manual; and I agree to comply with nd ordinances. I agree to certify the no later than one (1) year from the date Bureau of Resource Management,	LANDSCAPE DETAILS AND SPECIFICATIONS
			ELDERSBURG PRESERVE
Applicant Signature	Date	Print Name	- BENNETT ROAD ELDERSBURG, MD TAX MAP 73 : GRID 6 : PARCEL 247
Address	Street	Phone No.	ELECTION DISTRICT 5 CARROLL COUNTY, MD
City	State	Zip	- PROFESSIONAL CERTIFICATION
File #			I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL
ELOPER		P-23-0055	LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
ROPERTIES, INC. BALTIMORE DRIVE DRE, MD 21244	DATE BY	REVISIONS	LICENSE NUMBER: <u>1008</u> EXPIRATION DATE: <u>5/20/2026</u>
: MATT TAYLOR O: 410-369-1207			DATE: <u>10/17/2024</u> SCALE: <u>AS SHOWN</u> DRAWING: PROJECT NUMBER: 00211253.004A DRAWING:

GENERAL NOTES

1. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL

ADDENDA, SUPPLEMENTS OR UPDATES: A, DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.

B. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS. C. BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.

D. STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, 2008 EDITION, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.

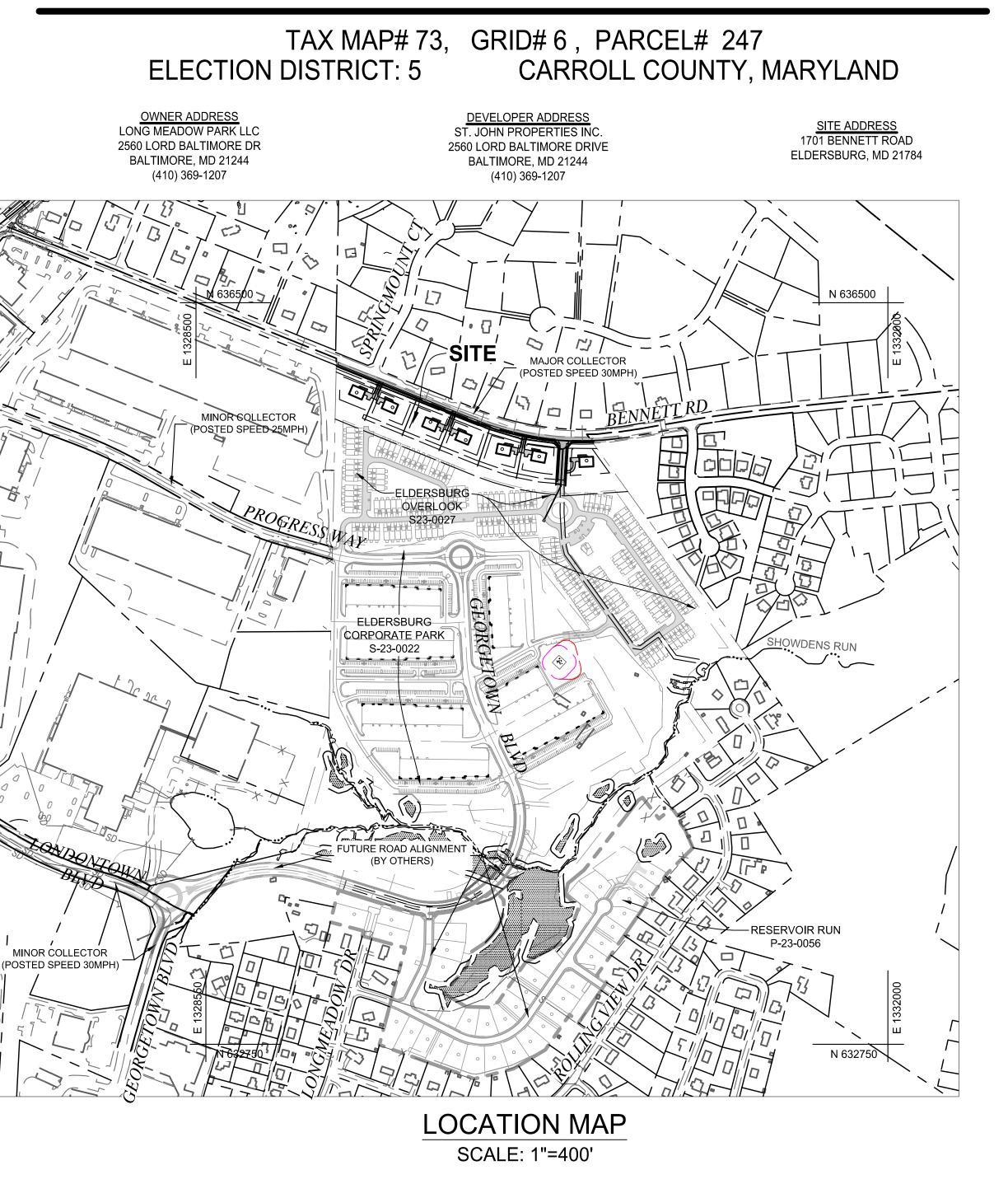
E. MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.

F. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.

- ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.
- 2. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
- 3. CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
- 4. DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.
- 5. IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
- 6. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLICWORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.
- 7. FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.
- 8. CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.
- 9. DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.
- 10. INLET GRATES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.
- 11. PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
- 12. WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1.0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED ON PLANS.
- 13. ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED IN THE UTILITY PERMIT.
- 14. ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON THE TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE. AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.
- 15. OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROW MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.
- 16. THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.
- 17. PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.
- PROJECT OVERLAP NOTES
- 1. BENNETT ROAD IMPROVEMENTS OVERLAP ON ELDERSBURG PRESERVE (P-23-0055) AND ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT COMES FIRST SHALL CONSTRUCT SAID BENNETT ROAD IMPROVEMENTS FULLY. A PUBLIC WORKS AGREEMENT WILL BE REQUIRED FOR THE CONSTRUCTION.
- 2. THE PROPOSED SANITARY SEWER SHOWN ON THESE PLANS OVERLAPS WITH SAME ON ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT PROCEEDS TO CONSTRUCTION FIRST SHALL CONSTRUCT THIS SANITARY SEWER. IN THE CASE OF ELDERSBURG PRESERVE FROM SMH-14 TO THE EXISTING SMH ON ELDERSBURG OVERLOOK. IN THE CASE OF ELDERSBURG OVERLOOK FROM SMH-9 TO THE EXISTING SMH.

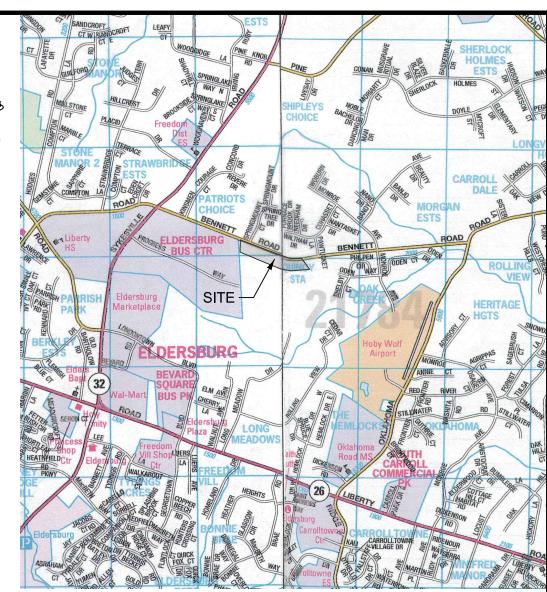
DEVELOPER	
CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRCUTURES WILL BE INSTALLED TO THE DISIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC DN-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTICT PERSONNEL AND COOPERATING AGENCIES.	ENGINEER I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND HAS BEEN DESIGN TO THE STANDARDS AND SPECIFICATIONS ADOPTD BY CARROLL SOIL CONSERVATION DISTRICT.
SIGNATURE: DATE:	
PRINTED NAME:	SIGNATURE: DATE:
COMPANY NAME: PHONE No:	PRINTED NAME:
OWNER	PE No: EXPIRATION DATE:
WE CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS HAS BEEN REVIEWED BY ME/USE AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY	
TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IS STRICT ACCORDANCE WITH THESE PLANS. I/WE UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK	CARROLL COUNTY DEPARTMENT OF PUBLIC WORK BUREAU OF ENGINEERING
S MADE.	BY: DATE:
	CARROLL COUNTY PLANNING AND ZONING COMMISSION
SIGNATURE: DATE:	
PRINTED NAME:	BY: DATE:

PUBLIC ROAD IMPROVEMENT PLANS FOR **BENNETT ROAD**



OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DR BALTIMORE, MD 21244 PHONE NO: 410-369-1207

DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207



VICINITY MAP SCALE: 1"=2000'

SITE COMPLIANCE CHECKLIST

- 1. CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY WORK
- 2. <u>SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES</u> DURING CONSTRUCTION
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS
 - SHOWN ON THESE APPROVED PLANS. PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON
 - THESE APPROVED PLANS.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
- D. _____ COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING
- E. COMPLETION OF ALL WORK SHOWN ON PLAN.

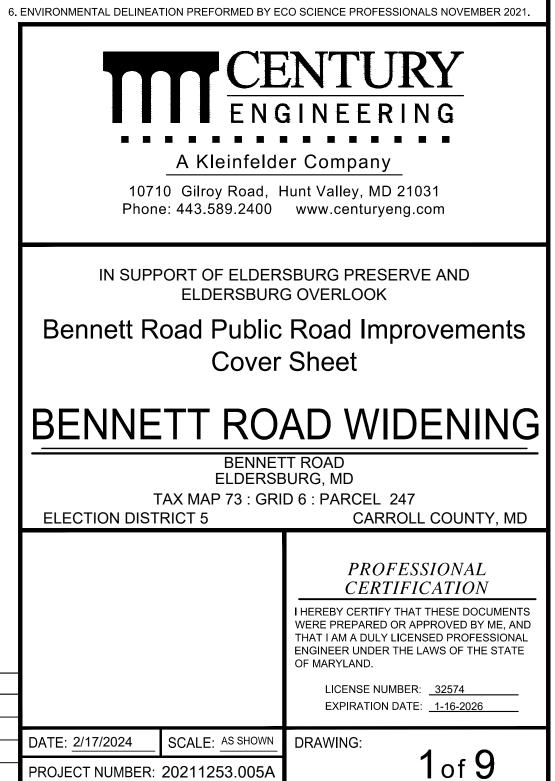
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION AS OUTLINED ABOVE.

- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK, ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH THE BUREAU OF RESOURCE MANAGEMENT ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION

DATA SOURCES

UNTIL GIVEN APPROVAL OF PRIOR PHASE

- 1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
- 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009



DATA TABULATION 1. ZONING DISTRICT: R-40,000 2. NUMBER OF BUILDABLE LOTS: 3. TOTAL AREA OF BUILDABLE LOTS: 6.70 AC 4. TOTAL AREA OF PROPOSED ROADS (PRIVATE): 0.28 AC. 5. TOTAL AREA OF PARCELS: 0.70 AC. PARCEL A (BENNETT ROAD R/W): 0.70 AC. 7.68 AC. 7. AREA OF SUBDIVISION:

LIST OF DRAWINGS

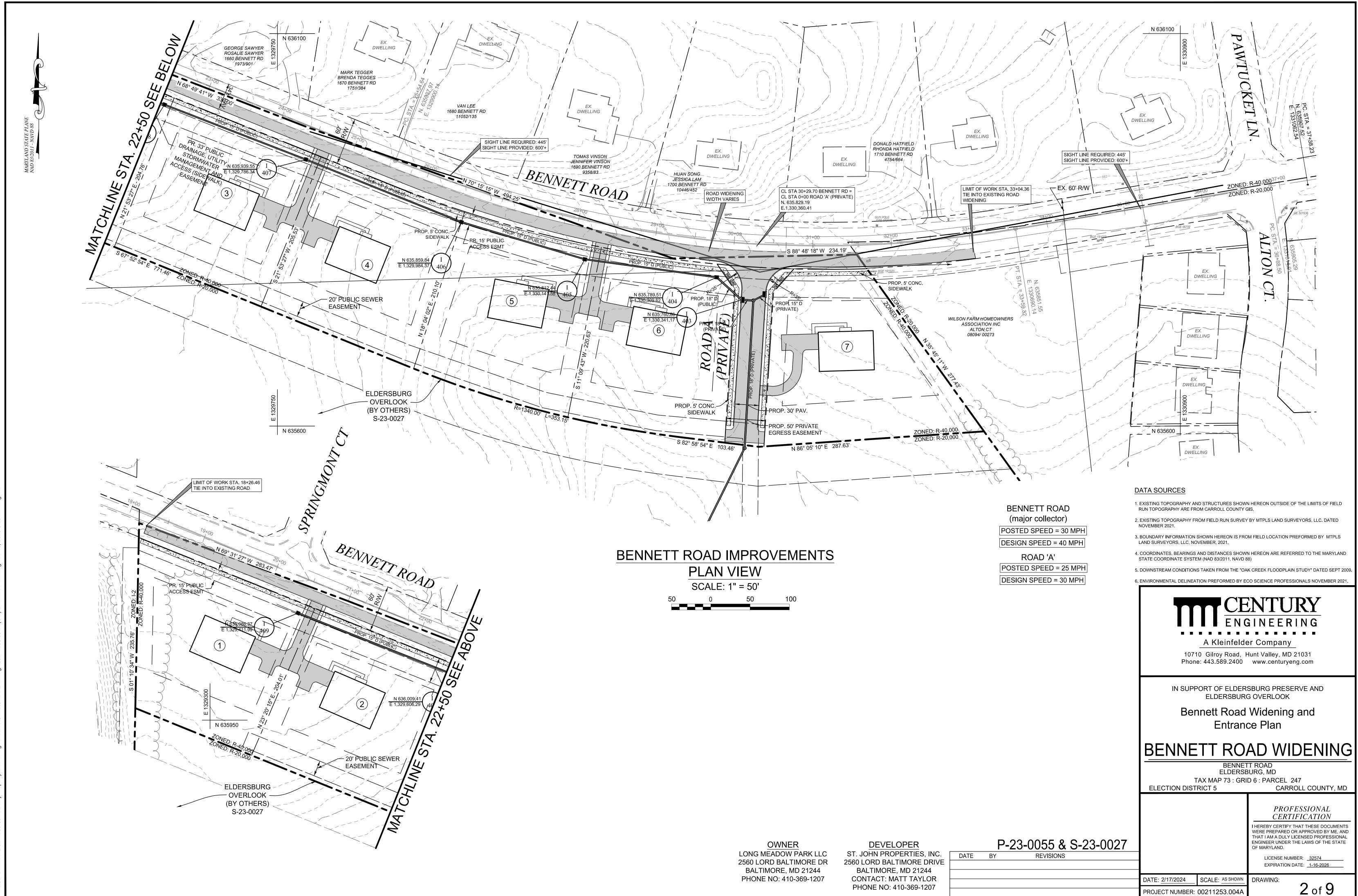
1. COVER SHEET

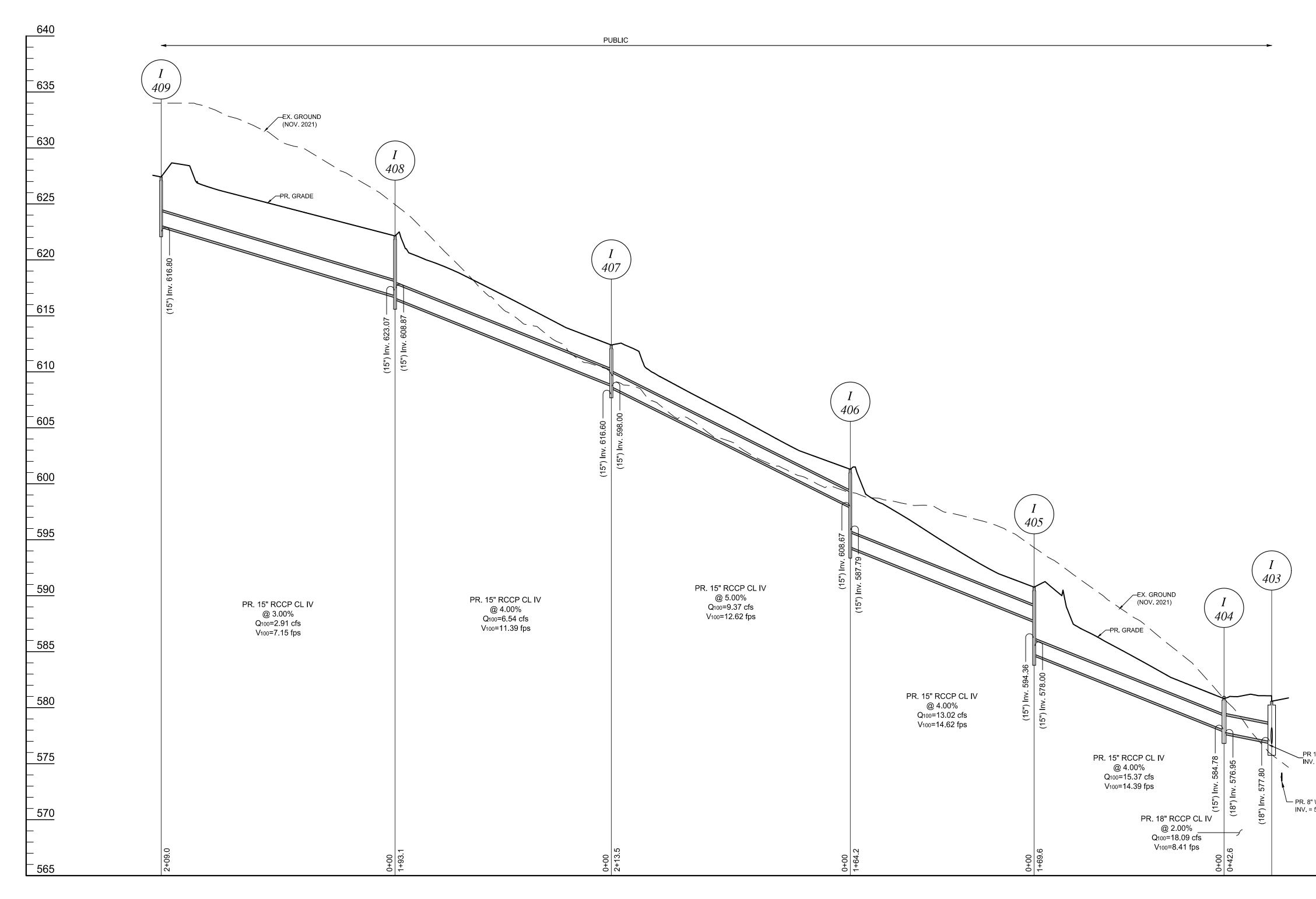
P-23-0055 & S-23-0027

REVISIONS

- 2. BENNETT ROAD WIDENING AND ENTRANCE PLAN 3. SIGHT DISTANCE AND ROAD PROFILE
- 4. BENNETT ROAD SECTIONS
- 5. BENNETT ROAD SECTIONS

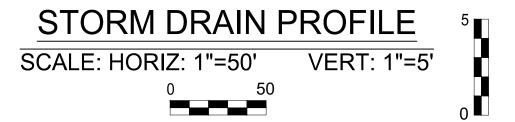
DATE BY





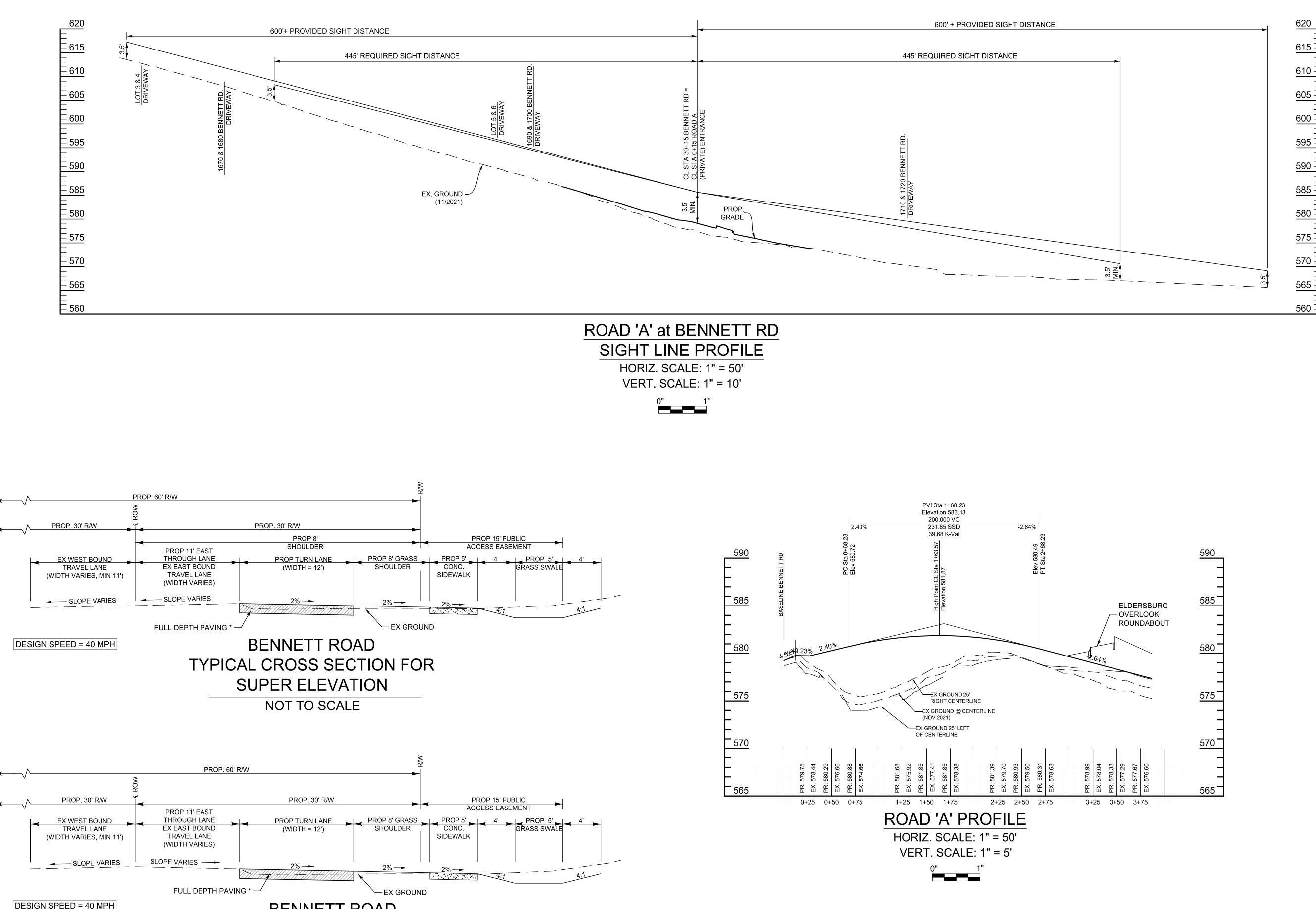
	PUBLIC INLET SCHEDULE						
NO.	NO. TYPE INV. IN INV. OUT TOP ELEV. DETA						
I-404	Standard Single Opening Type K Inlet - Non-traffic Areas	(15") 578.00 (W)	(18") 577.80 (SE)	581.01	MD 378.03		
I-405	Standard Single Opening Type K Inlet - Non-traffic Areas	(15") 587.79 (W)	(15") 584.78 (E)	590.77	MD 378.03		
I-406	Standard Single Opening Type K Inlet - Non-traffic Areas	(15") 598.00 (W)	(15") 594.36 (E)	601.30	MD 378.03		
I-407	Standard Single Opening Type K Inlet - Non-traffic Areas	(15") 608.87 (W)	(15") 608.67 (E)	612.39	MD 378.03		
I-408	Standard Single Opening Type K Inlet - Non-traffic Areas	(15") 616.80 (W)	(15") 616.60 (E)	622.14	MD 378.03		
I-409	Standard Single Opening Type K Inlet - Non-traffic Areas		(15") 623.07 (E)	627.41	MD 378.03		

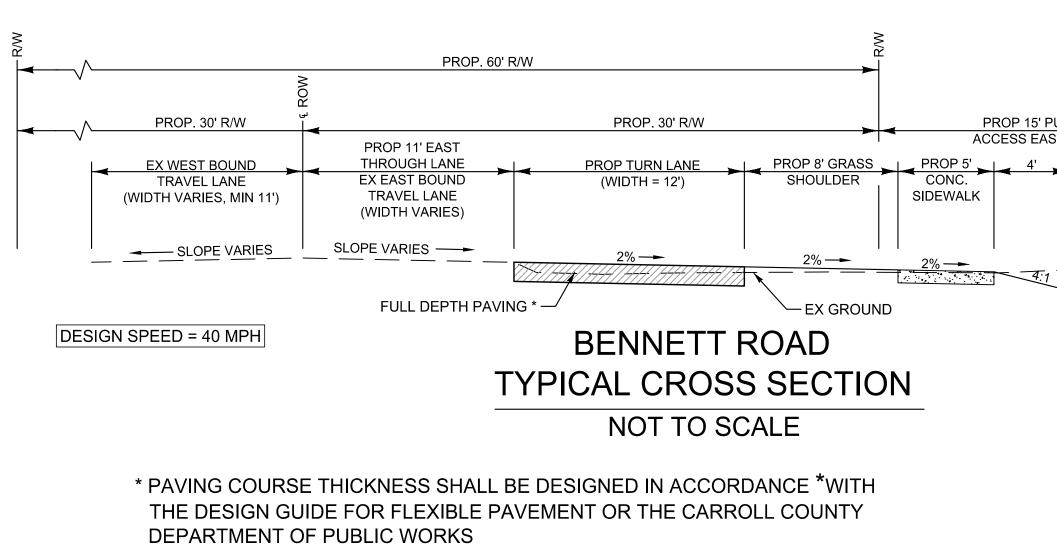




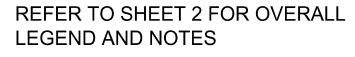
DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

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1	DATA SOURCES . EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD
<u>580</u> 2	RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS. 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
	B. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
757626 575	L COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
"W	5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
^{= 573.43} <u>570</u>	
	<u>CENTURY</u>
565 -	
	<u>A Kleinfelder Company</u> 10710 Gilroy Road, Hunt Valley, MD 21031
	Phone: 443.589.2400 www.centuryeng.com
	PRELIMINARY MAJOR SUBDIVISION PLAN
	FOR R-40,000 RESIDENTIAL
	Public Storm Drain Profiles and Structure Schedule
	ELDERSBURG PRESERVE
	ELDERSBURG, MD TAX MAP 73 : GRID 6 : PARCEL 247
	ELECTION DISTRICT 5 CARROLL COUNTY, MD
	PROFESSIONAL CERTIFICATION
	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENCINEER UNDER THE LAWS OF THE STATE
P-23-0055 DATE BY REVISIONS	ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: <u>32574</u>
	EXPIRATION DATE: <u>1-16-2026</u>
	DATE: <u>10/17/2024</u> SCALE: <u>AS SHOWN</u> DRAWING: PROJECT NUMBER: 20211253.005A BRAVING :

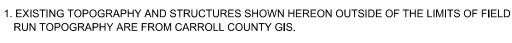




DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207



DATA SOURCES



- 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
- 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 200
- 6. ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021



IN SUPPORT OF ELDERSBURG PRESERVE AND ELDERSBURG OVERLOOK

Sight Distance Plan and Profile Entrance Road

BENNETT ROAD WIDENING

BENNETT ROAD ELDERSBURG, MD TAX MAP 73 : GRID 6 : PARCEL 247 **ELECTION DISTRICT 5** CARROLL COUNTY, MD

SCALE: AS SHOWN DRAWING:

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: <u>32574</u>

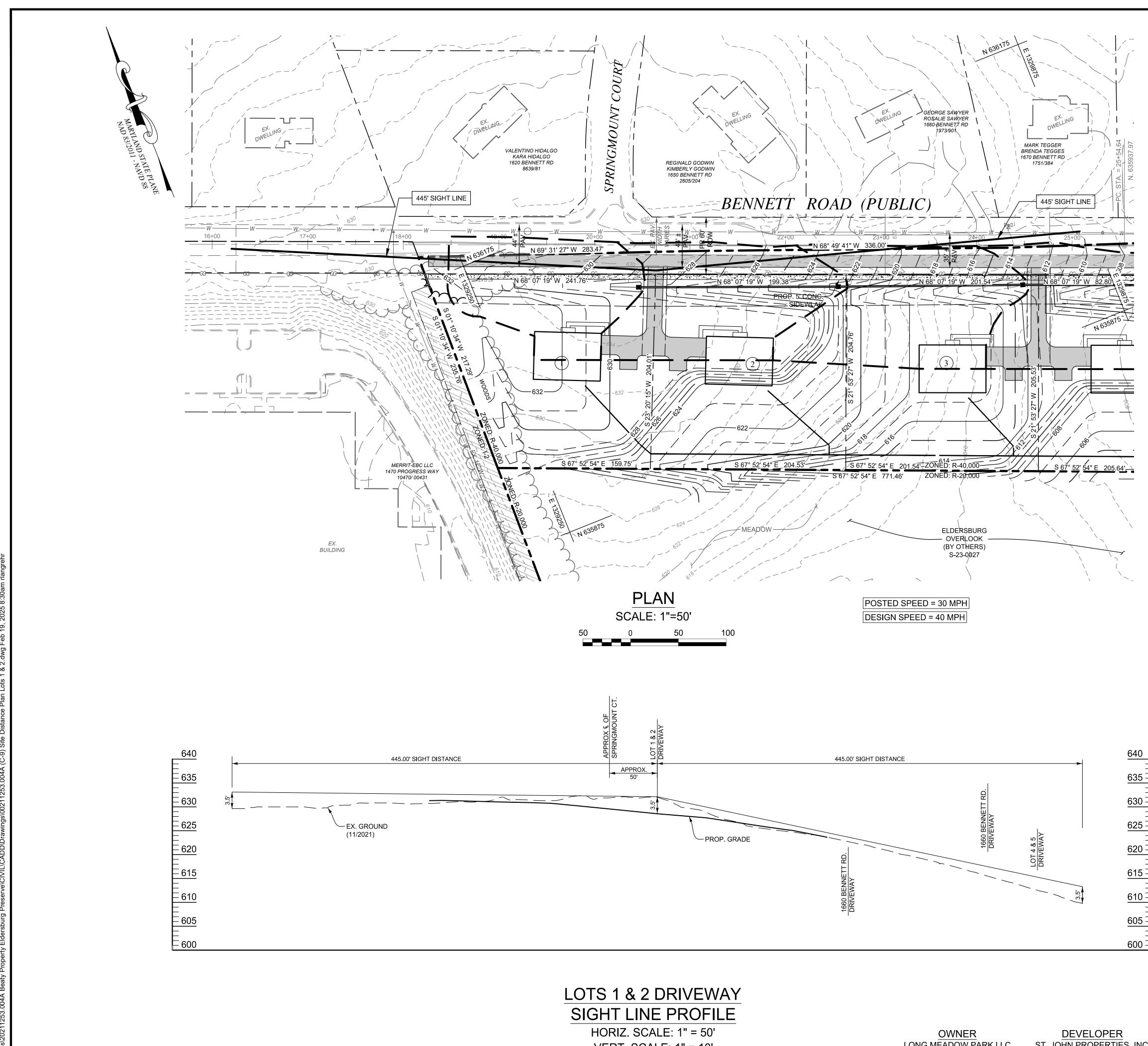
EXPIRATION DATE: <u>1-16-2026</u>

4 of 9

	F	-23-0055 &	S-23-002
TE	ΒY	REVISIONS	

DATE: 2/17/2024

PROJECT NUMBER: 00211253.004



VERT. SCALE: 1" = 10'

0" 1"

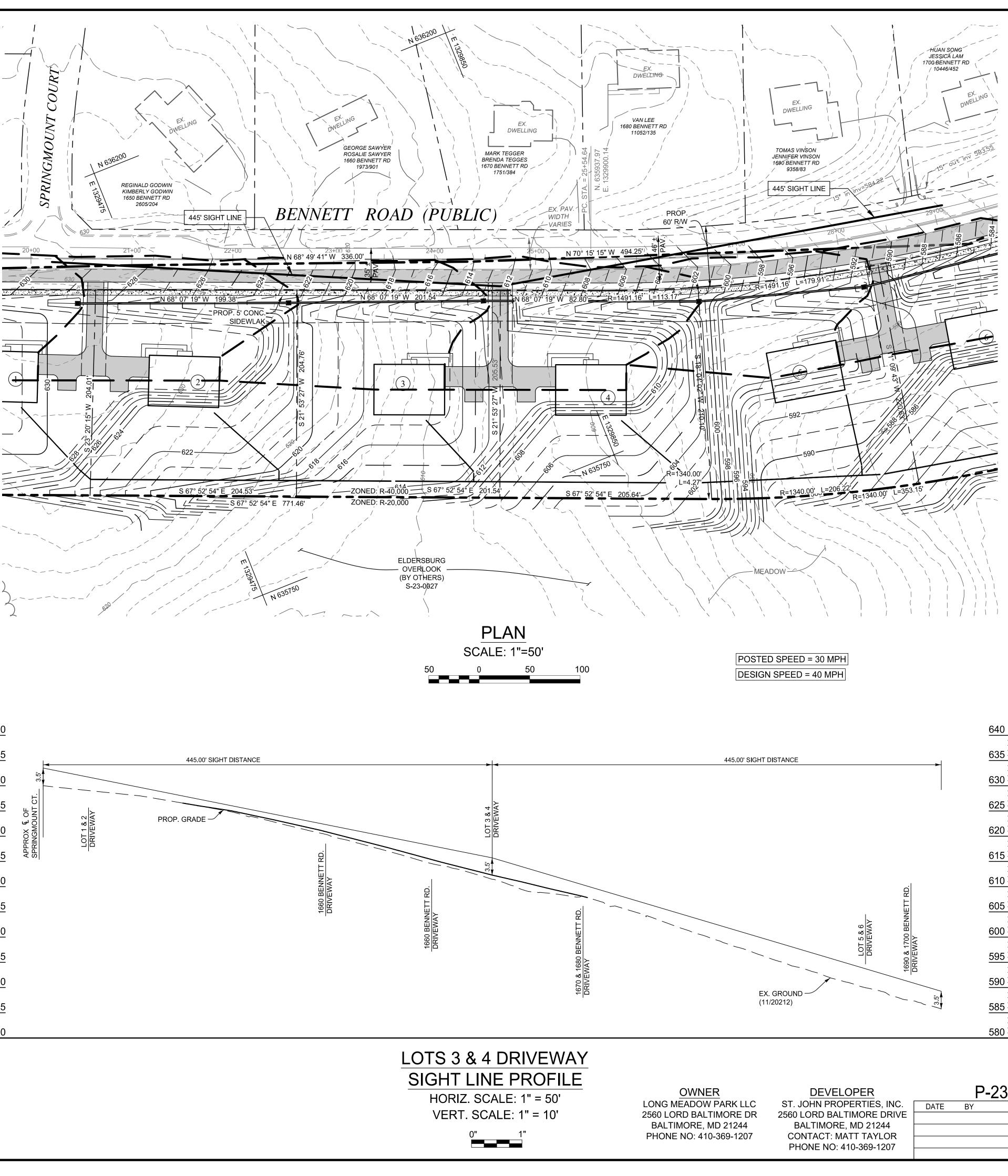
LONG MEADOW PARK LLC 2560 LORD BALTIMORE DR BALTIMORE, MD 21244 PHONE NO: 410-369-1207

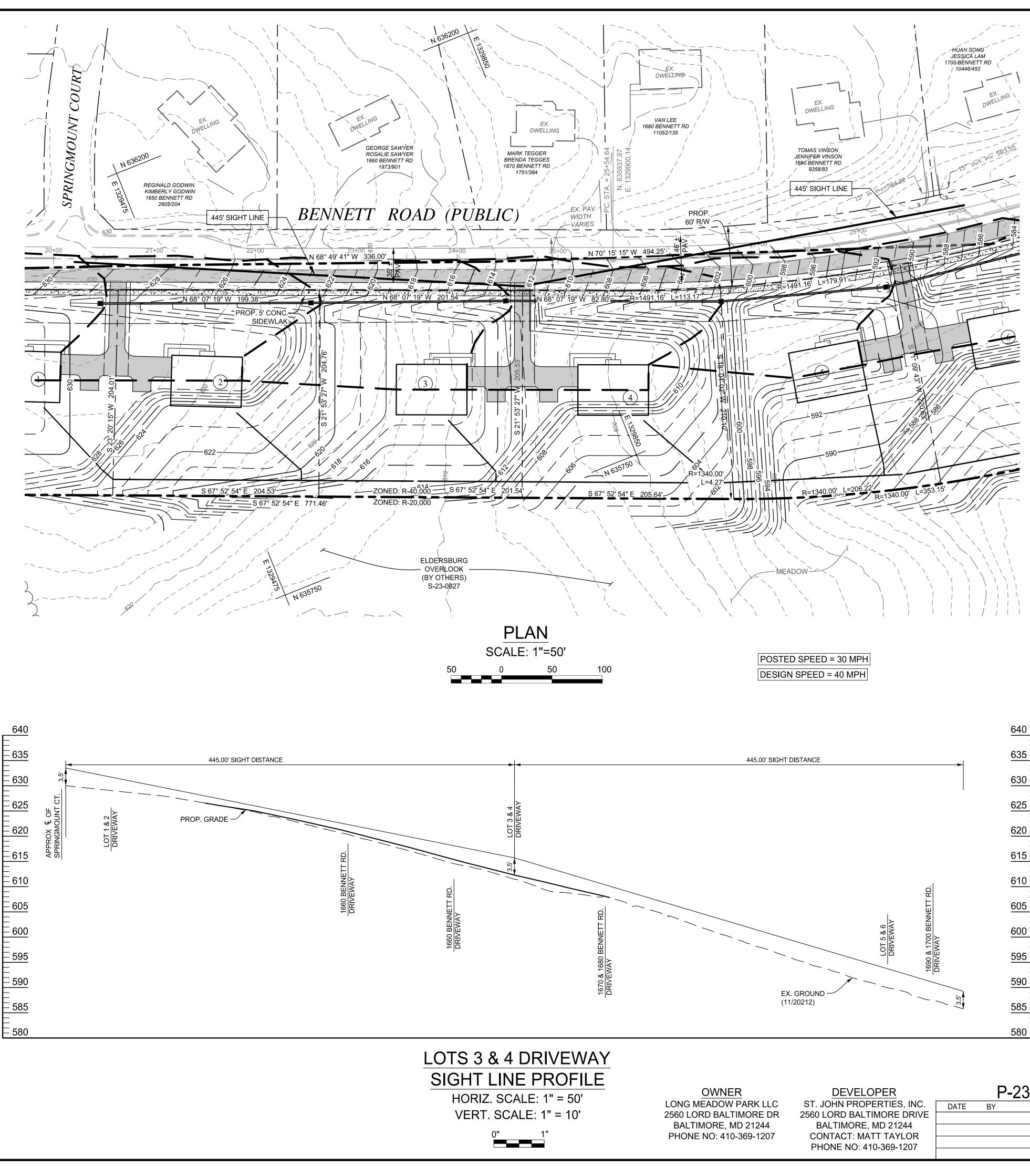
ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

	BENNETT ROAD ELDERSBURG, MD		
	BENNETT ROAD WIDENING		
	PLAN & PROFILE		
	ELDERSBURG OVERLOOK		
	IN SUPPORT OF ELDERSBURG PRESERVE AND		
10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com			
	A Kleinfelder Company		
	<u>CENTURY</u> ENGINEERING		
	6. ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.		
	STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88) 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.		
4	LAND SURVEYORS, LLC, NOVEMBER, 2021. 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND		
	 EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS 		
	RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.		

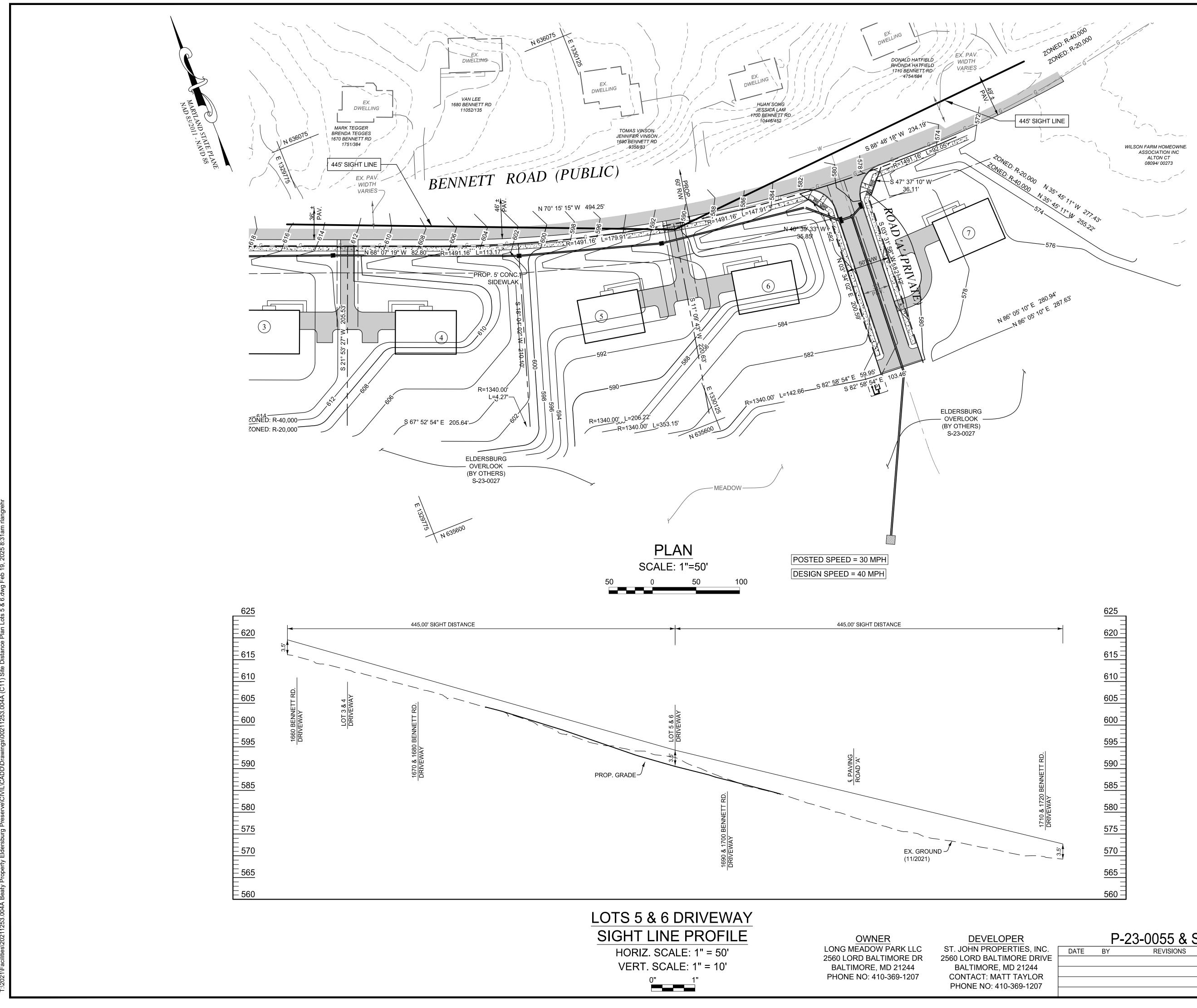
DATA SOURCES



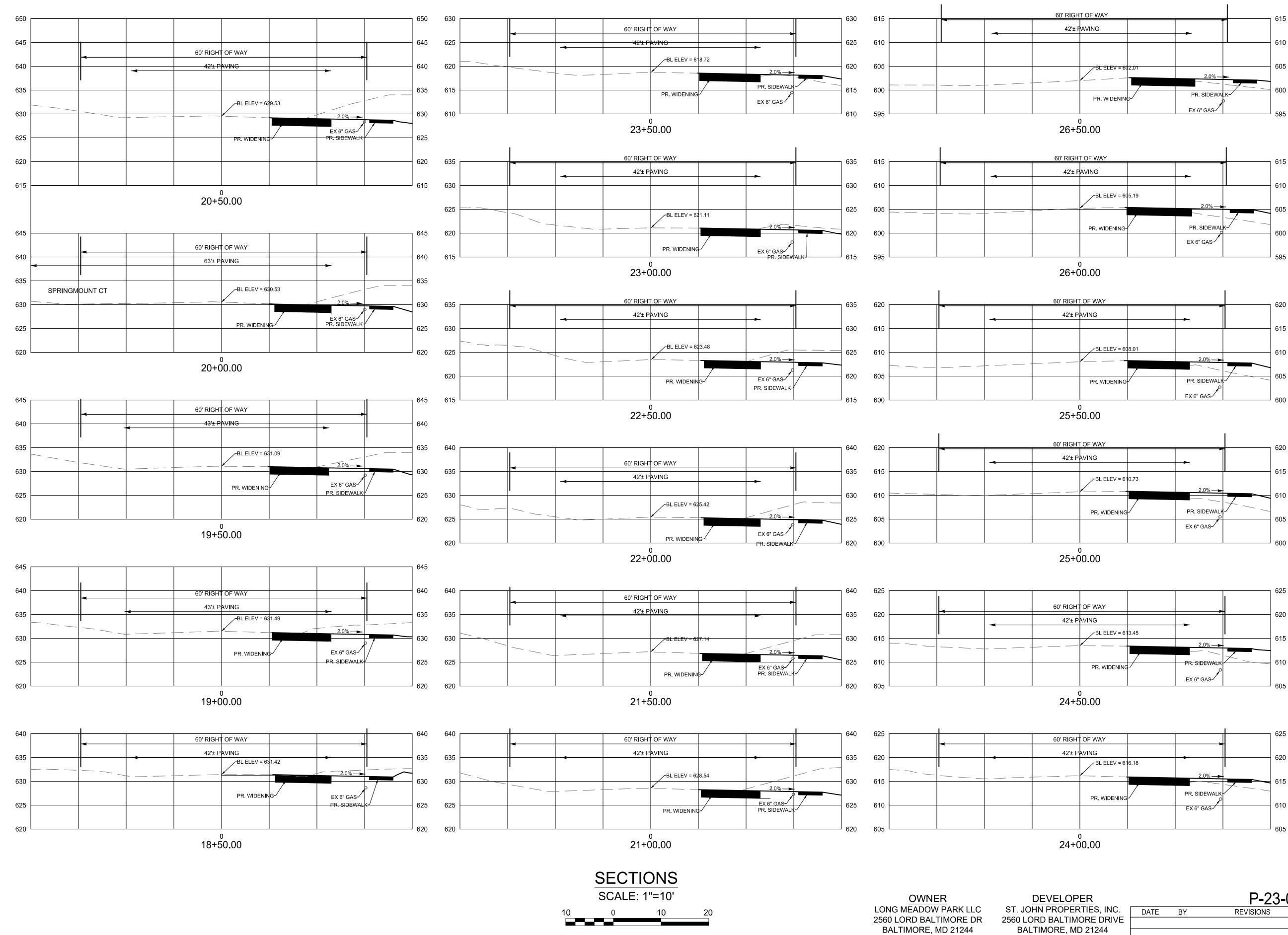




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<u>_</u>	DATA SOURCES
	EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
	. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
	. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
⁴ 640	. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
	. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
<u>635 </u>	. ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.
<u>630</u> <u>625</u> <u>620</u> <u>615</u>	<u>A Kleinfelder Company</u> 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com
<u>610 =</u>	IN SUPPORT OF ELDERSBURG PRESERVE AND
605 —	ELDERSBURG OVERLOOK
	LOTS 3 & 4 SIGHT LINE
$\frac{600}{1}$	PLAN & PROFILE
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590 -	BENNETT ROAD WIDENING
	BENNETT ROAD
	ELDERSBURG, MD TAX MAP 73 : GRID 6 : PARCEL 247
	ELECTION DISTRICT 5 CARROLL COUNTY, MD
580 – P-23-0055 & S-23-0027 DATE BY REVISIONS	PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: 32574 EXPIRATION DATE:
	DATE: 2/17/2024 SCALE: AS SHOWN DRAWING: PROJECT NUMBER: 00211253.004A of 9

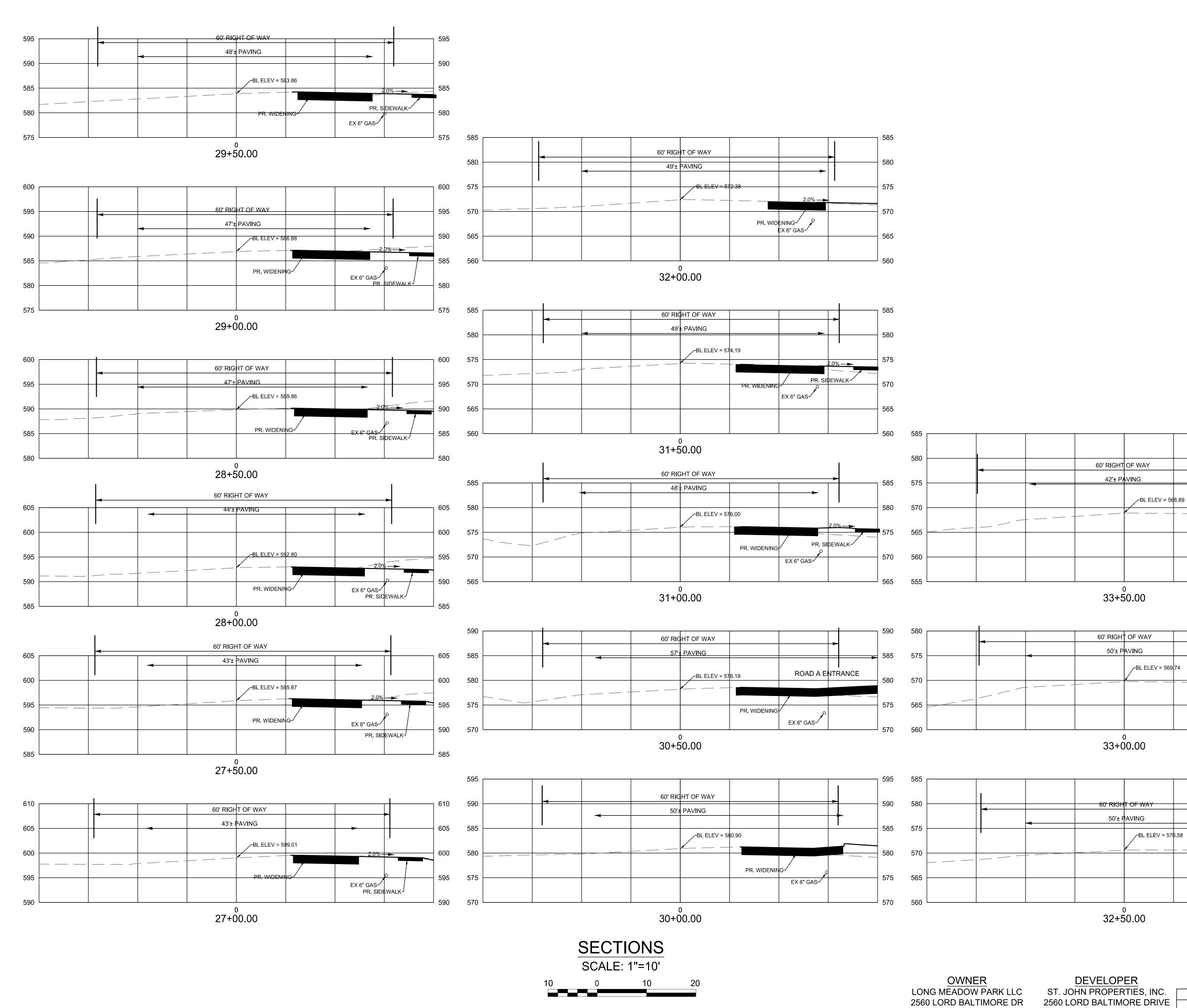


		REFER TO SHEE	T 2 FOR OVERALL TES
		ATA SOURCES	
		EXISTING TOPOGRAPHY AND STRUCTURES SHOWN RUN TOPOGRAPHY ARE FROM CARROLL COUNTY G	
	2	EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY NOVEMBER 2021.	' BY MTPLS LAND SURVEYORS, LLC. DATED
		BOUNDARY INFORMATION SHOWN HEREON IS FRO LAND SURVEYORS, LLC, NOVEMBER, 2021.	DM FIELD LOCATION PREFORMED BY MTPLS
I		COORDINATES, BEARINGS AND DISTANCES SHOWI STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 8	
	<u>620 </u>	DOWNSTREAM CONDITIONS TAKEN FROM THE "OA	K CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
I	6. 615 —	ENVIRONMENTAL DELINEATION PREFORMED BY EC	CO SCIENCE PROFESSIONALS NOVEMBER 2021.
	610 605 600 595	A Kleinfelde 10710 Gilroy Road, H Phone: 443.589.2400	
	<u>590</u>	IN SUPPORT OF ELDER ELDERSBURG	SBURG PRESERVE AND G OVERLOOK
	<u>590</u> <u>585</u>		GOVERLOOK
		ELDERSBURG	GOVERLOOK
	<u>585 –</u>	ELDERSBURG LOTS 5 & 6 PLAN ANE	G OVERLOOK SIGHT LINE
3.5	<u>585</u> <u>580</u>	ELDERSBURG LOTS 5 & 6 PLAN ANE BENNETT RO	G OVERLOOK SIGHT LINE D PROFILE AD WIDENING T ROAD
3.5	585 580 575 575 570	ELDERSBURG LOTS 5 & 6 PLAN AND BENNET RO BENNET ELDERSE TAX MAP 73 : GRI	G OVERLOOK SIGHT LINE D PROFILE AD WIDENING T ROAD BURG, MD D 6 : PARCEL 247
3.5	<u>585</u> <u>580</u> <u>575</u>	ELDERSBURG LOTS 5 & 6 PLAN AND BENNET RO	G OVERLOOK SIGHT LINE D PROFILE AD WIDENING T ROAD BURG, MD
3.5	585 580 575 575 570	ELDERSBURG LOTS 5 & 6 PLAN AND BENNET RO BENNET ELDERSE TAX MAP 73 : GRI	G OVERLOOK SIGHT LINE PROFILE AD WIDENING T ROAD BURG, MD D 6 : PARCEL 247 CARROLL COUNTY, MD
	585 580 575 570 565 560 P-23-0055 & S-23-0027	ELDERSBURG LOTS 5 & 6 PLAN AND BENNET RO BENNET ELDERSE TAX MAP 73 : GRI	G OVERLOOK SIGHT LINE D PROFILE AD WIDENING BURG, MD D 6 : PARCEL 247 CARROLL COUNTY, MD
	585 580 575 570 565 560	ELDERSBURG LOTS 5 & 6 PLAN AND BENNET RO BENNET ELDERSE TAX MAP 73 : GRI	G OVERLOOK SIGHT LINE PROFILE AD VIDENING AD VIDENING T ROAD SURG, MD D 6 : PARCEL 247 CARROLL COUNTY, MD <u>PROFESSIONAL</u> CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE
	585 580 575 570 565 560 P-23-0055 & S-23-0027	ELDERSBURG LOTS 5 & 6 PLAN AND BENNET RO BENNET ELDERSE TAX MAP 73 : GRI	G OVERLOOK SIGHT LINE PROFILE AD VIDENING AD VIDENING AD VIDENING D 6 : PARCEL 247 CARROLL COUNTY, MD



PHONE NO: 410-369-1207

60' RIGHT OF WAY		620		
42'± PAVING		020		
		615	DATA SOURCES	
BL ELEV = 61	0.73 2.0%—►	610	1. EXISTING TOPOGRAPHY AND STRUCTURES SHOW RUN TOPOGRAPHY ARE FROM CARROLL COUNTY	
PR. WIDENING	PR. SIDEWALK	<i>+</i>	2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVE NOVEMBER 2021.	Y BY MTPLS LAND SURVEYORS, LLC. DATED
	EX 6" GAS	605	3. BOUNDARY INFORMATION SHOWN HEREON IS FRO LAND SURVEYORS, LLC, NOVEMBER, 2021.	OM FIELD LOCATION PREFORMED BY MTPLS
		600	4. COORDINATES, BEARINGS AND DISTANCES SHOW STATE COORDINATE SYSTEM (NAD 83/2011, NAVD	
25+00.00			5. DOWNSTREAM CONDITIONS TAKEN FROM THE "O/	AK CREEK FLOODPLAIN STUDY" DATED SEPT 2009
			6. ENVIRONMENTAL DELINEATION PREFORMED BY E	CO SCIENCE PROFESSIONALS NOVEMBER 2021.
60' RIGHT OF WAY		625		
42'± PAVING	<u> </u>	620		INTURI
	3.45			ENTURY GINEERING
	2.0%—►	615		
	PR. SIDEWALK	610		er Company
PR. WIDENING				Hunt Valley, MD 21031 www.centuryeng.com
0	EX 6" GAS-	605		,,
24+50.00				R SUBDIVISION PLAN RESIDENTIAL
60' RIGHT OF WAY		625		AD SECTIONS
42'± PAVING		620	DEININETTIKU	AD SECTIONS
BL ELEV = 61	•			
	PR. SIDEWALK	615	ELDERSBUR	G PRESERVE
PR. WIDENING	EX 6" GAS-	610		TT ROAD BURG, MD
				ID 6 : PARCEL 247
0		605	ELECTION DISTRICT 5	CARROLL COUNTY, MD
24+00.00				DDOFFCCIONAL
				PROFESSIONAL CERTIFICATION
				I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
DEVELOPER		P-23-0055		THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
ST. JOHN PROPERTIES, INC.	DATE BY	REVISIONS		LICENSE NUMBER: <u>32574</u>
2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244				EXPIRATION DATE: <u>1-16-2026</u>
CONTACT: MATT TAYLOR			DATE: <u>10/17/2024</u> SCALE: <u>AS SHOWN</u>	
PHONE NO: 410-369-1207			PROJECT NUMBER: 00211253.004A	8 of X



			570		
		EX 6" GAS	565	DATA SOURCES	
			560	1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GI	
			555	2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY E NOVEMBER 2021.	BY MTPLS LAND SURVEYORS, LLC. DATED
0 33+50				3. BOUNDARY INFORMATION SHOWN HEREON IS FROM LAND SURVEYORS, LLC, NOVEMBER, 2021.	I FIELD LOCATION PREFORMED BY MTPLS
				4. COORDINATES, BEARINGS AND DISTANCES SHOWN STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88	
60' RIGH	OF WAY		580	5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK	CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
50'± PA	VING		575	6. ENVIRONMENTAL DELINEATION PREFORMED BY ECO	O SCIENCE PROFESSIONALS NOVEMBER 2021.
	-BL ELEV = 569.74				
		2.0% →	<u> </u>		NTURY
		PR. WIDENING EX 6" GAS	565		INEERING
			560	A Kleinfelde	r Company
0 33+00				10710 Gilroy Road, H	
	0.00			Phone: 443.589.2400	www.centuryeng.com
			585	PRELIMINARY MAJOR FOR R-40,000 F	
60' RIGHT			580		
50'± PA	AVING		575	BENNETT ROA	AD SECTIONS
	-BL ELEV = 570.58				
	<u> </u>	2.0%	570	ELDERSBURG	G PRESERVE
		PR. WIDENING-	565		
				ELDERSBU	JRG, MD
			560	TAX MAP 73 : GRID ELECTION DISTRICT 5	0 6 : PARCEL 247 CARROLL COUNTY, MD
32+50	0.00				
					PROFESSIONAL CERTIFICATION
					HEREBY CERTIFY THAT THESE DOCUMENTS
DEVELOPE	ER		P-23-0055		WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
ST. JOHN PROPERT	TIES, INC.	DATE BY	REVISIONS	I	LICENSE NUMBER: <u>32574</u>
2560 LORD BALTIMO BALTIMORE, MD					EXPIRATION DATE: <u>1-16-2026</u>
CONTACT: MATT 1	TAYLOR –			DATE: <u>10/17/2024</u> SCALE: <u>AS SHOWN</u>	DRAWING:
PHONE NO: 410-3	69-1207			PROJECT NUMBER: 00211253.004A	9 of 🞗
	1			-	

580

575

BALTIMORE, MD 21244

PHONE NO: 410-369-1207

- 1. EXISTING ZONING: R-40,000 RESIDENTIAL 2. TOTAL AREA OF SITE: 7.68 Ac.
- 3. THE PROPERTIES SHOWN HEREON IS OWNED BY:
- LONG MEADOW PARK LLC
- 2560 LORD BALTIMORE DR
- BALTIMORE, MD 21244
- TAX MAP: 73; PARCEL: 247 DEED REFERENCE: C. 11341 F. 51
- DATE: SEPTEMBER 12, 2024

GRANTOR: LONG MEADOW FARM 21784, LLC

- 4. PROPERTY BOUNDARY AND EXISTING TOPOGRAPHY SHOWN PER FIELD SURVEY BY SAMS COMPANIES
- (FORMERLY MTPLS, INC.) DATED 11/2021.
- 5. LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION ARE EXISTING HYDRANTS LOCATED ON BENNETT ROAD, PROGRESS WAY, LONDONTOWN BLVD AND GEORGETOWN BLVD. ADDITIONAL HYDRANTS ARE PROPOSED ON SITE AS PART OF THIS SITE DEVELOPMENT PLAN TO ADDRESS FIRE PROTECTION REQUIREMENTS.
- 6. THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND WERE BASED ON ARCHIVAL DRAWINGS PROVIDED BY CARROLL COUNTY AND/OR THE STATE OF MARYLAND. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES TO THEIR OWN SATISFACTION AND SHALL NOTIFY THE ENGINEER (CENTURY/KLEINFELDER) OF RECORD OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY RESULTING FROM ANY INACCURACIES THEREON.
- 7. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES, AND NOT COMMENCE WORK UNTIL ALL UTILITIES HAVE BEEN CLEARLY MARKED.
- 8. THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED
- DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN. 9. ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SUBDIVISION PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
- 10. THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF TIME LIMIT IS ISSUED BY THE DIRECTOR OF LAND AND RESOURCE MANAGEMENT.
- 11. NOTE: ALL PROPOSED SPOT ELEVATIONS ARE LOCATED AT BOTTOM OF CURB AND ALL DIMENSIONS ARE TO FACE OF CURB UNLESS LABELED OTHERWISE.
- 12. THE COORDINATES SHOWN HEREON ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM - NAD 83 (2011) AND ARE BASED UPON THE FOLLOWING CONTROL STATIONS:

ATE PLAI NAVD 88

MARYL VAD 83

DESIGNATION	NORTH (SFT)	EAST (SFT)	ELEV.
"BEVARD"	633722.46	1326946.06	615.11
"BEVARD AZ"	633573.26	1328331.51	583.43

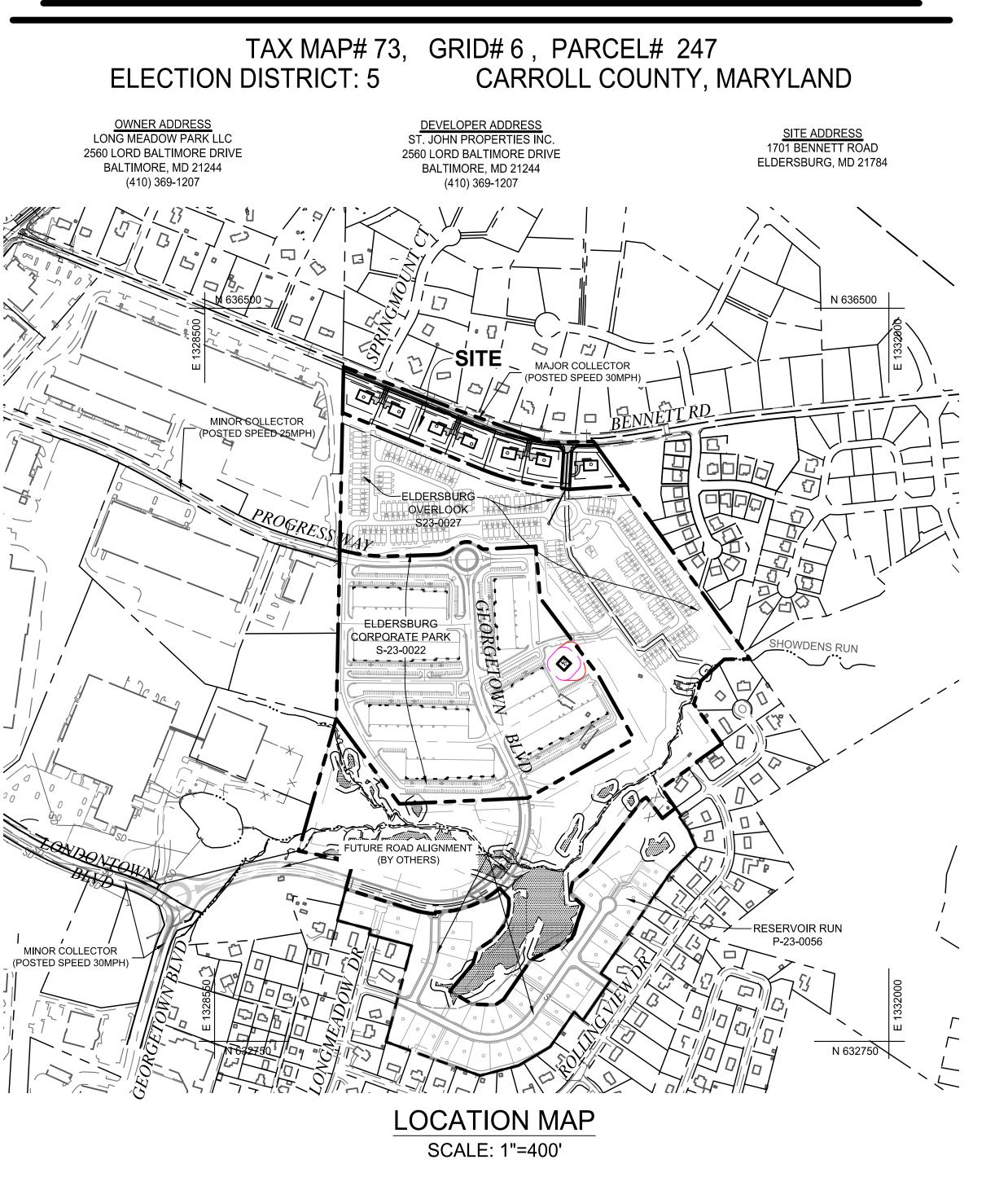
- 13. NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR
- EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY. 14. UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, OWNER, AND ENGINEER. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES ONCE APPROVAL HAS BEEN
- GRANTED. 15. ENTRANCE CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THAT OFFICE AT 410-386-2157 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING WORK IN OR ALONG ANY PUBLIC ROAD.
- 16. CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF UTILITIES AT 410-386-2164 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON PUBLIC WATER OR SEWER WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS.
- 17. THE SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND MANAGEMENT AREA.
- 18. A GRADING PERMIT WILL BE REQUIRED FOR ALL DISTURBANCE GREATER THEN 5,000 SQ FT.
- 19. A NOI PERMIT THROUGH MDE WILL BE REQUIRED FOR ANY DISTURBANCE 1 ACRE OR GREATER.
- 20. ANY PUBLIC WATER AND SEWER IMPROVEMENTS SHALL COMPLY WITH CARROLL COUNTY REGULATIONS AND
- SPECIFICATIONS.
- 21. THE SITE IS LOCATED IN THE 12TH FIRE AND EMERGENCY SERVICES DISTRICT.

PROJECT OVERLAP NOTES

- 1. BENNETT ROAD IMPROVEMENTS OVERLAP ON ELDERSBURG PRESERVE (P-23-0055) AND ELDERSBURG OVERLOOK (S-23-0027), WHICHEVER PROJECT COMES FIRST SHALL CONSTRUCT SAID BENNETT ROAD
- IMPROVEMENTS FULLY. A PUBLIC WORKS AGREEMENT WILL BE REQUIRED FOR THE CONSTRUCTION. 2. THE PROPOSED SANITARY SEWER SHOWN ON THESE PLANS OVERLAPS WITH SAME ON ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT PROCEEDS TO CONSTRUCTION FIRST SHALL CONSTRUCT THIS SANITARY SEWER. IN THE CASE OF ELDERSBURG PRESERVE FROM SMH-14 TO THE EXISTING SMH ON ELDERSBURG OVERLOOK. IN THE CASE OF ELDERSBURG OVERLOOK FROM SMH-9 TO THE EXISTING SMH.

CARROLL COUNTY DEPARTMENT OF PL	JBLIC WORK BUREAU OF UTILITIES
BY:	DATE:
CARROLL COUNTY DEPARTMENT OF F	PUBLIC WORK BUREAU OF ENGINEERING
BY:	DATE:

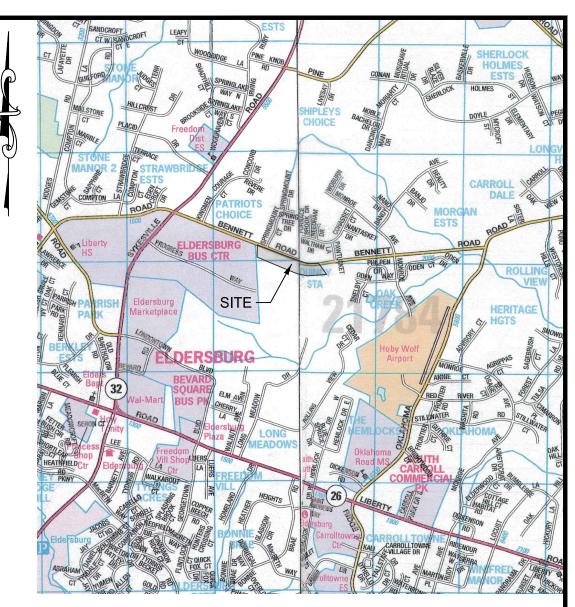
WATER AND SEWER PLANS FOR ELDERSBURG PRESERVE



OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 PHONE NO: 410-369-1207

DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

DATE BY



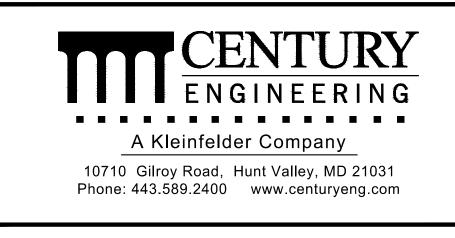
VICINITY MAP SCALE: 1"=2000'

LIST OF DRAWINGS

- WATER AND SEWER COVER SHEET
- WATER AND SEWER PLAN SHEET SEWER PLAN SHEET
- WATER PROFILES
- SEWER PROFILES
- SEWER PROFILES
- WATER DETAILS
- SEWER DETAILS

DATA SOURCES

- 1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED
- NOVEMBER 2021. 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009
- 6. ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021

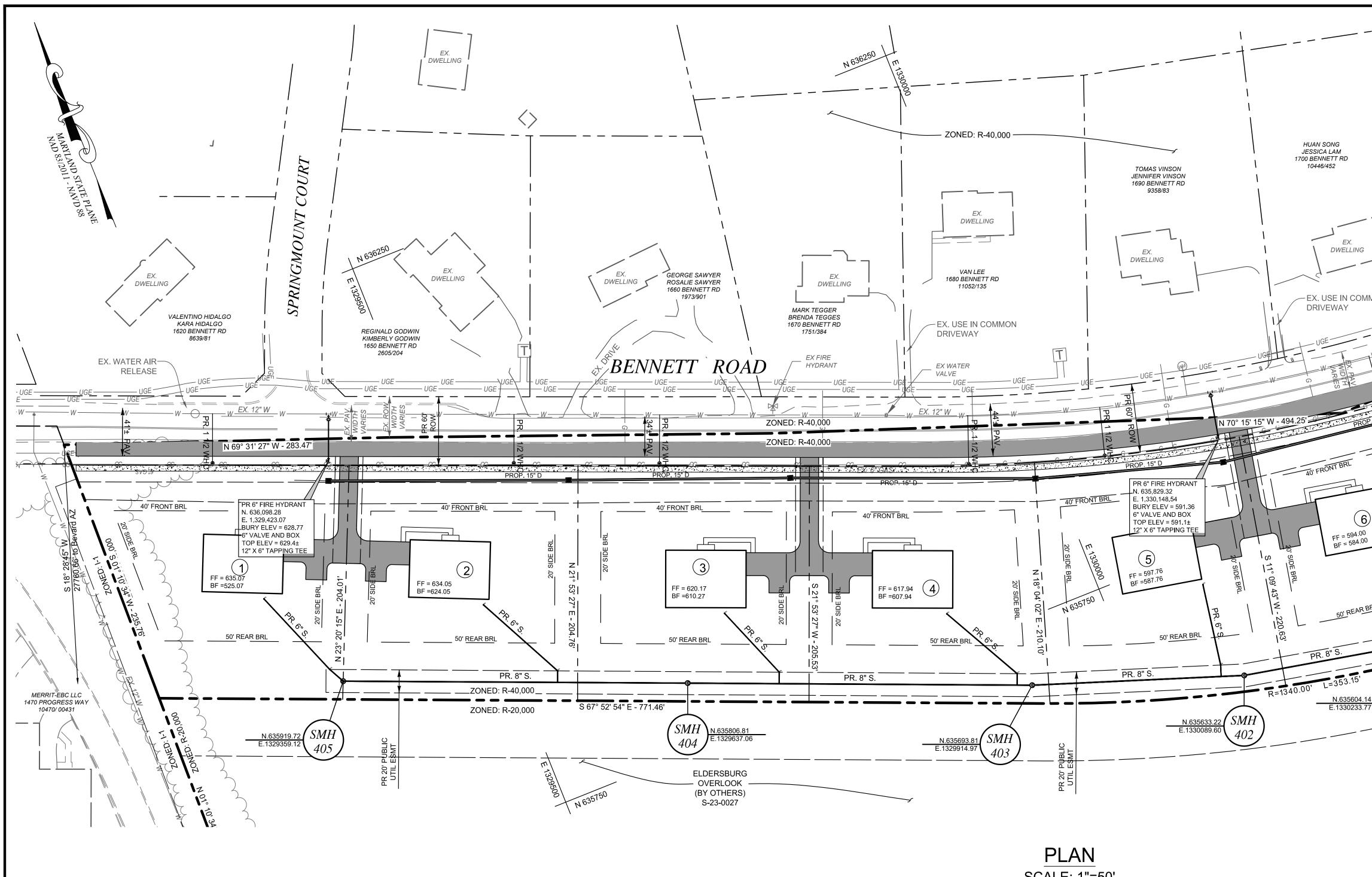


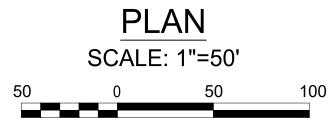
WATER AND SEWER PLANS

	Water and Sewer Cover Sheet		
	ELDEF	RSBUR	G PRESERVE
	BENNETT ROAD ELDERSBURG, MD TAX MAP 73 : GRID 6 : PARCEL 247 ELECTION DISTRICT 5 CARROLL COUNTY, MD		
Water Contract W-346 Sewer Contract S-346 P-23-0055 REVISIONS			PROFESSIONAL CERTIFICATIONI HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.LICENSE NUMBER:32574 LATION DATE:LICENSE NUMBER:1-16-2026
	DATE: 2/14/2025	SCALE: AS SHOWN	DRAWING:

PROJECT NUMBER: 20211253.005

1 of **8**

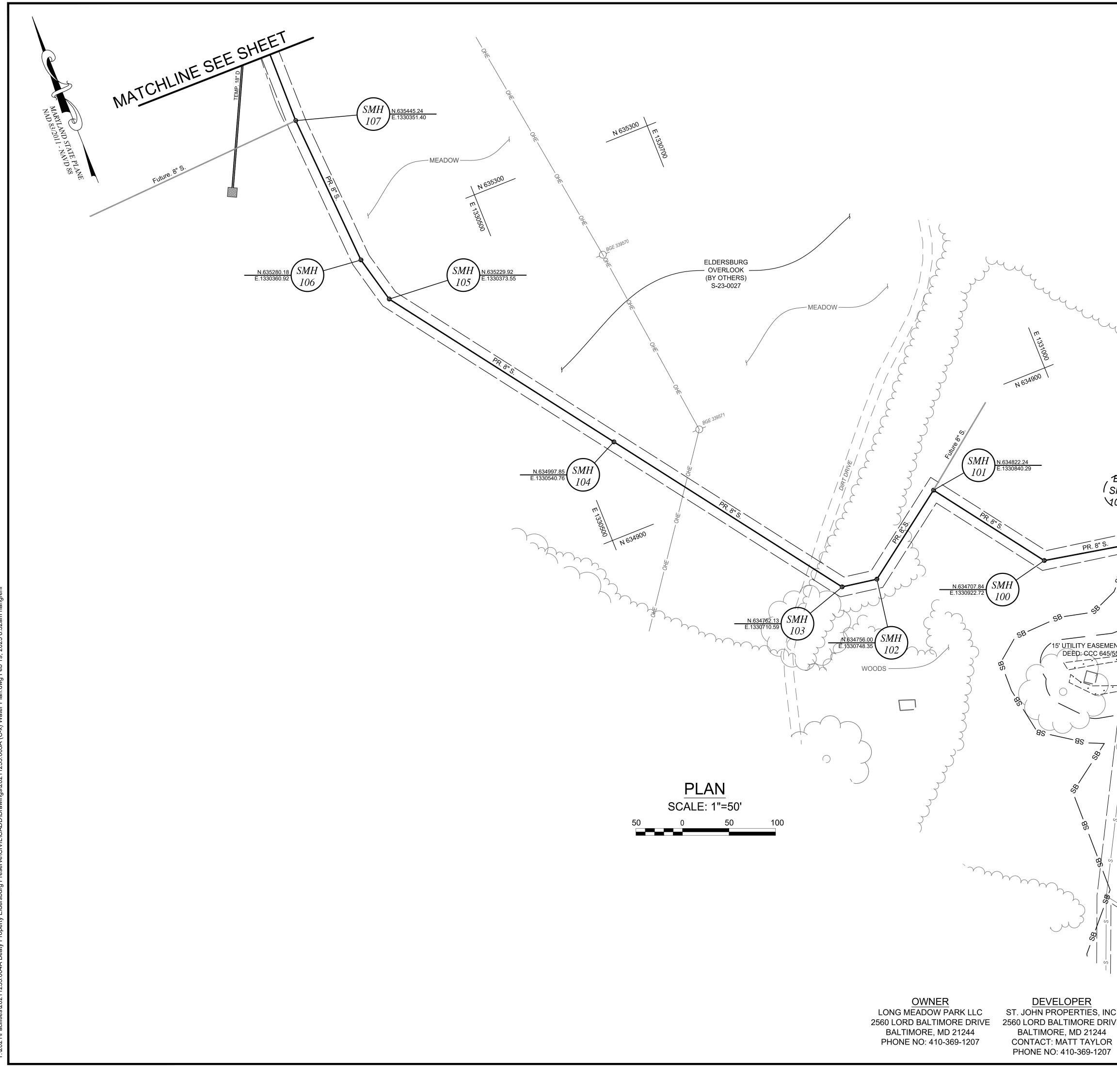




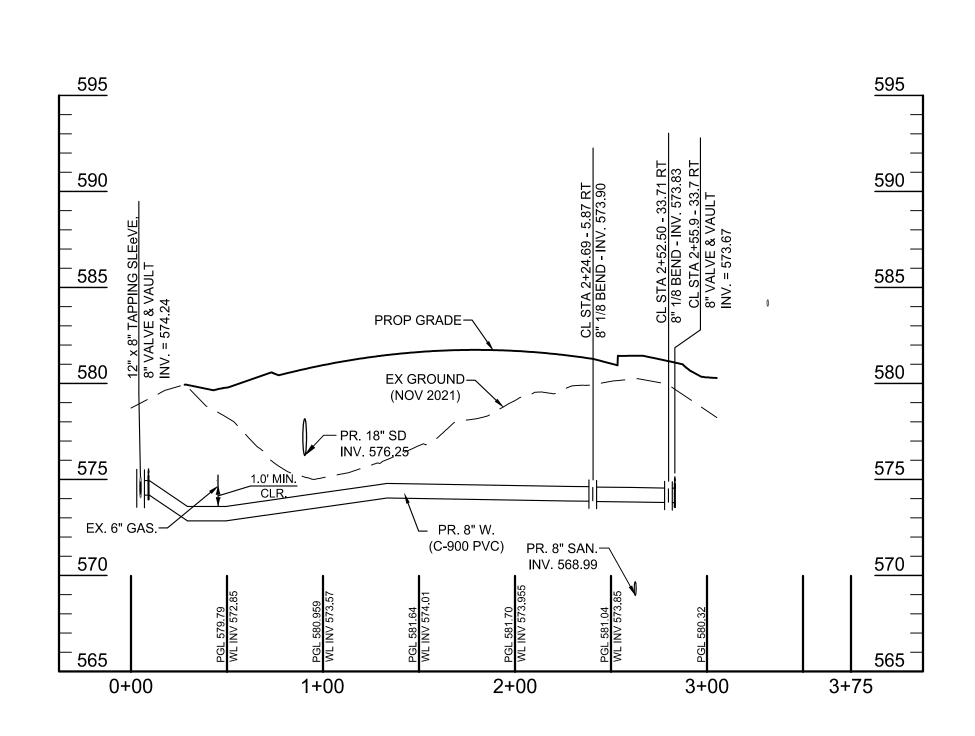
OWNER LONG MEADOW PARK LLC 2560 LORD BALTIMORE DRIVE 2560 LORD BALTIMORE DRIV BALTIMORE, MD 21244 PHONE NO: 410-369-1207

DEVELOPER ST. JOHN PROPERTIES, INC BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

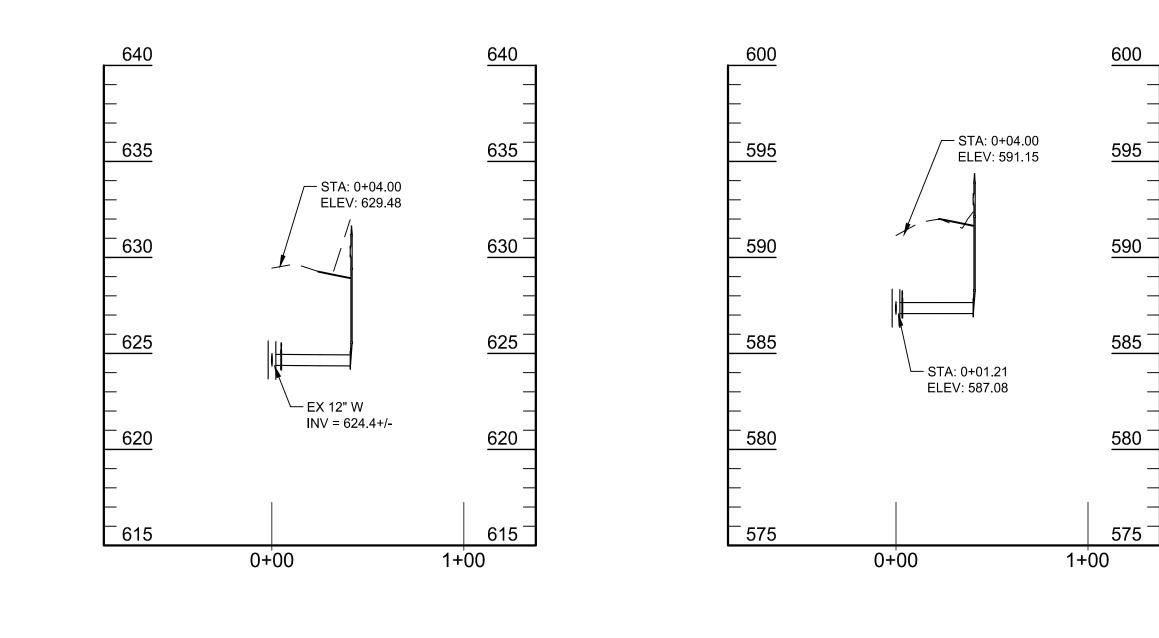
		m m m
DONALD HATFIELD RHONDA HATFIELD 1710 BENNETT RD 4754/664 EX. DWELLING EX. DWELLING EX. DWELLING EX. DWELLING UGE TEE, 8" VALVE, & BOX TOP ELEV = 579.2± N. 635,843.68 E. 1,330,355.17 MON DE FEX. 12" W.W. 3 DONALD HATFIELD 1710 BENNETT RD 4754/664 DONALD HATFIELD 1710 BENNETT RD 4754/664 DONALD HATFIELD 1710 BENNETT RD 4754/664 DOS DWELLING UGE DWELLING UGE DOS	EX. DWELLING EX. USE IN COMMON DRIVEWAY UGE UGE UGE UGE UGE UGE UGE UGE UGE UGE	W BOOME
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6.	ENVIRONMENTAL DELINEATION PREFORMED BY ECO CONTROL OF A CONTROL A	NTURY INEERING er Company
	WATER AND S Water and Sev ELDERSBURG BENNET ELDERSB TAX MAP 73 : GRIN ELECTION DISTRICT 5	ver Plan Sheet G PRESERVE
Water Contract W-346 Sewer Contract S-346 P-23-0055		PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: 32574 EXPIRATION DATE: 1-16-2026
	DATE: 2/14/2025 SCALE: AS SHOWN PROJECT NUMBER: 20211253.005A	DRAWING: 2 of 8



NT	RUN TOPOGRAPHY ARE FR EXISTING TOPOGRAPHY FF NOVEMBER 2021. BOUNDARY INFORMATION LAND SURVEYORS, LLC, NC COORDINATES, BEARINGS STATE COORDINATE SYSTE DOWNSTREAM CONDITION ENVIRONMENTAL DELINEA	OM CARROLL COUNTY OR ROM FIELD RUN SURVEY SHOWN HEREON IS FRC OVEMBER, 2021. AND DISTANCES SHOWI EM (NAD 83/2011, NAVD 8 IS TAKEN FROM THE "OA TION PREFORMED BY EC TION PREFORMED BY EC A Kleinfelde	BY MTPLS LAND SURVEYORS, LLC. DATED M FIELD LOCATION PREFORMED BY MTPLS N HEREON ARE REFERRED TO THE MARYLAND (8) K CREEK FLOODPLAIN STUDY" DATED SEPT 2009. CO SCIENCE PROFESSIONALS NOVEMBER 2021. CO SCIENCE PROFESSIONALS NOVEMBER 2021. CONTINUE PROFESSIONALS
			an Sheet G PRESERVE
		BENNET ELDERSE	T ROAD
ξ	ELECTION DIST	RICT 5	CARROLL COUNTY, MD
Water Contract W-346			PROFESSIONAL CERTIFICATION
Sewer Contract S-346 P-23-0055			WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
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	DATE: <u>2/14/2025</u> PROJECT NUMBER:	SCALE: <u>AS SHOWN</u> 20211253.005A	DRAWING: 3 of 8



WATER PROFILES SCALE: HORIZ: 1"=50' 0 50

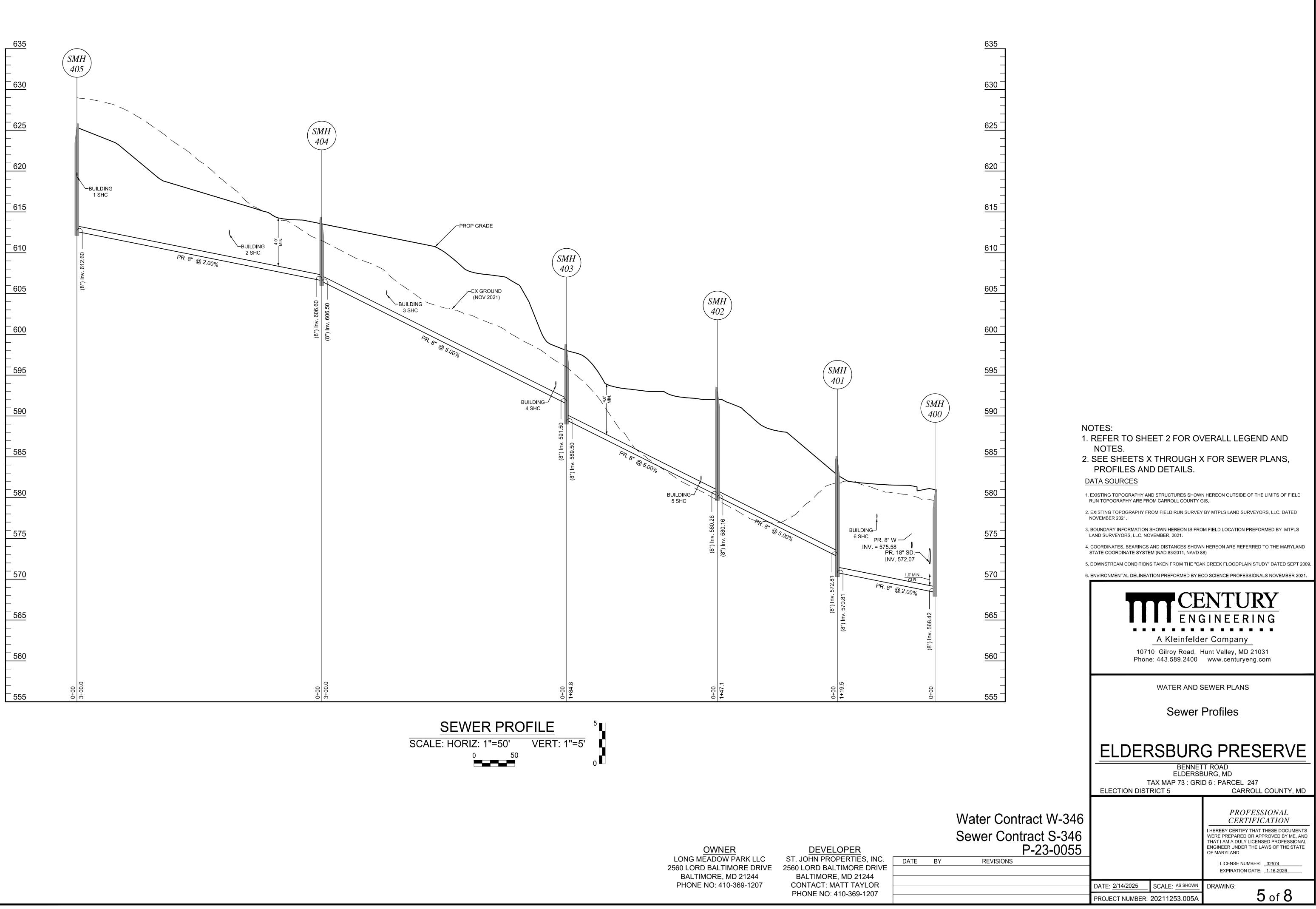


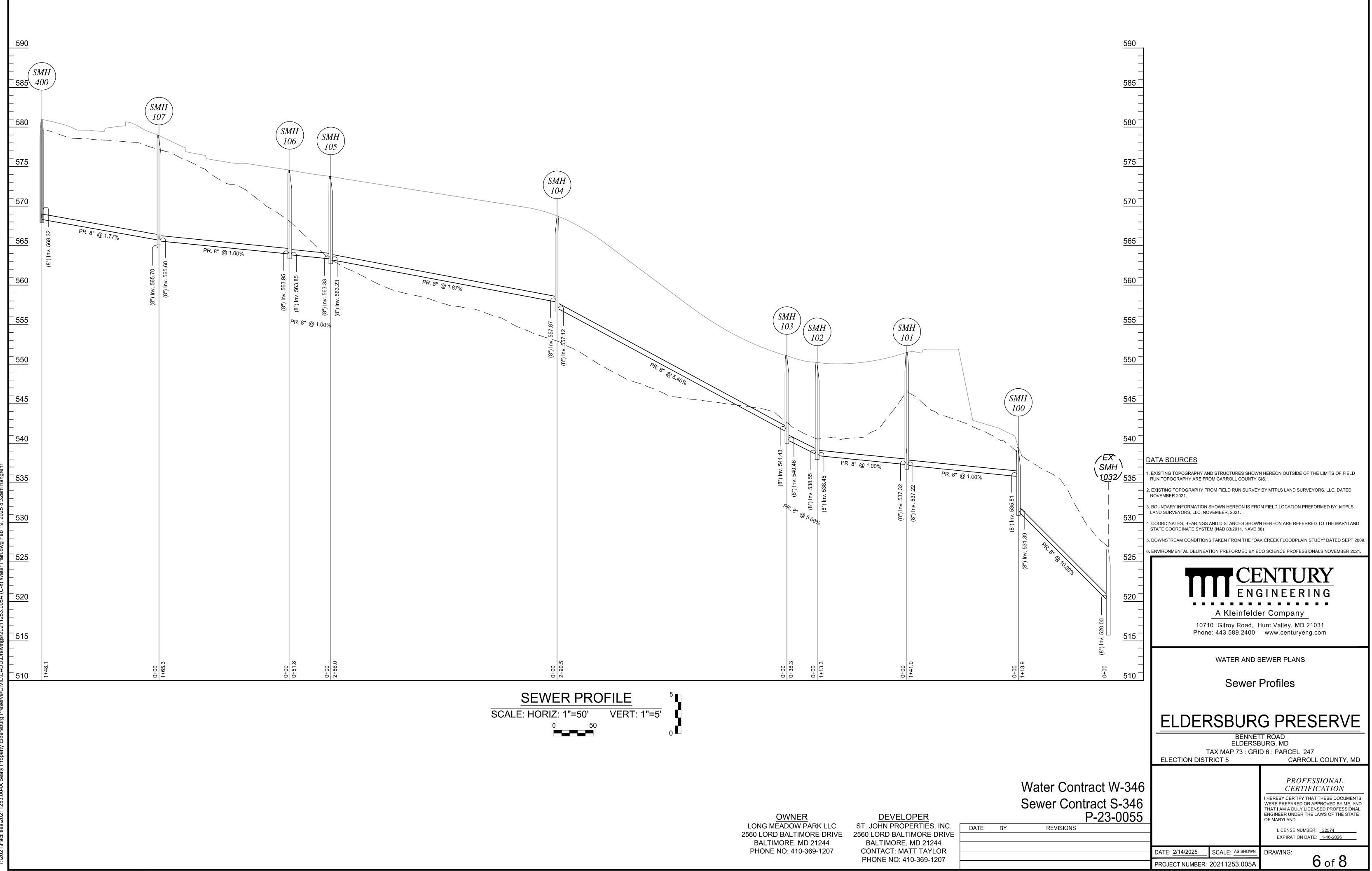


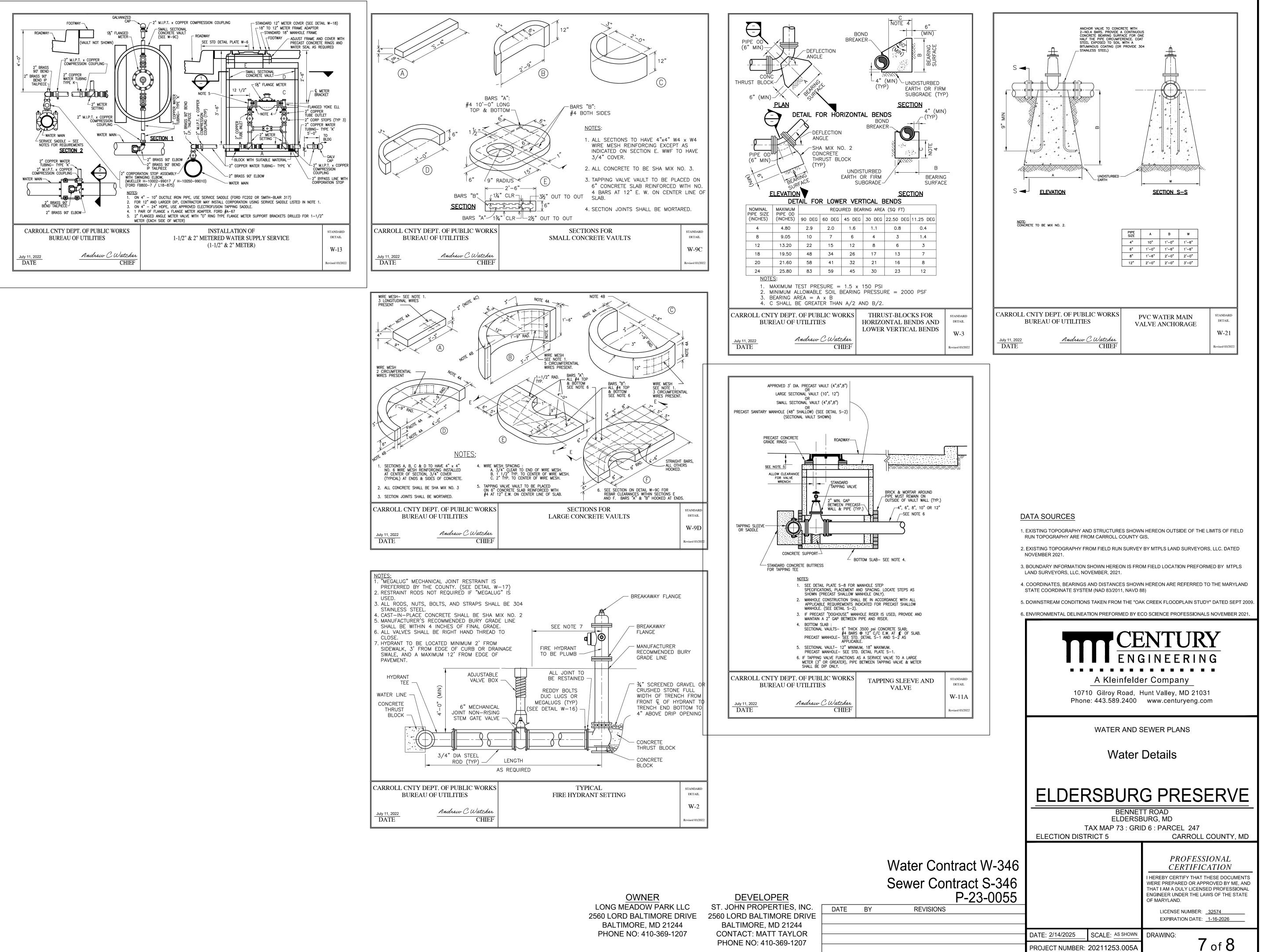
<u>OWNER</u> LONG MEADOW PARK LLC ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 PHONE NO: 410-369-1207

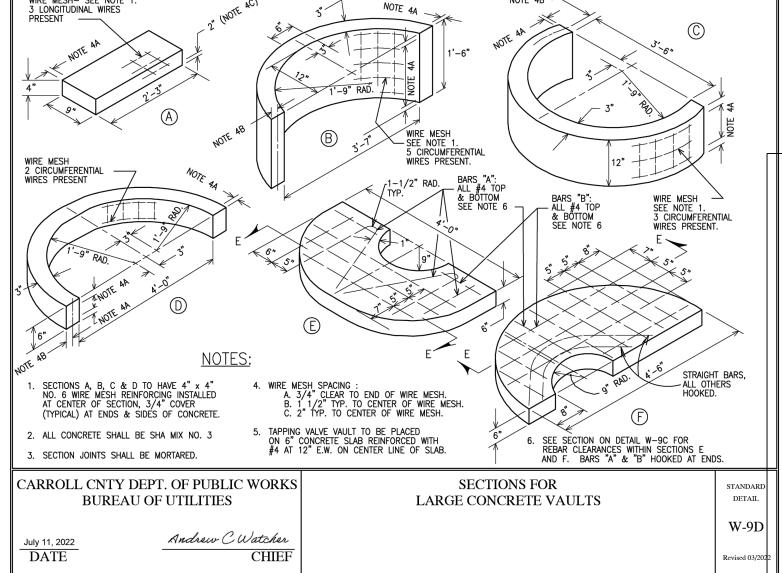
DEVELOPER BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207

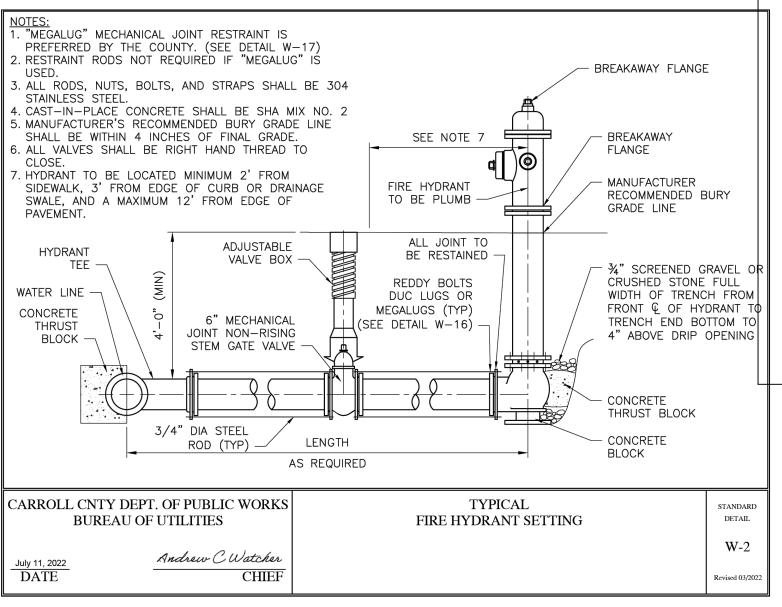
1. 2. <u>D</u> 1. F 2. N 3. L 4. 5.	DTES: REFER TO SHEET 2 FOR OVERALL LEGEND AND NOTES. SEE SHEETS X THROUGH X FOR SEWER PLANS, PROFILES AND DETAILS. ATA SOURCES EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS AND SURVEYORS, LLC, NOVEMBER, 2021. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88) DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009. ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.
	<u>A Kleinfelder Company</u> 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com
	ELDERSBURG PRESERVE BENNETT ROAD ELDERSBURG, MD TAX MAP 73 : GRID 6 : PARCEL 247 ELECTION DISTRICT 5 CARROLL COUNTY, MD
Water Contract W-346 Sewer Contract S-346 P-23-0055	PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: 32574 EXPIRATION DATE:
	DATE: 2/14/2025 SCALE: AS SHOWN DRAWING: PROJECT NUMBER: 20211253.005A DRAWING:











PHONE NO: 410-369-1207

