

T:\2021\Facilities\20211253.004A_Beaty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Cover Sheet.dwg Feb 19, 2025 8:22am ftingrehr

- GENERAL NOTES
- EXISTING ZONING: R-40,000 RESIDENTIAL
 - TOTAL AREA OF SITE: 7.68 AC.
 - THE PROPERTIES SHOWN HEREON IS OWNED BY:
LONG MEADOW PARK LLC
2560 LORD BALTIMORE RD
BALTIMORE, MD 21244
TAX MAP: 73; PARCEL: 247
DEED REFERENCE: C. F.
DATE: SEPTEMBER 12, 2024
 - PROPERTY BOUNDARY AND EXISTING TOPOGRAPHY SHOWN PER FIELD SURVEY BY SAMS COMPANIES (FORMERLY MTPLS, INC.) DATED 11/2021.
 - LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION ARE EXISTING HYDRANTS LOCATED ON BENNETT ROAD, PROGRESS WAY, LONDONTOWN BLVD AND GEORGETOWN BLVD. ADDITIONAL HYDRANTS ARE PROPOSED ON SITE AS PART OF THIS SITE DEVELOPMENT PLAN TO ADDRESS FIRE PROTECTION REQUIREMENTS.
 - THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND WERE BASED ON ARCHIVAL DRAWINGS PROVIDED BY CARROLL COUNTY AND/OR THE STATE OF MARYLAND. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES TO THEIR OWN SATISFACTION AND SHALL NOTIFY THE ENGINEER (CENTURY/KLEINFELDER) OF RECORD OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY RESULTING FROM ANY INACCURACIES THEREON.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES, AND NOT COMMENCE WORK UNTIL ALL UTILITIES HAVE BEEN CLEARLY MARKED.
 - THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
 - ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SUBDIVISION PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
 - THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF TIME LIMIT IS ISSUED BY THE DIRECTOR OF LAND AND RESOURCE MANAGEMENT.
 - NOTE: ALL PROPOSED SPOT ELEVATIONS ARE LOCATED AT BOTTOM OF CURB AND ALL DIMENSIONS ARE TO FACE OF CURB UNLESS LABELED OTHERWISE.
 - THE COORDINATES SHOWN HEREON ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM - NAD 83 (2011) AND ARE BASED UPON THE FOLLOWING CONTROL STATIONS:

DESIGNATION	NORTH (SFT)	EAST (SFT)	ELEV.
"BEVARD"	633722.46	1326946.06	615.11
"BEVARD AZ"	633573.26	1328331.51	583.43

- NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY.
- UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, OWNER, AND ENGINEER. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES ONCE APPROVAL HAS BEEN GRANTED.
- ENTRANCE CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THAT OFFICE AT 410-386-2157 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING WORK IN OR ALONG ANY PUBLIC ROAD.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF UTILITIES AT 410-386-2164 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON PUBLIC WATER OR SEWER WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS.
- THE SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND MANAGEMENT AREA.
- A GRADING PERMIT WILL BE REQUIRED FOR ALL DISTURBANCE GREATER THEN 5,000 SQ FT.
- A NOI PERMIT THROUGH MDE WILL BE REQUIRED FOR ANY DISTURBANCE 1 ACRE OR GREATER.
- FOREST CONSERVATION ACT REQUIREMENTS WILL BE MET BY _____
- ANY PUBLIC WATER AND SEWER IMPROVEMENTS SHALL COMPLY WITH CARROLL COUNTY REGULATIONS AND SPECIFICATIONS.
- THE SITE IS LOCATED IN THE 12TH FIRE AND EMERGENCY SERVICES DISTRICT.

PROJECT OVERLAP NOTES

- BENNETT ROAD IMPROVEMENTS OVERLAP ON ELDERSBURG PRESERVE (P-23-0055) AND ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT COMES FIRST SHALL CONSTRUCT SAID BENNETT ROAD IMPROVEMENTS FULLY. A PUBLIC WORKS AGREEMENT WILL BE REQUIRED FOR THE CONSTRUCTION.
- THE PROPOSED SANITARY SEWER SHOWN ON THESE PLANS OVERLAPS WITH SAME ON ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT PROCEEDS TO CONSTRUCTION FIRST SHALL CONSTRUCT THIS SANITARY SEWER. IN THE CASE OF ELDERSBURG PRESERVE FROM SMH-14 TO THE EXISTING SMH ON ELDERSBURG OVERLOOK. IN THE CASE OF ELDERSBURG OVERLOOK FROM SMH-9 TO THE EXISTING SMH.

ENGINEER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND HAS BEEN DESIGN TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY CARROLL SOIL CONSERVATION DISTRICT.

SIGNATURE: _____ DATE: _____

PRINTED NAME: _____

PE No: _____ EXPIRATION DATE: _____

DEVELOPER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES.

SIGNATURE: _____ DATE: _____

PRINTED NAME: _____

COMPANY NAME: _____ PHONE No: _____

OWNER

I WE CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS HAS BEEN REVIEWED BY ME/USE AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE.

SIGNATURE: _____ DATE: _____

PRINTED NAME: _____

ENGINEERING REVIEW

THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS DESIGN MANUAL - VOLUME 1 ROAD AND STORM DRAINS. THE DESIGN ENGINEER OR ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE ACCURACY OF ALL DATA AND MODIFICATIONS FOR CONSTRUCTION.

BY: _____ DATE: _____

CARROLL SOIL CONSERVATION DISTRICT

APPROVED _____ DATE: _____

CARROLL S.C.D.

CARROLL COUNTY DEPARTMENT OF PUBLIC WORK BUREAU OF UTILITIES

BY: _____ DATE: _____

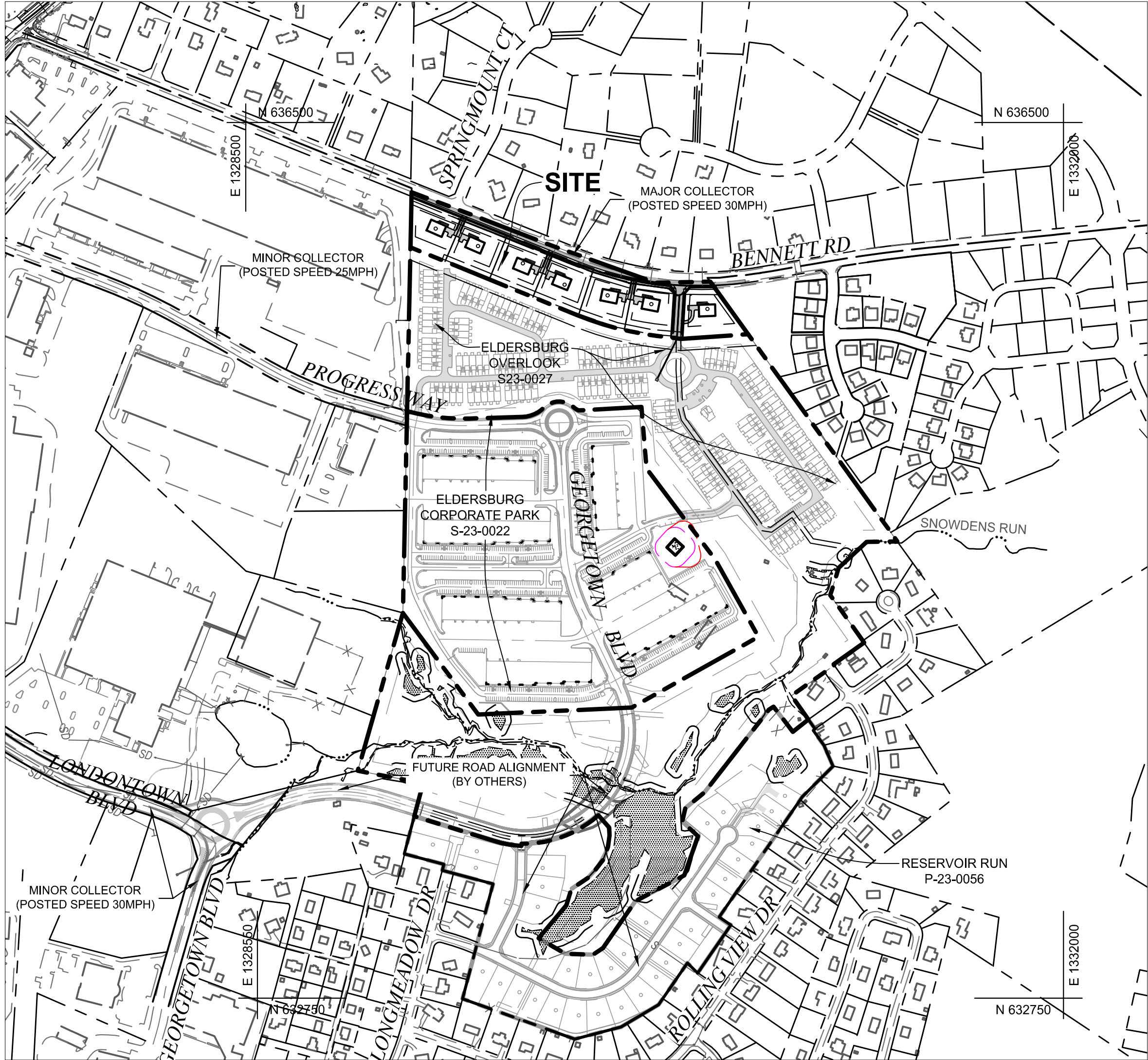
CARROLL COUNTY DEPARTMENT OF PUBLIC WORK BUREAU OF ENGINEERING

BY: _____ DATE: _____

CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY: _____ DATE: _____

CARROLL COUNTY HEALTH DEPARTMENT



LOCATION MAP

SCALE: 1"=400'

SOIL TYPES:

GaC - GAILA LOAM
GoB - GLENELG LOAM
GnB - GLENVILLE SILT LOAM
MaC - MANOR LOAM
MaF - MANOR LOAM

SOILS FROM CUSTOM SOIL REPORT FROM NRCS WEB SOIL MAPING SERVICE DOWNLOADED AUGUST, 2022.

SOIL CLASSIFICATION MAP No 48 & 49

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

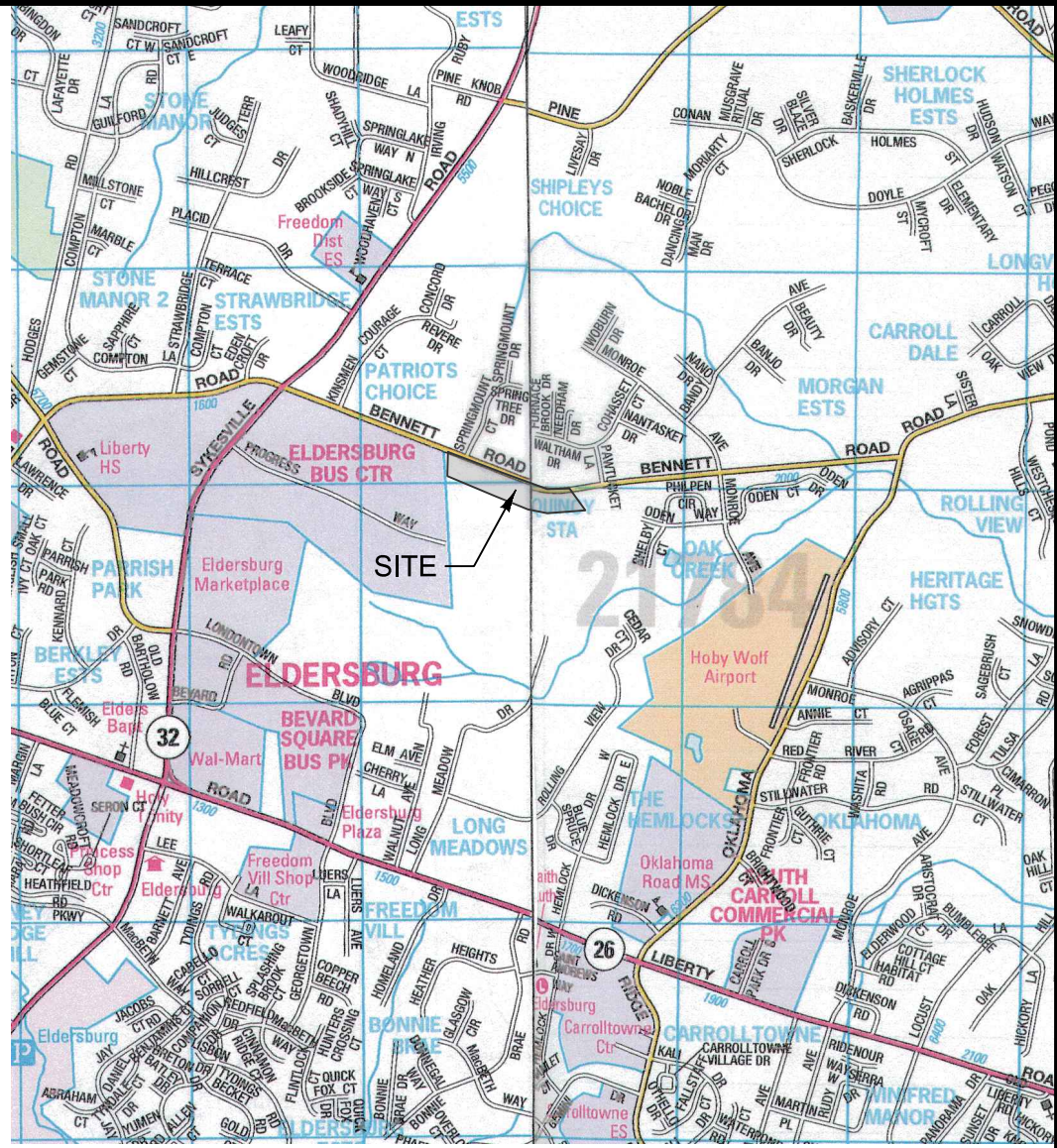
DATE	BY	REVISIONS

WATER RESOURCE MANAGEMENT NOTES

THIS PROPERTY DOES NOT FALL WITHIN A TIER II WATERSHED. THE PROPERTY IS WITHIN A CLASS III WATERSHED, SURFACE WATER PROTECTION WATERSHED AND SURFACE WATER MANAGEMENT AREA.

STORMWATER MANAGEMENT NOTE

STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE CARROLL COUNTY POLICY FOR STORMWATER MANAGEMENT, AS SPECIFIED IN CHAPTER 151.015 THE CARROLL COUNTY CODE. THE STORMWATER FROM THIS SITE DRAINS INTO SNOWDENS RUN, A USE III STREAM. ACCORDINGLY, THE 100-YEAR STORM WILL BE MANAGED THROUGH A COMBINATION OF GRASS SWALES, SUBMERGED GRAVEL WETLANDS, MICRO-BIORETENTION FACILITIES AND QUANTITY PONDS. STORMWATER MANAGEMENT IS BEING PROVIDED BY ELDERSBURG OVERLOOK STORMWATER MANAGEMENT PLAN AND REPORT UNDER THE SAME PERMIT.



VICINITY MAP

SCALE: 1"=2000'

SITE COMPLIANCE CHECKLIST

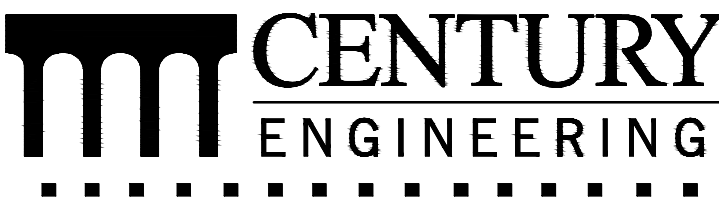
- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
 - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL WORK SHOWN ON PLAN.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION AS OUTLINED ABOVE.

- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH THE BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
- THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASE.

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

Title Sheet

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 10/17/2024 SCALE: AS SHOWN
PROJECT NUMBER: 20211253.005A

DRAWING: 1 of 9

T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Cover Sheet.dwg Feb 19, 2025 8:22am ffangrehr

GENERAL NOTES

1. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES:
- A. DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
 - B. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
 - C. BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
 - D. STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, 2008 EDITION, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
 - E. MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
 - F. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.
- ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.
2. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
3. CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
4. DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.
5. IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
6. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLICWORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.
7. FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.
8. CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.
9. DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.
10. INLET GRATES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.
11. PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
12. WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1.0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED ON PLANS.
13. ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED IN THE UTILITY PERMIT.
14. ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON THE TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE, AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.
15. OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROW MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.
16. THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.
17. PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.

ABBREVIATIONS

APPROX.	APPROXIMATELY
AVE	AVENUE
BGE	BALTIMORE GAS & ELECTRIC
C.O.	CLEANOUT
CAP	CONCRETE ARCH PIPE
cfs	CUBIC FEET PER SECOND
C.I.	CAST IRON
CL	CLEARANCE
CL	CLEAR
C.L.F.	CHAIN LINK FENCE
CL IV	CLASS IV
CMAQ	CORRUGATED METAL ARCH PIPE
CMP	CORRUGATED METAL PIPE
CONC.	CONCRETE
C&P	CHESAPEAKE & POTOMAC
☐	CENTER LINE
D.	STORM DRAIN
D.C.	DETECTOR CHECK
D.I.	DUCTILE IRON
D.I.P./DIP	DUCTILE IRON PIPE
DEPT	DEPARTMENT
DWG	DRAWING
(E)	EAST
E.B.	EAST BOUND
ELEC	ELECTRIC
ELEV	ELEVATION
ESMT	EASEMENT
EX.	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF/FFE	FINISHED FLOOR ELEVATION
F.H.	FIRE HYDRANT
fps	FEET PER SECOND
G.	GAS
G.W.	GUY WIRE
GALV.	GALVANIZED
HGL	HYDRAULIC GRADE LINE
H.B.	HAND BOX
HORIZ	HORIZONTAL
HWY	HIGHWAY
I.	INLET
INV.	INVERT
LN	LANE
LP	LOW PRESSURE
MH	MANHOLE
MIN.	MINIMUM
(N)	NORTH
N.B.	NORTH BOUND
N/A	NOT APPLICABLE
NAD	NORTH AMERICAN DATUM
NAVD	NORTH AMERICAN VERTICAL DATUM
OHE	OVERHEAD ELECTRIC
PKWY	PARKWAY
PR./PROP.	PROPOSED
PVC	POLYVINYL CHLORIDE
QTY.	QUANTITY
R/W	RIGHT-OF-WAY
RCCP	REINFORCED CIRCULAR CONCRETE PIPE
RET	RETAINING
REV	REVISION
RD	ROOFDRAIN
(S)	SOUTH
S./SAN.	SANITARY
S.B.	SOUTH BOUND
S.H.C	SANITARY HOUSE CONNECTION
S/W	SIDEWALK
SCH	SCHEDULE
SD.	STORM DRAIN
SQ.FT.	SQUARE FEET
ST.	STREET
STD.	STANDARD
TCB	TRAFFIC CONTROL BOX
TYP.	TYPICAL
U/G	UNDER GROUND
UK	UNKNOWN
VERT	VERTICAL
(W)	WEST
W.	WATER
W.B.	WEST BOUND
W/	WITH
WHC	WATER HOUSE CONNECTION
WM	WATER METER

SITE LEGEND

ZONE: C-2 ZONE: I-1 N 30°52'32" W - 100.00'	ZONING LINE
-----	PROPERTY LINE WITH BEARING & DISTANCE
-----	ADJOINER PROPERTY LINE
-----	EXISTING EASEMENT LINE
-----	EXISTING FIELD RUN MAJOR CONTOUR
-----	EXISTING FIELD RUN MINOR CONTOUR
-----	EXISTING GIS MAJOR CONTOUR
-----	EXISTING GIS MINOR CONTOUR
-----	EXISTING SOILS LIMITS WITH HSG DESIGNATION
-----	EXISTING STORM DRAIN LINE (LESS THAN 24") WITH MANHOLE
-----	EXISTING STORM DRAIN LINE (24" AND GREATER)
-----	EXISTING STORM DRAIN INLETS
-----	EXISTING SANITARY SEWER LINE WITH MANHOLE
-----	EXISTING WATER LINE WITH VALVE
-----	EXISTING GAS LINE WITH VALVE
-----	EXISTING UNDERGROUND ELECTRIC LINES
-----	EXISTING OVERHEAD ELECTRIC LINES WITH POLE
-----	EXISTING CHAINLINK FENCE
-----	EXISTING WOOD FENCE
-----	EXISTING PAVEMENT EDGE
-----	EXISTING CURB & GUTTER
-----	EXISTING SIDEWALK
-----	EXISTING STRUCTURE
-----	Existing Treeline
-----	Existing Wood Fence
-----	Existing Non-tidal Wetlands
-----	25' Non-tidal Wetlands Buffer
-----	Stream Buffer
-----	Flood Plain
-----	Existing Street Light
-----	Ex. Water Valve
-----	Ex. Water Meter
-----	Existing Fire Hydrant
-----	Ex. Sanitary Cleanout
-----	Ex. Sign
-----	Limit of Field Run Topo
-----	Proposed Major Contour
-----	Proposed Minor Contour
-----	Proposed Structure
-----	Proposed Pavement Edge
-----	Proposed Curb & Gutter
-----	Proposed Sidewalk
-----	Proposed Retaining Wall
-----	Proposed Storm Drain with Manhole
-----	Proposed Storm Drain Inlets
-----	Proposed Sewer With Manhole
-----	Proposed Water
-----	Proposed Site Lighting (by others)
-----	Proposed Fire Hydrant
-----	Proposed Water Reducer
-----	Proposed Water Valve
-----	Proposed Sign
-----	Proposed Paving

SEDIMENT CONTROL LEGEND

SF	SF	Silt Fence
SSF	SSF	Super Silt Fence
Earth Dike		
Temporary Swale		
Removable Pumping Station		
Limit of Disturbance		
Stabilized Construction Entrance (SCE)		
AGIP	At Grade Inlet Protection	
SIP	Standard Inlet Protection	
COIP	Combination Inlet Protection	
IB	Inlet Blocking	

DATA SOURCES

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
6. ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

Legends and Abbreviations Sheet

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER: 32674
EXPIRATION DATE: 1-16-2026

DATE: 10/17/2024 SCALE: AS SHOWN

PROJECT NUMBER: 20211253.005A

DRAWING:
2 of X

NOTE ALL ITEMS SHOWN IN LEGEND MAY NOT BE PRESENT ON ALL SHEETS. ADDITIONAL, SUPPLEMENTARY LEGENDS MAY APPEAR ON INDIVIDUAL PLANS AS IS NECESSARY.

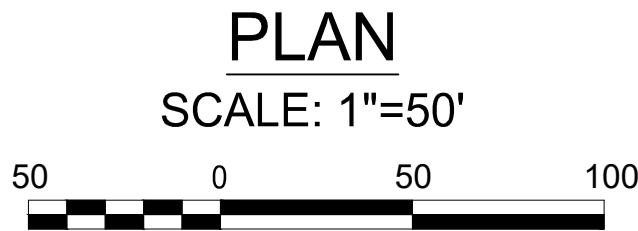
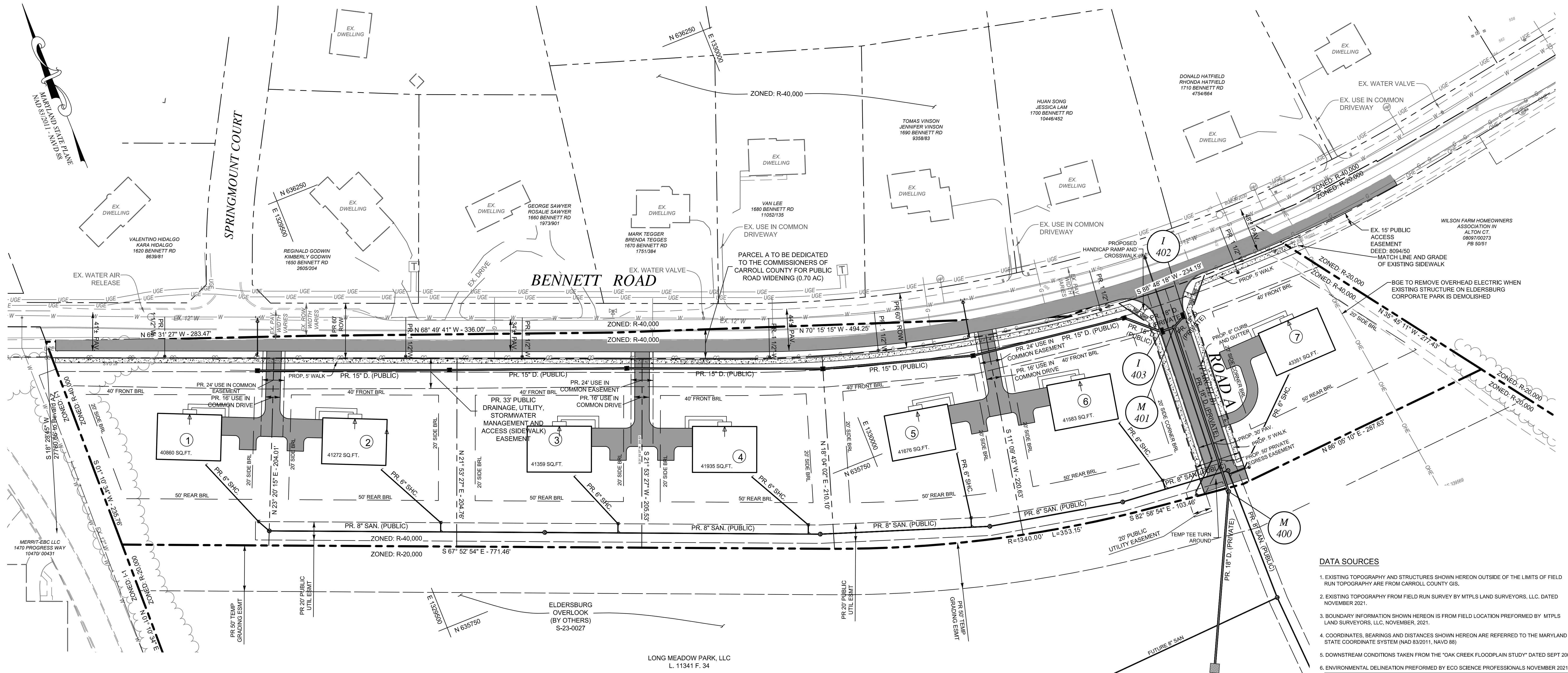
OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055

DATE	BY	REVISIONS

T:\2021\Facilities\20211253.005A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Site Plan.dwg Feb 19, 2025 8:23am fangrehr



- NOTES:
1. REFER TO SHEET 2 FOR OVERALL LEGEND AND NOTES.
 2. SEE BENNETT ROAD IMPROVEMENT PLAN SHEETS FOR PUBLIC ROAD AND STORM DRAIN PLANS, PROFILES AND SECTIONS.
 3. SEE ELDERSBURG PRESERVE PUBLIC WATER AND SEWER PLANS (S-346 & W-346), PROFILES, AND DETAILS

NOTE: ROAD A (PARCEL B) TO BE OWNED AND MAINTAINED BY ELDERSBURG OVERLOOK CONDOMINIUM ASSOCIATION

BENNETT ROAD
POSTED SPEED = 30 MPH
DESIGN SPEED = 40 MPH

ROAD 'A'
POSTED SPEED = 25 MPH
DESIGN SPEED = 30 MPH

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055		
DATE	BY	REVISIONS

- DATA SOURCES
1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 6. ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

CENTURY ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

Preliminary Subdivision Plan

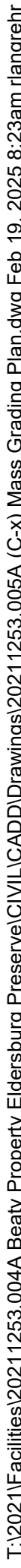
ELDERSBURG PRESERVE
BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

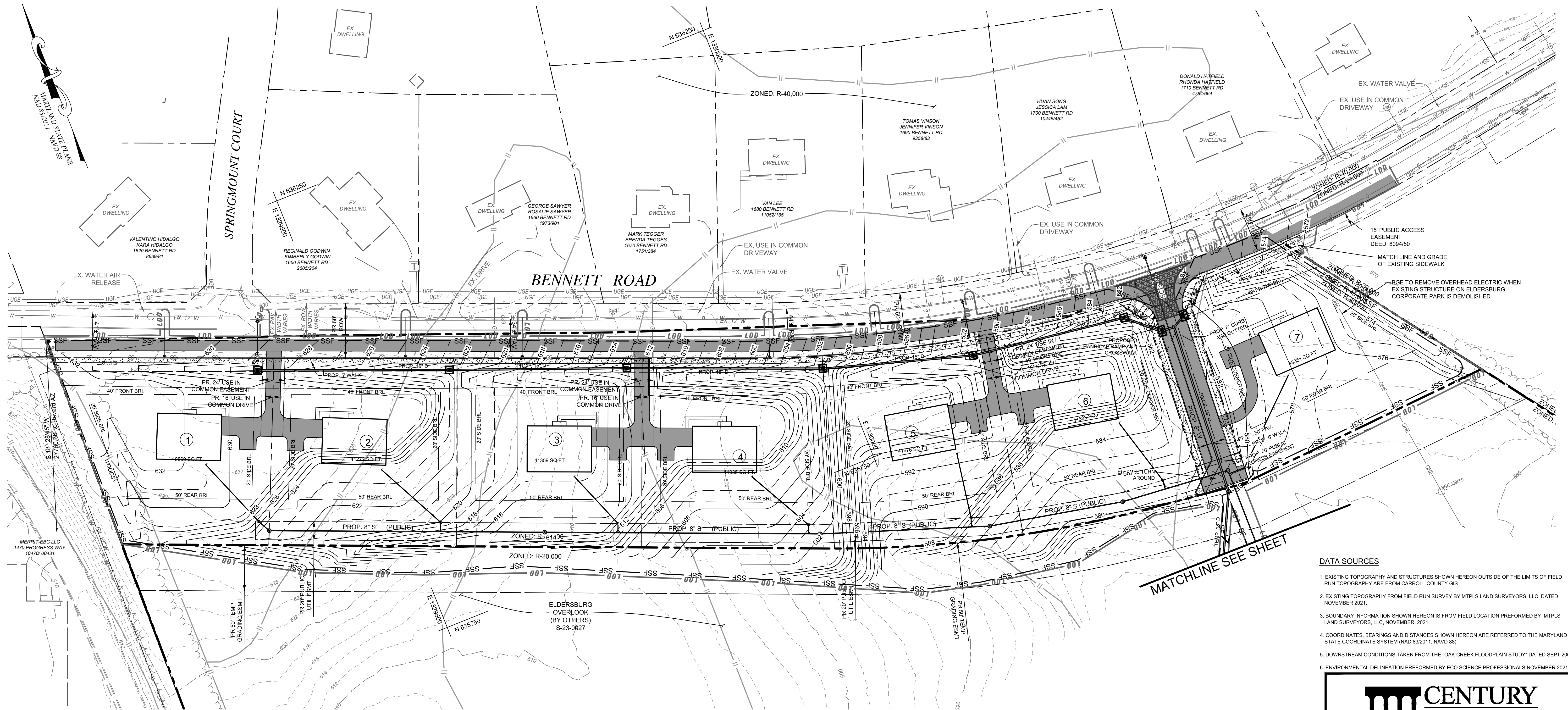
DATE: 10/17/2024 SCALE: AS SHOWN DRAWING:
PROJECT NUMBER: 20211253.005A

3 of X

T:\2021\Facilities\20211253.005A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Site Plan.dwg Feb 19, 2025 8:23am fangrehr

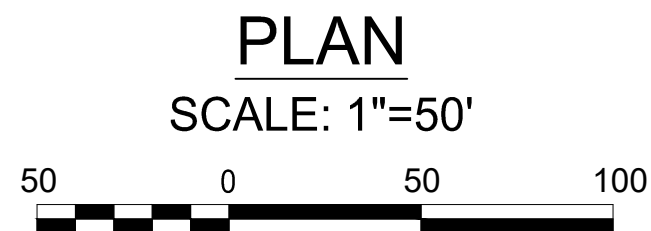


T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) ESC Plan.dwg Feb 19, 2025 9:24am ftangehr



SEQUENCE OF CONSTRUCTION

1. Notify Carroll County Bureau of Sediment Control (410-386-2210) at least 24 hours prior to the start of construction activities. All protection fencing and permanent signs required under the Carroll County Code of Public Laws and Ordinances, Forest Conservation (Chapter 150) and water resource Management (Chapter 154) shall be installed prior to the pre-construction meeting with the Carroll County Sediment Control Inspector. Notify MDE inspection and compliance program (410) 537-3510 at least 5 days prior to beginning work. See stream closure schedule for working in a class 3 stream.
2. Contact Miss Utility at 1-800-257-7777 at least 3 days in advance of starting work shown on plans.
3. With approval from sediment control inspector, install stabilized construction entrance with mountable berm.
4. Clear, grub and install super silt fence.
5. Install utilities, construct roads and begin building construction.
6. Fine grade site and install permanent vegetated stabilization and utilities and paved roads have been installed.
7. With permission from the sediment control inspector and notification of SWM As-built certifying engineer no less than 5 days in advance, fine grade grass swale facilities per details and specifications. Construction of each facility is only to begin when the contributing drainage area has been completely stabilized.
8. With the approval of the sediment control inspector, remove perimeter sediment control measures. Permanently stabilize areas disturbed by this process.



NOTES:
1. REFER TO SHEET 2 FOR OVERALL LEGEND AND NOTES.

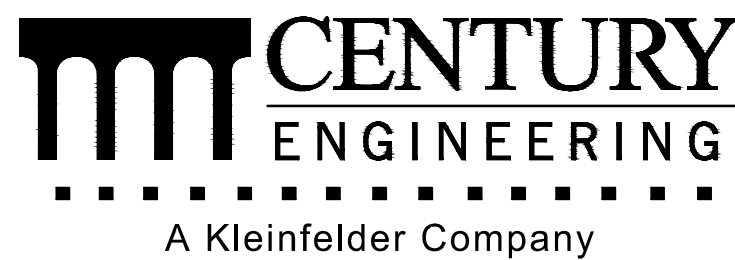
OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055		
DATE	BY	REVISIONS

DATA SOURCES

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTLPS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTLPS LAND SURVEYORS, LLC, NOVEMBER, 2021.
4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
6. ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

Erosion and Sediment Control Plan

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

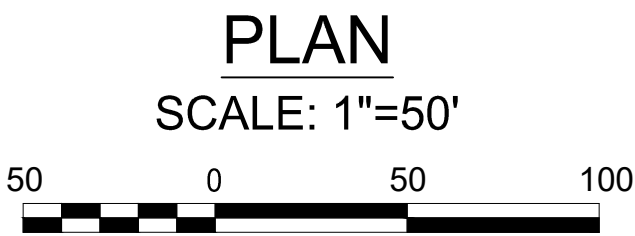
LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 10/17/2024 SCALE: AS SHOWN
PROJECT NUMBER: 20211253.005A

DRAWING:

5 of X

T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) ESC Plan.dwg Feb 19, 2025 9:24am fhangreht



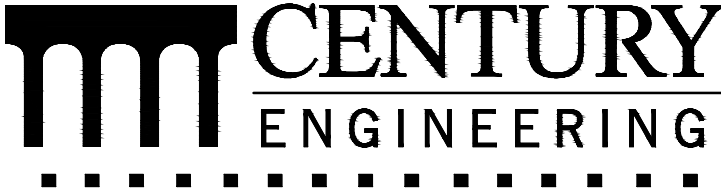
NOTES:
1. REFER TO SHEET 2 FOR OVERALL LEGEND AND NOTES.

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055		
DATE	BY	REVISIONS

- DATA SOURCES
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
 - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
 - COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 - DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 - ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



CENTURY
ENGINEERING

A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

Erosion and Sediment Control Plan

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

**PROFESSIONAL
CERTIFICATION**

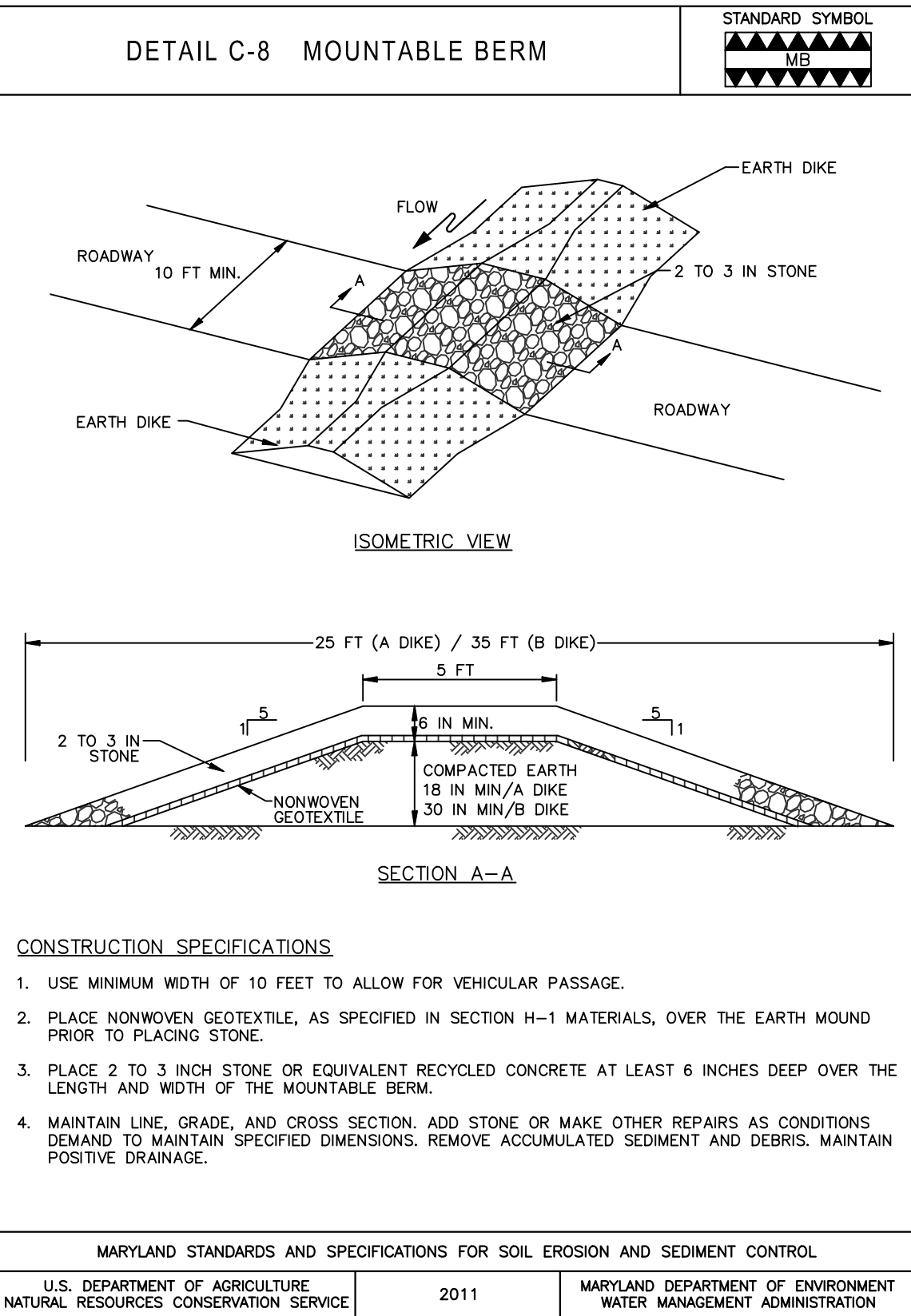
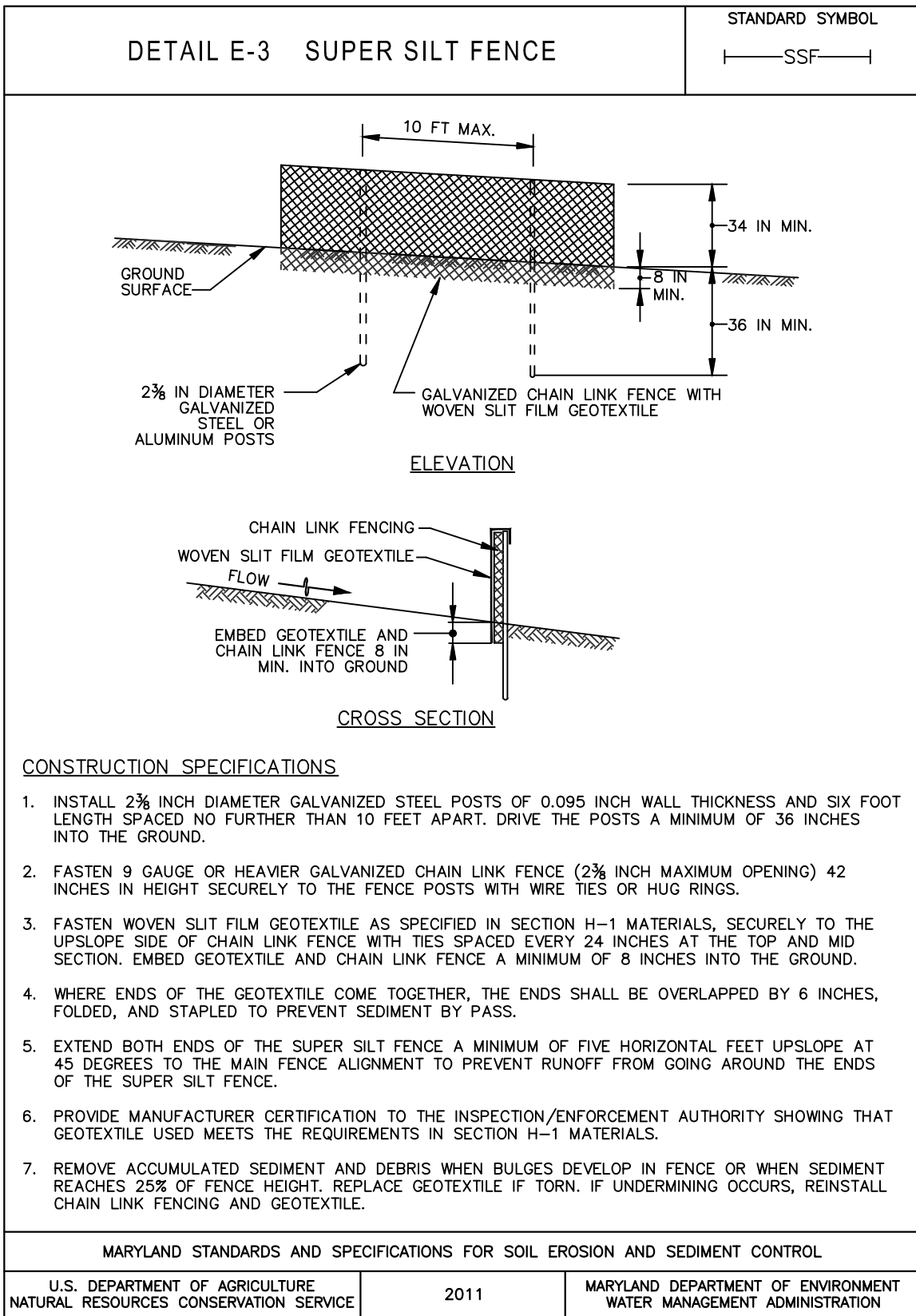
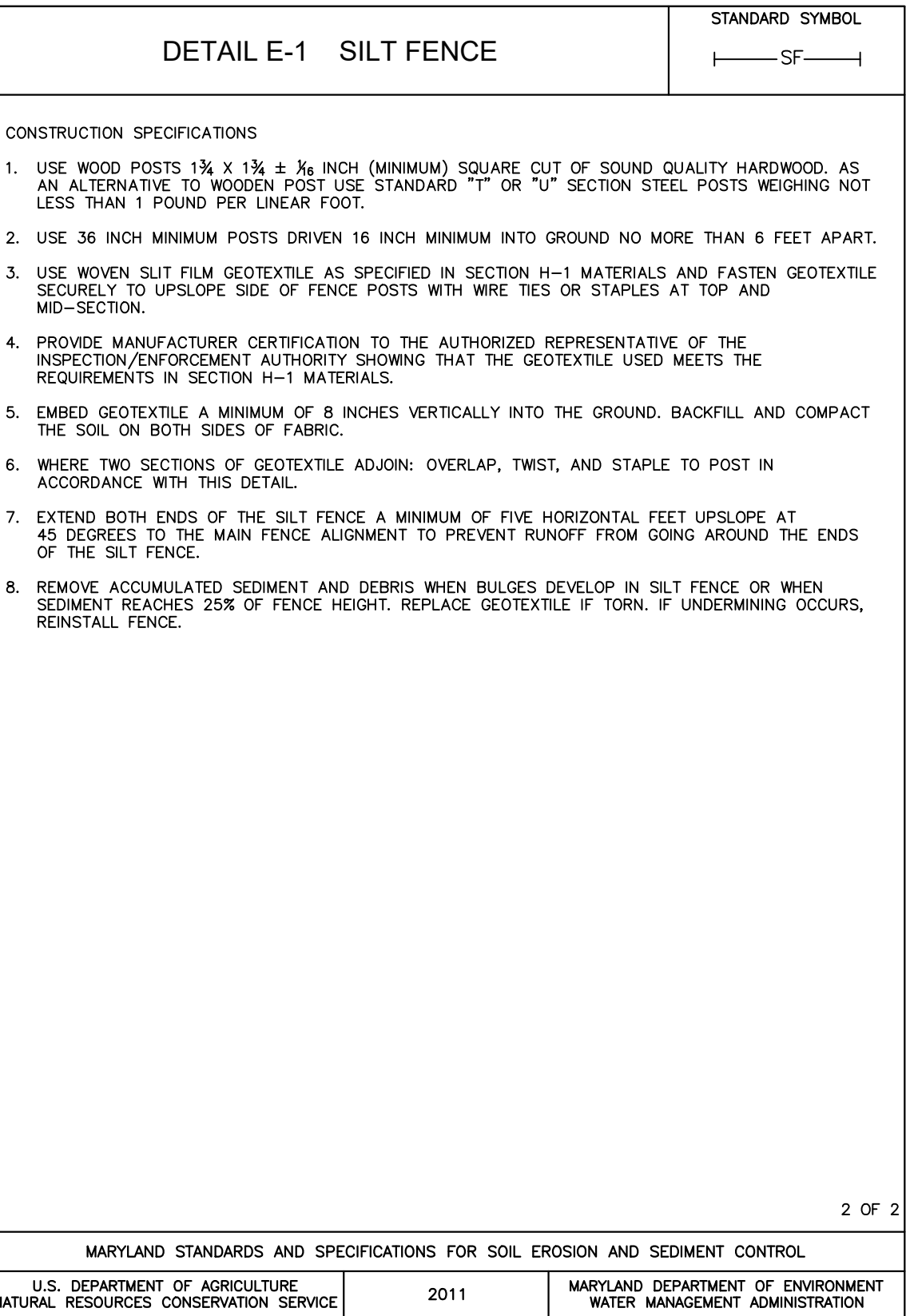
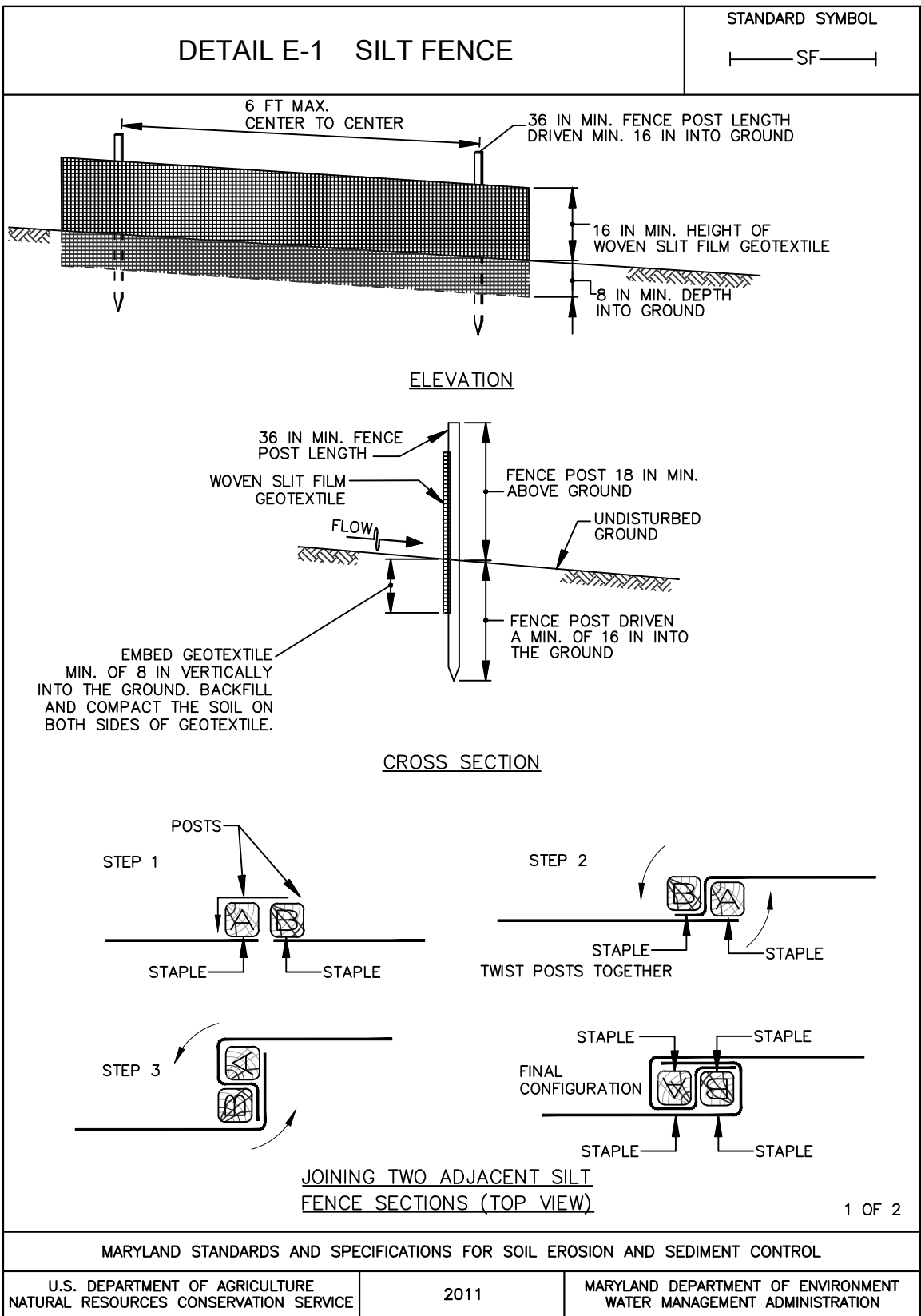
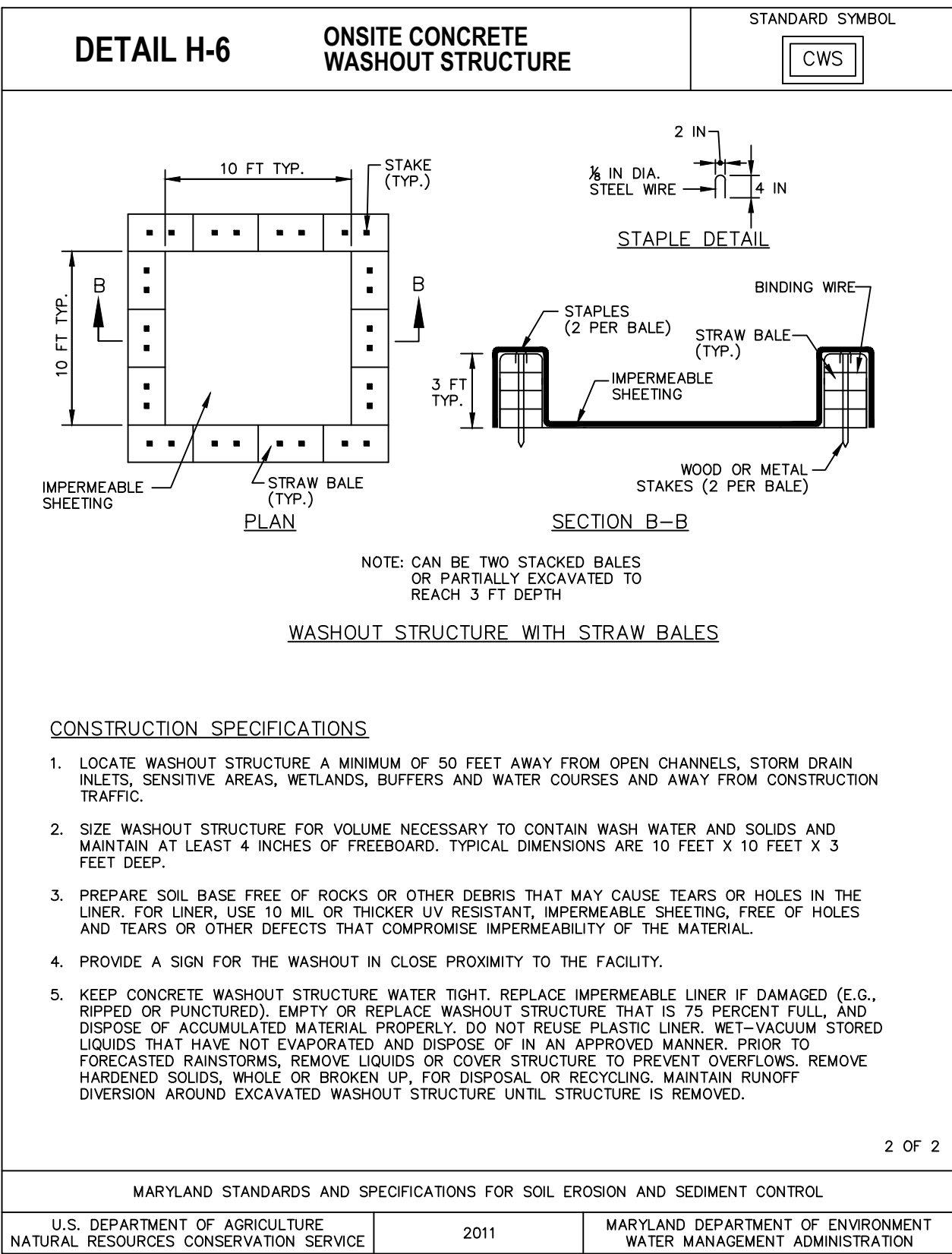
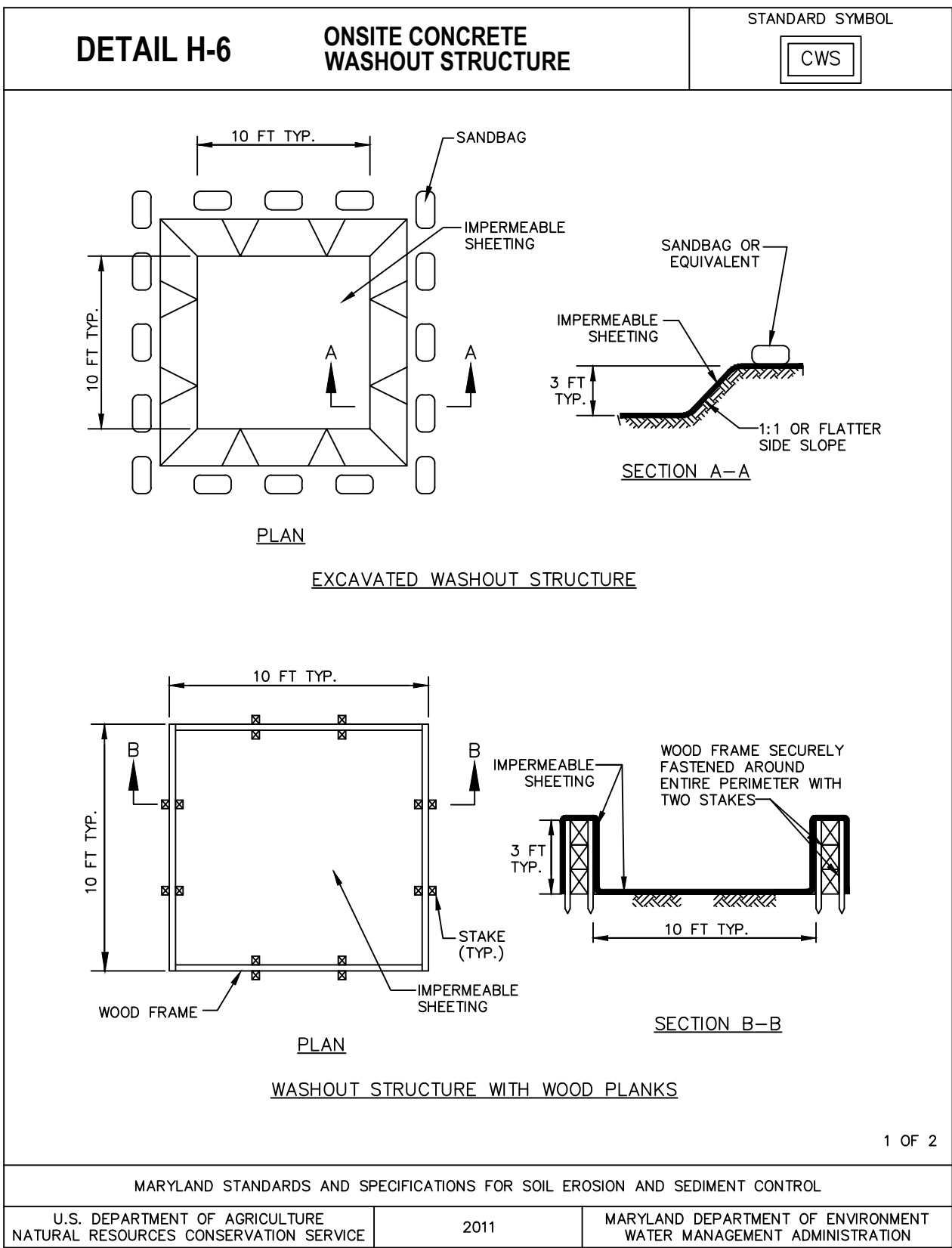
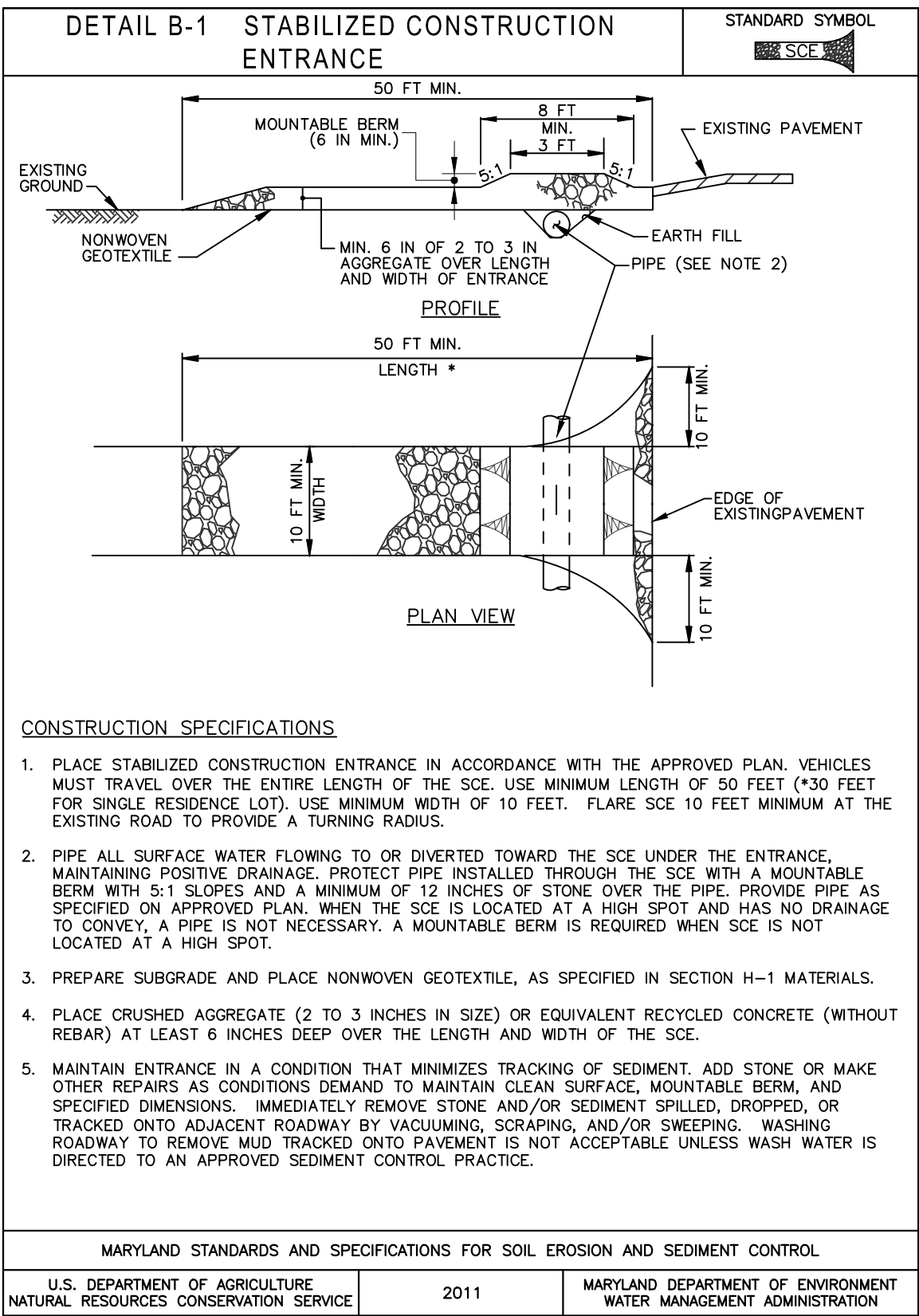
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 10/17/2024	SCALE: AS SHOWN	DRAWING:
PROJECT NUMBER: 20211253.005A		

6 of X

T:\2021\Facilities\20211253.005A (C-X) ESC Specs & Details.dwg Feb 19, 2025 8:25am rlangrehr



SEDIMENT AND EROSION CONTROL NOTES

- All erosion/sediment control measures shall comply with the "Maryland Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of the Environment, Water Management Administration in association with the Natural Resources Conservation Service and the Maryland Association of Soil Conservation Districts (referenced as the 2011 Standards and Specs).
- Areas that have been cleared and/or graded, but will not be constructed on or permanently vegetated for more than 5 days (3 days for sediment control measures and for steep slopes) must be stabilized with mulch or temporary stabilization. Any areas that are in temporary vegetation for over 6 months will need to be permanently vegetated.
- For specifications on permanent or temporary stabilization, see B-4-4 and B-4-5.
- Mulching only is restricted to use on disturbed areas as a temporary cover where vegetation is not feasible or where seeding germination cannot be completed because of weather conditions. For specifications see B-4-3, A.1.B
- For specifications on the stabilization of cut and fill slopes steeper than 3 horizontal to 1 vertical, see Incremental Stabilization B-4-1
- The existing topsoil from on or off site that is used must meet the minimum specification in B-4-2
- The required sequence of construction must be followed during site development. Any changes in the sequence of construction must be approved by the Soil Conservation District.
- Any revisions to the sediment control plan, not covered under the list of plan modifications that can be approved by the sediment control inspector, need to be submitted to the Soil Conservation District for approval.
- No proposed slope that is required to be seeded and/or mulched shall be steeper than 2:1. Slopes steeper than 2:1 shall require an engineered design for stabilization
- All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 2011 Standards and Specs.
- The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.
- The district approval for this sediment control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be resubmitted to the Soil Conservation District for review and re-approval. Any plans that are currently under construction after 2 years may be required to be resubmitted to the Soil Conservation District by the sediment control inspector.

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

 CENTURY ENGINEERING A Kleinfelder Company 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com	
PRELIMINARY MAJOR SUBDIVISION PLAN FOR R-40,000 RESIDENTIAL	
Erosion and Sediment Control Details ELDERSBURG PRESERVE	
BENNETT ROAD ELDERSBURG, MD TAX MAP 73 : GRID 6 : PARCEL 247 ELECTION DISTRICT 5 CARROLL COUNTY, MD	
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: 32574 EXPIRATION DATE: 1-16-2026	
DATE: 10/17/2024 PROJECT NUMBER: 20211253.005A	SCALE: AS SHOWN DRAWING: 8 of X

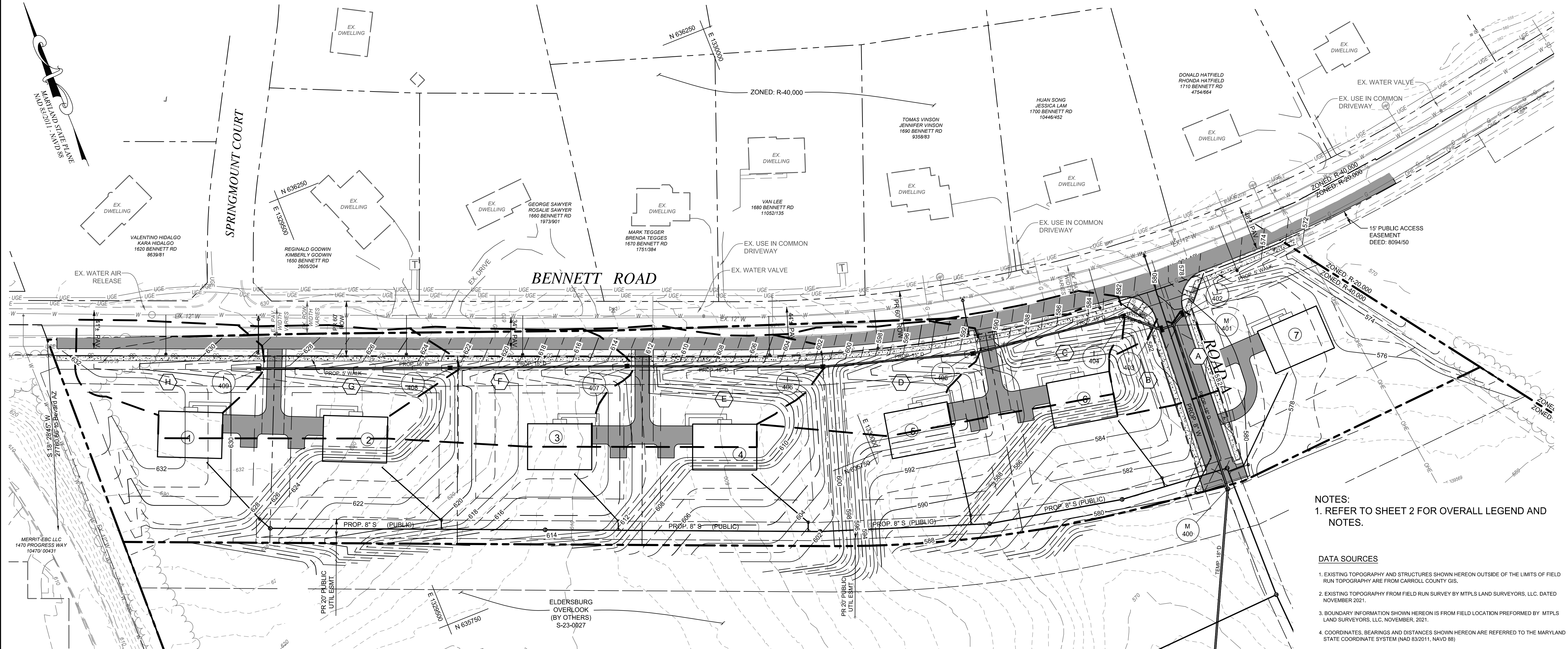
OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055

DATE	BY	REVISIONS

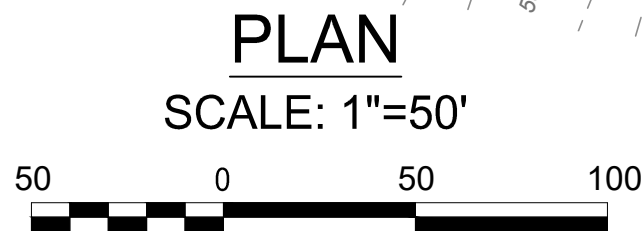
T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-X) SD Da Mapn.dwg Feb 19, 2025 8:25am fhangrehr



NOTES:
1. REFER TO SHEET 2 FOR OVERALL LEGEND AND NOTES.

- DATA SOURCES
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
 - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
 - COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 - DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 - ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

MARYLAND STATE HIGHWAY ADMINISTRATION																		SHEET _____ OF _____	
STORM SEWER DESIGN																		DATE: 2/18/2025	
DESIGNED BY:		R. Langrehr			CONTRACT NO.		00211253.004a												
CHECKED BY:					PROJECT:		Eldersburg Preserve								RAINFALL FACTORS				
* Q's adjusted by 1.18 for NOAA																		DURATION:	
																		0-10 10.1-40 40.1-150	
Structure		Contributing				100 Year Runoff					Pipe							Remarks	
FROM	TO	C	A	Runoff				t _c	i _r	* Q	Size		n	S _o	L	V _o	Time In		Capac
		Area	Area	Coef.	Δ CA	Σ A	Σ CA	Time Conc	Rainfall	cfs	in.	Type	Mannings	Slope	length	Vel	Pipe		Full
		#	Acres					Min.	intens. (in./hr.)				Coef.	%	Ft.	ft./sec.	min.		cfs
I-409	I-408	H	0.45	0.57	0.26			5.00	11.21	2.91	15	RCCP	0.013	3.00	209.00'	7.57	0.46	11.19	
	I-408	G	0.55	0.59	0.33			5.00	11.21	3.70									
I-408	I-407	G & H				1.00	0.59	5.46	11.09	6.54	15	RCCP	0.013	4.00	193.13'	10.53	0.31	12.92	
	I-407	F	0.54	0.48	0.26			5.00	11.21	2.91									
I-407	I-406	F - H				1.54	0.85	5.77	11.02	9.37	15	RCCP	0.013	5.00	213.46'	12.48	0.29	14.44	
	I-406	E	0.61	0.56	0.34			5.00	11.21	3.81									
I-406	I-405	F - H				2.15	1.19	6.05	10.94	13.02	15	RCCP	0.013	4.00	164.21'	12.00	0.23	12.92	
	I-405	D	0.45	0.48	0.22			5.00	11.21	2.47									
I-405	I-404	D - H				2.60	1.41	6.28	10.87	15.32	15	RCCP	0.013	4.00	169.60'	10.53	0.27	12.92	
	I-404	C	0.45	0.59	0.26			5.00	11.21	2.91									
I-404	I-403	C - H				3.05	1.67	6.55	10.80	18.03	21	RCCP	0.013	2.00	42.60'	10.33	0.07	22.41	
	I-403	B	0.14	0.46	0.06			5.00	11.21	0.67									
I-403	M-401	B - H				3.19	1.73	6.62	10.76	18.62	24	HDPE	0.012	3.25	15.10'	13.42	0.02	44.18	
I-402	M-401	A	0.05	0.82	0.04			5.00	11.21	0.45	18	HDPE	0.012	2.00	17.31'	3.88	0.07	16.09	
M-401	M-400	A-H				3.24	1.77	6.64	10.76	19.05	24	HDPE	0.012	2.40	182.40'	12.09	0.25	37.97	



NOTE: ROAD A TO BE OWNED AND MAINTAINED BY ELDERSBURG OVERLOOK CONDOMINIUM ASSOCIATION

BENNETT ROAD
POSTED SPEED = 30 MPH
DESIGN SPEED = 40 MPH

ROAD 'A'
POSTED SPEED = 25 MPH
DESIGN SPEED = 30 MPH

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055

DATE	BY	REVISIONS

CENTURY
ENGINEERING

A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

Storm Drain Drainage Area Map
and Flow Tabulations

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

**PROFESSIONAL
CERTIFICATION**

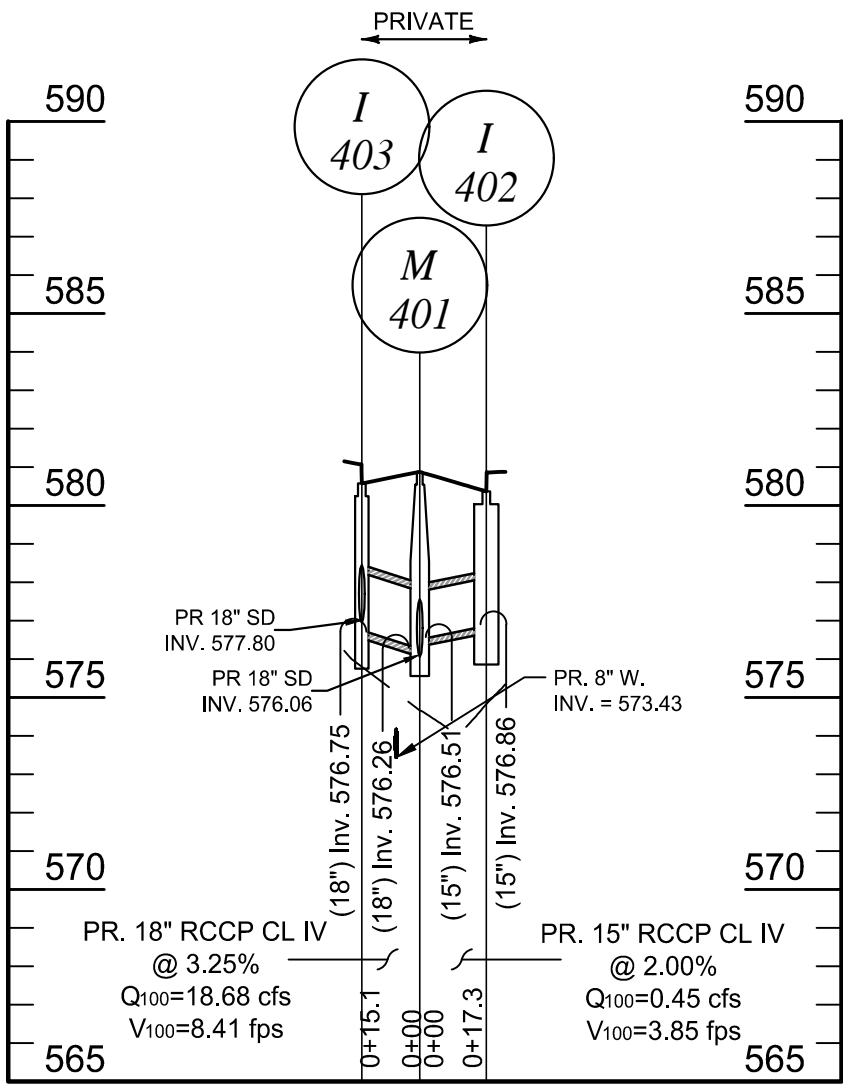
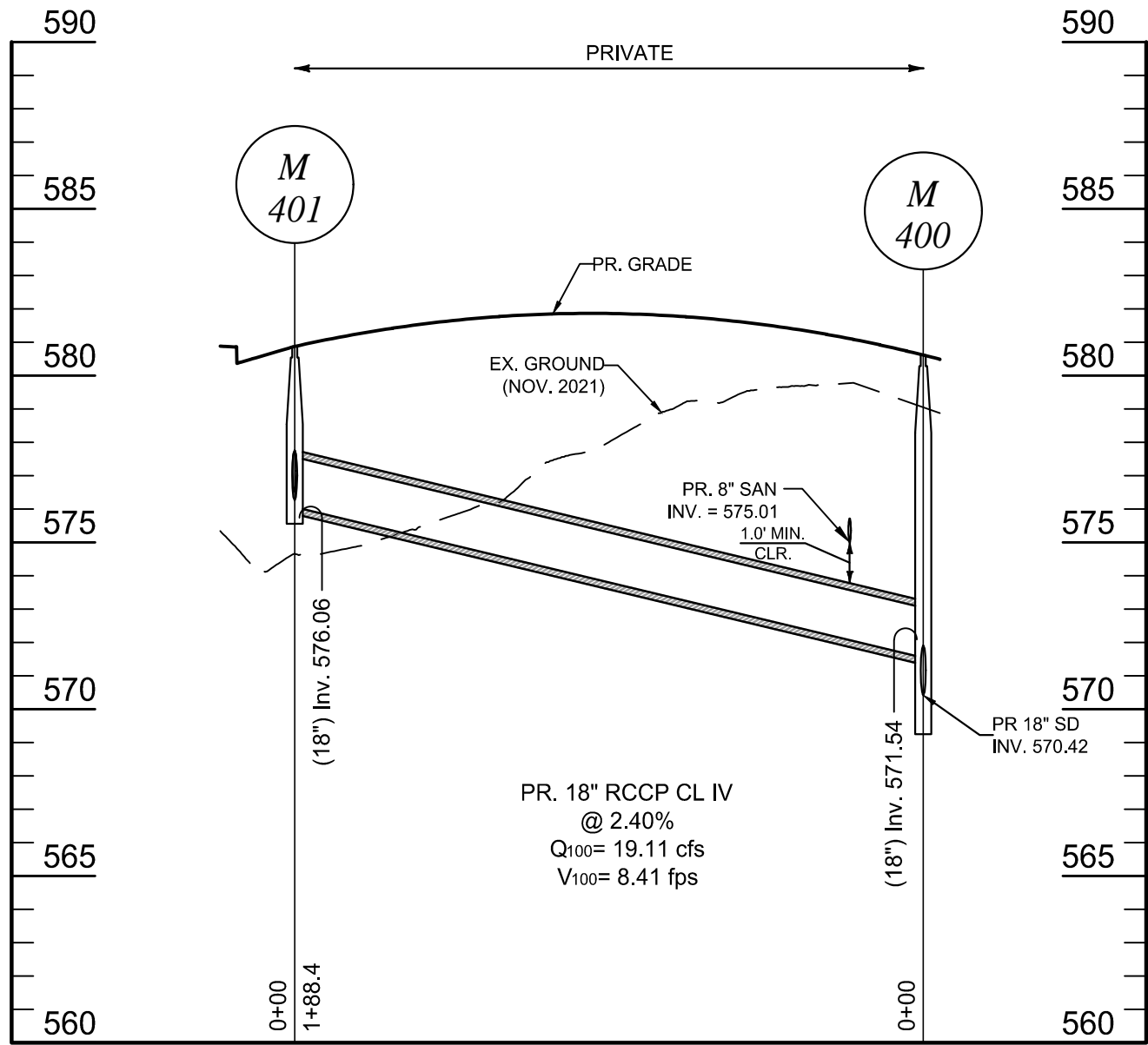
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER : 32574
EXPIRATION DATE : 1-16-2026

DATE: 10/17/2024 SCALE: AS SHOWN DRAWING:
PROJECT NUMBER: 20211253.005A

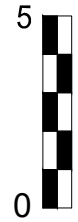
9 of X

T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-X) SD Da Mapn.dwg Feb 19, 2025 8:25am fhangrehr



STORM DRAIN PROFILES

SCALE: HORIZ: 1"=50' VERT: 1"=5'



PRIVATE MANHOLE SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	DETAIL
M-400	48" Dia Manhole	(18") 571.54 (N)	(18") 570.42 (SW)	580.61	MD 384.01
M-401	48" Dia Manhole	(18") 576.26 (W) (15") 576.51 (NE)	(18") 576.06 (S)	580.87	MD 384.01

PRIVATE INLET SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	DETAIL
I-402	Type S Combination Inlet Double Grate		(15") 576.86 (SW)	580.37	MD 379.04
I-403	Type S Combination Inlet Double Grate	(18") 576.95 (NW)	(18") 576.75 (E)	580.57	MD 379.04

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

Private Storm Drain Profiles

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER: 32674
EXPIRATION DATE: 1-16-2026

DATE: 10/17/2024 SCALE: AS SHOWN

PROJECT NUMBER: 20211253.005A

DRAWING:
10 of X

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055

DATE	BY	REVISIONS

CARROLL COUNTY LANDSCAPE SPECIFICATIONS

- All plants shall be identified in accordance with the latest Edition of Hortus Third, by "The Staff of the Hortorium".
- All nursery stock shall conform to American Association of Nurserymen, Inc., standards as described in American Standard for Nursery Stock, current ANSI Z-60.1 specifications.
- Landscape specifications shall conform to Landscape Contractors Association Specification Guidelines for Maryland, Washington, D.C., and Virginia, latest edition and Century Engineering, Inc. specifications. All nursery stock shall be planted in accordance with the procedures outlined in the guidelines.
- Three (3) inches of topsoil on all disturbed areas to be landscaped, seeded or sodded is required.
- A separate plan labeled "Landscape Plan" (may be combined with Forest Conservation Plan) is required. Landscape requirements may not be combined with the Forest Conservation Plan.

PLANTING NOTES

- Plant material substitutions will not be accepted without approval of the Landscape Architect.
- All Shrubs and groundcover areas shall be planted in continuous prepared planting beds.
- All shrub beds shall be mulched with hardwood mulch as detailed and specified except where noted on plans.
- Maintain positive drainage out of planting beds at a minimum of two percent slope.
- Plant quantities are provided for the convenience of the contractor. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All areas within contract limits disturbed during or prior to construction not designated to receive plantings and mulch shall be fine graded and seeded in accordance with planting and construction.
- The contractor shall notify Miss Utility, (800-257-7777) a minimum of three working days prior to planting and construction.
- Contractor shall test pit prior to plant installation.

IRRIGATION METHODS

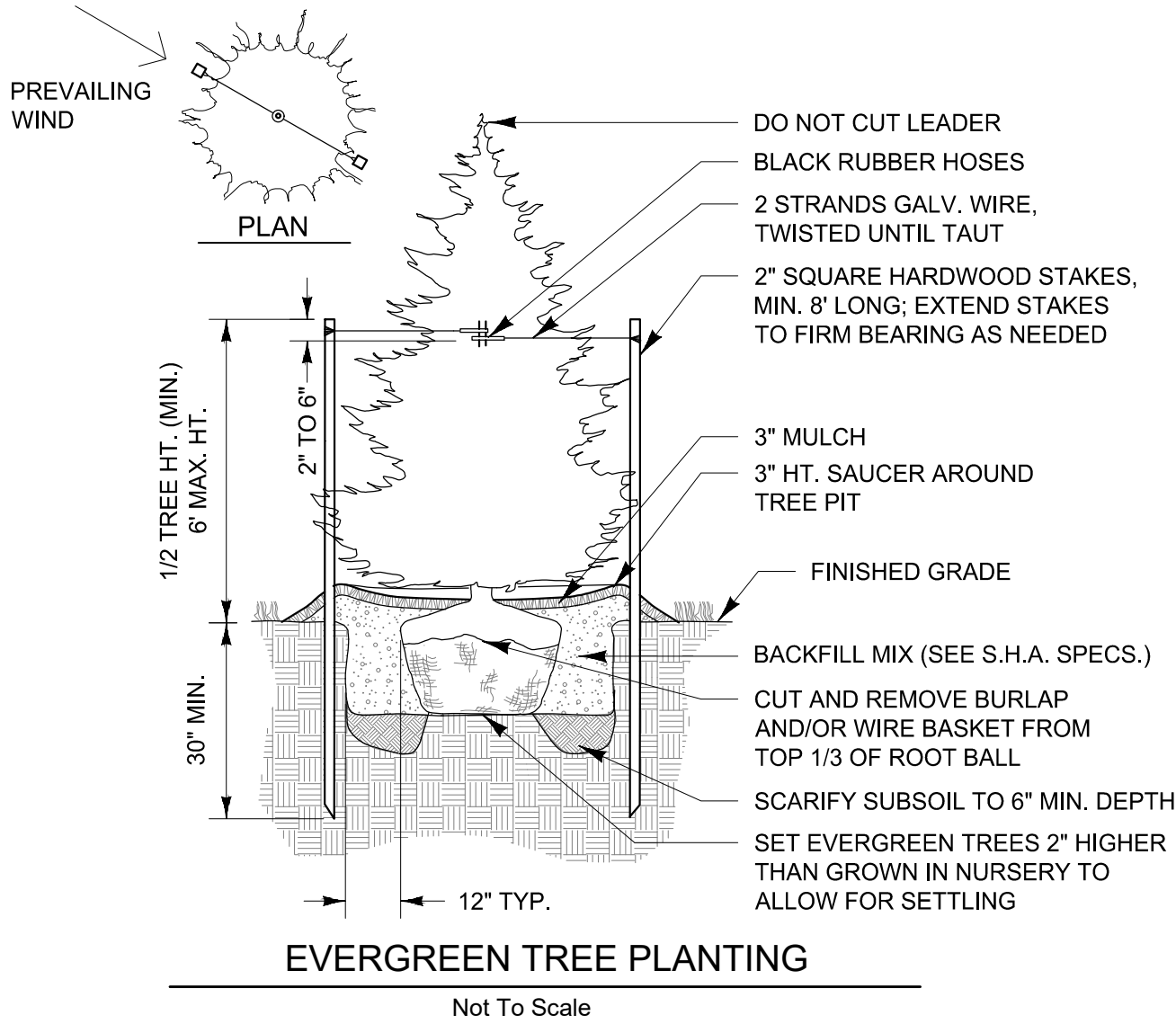
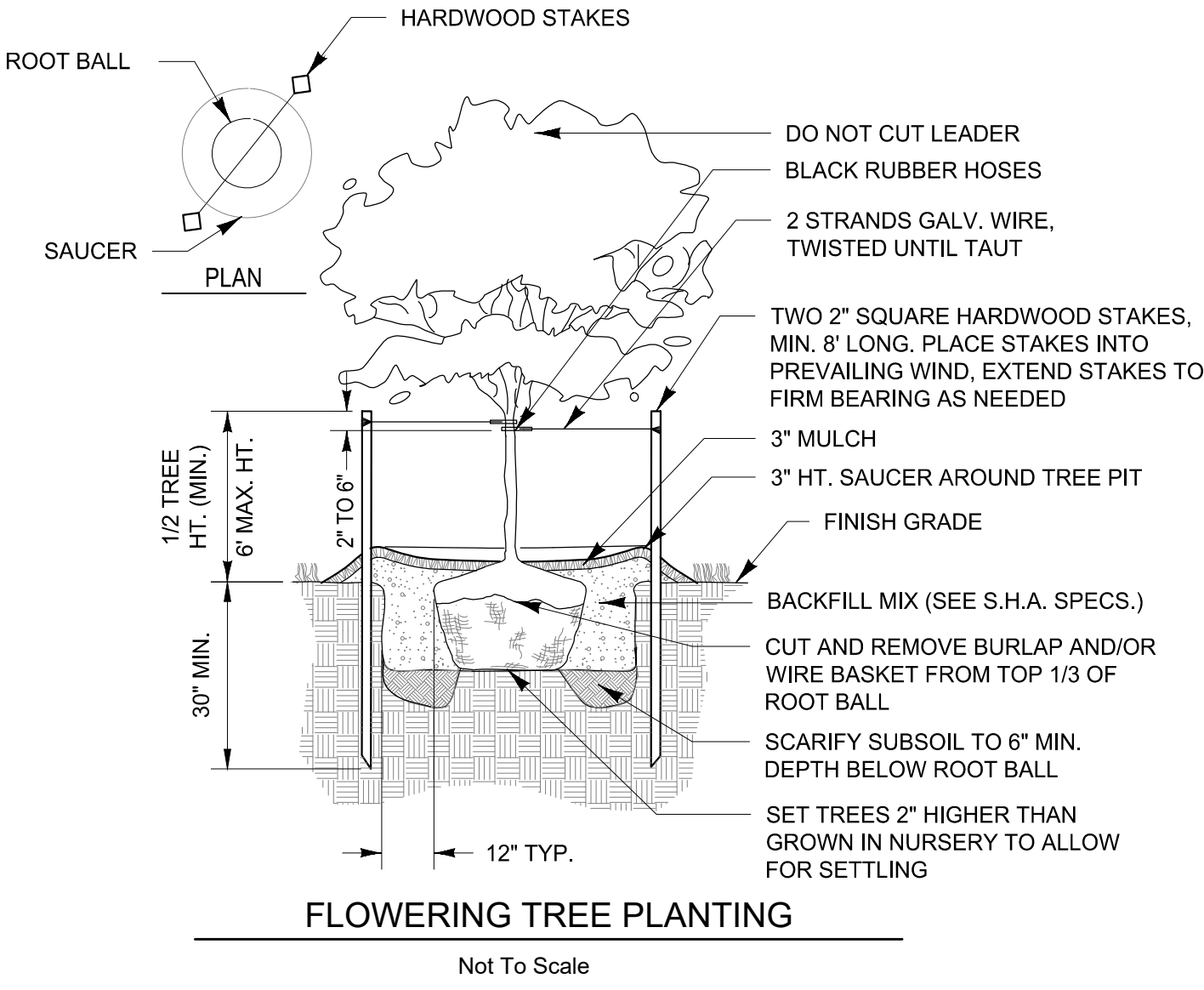
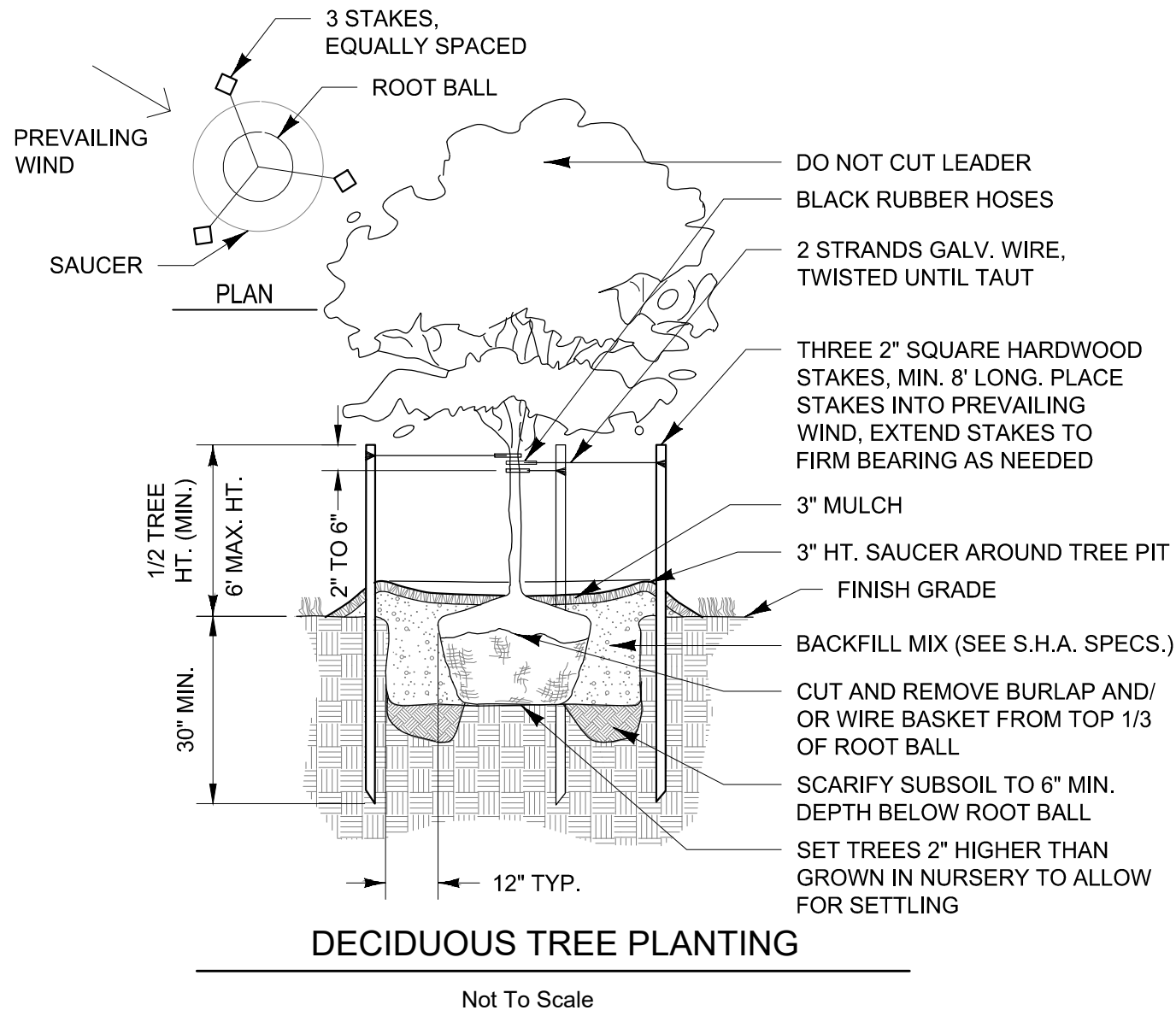
- The use and maintenance of drip irrigation bags or rings around the trunks of newly-planted trees.
- Hand watering, with water sources provided through either or both of the following methods:
 - Exterior faucets on a building, located so that the farthest planting can be reached by a length of hose (100 feet recommended).
 - A quick-coupling system, with connections located so that the farthest planting can be reached by a length of hose (100 feet recommended).
 - A water tank or truck.
- An automatic irrigation system with a moisture-sensing device and/or rain shut-off switch. If using an automatic irrigation system, the following requirements shall be met:
 - All irrigation systems shall be designed to minimize vandalism.
 - Sprinklers must not over-spray onto pavement. Sprinkler and spray heads are not permitted for planting areas less than eight (8) feet in width, to prevent overspray and run-off. Other irrigation methods shall be specified in such areas.
 - Place lawn areas in a separate irrigation zone from shrub and groundcover beds so that each planting type can receive adequate irrigation without over-watering areas with lower irrigation needs.
 - Drip irrigation is recommended for shrub and groundcover beds. Drip irrigation shall be used in areas smaller than five (5) feet in any direction.
- The use of rainwater harvesting techniques combined with the use of harvested rainwater for landscape irrigation is encouraged.

NON-INVASIVE NOTE

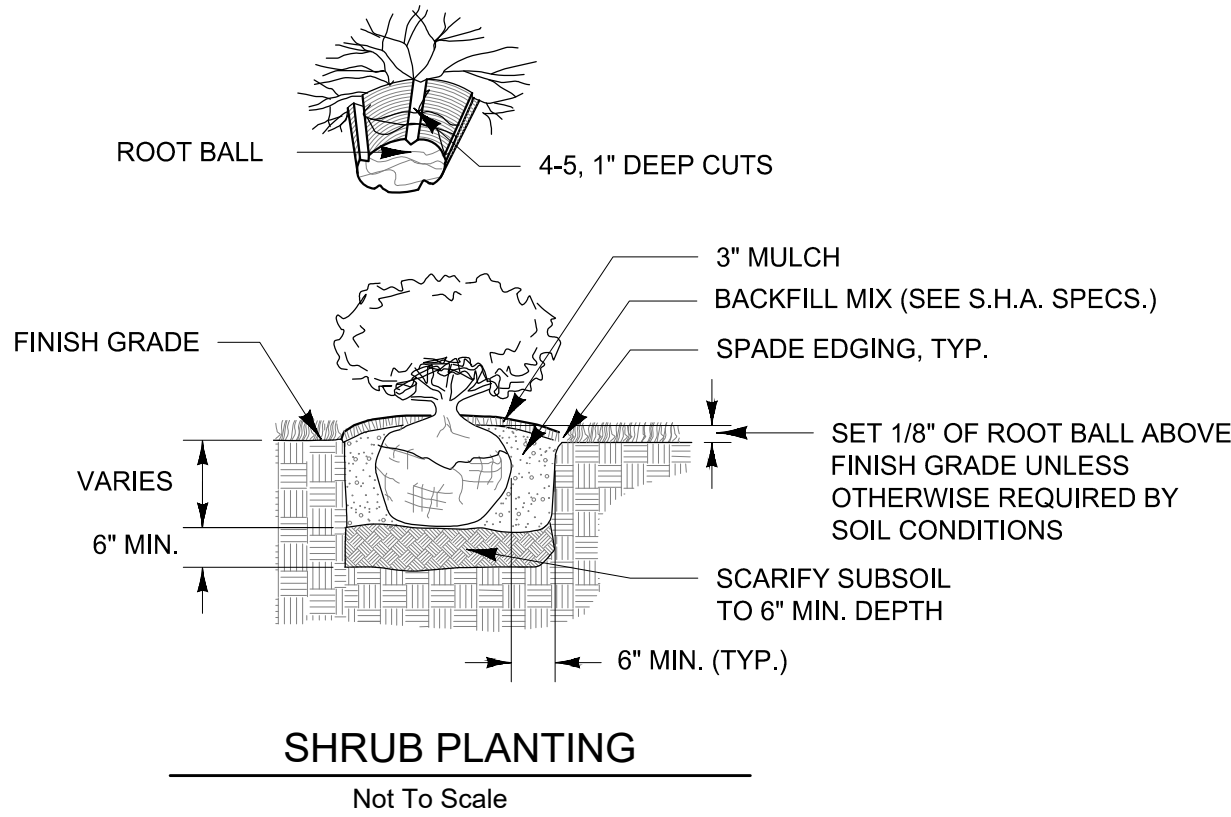
- Non-invasive vegetation that is native or regionally appropriate for local growing conditions has been selected to promote biodiversity.

MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- A two year plant replacement warranty and two years of maintenance are required by the County.
- Lawn areas shall be mowed to a height of 2 to 3 inches and not allowed to reach a height of 4 inches before mowing.
- All curbs and walks shall be edged as needed.
- All lawn areas adjacent to building faces or structures shall be trimmed.
- A slow release nitrogen balanced fertilizer with a 2-1-1 ratio shall be applied at a rate of 2 pounds of nitrogen per 1000 square feet in September, October, and February.
- Lime shall be applied at the rate determined by a soils report.
- It is recommended that lawn areas be treated in mid-March to early April with pre-emergent herbicide (Betasan) or equal applied at the manufacturer's rate.
- A post-emergent herbicide (Trimec) or equal is recommended to be sprayed on lawn areas in the late spring or early fall. Follow manufacturer's rates and recommendations.
- Insecticides and fungicides are recommended for insect and disease control.
- Reseed bare areas of lawn as necessary. Yearly aeration is recommended.
- All trash, litter, and debris shall be removed from lawn areas, parking lots, and shrub beds as needed.
- Mulch all shrub and groundcover beds yearly with 3 inches of shredded hardwood bark.
- Permit shrubs and trees to grow and enlarge to their design size. Consult project Landscape Architect for details.
- Prune trees in accordance with Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas.
- Maintenance of landscape areas includes, but is not limited to weeding, mulching, mowing, trimming, pruning, edging, cultivation, seeding, fertilization, watering, pest control, and any other maintenance necessary to ensure healthy, vigorous plant growth and well-kept property condition.
- Landscape elements such as walls and fences shall be constructed in a sound workmanlike manner with adequate support or footings and must be repaired or replaced as needed to preserve an attractive appearance and to function as intended.
- Any dead plants or plants which fail to show healthy growth must be removed and replaced within 60 days of identification of deteriorated health or notification by the County. Replacement may be delayed until the next growing season only if the 60 day period occurs during a time of year not suitable for planting.
- All replacement plants must meet the size and other characteristics of newly planted material as required in the manual.
- Trees and large shrubs must be adequately supported, when necessary to insure proper growth. Tree staking must be removed prior to final inspection, with the exception of plants replaced during the warranty period and not yet established.
- It is desirable to avoid excessive use of fertilizers and pesticides to minimize impacts on water quality. It is recommended that fertilizer application be need-based rather than as an automatic component of maintenance schedules and when appropriate, slow-release or natural fertilizers be selected over highly-soluble chemical fertilizers.
- The implementation of an Integrated Pest Management (IMP) program is recommended to prevent and treat pest problems.



- NOTES:
- FOR CONTAINER SHRUBS, COMPLETELY REMOVE ALL NON-BIODEGRADABLE CONTAINERS AND SCARIFY ROOTBALL BY USING A SHARP BLADE AND MAKING 4 TO 5 ONE INCH CUTS THE LENGTH OF THE ROOTBALL.
 - FOR B&B SHRUBS, CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL.



PLANT LIST

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
MAJOR DECIDUOUS TREES					
AR	22	Acer rubrum 'Franksred' RED SUNSET	Red Sunset Red Maple	2" - 2 1/2" cal.	B&B
NS	6	Nyssa sylvatica	Black Gum	2" - 2 1/2" cal.	B&B
QR	6	Quercus rubra	Red Oak	2" - 2 1/2" cal.	B&B
TOTAL	34				
MINOR DECIDUOUS TREES					
CC	4	Cercis canadensis	Eastern Redbud	1" - 1 1/2" cal.	B&B
LN	6	Lagerstroemia 'Natchez'	Natchez Crape Myrtle	1" - 1 1/2" cal.	B&B; Multi-stem, 3 cane min.
PS	2	Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry	1" - 1 1/2" cal.	B&B
TOTAL	12				
EVERGREEN TREES					
IN	8	Ilex 'Nellie R. Stevens'	Nellie R Stevens Holly	6" - 8" ht.	B&B; full to ground
JO	12	Ilex opaca	American Holly	6" - 8" ht.	B&B; full to ground
TG	9	Thuja 'Green Giant'	Giant Arborvitae	6" - 8" ht.	B&B; full to ground
TOTAL	29				
SHRUBS					
AG	10	Abelia x grandiflora 'Rose Creek'	Rose Creek Abelia	18" - 24" ht.	Container
TOTAL	10				

FINAL LANDSCAPE PLAN
OWNER CERTIFICATION FORM

I certify that I have reviewed this Final Landscape Plan; that I have read and understood the regulations presented in the Carroll County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan no later than one (1) year from the date of approval of this plan to the Department of Planning, Bureau of Resource Management, Room 209, 225 N. Center Street, Westminster, MD 21157-5194.

Applicant Signature	Date	Print Name
Address	Street	Phone No.
City	State	Zip
File #		

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055		
DATE	BY	REVISIONS



A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

LANDSCAPE DETAILS
AND SPECIFICATIONS

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
LANDSCAPE ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND.

LICENSE NUMBER: 1008
EXPIRATION DATE: 5/20/2026

DATE: 10/17/2024
PROJECT NUMBER: 00211253.004A

SCALE: AS SHOWN

DRAWING:

12 of X

- GENERAL NOTES**
- CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES:
A. DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
B. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
C. BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
D. STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, 2008 EDITION, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
E. MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
F. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.

ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.

- THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.

- CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.

- DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.

- IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.

- IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLICWORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.

- FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.

- CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.

- DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.

- INLET GRATES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.

- PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.

- WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1:0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED ON PLANS.

- ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED IN THE UTILITY PERMIT.

- ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON THE TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE. AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.

- OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROW MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.

- THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.

- PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-8717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.

PROJECT OVERLAP NOTES

- BENNETT ROAD IMPROVEMENTS OVERLAP ON ELDERSBURG PRESERVE (P-23-0055) AND ELDERSBURG OVERLOOK (S-23-0027), WHICHEVER PROJECT COMES FIRST SHALL CONSTRUCT SAID BENNETT ROAD IMPROVEMENTS FULLY. A PUBLIC WORKS AGREEMENT WILL BE REQUIRED FOR THE CONSTRUCTION.
- THE PROPOSED SANITARY SEWER SHOWN ON THESE PLANS OVERLAPS WITH SAME ON ELDERSBURG OVERLOOK (S-23-0027), WHICHEVER PROJECT PROCEEDS TO CONSTRUCTION FIRST SHALL CONSTRUCT THIS SANITARY SEWER. IN THE CASE OF ELDERSBURG PRESERVE FROM SMH-14 TO THE EXISTING SMH ON ELDERSBURG OVERLOOK, IN THE CASE OF ELDERSBURG OVERLOOK FROM SMH-9 TO THE EXISTING SMH.

DEVELOPER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES.

SIGNATURE: _____ DATE: _____
PRINTED NAME: _____
COMPANY NAME: _____ PHONE No: _____

OWNER

I HAVE CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS HAS BEEN REVIEWED BY ME/USE AND THAT I HAVE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I HAVE UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE.

SIGNATURE: _____ DATE: _____
PRINTED NAME: _____

ENGINEER

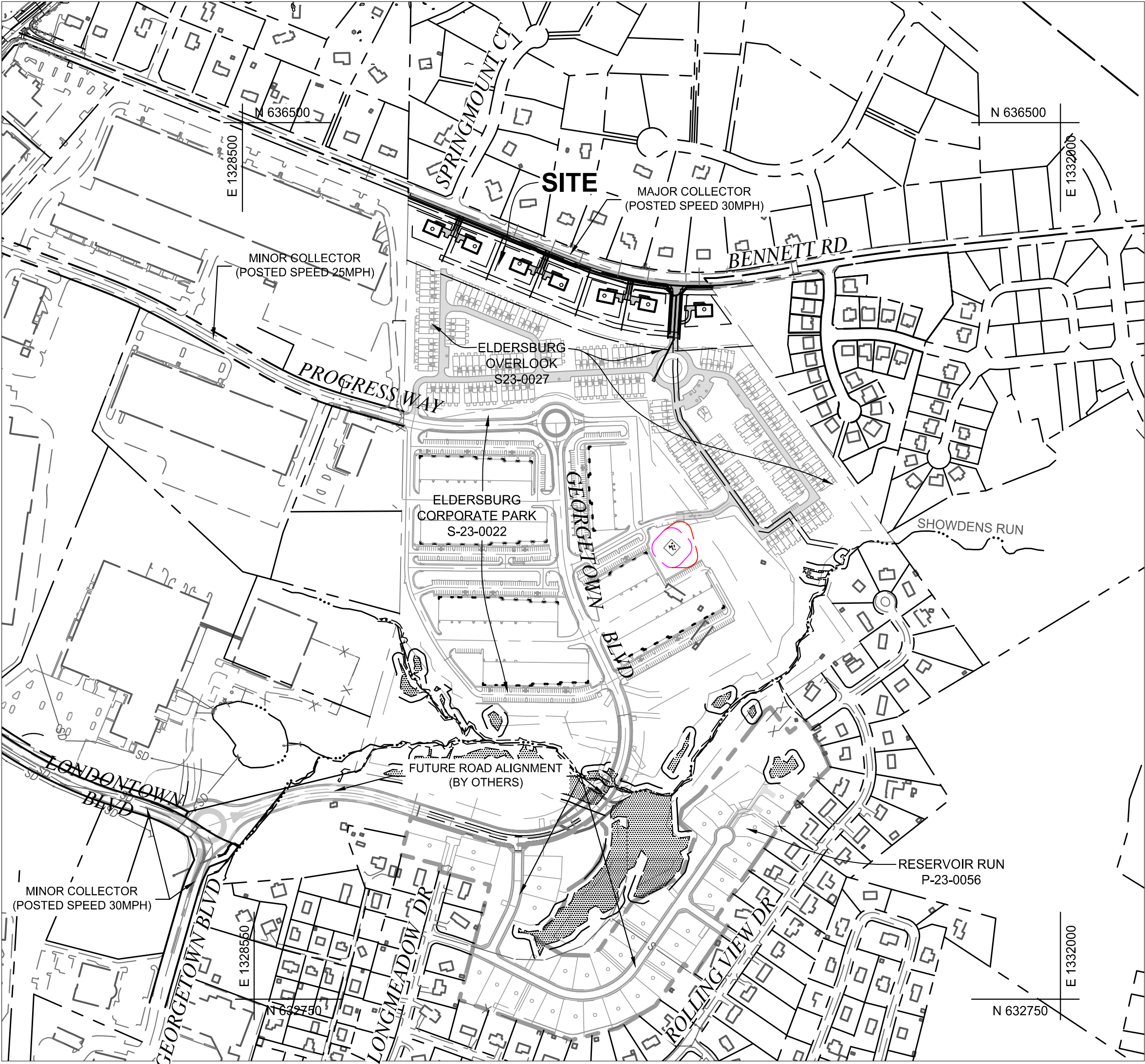
I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND HAS BEEN DESIGN TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY CARROLL SOIL CONSERVATION DISTRICT.

SIGNATURE: _____ DATE: _____
PRINTED NAME: _____
PE No: _____ EXPIRATION DATE: _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORK BUREAU OF ENGINEERING

BY: _____ DATE: _____
CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY: _____ DATE: _____



LOCATION MAP

SCALE: 1"=400'

PUBLIC ROAD IMPROVEMENT PLANS FOR BENNETT ROAD

TAX MAP# 73, GRID# 6, PARCEL# 247
ELECTION DISTRICT: 5 CARROLL COUNTY, MARYLAND

OWNER ADDRESS
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
(410) 369-1207

DEVELOPER ADDRESS
ST. JOHN PROPERTIES INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 369-1207

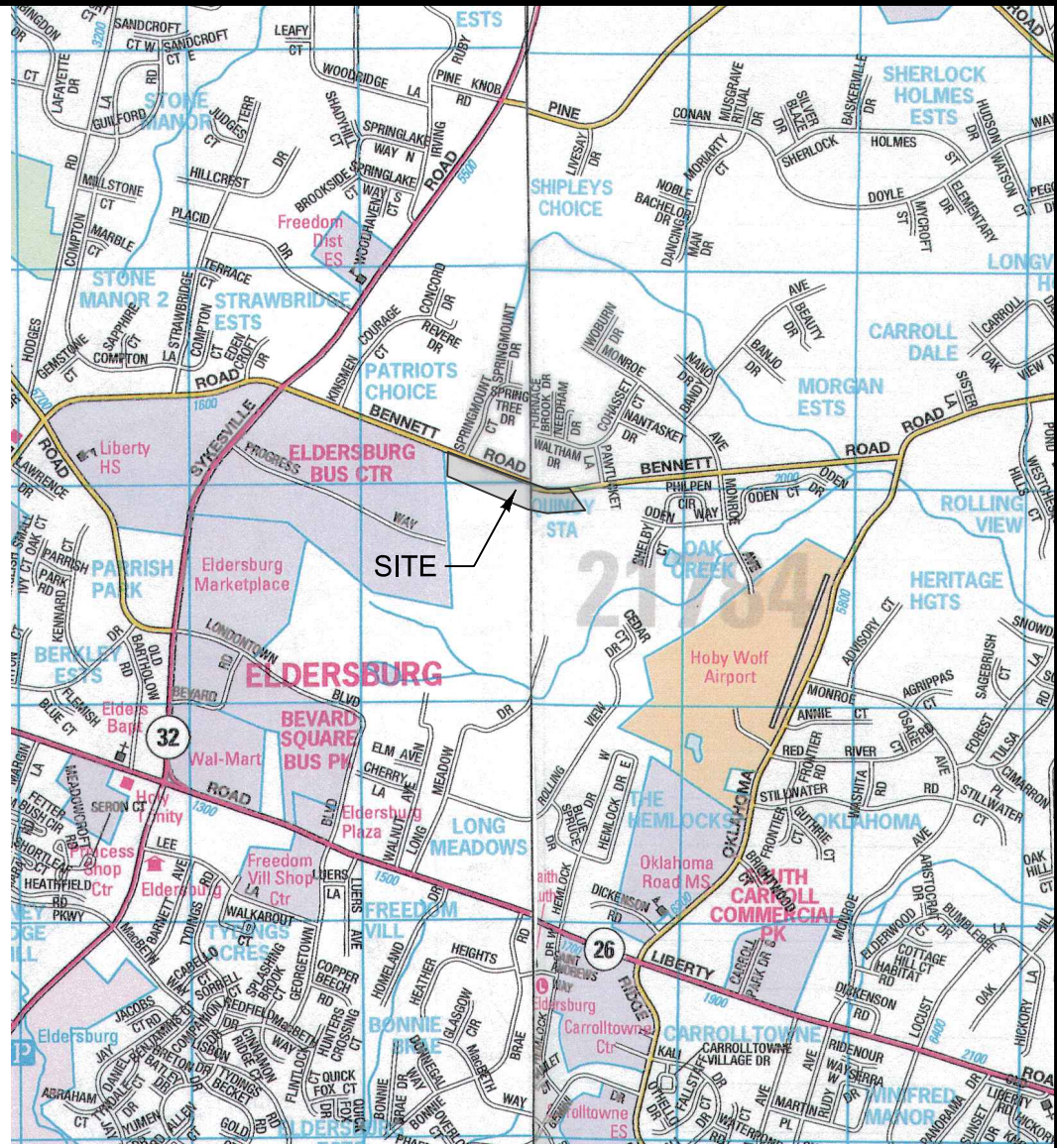
SITE ADDRESS
1701 BENNETT ROAD
ELDERSBURG, MD 21784

DATA TABULATION

1. ZONING DISTRICT:	R-40,000
2. NUMBER OF BUILDABLE LOTS:	7
3. TOTAL AREA OF BUILDABLE LOTS:	6.70 AC.
4. TOTAL AREA OF PROPOSED ROADS (PRIVATE):	0.28 AC.
5. TOTAL AREA OF PARCELS:	0.70 AC.
PARCEL A (BENNETT ROAD R/W):	0.70 AC.
7. AREA OF SUBDIVISION:	7.68 AC.

LIST OF DRAWINGS

- COVER SHEET
- BENNETT ROAD WIDENING AND ENTRANCE PLAN
- SIGHT DISTANCE AND ROAD PROFILE
- BENNETT ROAD SECTIONS
- BENNETT ROAD SECTIONS



VICINITY MAP

SCALE: 1"=2000'

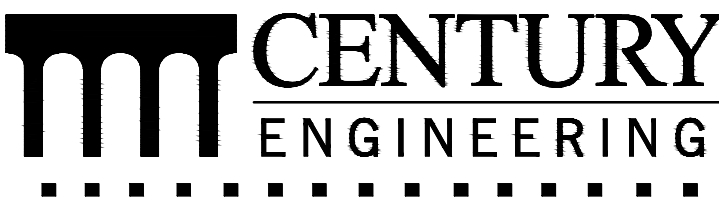
SITE COMPLIANCE CHECKLIST

- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
 - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL WORK SHOWN ON PLAN.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION AS OUTLINED ABOVE. CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION. FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH THE BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL. THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASE.

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

IN SUPPORT OF ELDERSBURG PRESERVE AND
ELDERSBURG OVERLOOK

**Bennett Road Public Road Improvements
Cover Sheet**

BENNETT ROAD WIDENING

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

**PROFESSIONAL
CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 32674
EXPIRATION DATE: 1-16-2026

DATE: 2/17/2024
PROJECT NUMBER: 20211253.005A

SCALE: AS SHOWN

DRAWING:

1 of 9

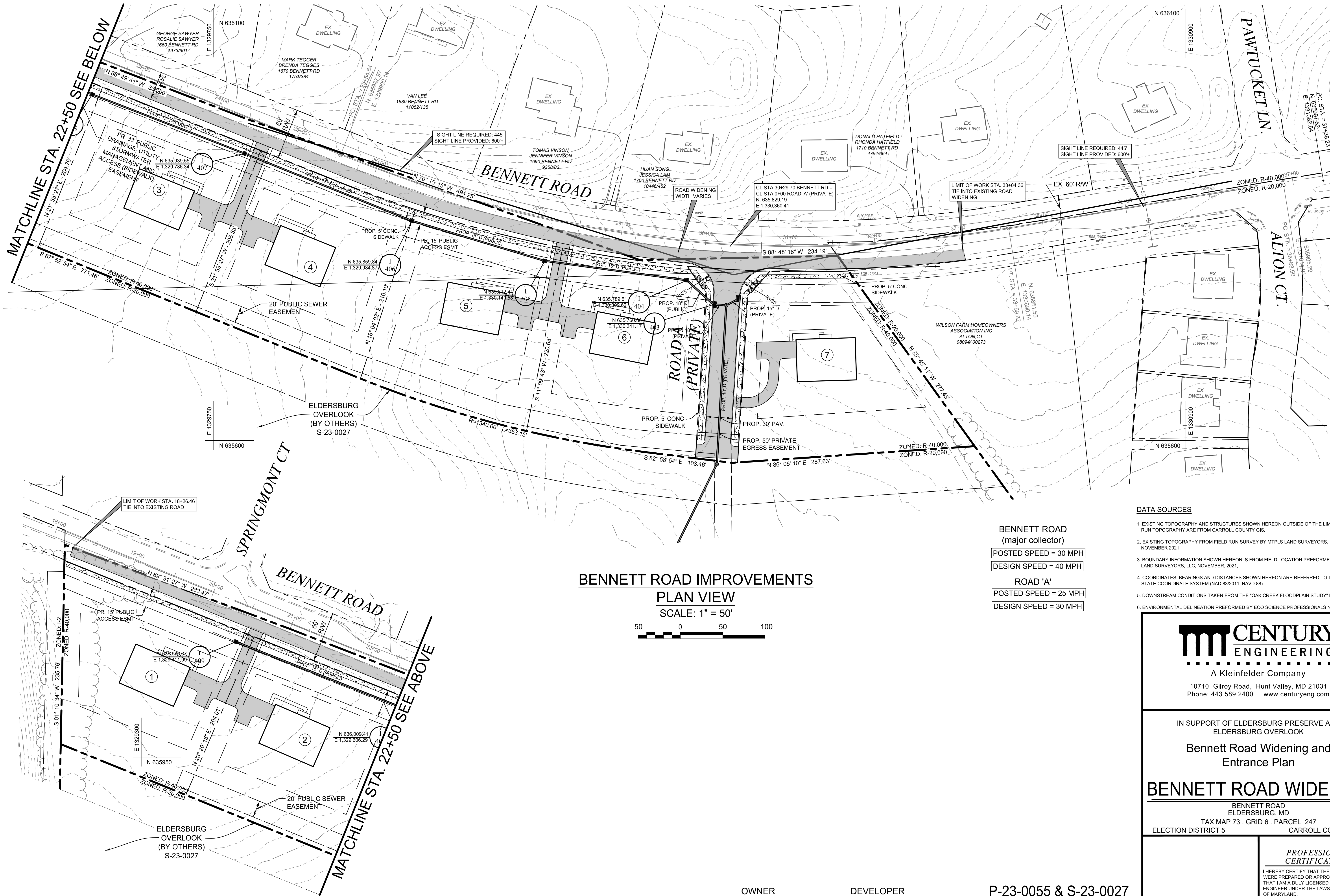
P-23-0055 & S-23-0027

DATE	BY	REVISIONS

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

T:\2021\Facilities\20211253.0044 Beaty Property Eldersburg Preserve\CIVIL\CADD\Drawings\00211253.0044 (C-x) Entrance Plan.dwg Feb. 19, 2025 8:28am rlangrehr



BENNETT ROAD IMPROVEMENTS
PLAN VIEW
SCALE: 1" = 50'



BENNETT ROAD
(major collector)
POSTED SPEED = 30 MPH
DESIGN SPEED = 40 MPH

ROAD 'A'
POSTED SPEED = 25 MPH
DESIGN SPEED = 30 MPH

- DATA SOURCES**
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
 - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
 - COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 - DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 - ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

CENTURY ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

IN SUPPORT OF ELDERSBURG PRESERVE AND ELDERSBURG OVERLOOK

Bennett Road Widening and Entrance Plan

BENNETT ROAD WIDENING

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

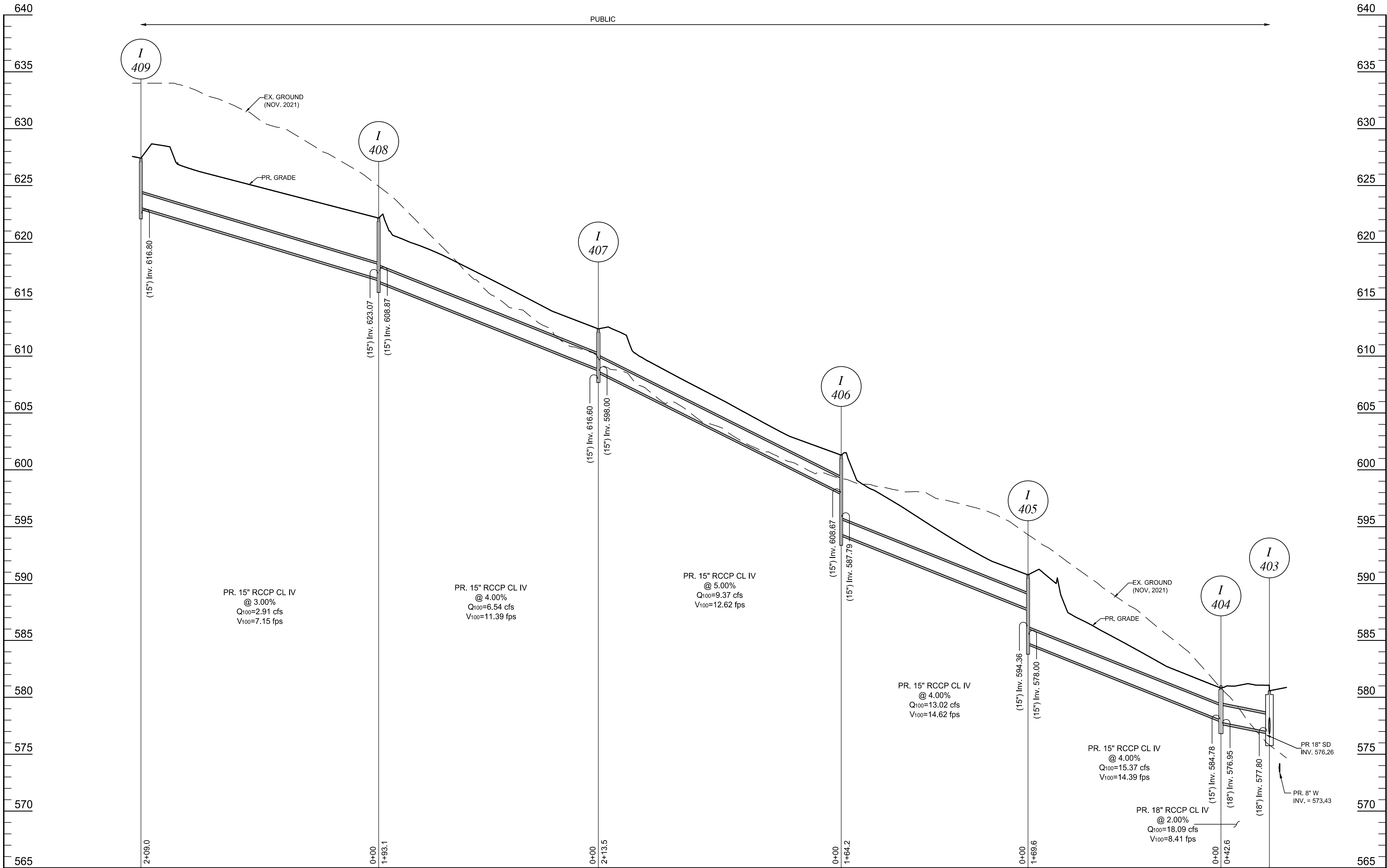
P-23-0055 & S-23-0027		
DATE	BY	REVISIONS

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 2/17/2024 SCALE: AS SHOWN DRAWING: 2 of 9
PROJECT NUMBER: 00211253.004A



PUBLIC INLET SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	DETAIL
I-404	Standard Single Opening Type K Inlet - Non-traffic Areas	(15") 578.00 (W)	(18") 577.80 (SE)	581.01	MD 378.03
I-405	Standard Single Opening Type K Inlet - Non-traffic Areas	(15") 587.79 (W)	(15") 584.78 (E)	590.77	MD 378.03
I-406	Standard Single Opening Type K Inlet - Non-traffic Areas	(15") 598.00 (W)	(15") 594.36 (E)	601.30	MD 378.03
I-407	Standard Single Opening Type K Inlet - Non-traffic Areas	(15") 608.87 (W)	(15") 608.67 (E)	612.39	MD 378.03
I-408	Standard Single Opening Type K Inlet - Non-traffic Areas	(15") 616.80 (W)	(15") 616.60 (E)	622.14	MD 378.03
I-409	Standard Single Opening Type K Inlet - Non-traffic Areas		(15") 623.07 (E)	627.41	MD 378.03

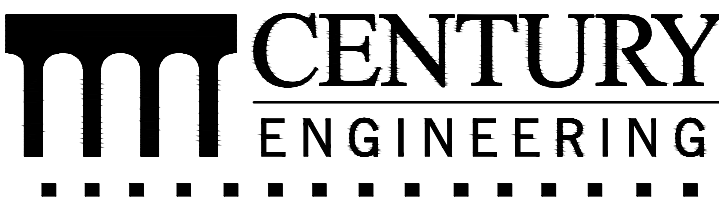
STORM DRAIN PROFILE

SCALE: HORIZ: 1"=50' VERT: 1"=5'



DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTEAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

Public Storm Drain Profiles and
Structure Schedule

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER: 32674
EXPIRATION DATE: 1-16-2026

P-23-0055

DATE	BY	REVISIONS

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

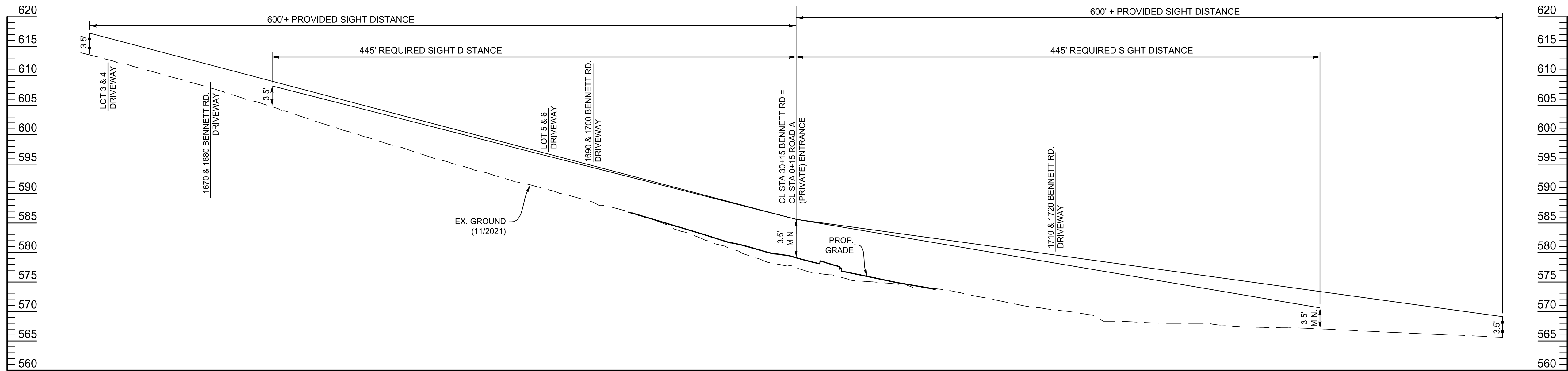
DATE: 10/17/2024
PROJECT NUMBER: 20211253.005A

SCALE: AS SHOWN

DRAWING:

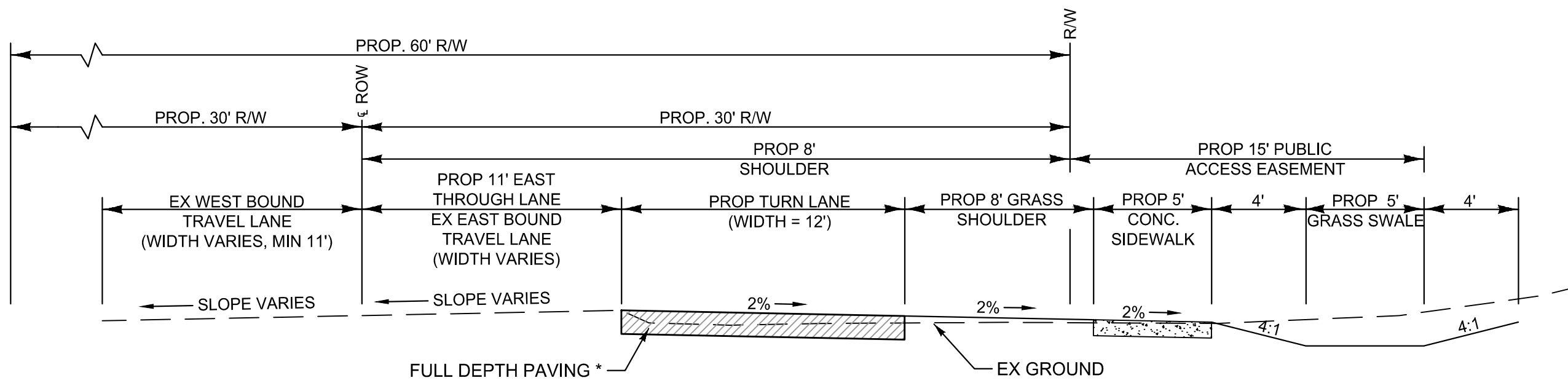
3 of X

T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) SD Da Magn.dwg Feb 19, 2025 8:29am rlangehr

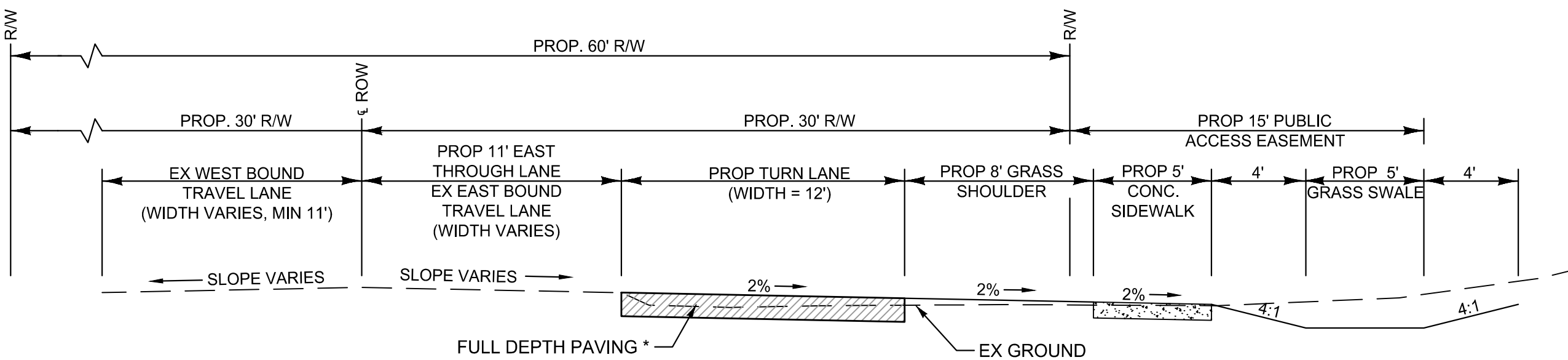


ROAD 'A' at BENNETT RD
SIGHT LINE PROFILE

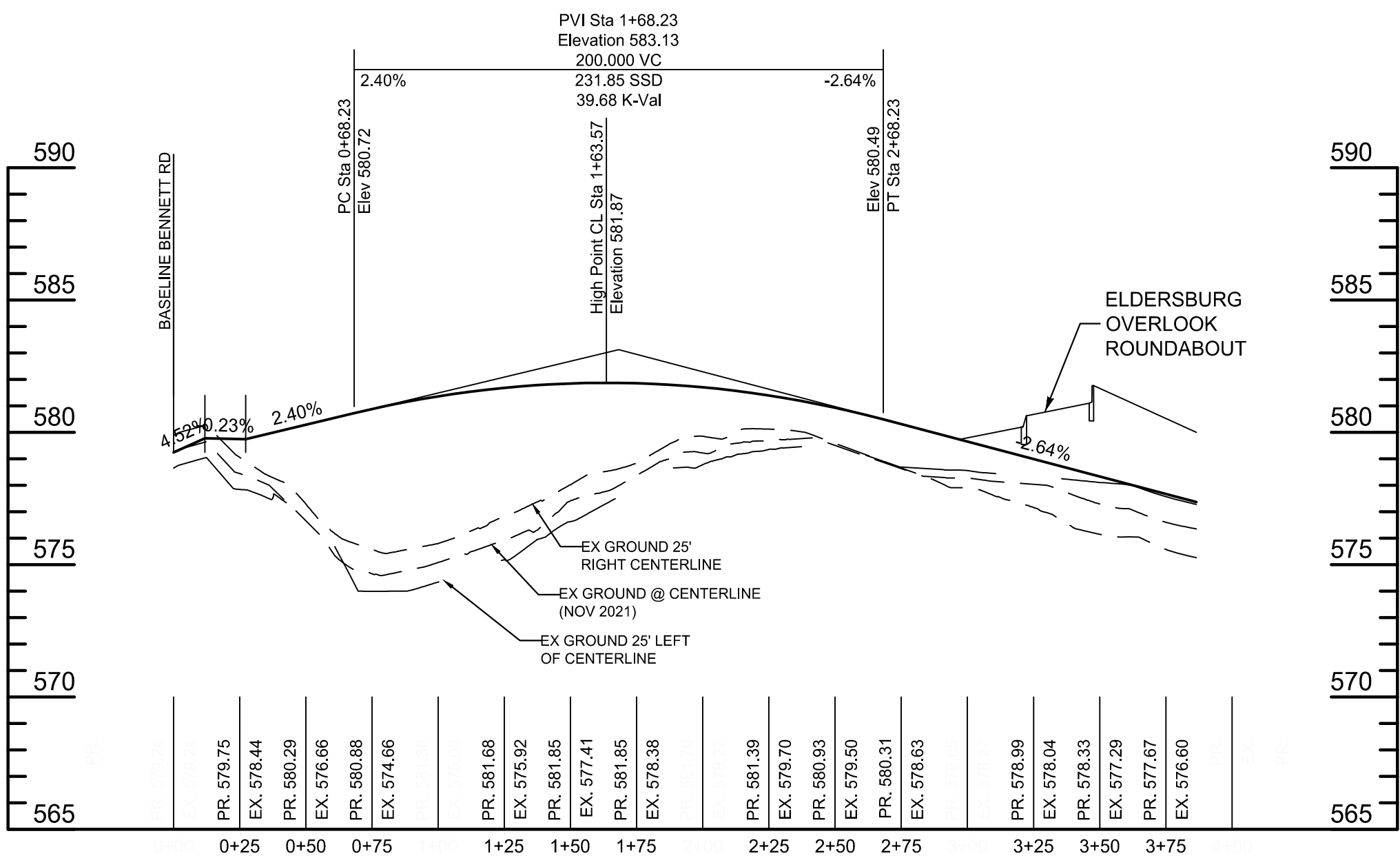
HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 10'



BENNETT ROAD
TYPICAL CROSS SECTION FOR
SUPER ELEVATION
NOT TO SCALE



BENNETT ROAD
TYPICAL CROSS SECTION
NOT TO SCALE



ROAD 'A' PROFILE

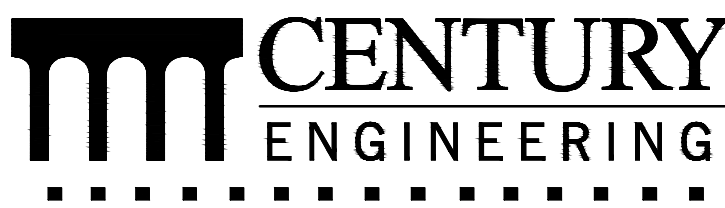
HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 5'



REFER TO SHEET 2 FOR OVERALL
LEGEND AND NOTES

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

IN SUPPORT OF ELDERSBURG PRESERVE AND
ELDERSBURG OVERLOOK

Sight Distance Plan and Profile
Entrance Road

BENNETT ROAD WIDENING

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 2/17/2024
PROJECT NUMBER: 00211253.004A

SCALE: AS SHOWN

DRAWING:

4 of 9

* PAVING COURSE THICKNESS SHALL BE DESIGNED IN ACCORDANCE *WITH
THE DESIGN GUIDE FOR FLEXIBLE PAVEMENT OR THE CARROLL COUNTY
DEPARTMENT OF PUBLIC WORKS

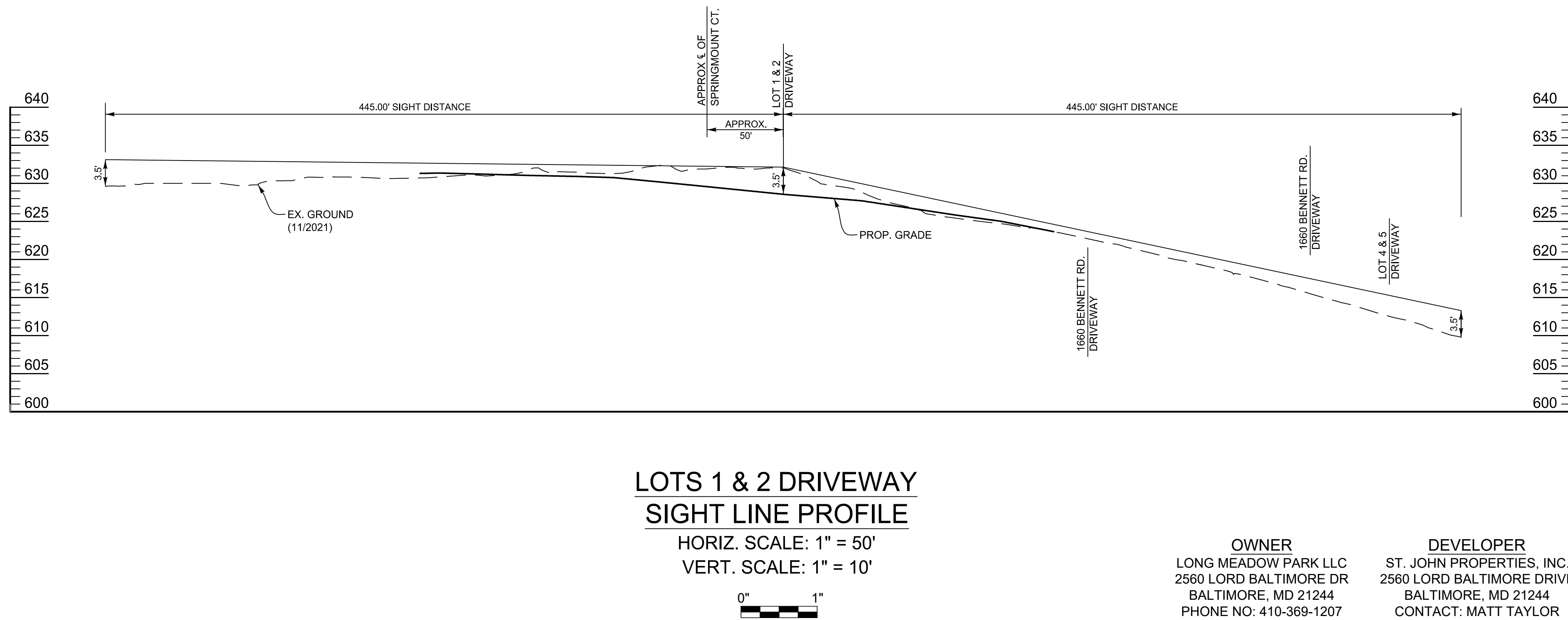
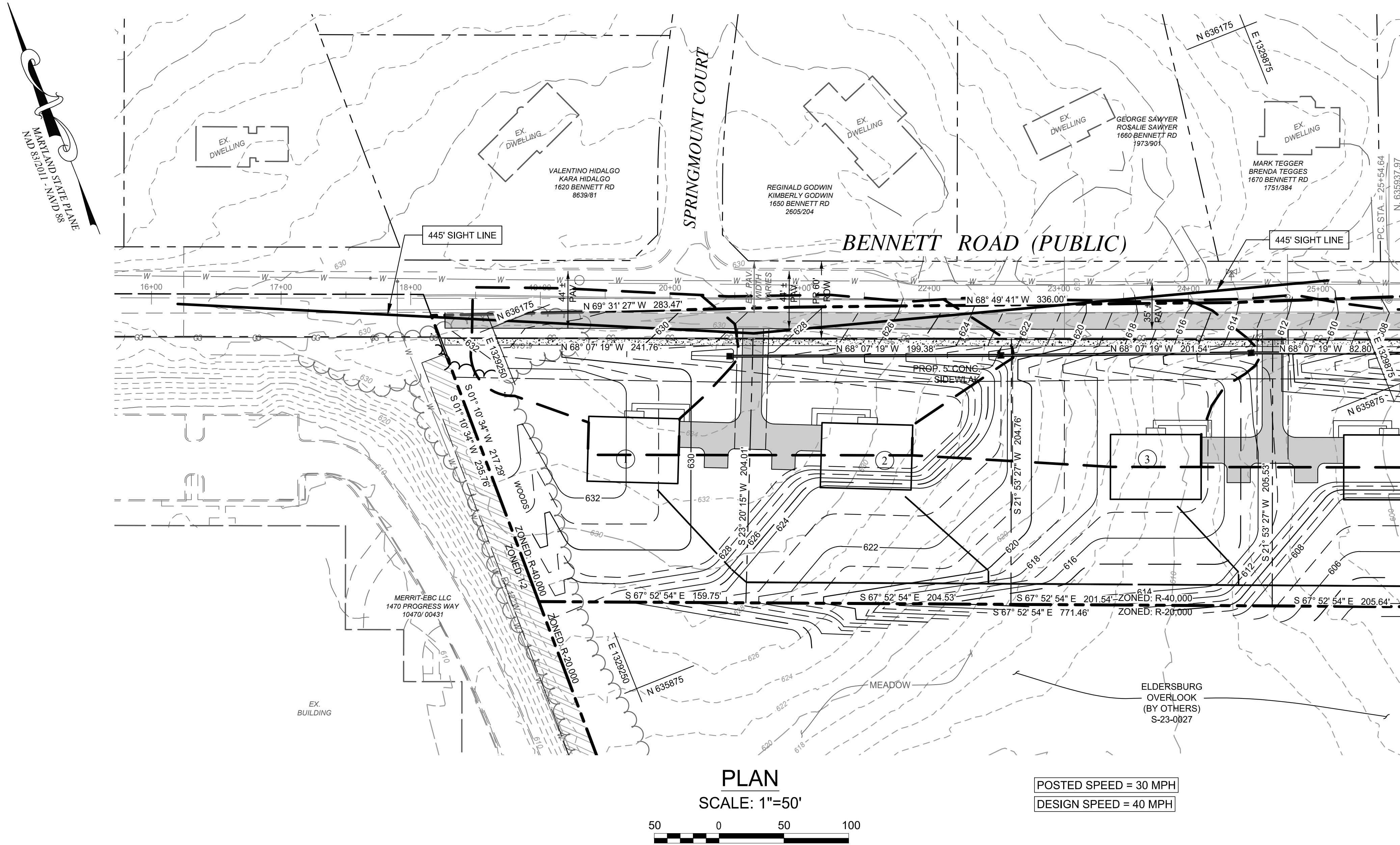
OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055 & S-23-0027

DATE	BY	REVISIONS

T:\2021\Facilities\20211253.004A Beaty Property Eldersburg Preserve\CIVIL\CADD\Drawings\00211253.004A (C-9) Site Distance Plan Lots 1 & 2.dwg Feb. 19, 2025 8:30am rlangrehr



- DATA SOURCES
1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 6. ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

CENTURY
ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

IN SUPPORT OF ELDERSBURG PRESERVE AND
ELDERSBURG OVERLOOK
LOTS 1 & 2 SIGHT LINE
PLAN & PROFILE
BENNETT ROAD WIDENING
BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

**PROFESSIONAL
CERTIFICATION**
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.
LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

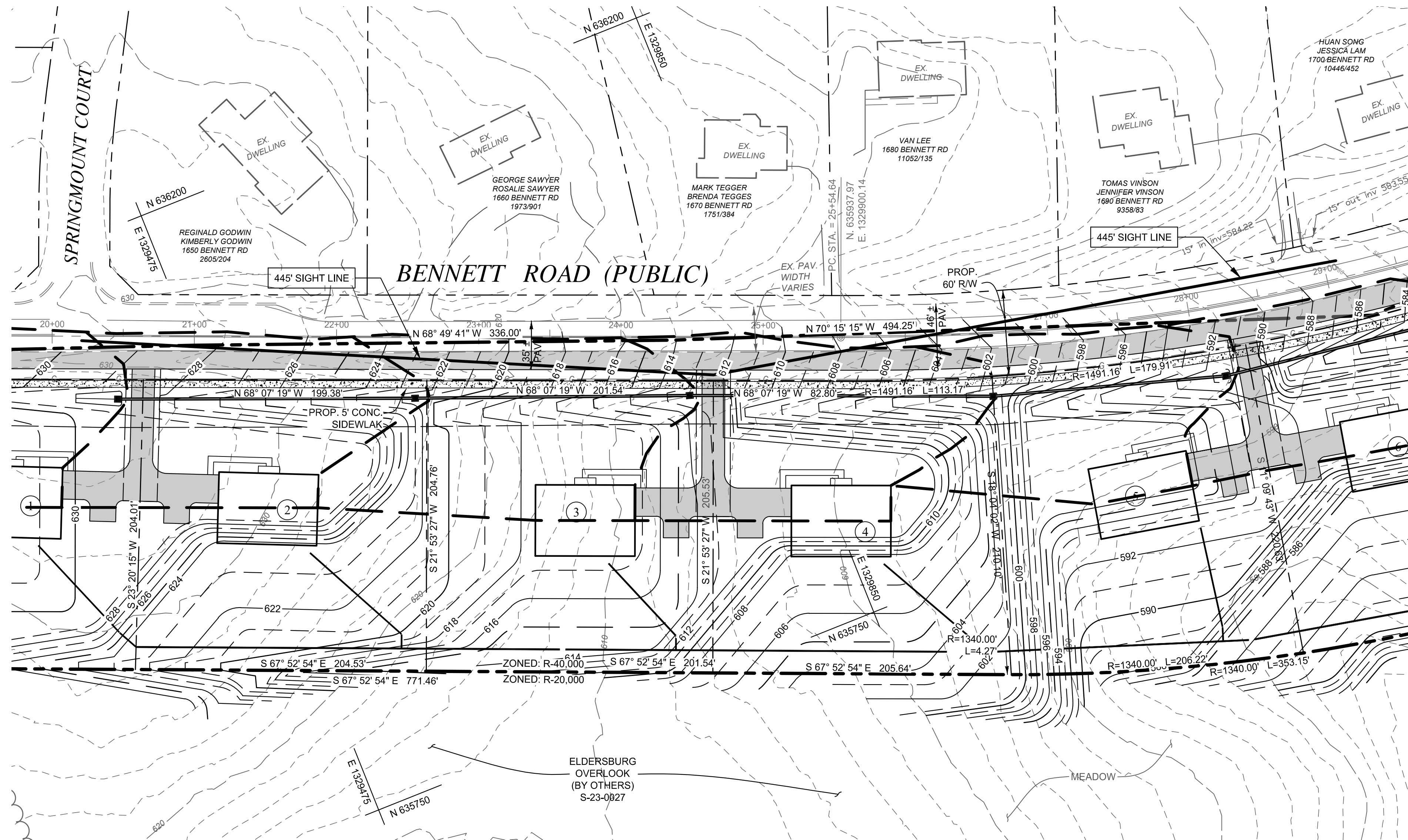
P-23-0055 & S-23-0027		
DATE	BY	REVISIONS

DATE: 2/17/2024
PROJECT NUMBER: 00211253.004A

SCALE: AS SHOWN

DRAWING:

----- of 9



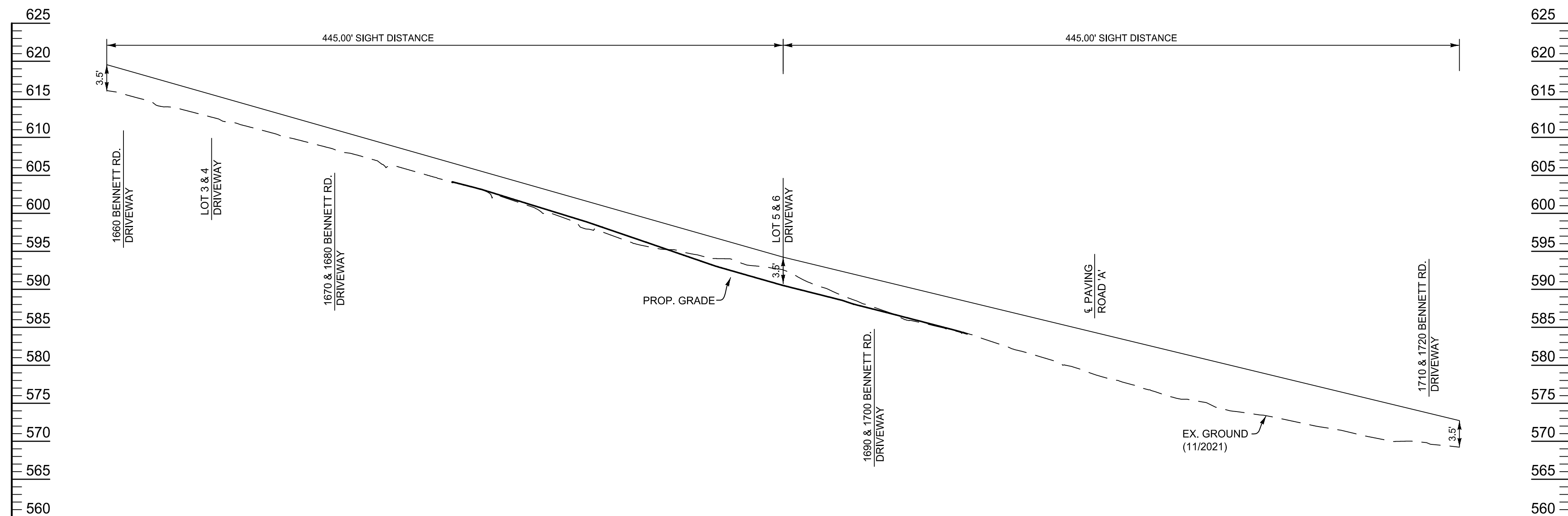
The profile view shows the proposed road alignment (solid line) and existing ground (dashed line) over a horizontal distance of 445.00' sight distance. The vertical axis represents elevation in feet, ranging from 580 to 640. The horizontal axis represents distance. Key features include:

- Proposed Grade:** Indicated by a solid line.
- Existing Ground:** Indicated by a dashed line.
- Sight Distance:** 445.00' is marked twice, indicating the length of the sight triangle.
- Vertical Curve Data:**
 - Approx. $\frac{1}{2}$ of Springmount Ct. (3.5')
 - 1660 Bennett Rd. Driveway (3.5')
 - 1670 & 1680 Bennett Rd. Driveway (3.5')
 - 1690 & 1700 Bennett Rd. Driveway (3.5')
- Lot Labels:**
 - LOT 1 & 2 DRIVEWAY
 - LOT 3 & 4 DRIVEWAY
 - LOT 5 & 6 DRIVEWAY
- Elevation Markers:** 580, 585, 590, 595, 600, 605, 610, 615, 620, 625, 630, 635, 640.

0" 1

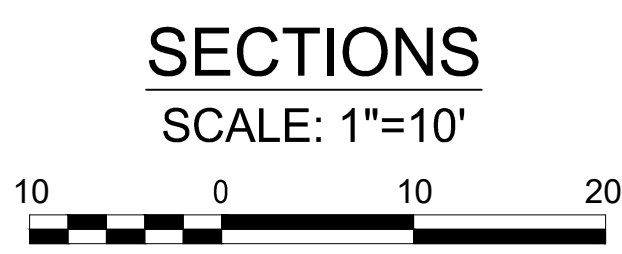
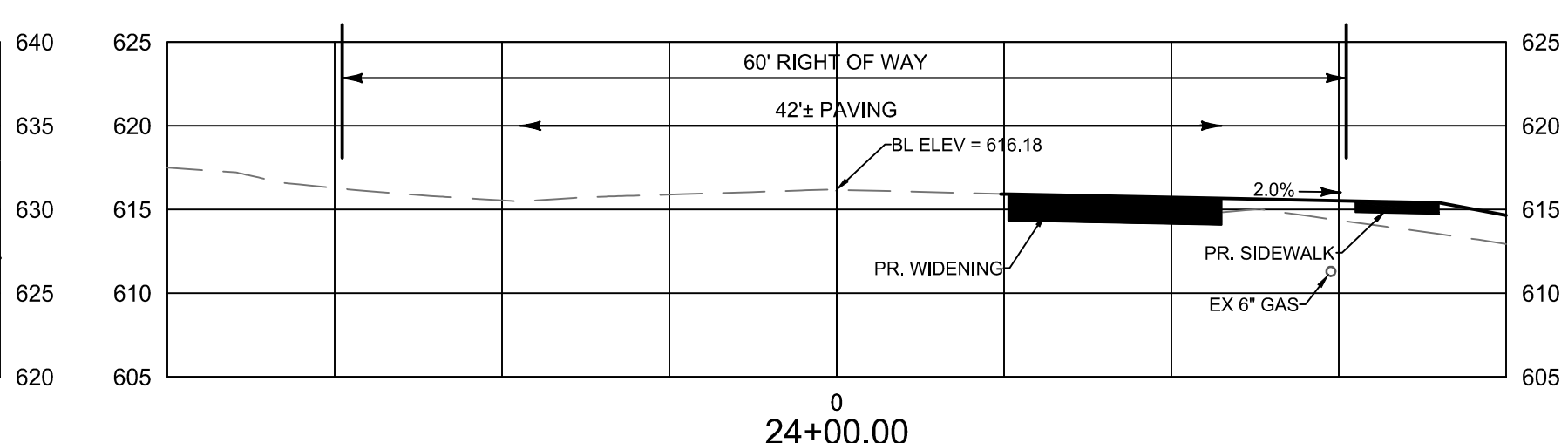
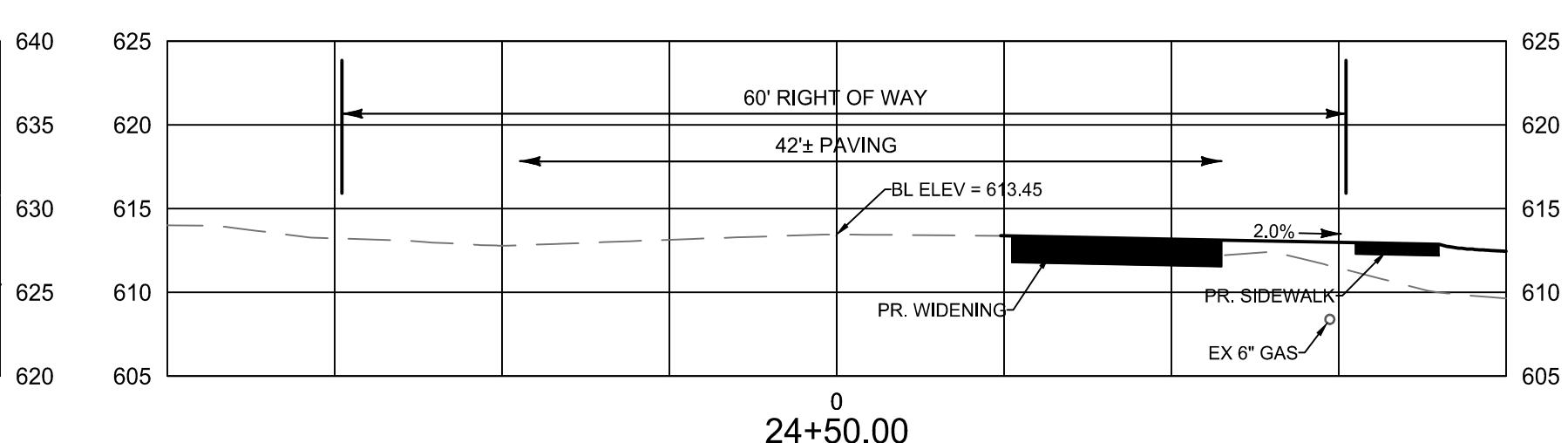
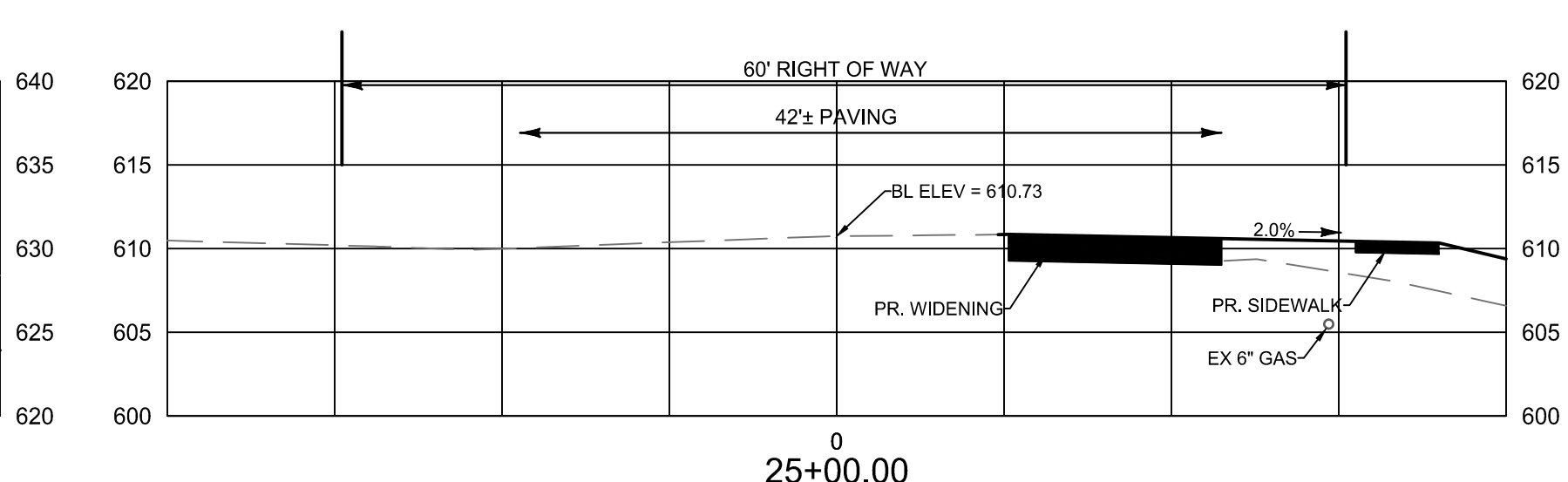
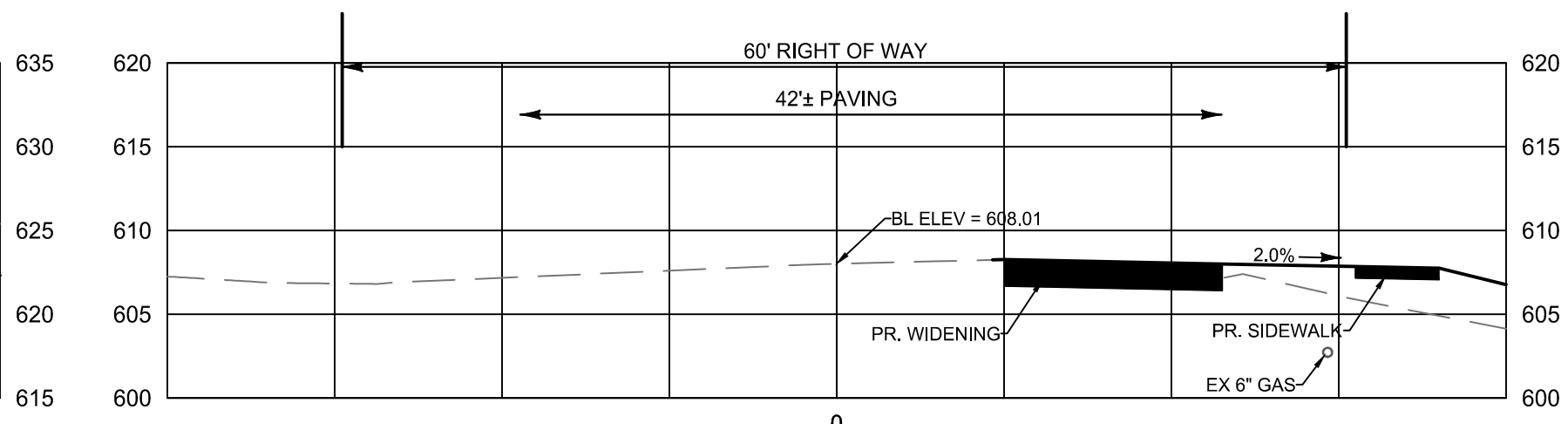
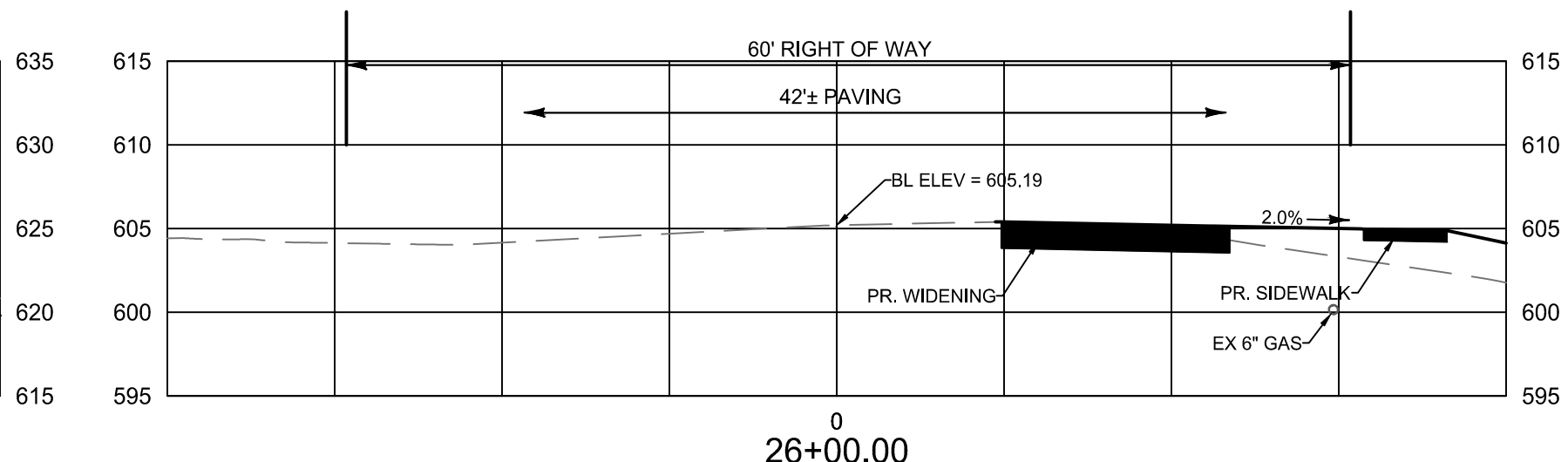
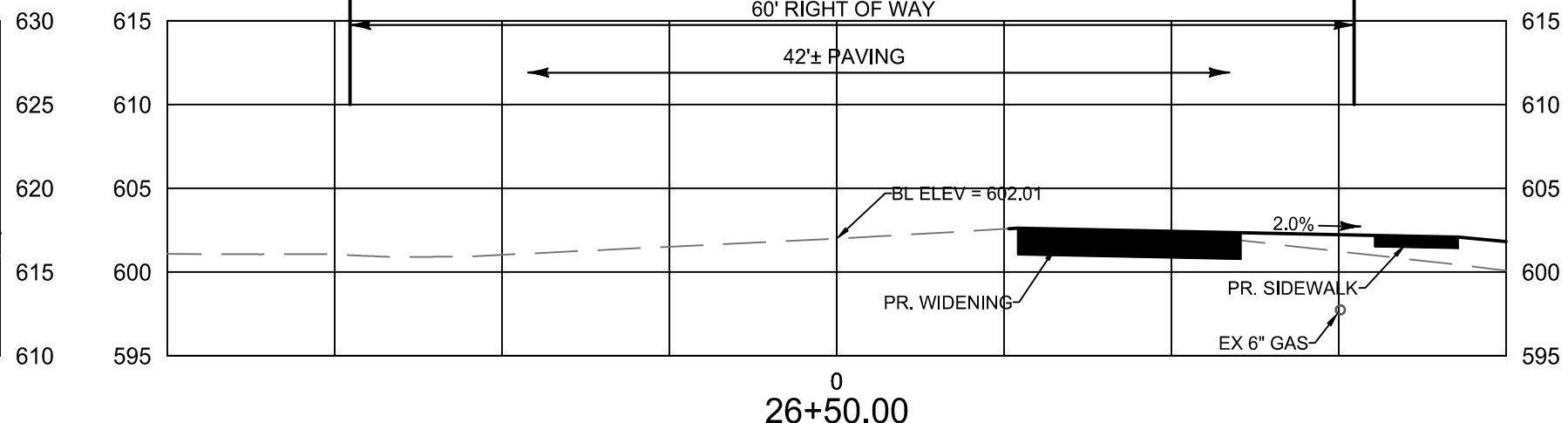
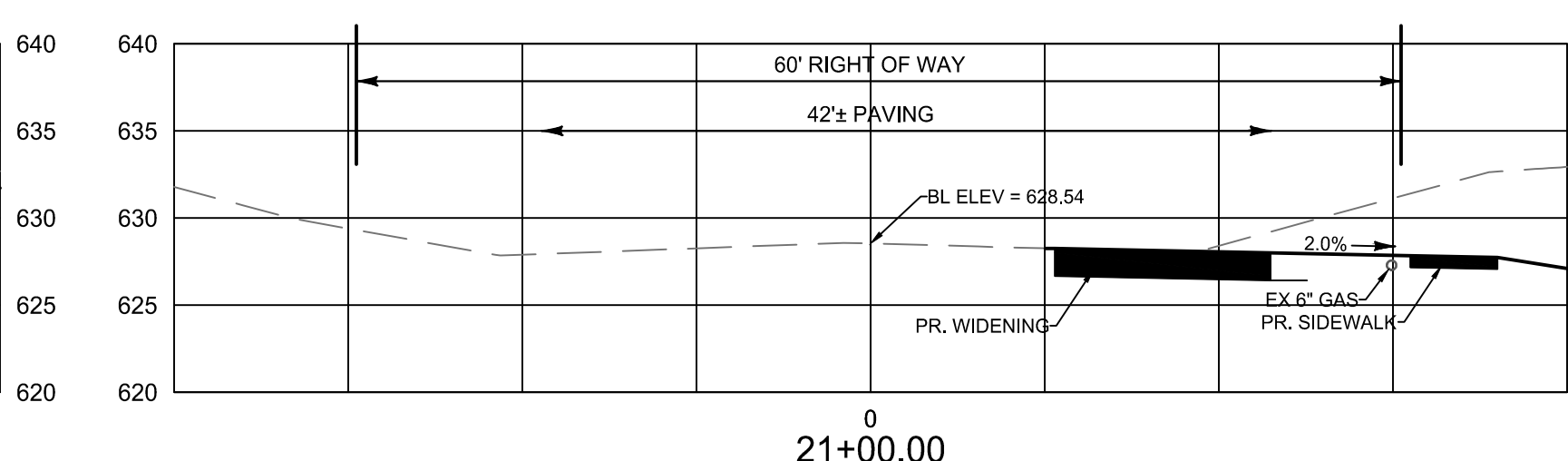
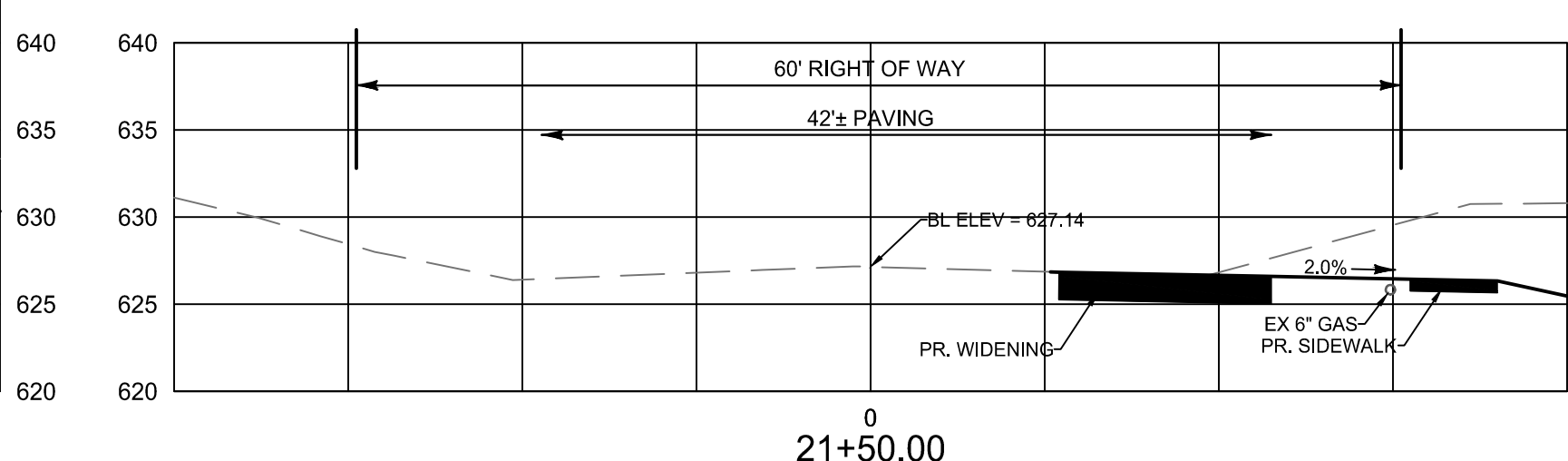
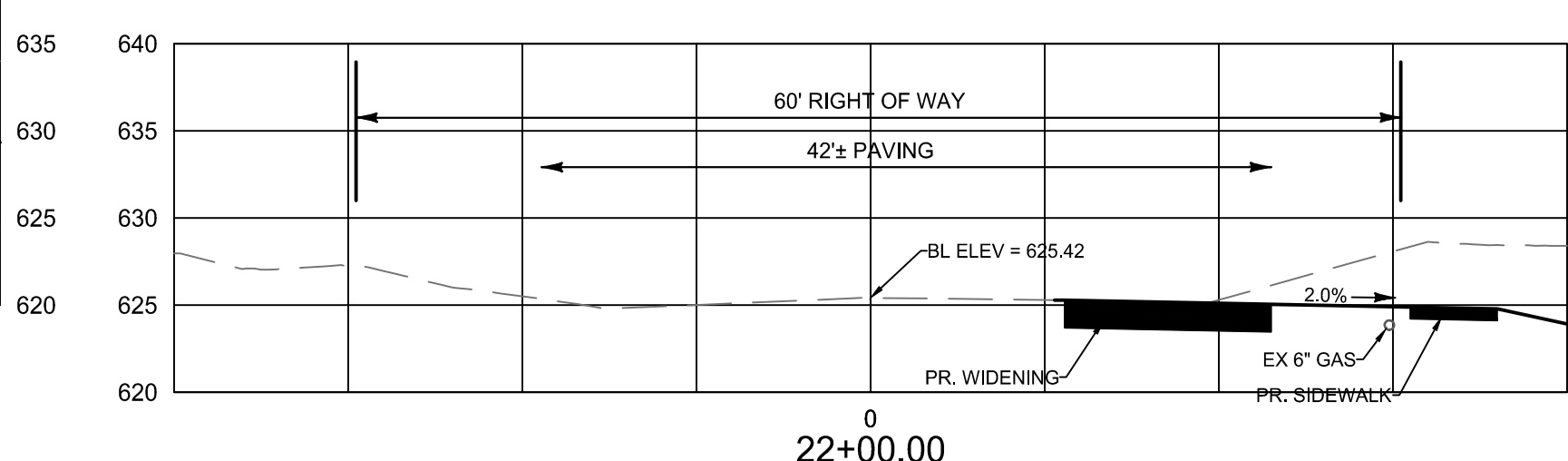
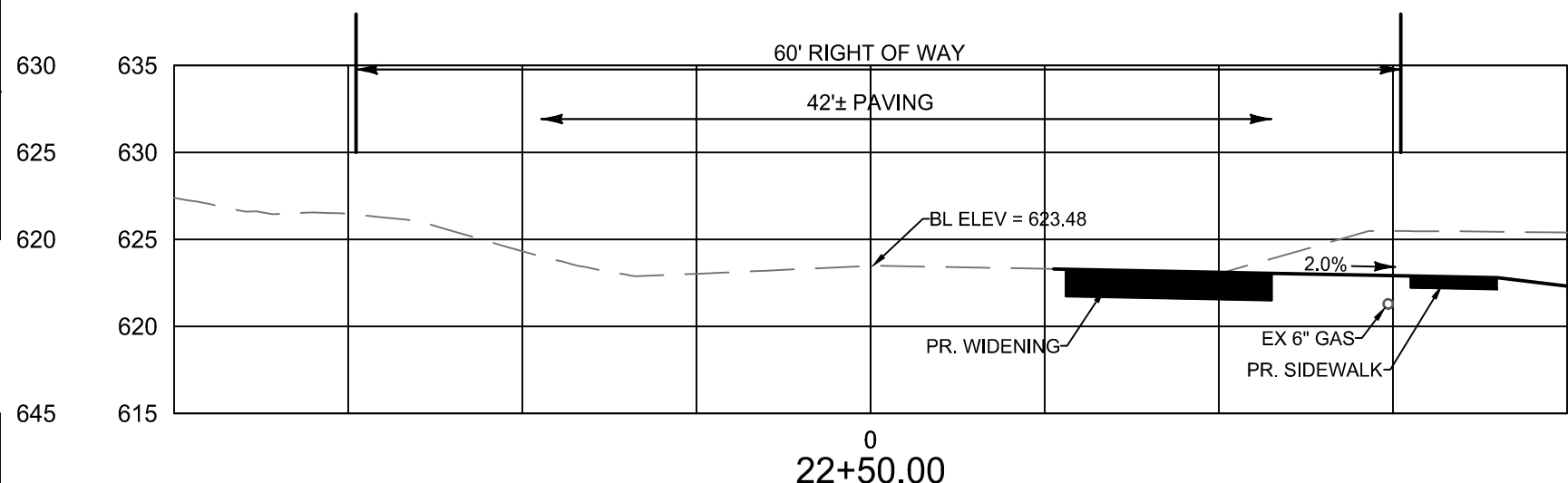
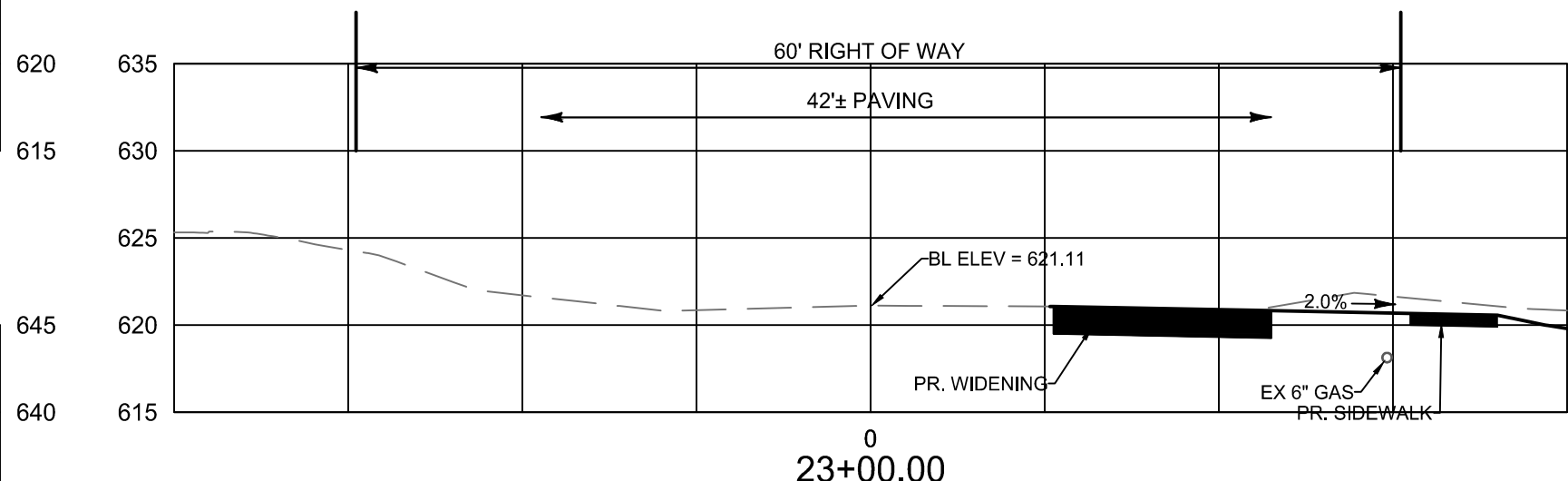
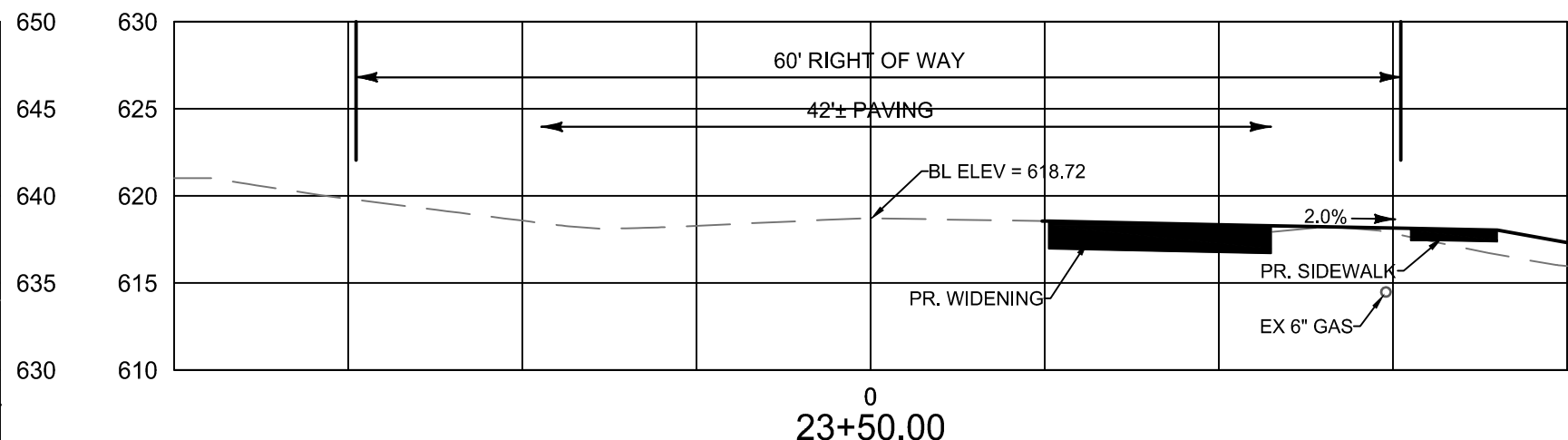
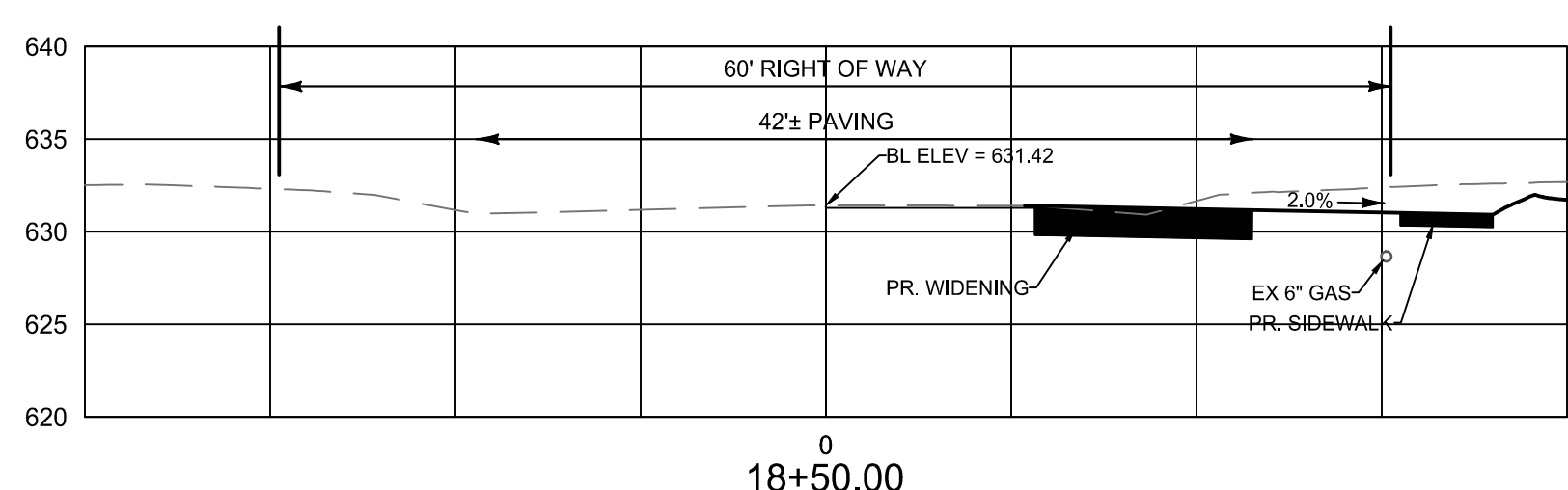
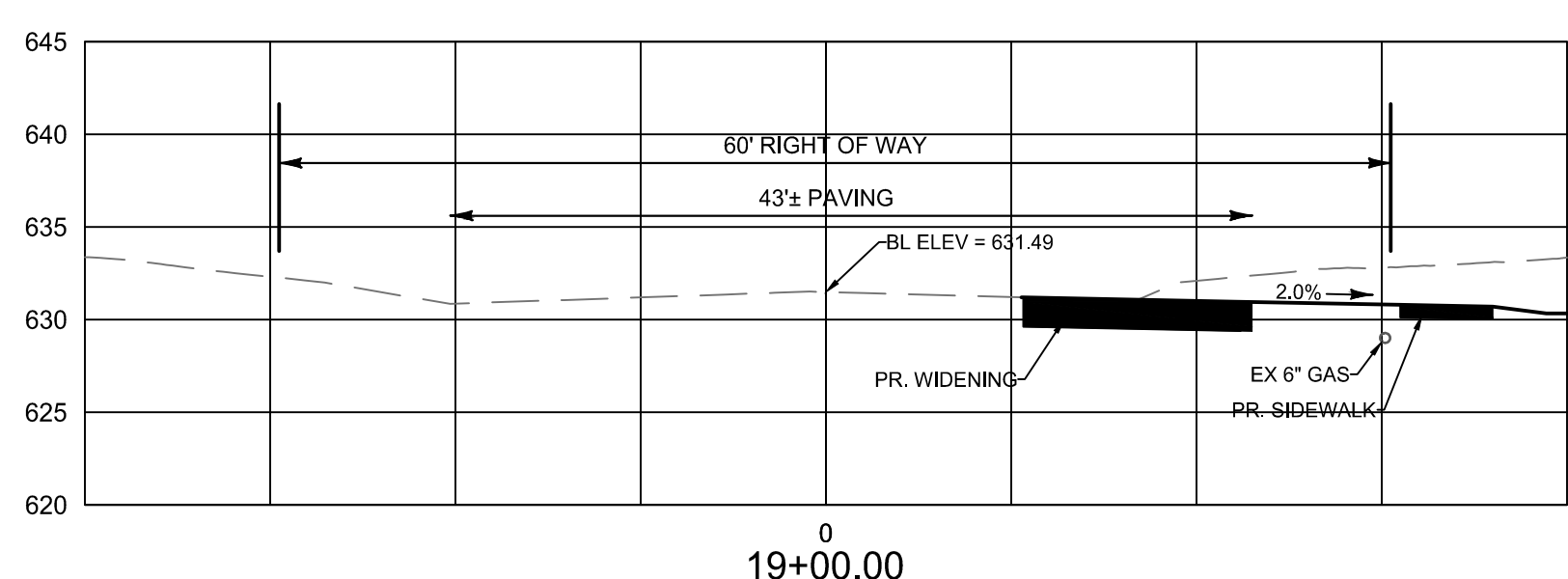
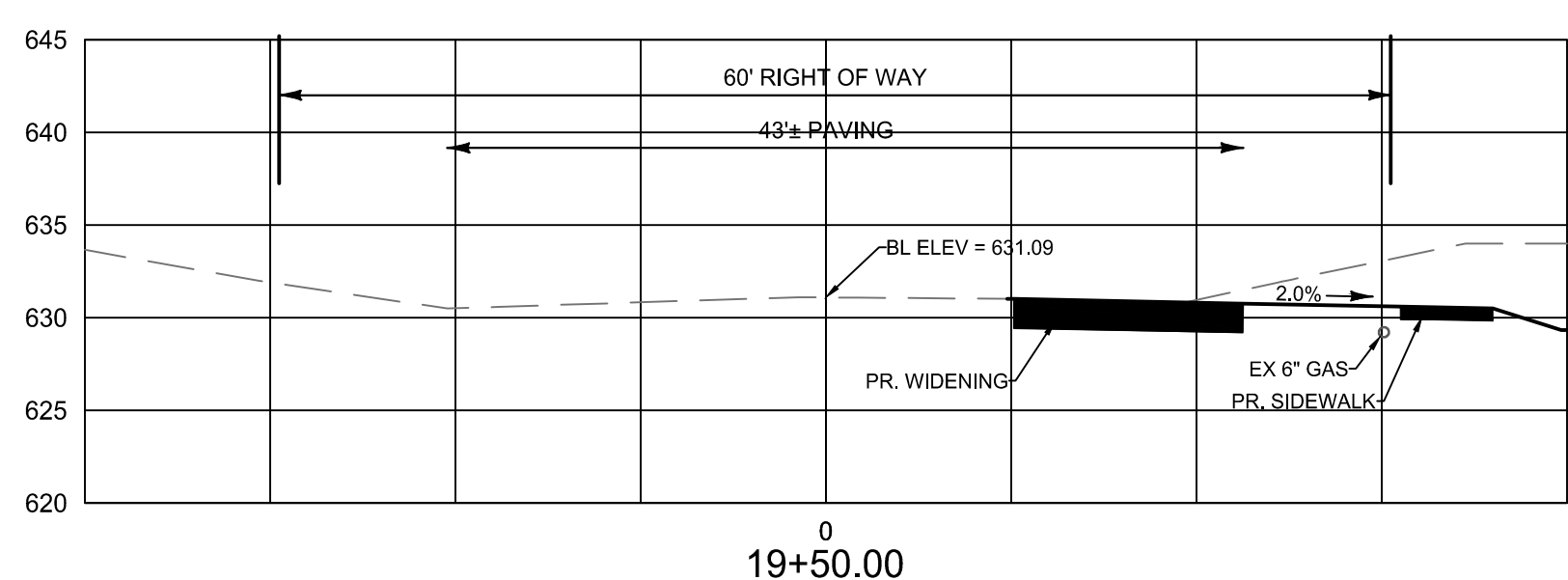
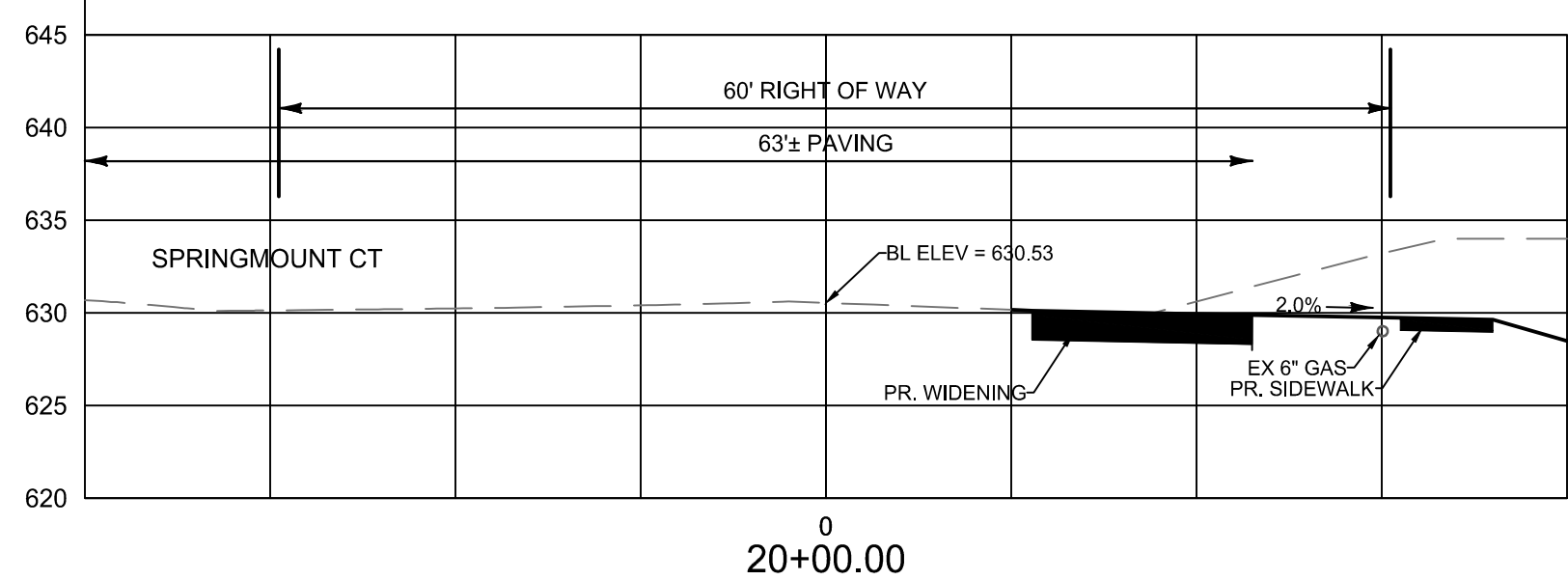
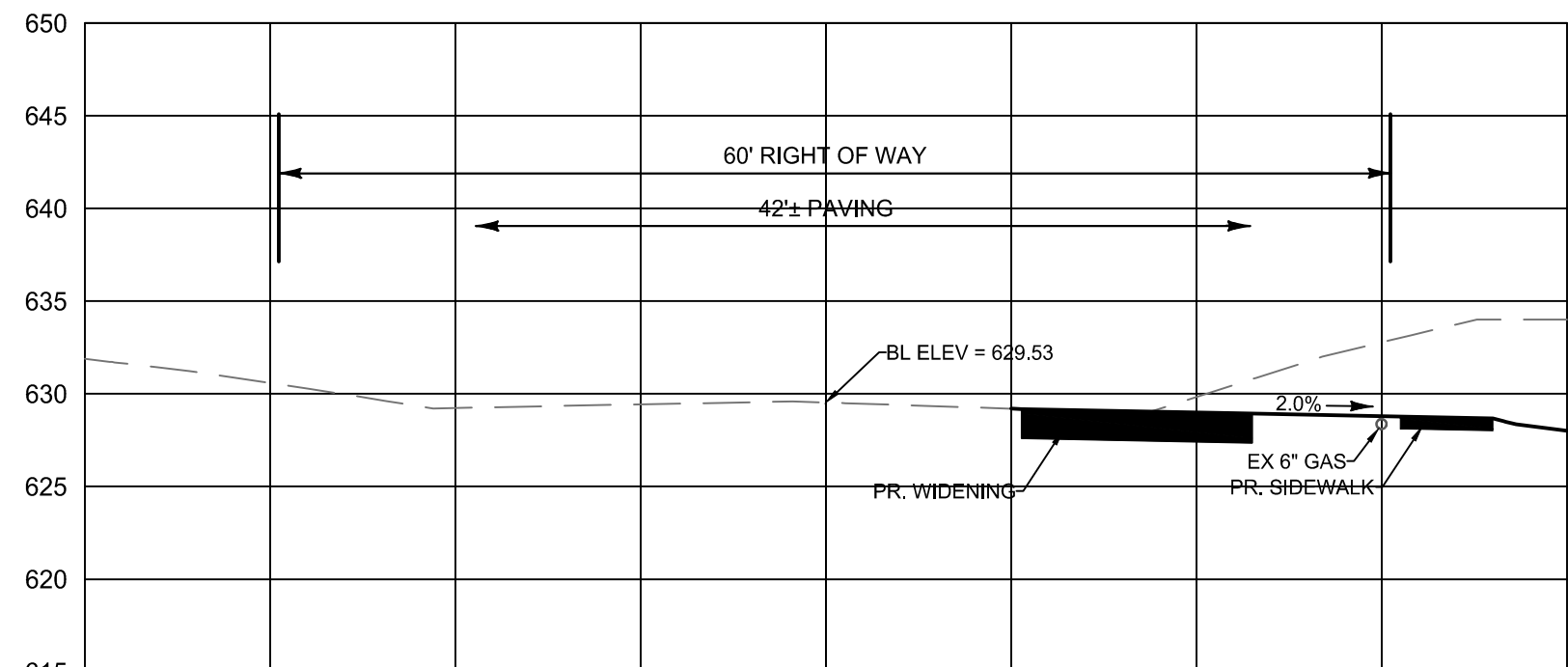
DATE	BY	REVISIONS

DATE: 2/17/2024	SCALE: AS SHOWN	DRAWING: ---- of 9
PROJECT NUMBER: 00211253.004A		



HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 10'

T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\00211253.004A (C-x) Bennett Rd Sections.dwg Feb 19, 2025 8:31am rlangheir



OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055		
DATE	BY	REVISIONS

- DATA SOURCES**
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
 - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC. NOVEMBER, 2021.
 - COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 - DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 - ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



CENTURY
ENGINEERING

A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

BENNETT ROAD SECTIONS

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

**PROFESSIONAL
CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

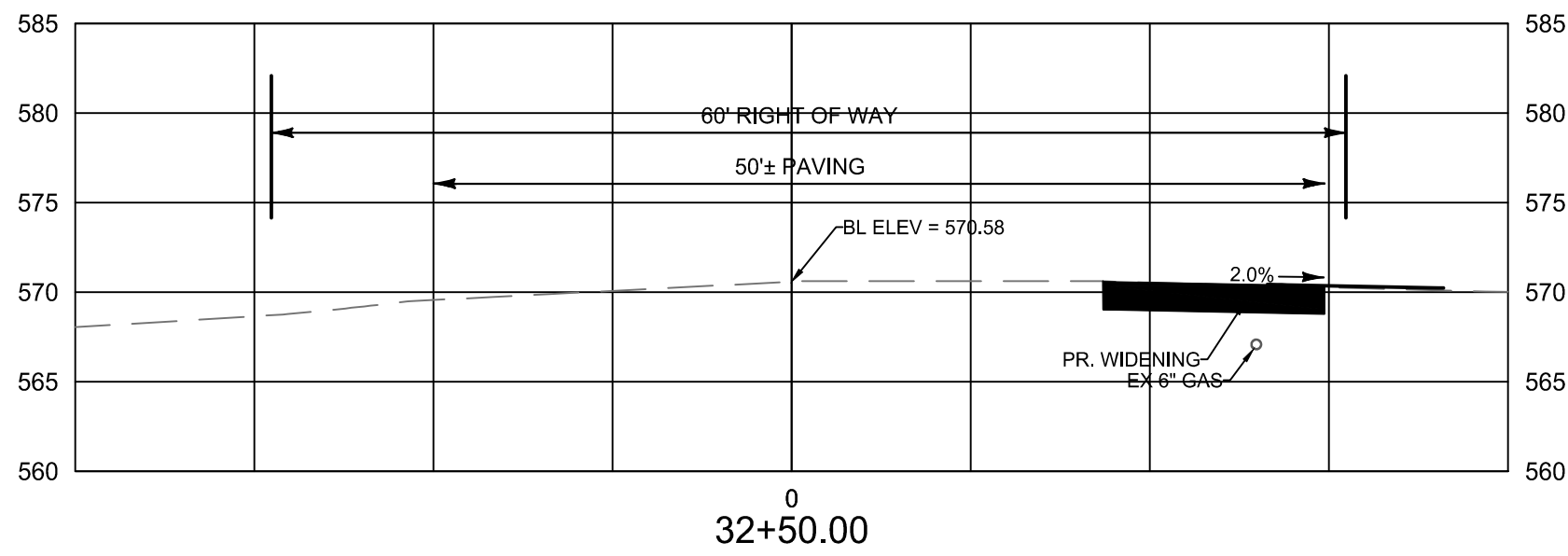
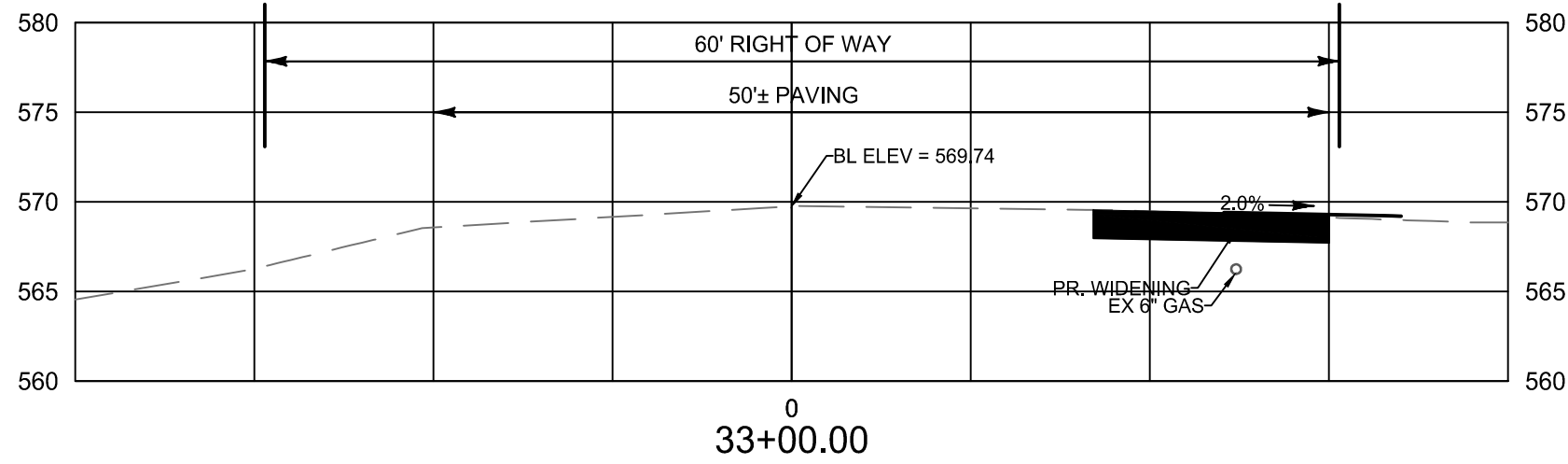
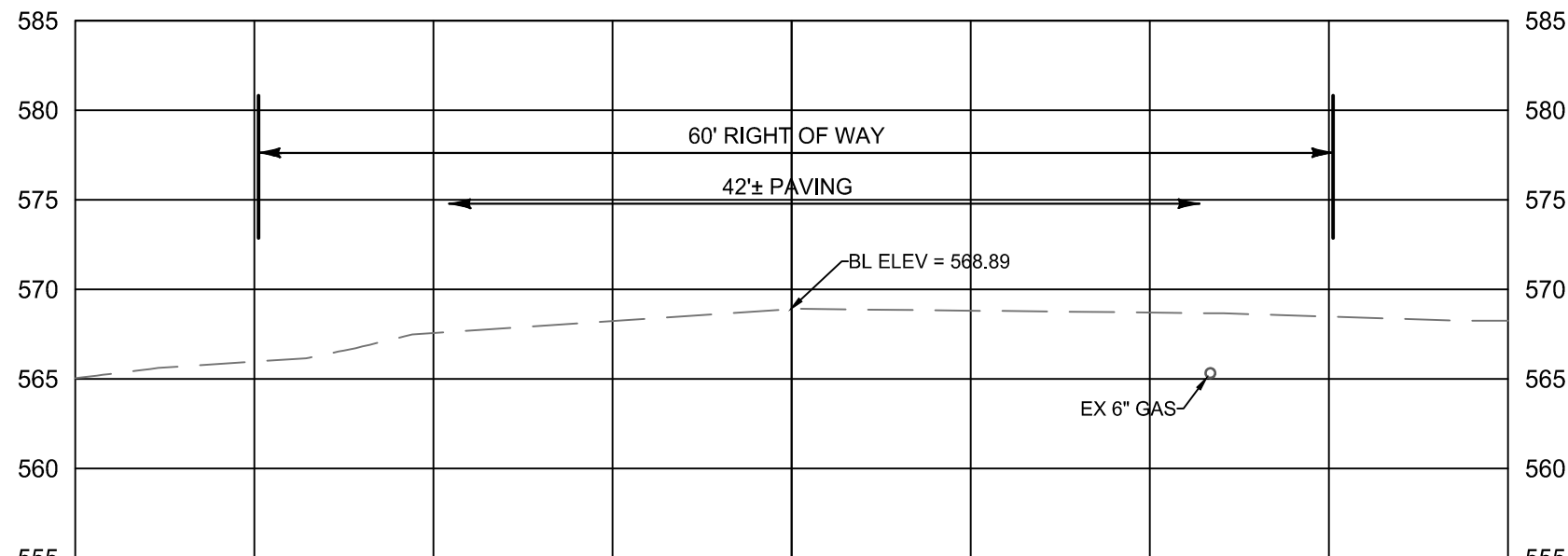
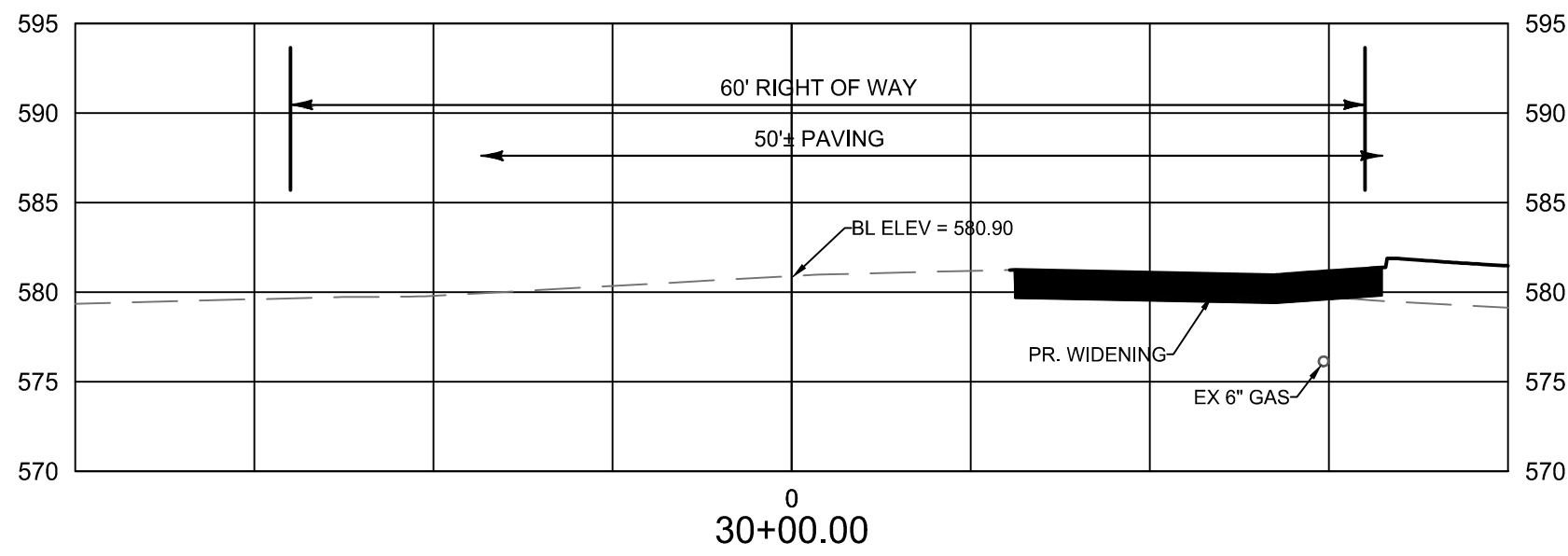
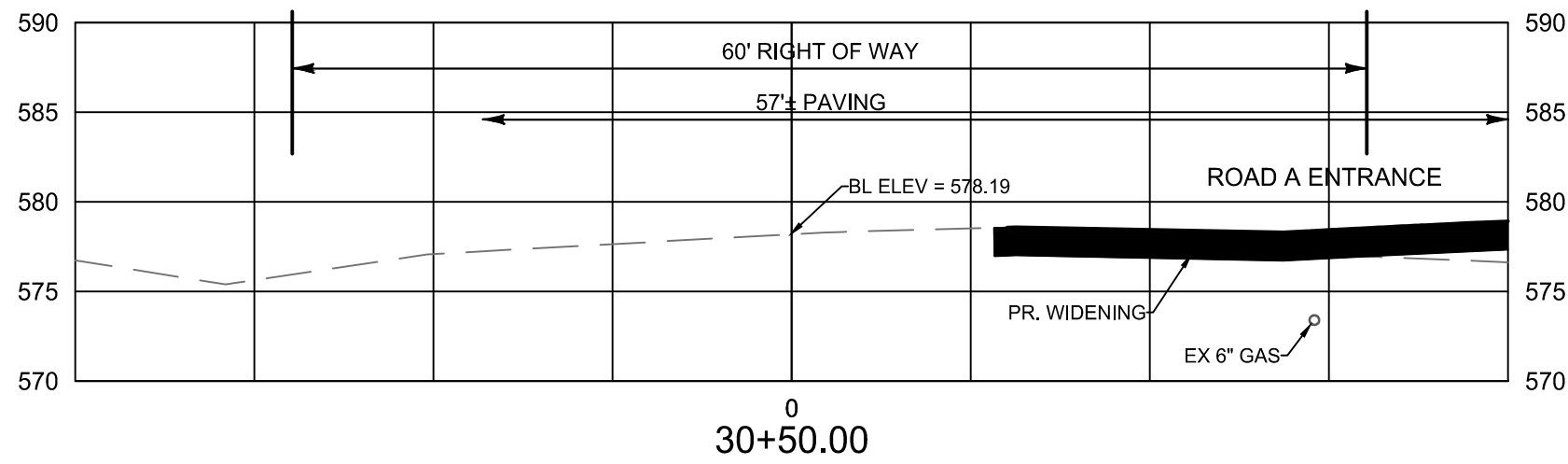
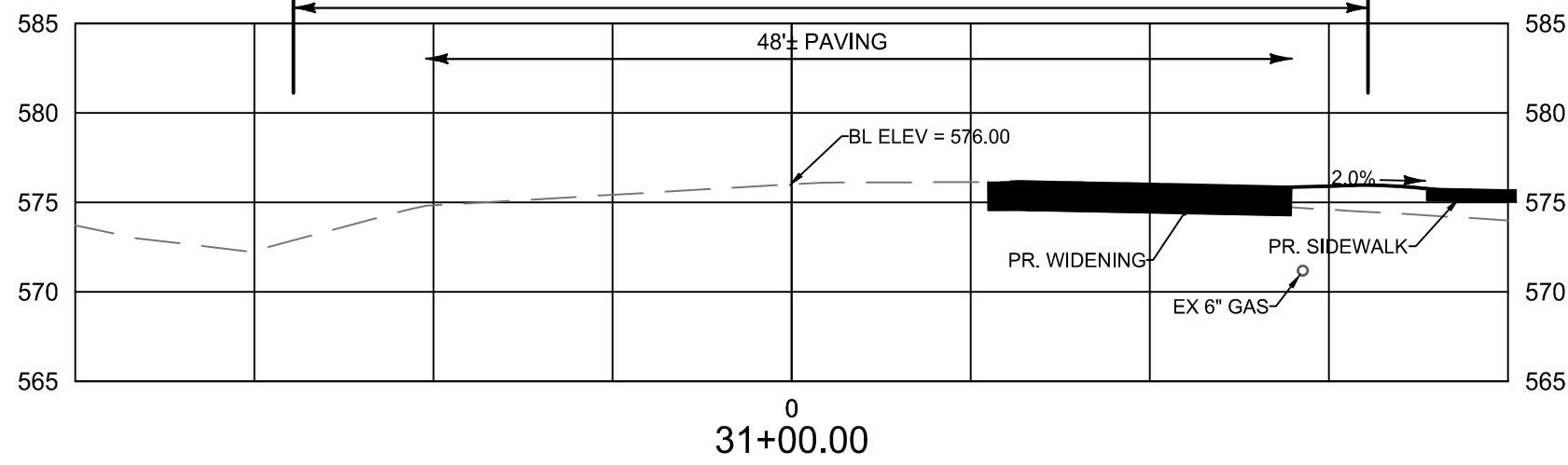
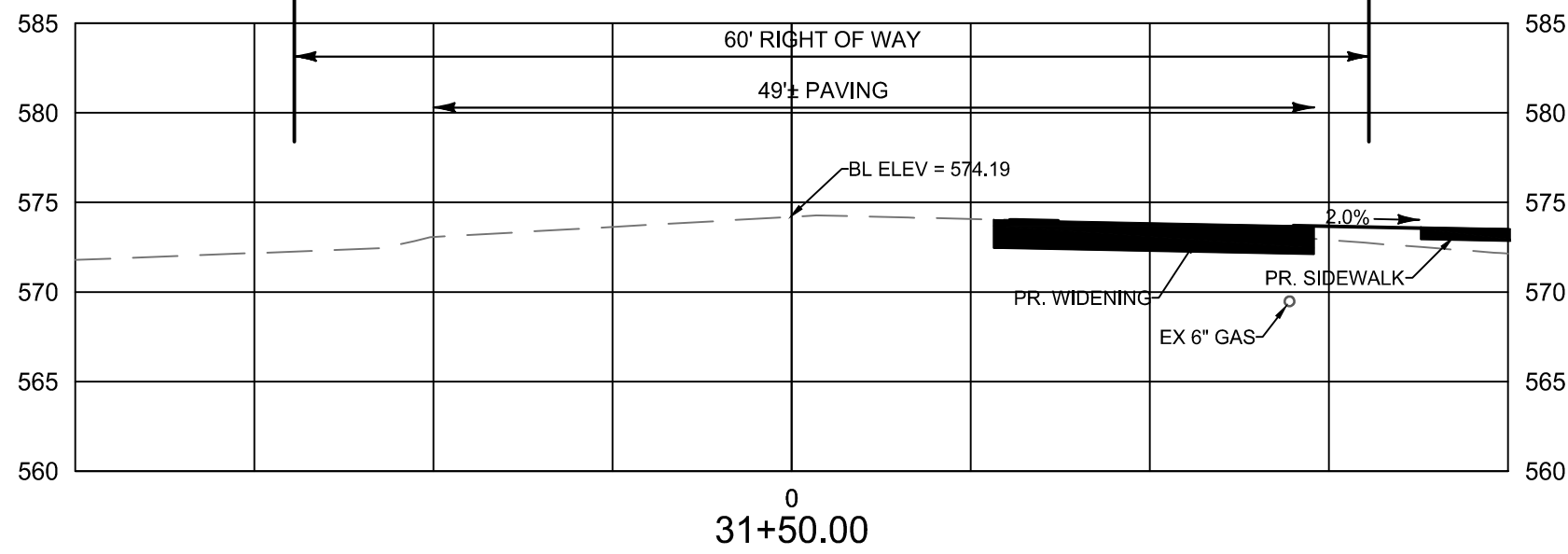
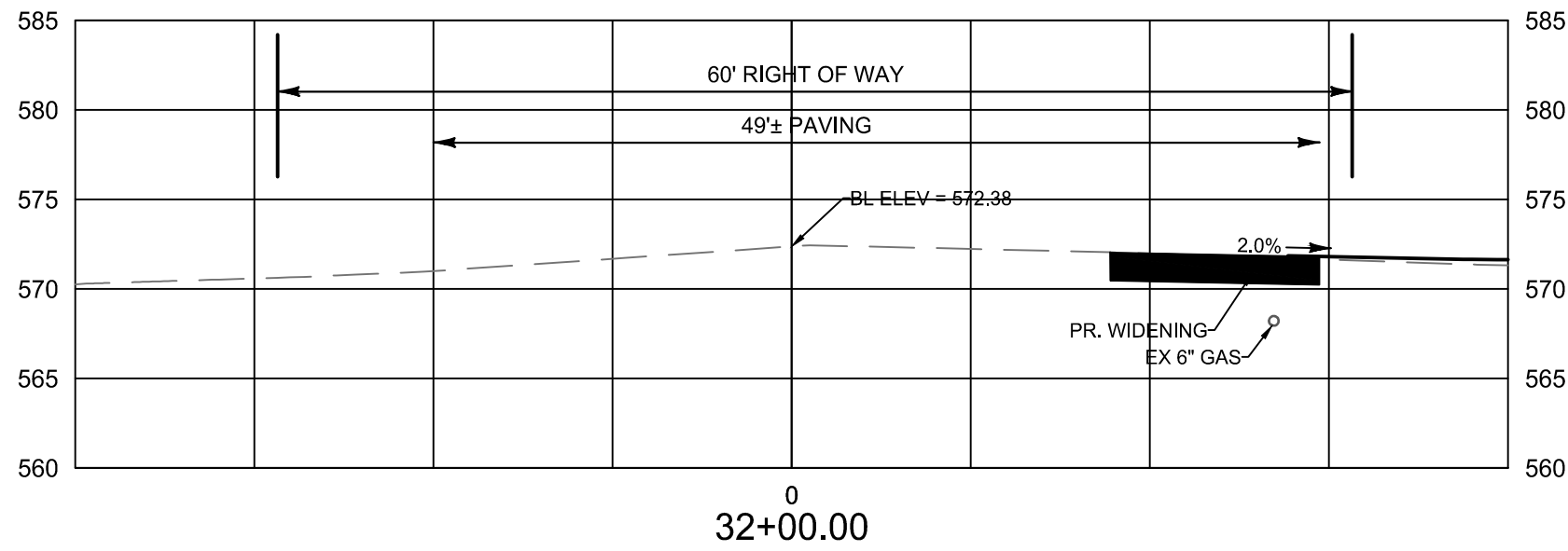
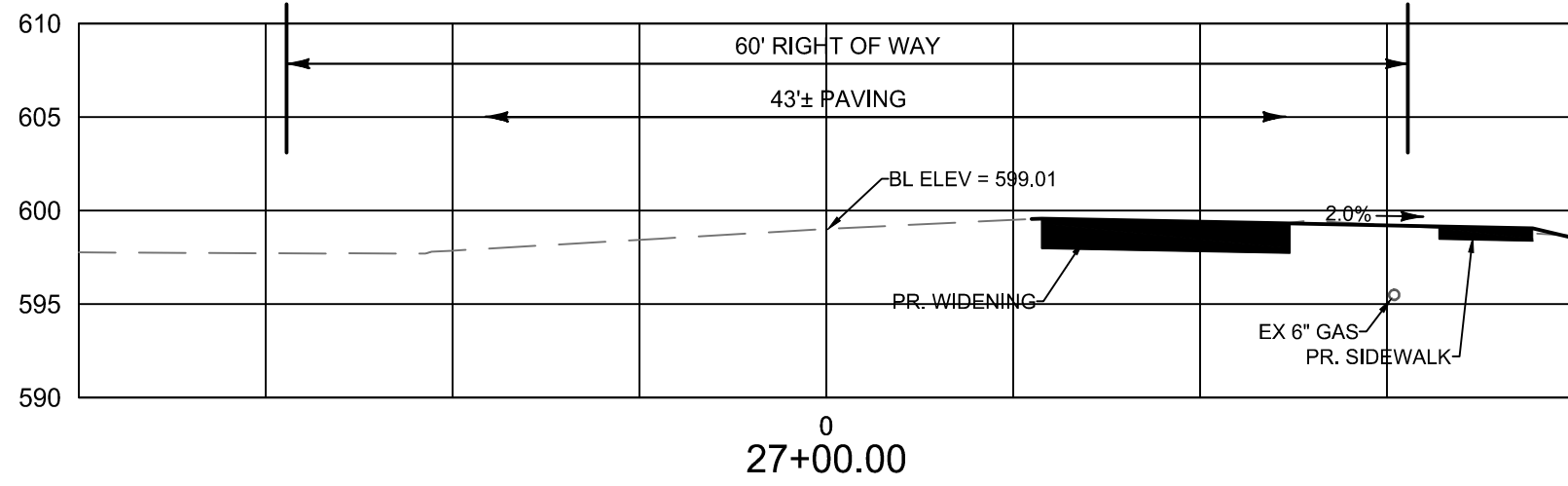
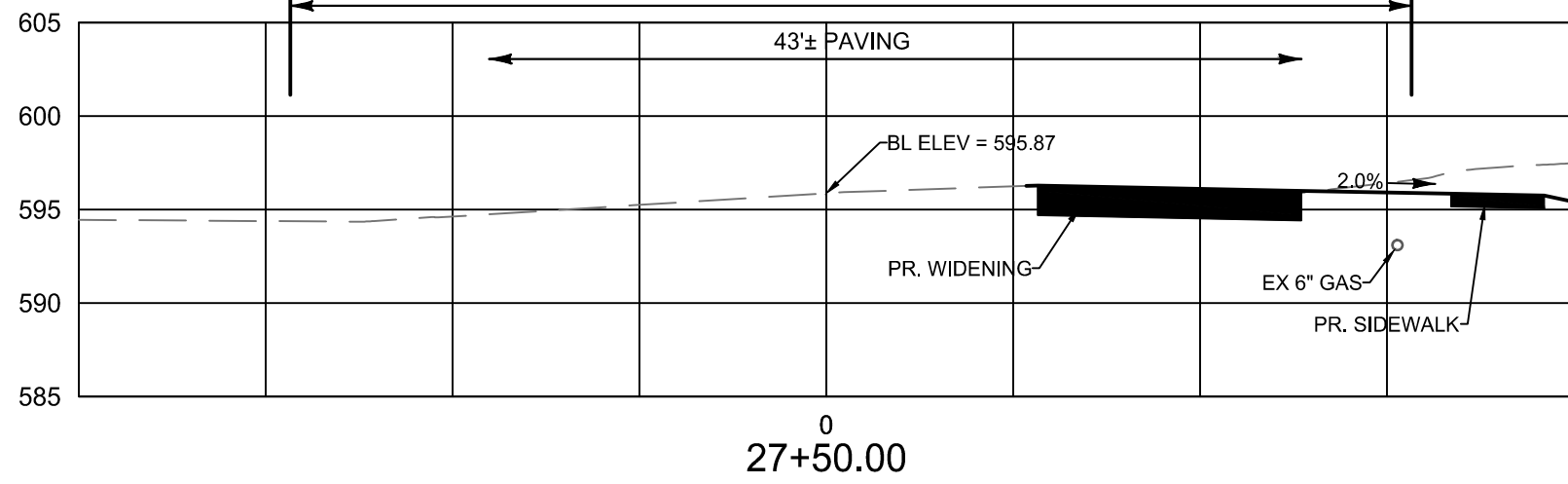
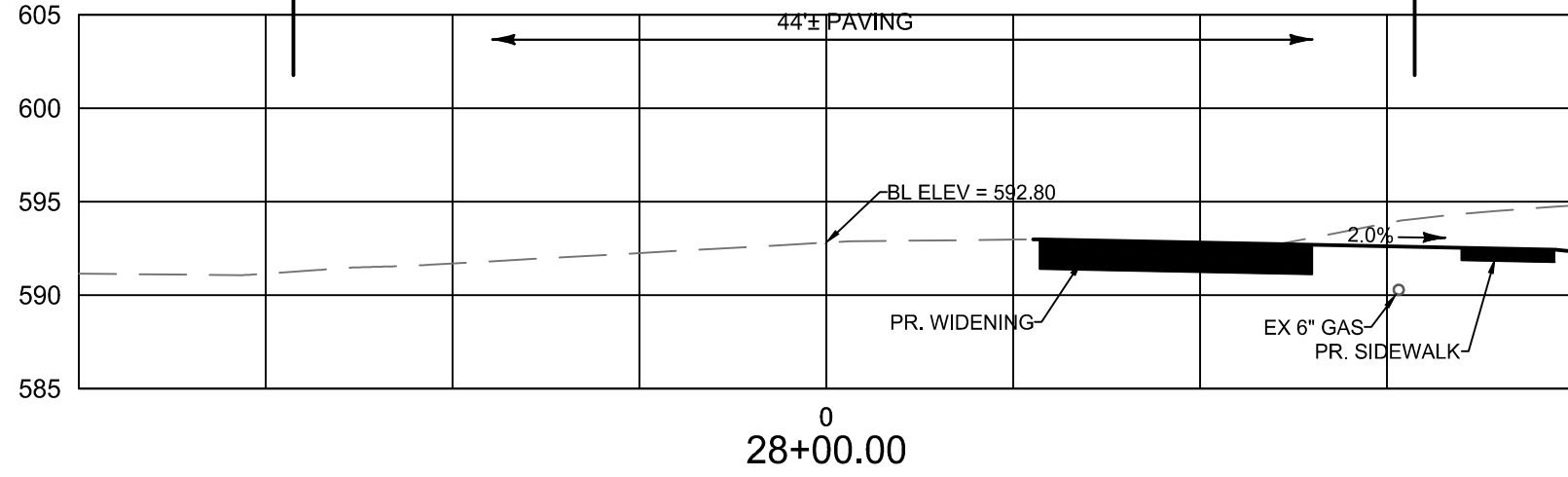
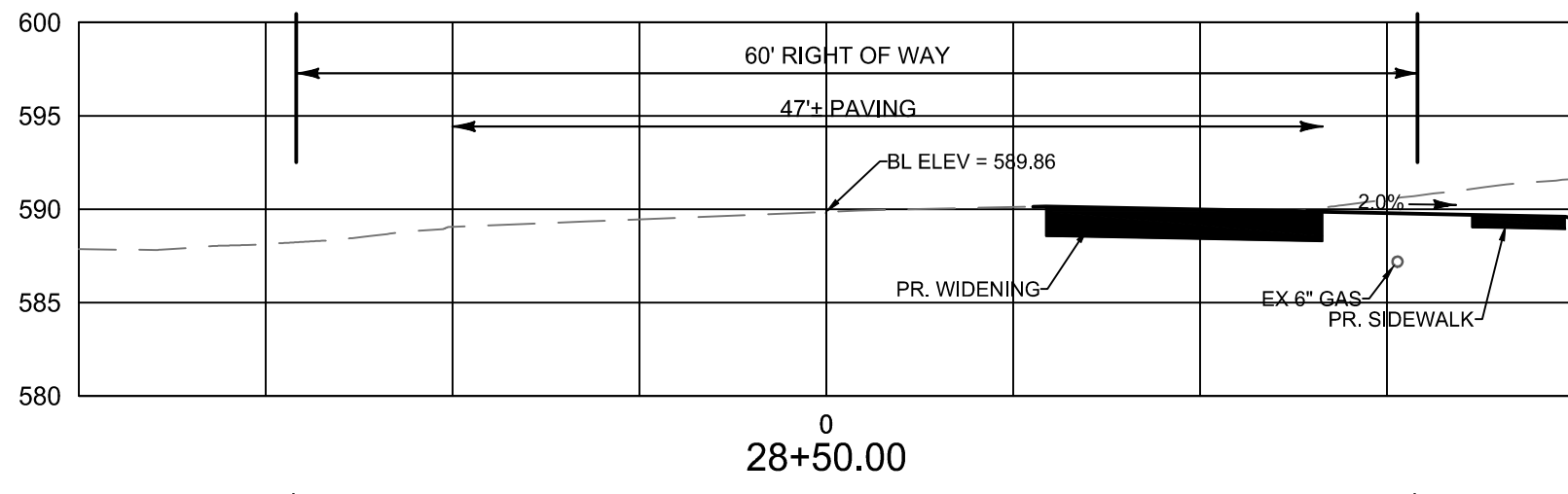
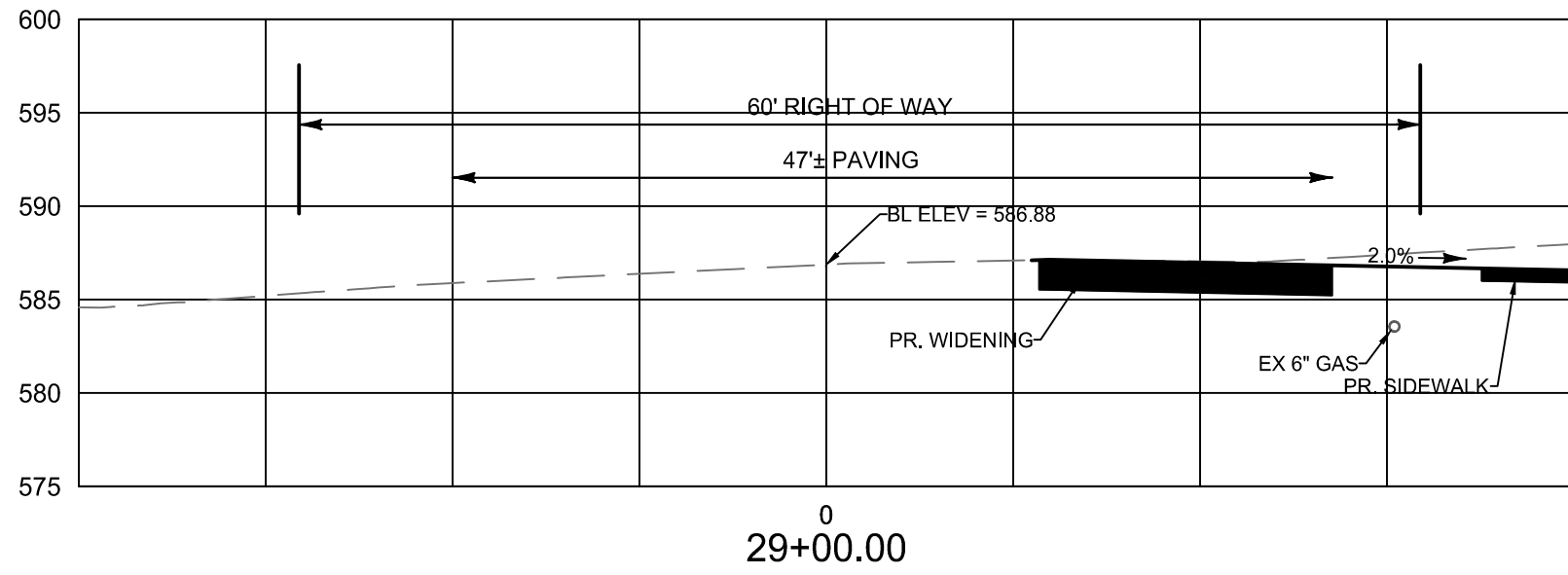
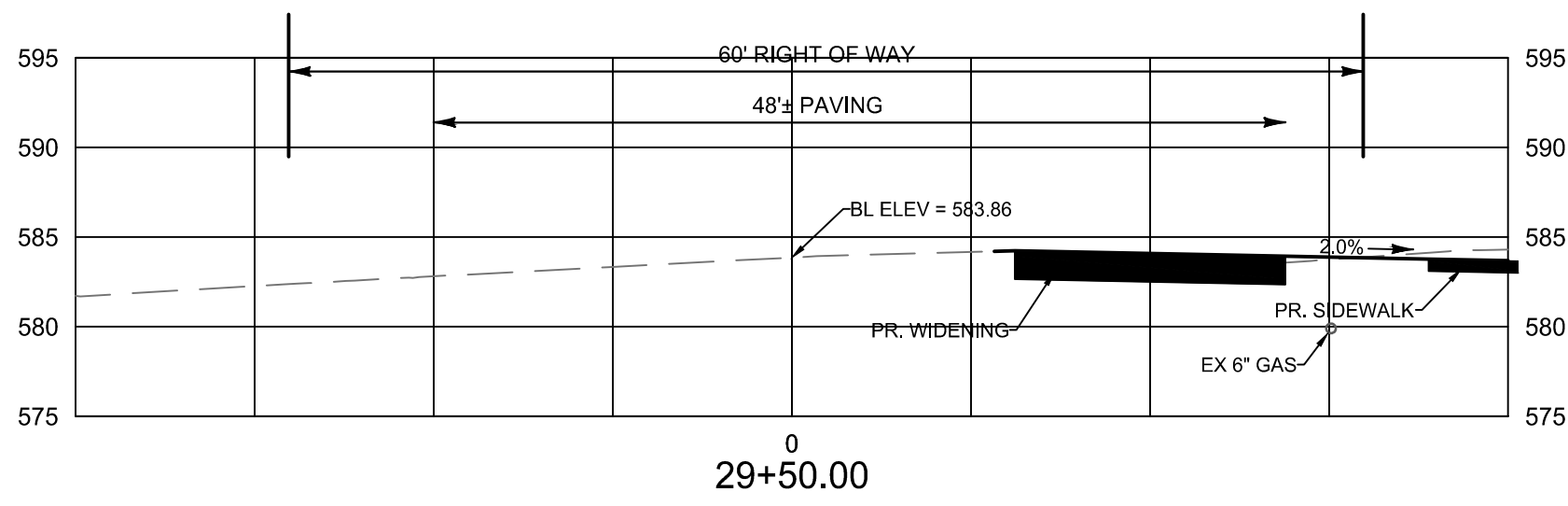
LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 10/17/2024 SCALE: AS SHOWN DRAWING:

PROJECT NUMBER: 00211253.004A

8 of X

T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\00211253.004A (C-x) Bennett Rd Sections.dwg Feb 19, 2025 8:31am rlanghehr



SECTIONS

SCALE: 1"=10'



OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

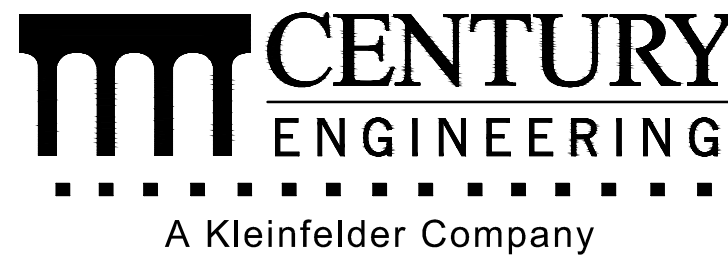
P-23-0055

DATE	BY	REVISIONS

DATE: 10/17/2024	SCALE: AS SHOWN	DRAWING:
PROJECT NUMBER: 00211253.004A		9 of 9

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC. NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

PRELIMINARY MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

BENNETT ROAD SECTIONS

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

- GENERAL NOTES
- EXISTING ZONING: R-40,000 RESIDENTIAL
 - TOTAL AREA OF SITE: 7.68 AC.
 - THE PROPERTIES SHOWN HEREON IS OWNED BY:
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244
TAX MAP: 73; PARCEL: 247
DEED REFERENCE: C. 13341 F. 51
DATE: SEPTEMBER 12, 2024
GRANTOR: LONG MEADOW FARM 21784, LLC
 - PROPERTY BOUNDARY AND EXISTING TOPOGRAPHY SHOWN PER FIELD SURVEY BY SAMS COMPANIES (FORMERLY MTPLS, INC.) DATED 11/2021.
 - LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION ARE EXISTING HYDRANTS LOCATED ON BENNETT ROAD, PROGRESS WAY, LONDONTOWN BLVD AND GEORGETOWN BLVD. ADDITIONAL HYDRANTS ARE PROPOSED ON SITE AS PART OF THIS SITE DEVELOPMENT PLAN TO ADDRESS FIRE PROTECTION REQUIREMENTS.
 - THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND WERE BASED ON ARCHIVAL DRAWINGS PROVIDED BY CARROLL COUNTY AND/OR THE STATE OF MARYLAND. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES TO THEIR OWN SATISFACTION AND SHALL NOTIFY THE ENGINEER (CENTURY/KLEINFELDER) OF RECORD OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY RESULTING FROM ANY INACCURACIES THEREON.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES, AND NOT COMMENCE WORK UNTIL ALL UTILITIES HAVE BEEN CLEARLY MARKED.
 - THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
 - ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SUBDIVISION PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
 - THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF TIME LIMIT IS ISSUED BY THE DIRECTOR OF LAND AND RESOURCE MANAGEMENT.
 - NOTE: ALL PROPOSED SPOT ELEVATIONS ARE LOCATED AT BOTTOM OF CURB AND ALL DIMENSIONS ARE TO FACE OF CURB UNLESS LABELED OTHERWISE.
 - THE COORDINATES SHOWN HEREON ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM - NAD 83 (2011) AND ARE BASED UPON THE FOLLOWING CONTROL STATIONS:

DESIGNATION	NORTH (SFT)	EAST (SFT)	ELEV.
"BEVARD"	633722.46	1326946.06	615.11
"BEVARD AZ"	633573.26	1328331.51	583.43

- NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY.
- UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, OWNER, AND ENGINEER. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES ONCE APPROVAL HAS BEEN GRANTED.
- ENTRANCE CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THAT OFFICE AT 410-386-2157 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING WORK IN OR ALONG ANY PUBLIC ROAD.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF UTILITIES AT 410-386-2164 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON PUBLIC WATER OR SEWER WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS.
- THE SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND MANAGEMENT AREA.
- A GRADING PERMIT WILL BE REQUIRED FOR ALL DISTURBANCE GREATER THEN 5,000 SQ FT.
- A NOI PERMIT THROUGH MDE WILL BE REQUIRED FOR ANY DISTURBANCE 1 ACRE OR GREATER.
- ANY PUBLIC WATER AND SEWER IMPROVEMENTS SHALL COMPLY WITH CARROLL COUNTY REGULATIONS AND SPECIFICATIONS.
- THE SITE IS LOCATED IN THE 12TH FIRE AND EMERGENCY SERVICES DISTRICT.

PROJECT OVERLAP NOTES

- BENNETT ROAD IMPROVEMENTS OVERLAP ON ELDERSBURG PRESERVE (P-23-0055) AND ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT COMES FIRST SHALL CONSTRUCT SAID BENNETT ROAD IMPROVEMENTS FULLY. A PUBLIC WORKS AGREEMENT WILL BE REQUIRED FOR THE CONSTRUCTION.
- THE PROPOSED SANITARY SEWER SHOWN ON THESE PLANS OVERLAPS WITH SAME ON ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT PROCEEDS TO CONSTRUCTION FIRST SHALL CONSTRUCT THIS SANITARY SEWER. IN THE CASE OF ELDERSBURG PRESERVE FROM SMH-14 TO THE EXISTING SMH ON ELDERSBURG OVERLOOK. IN THE CASE OF ELDERSBURG OVERLOOK FROM SMH-9 TO THE EXISTING SMH.

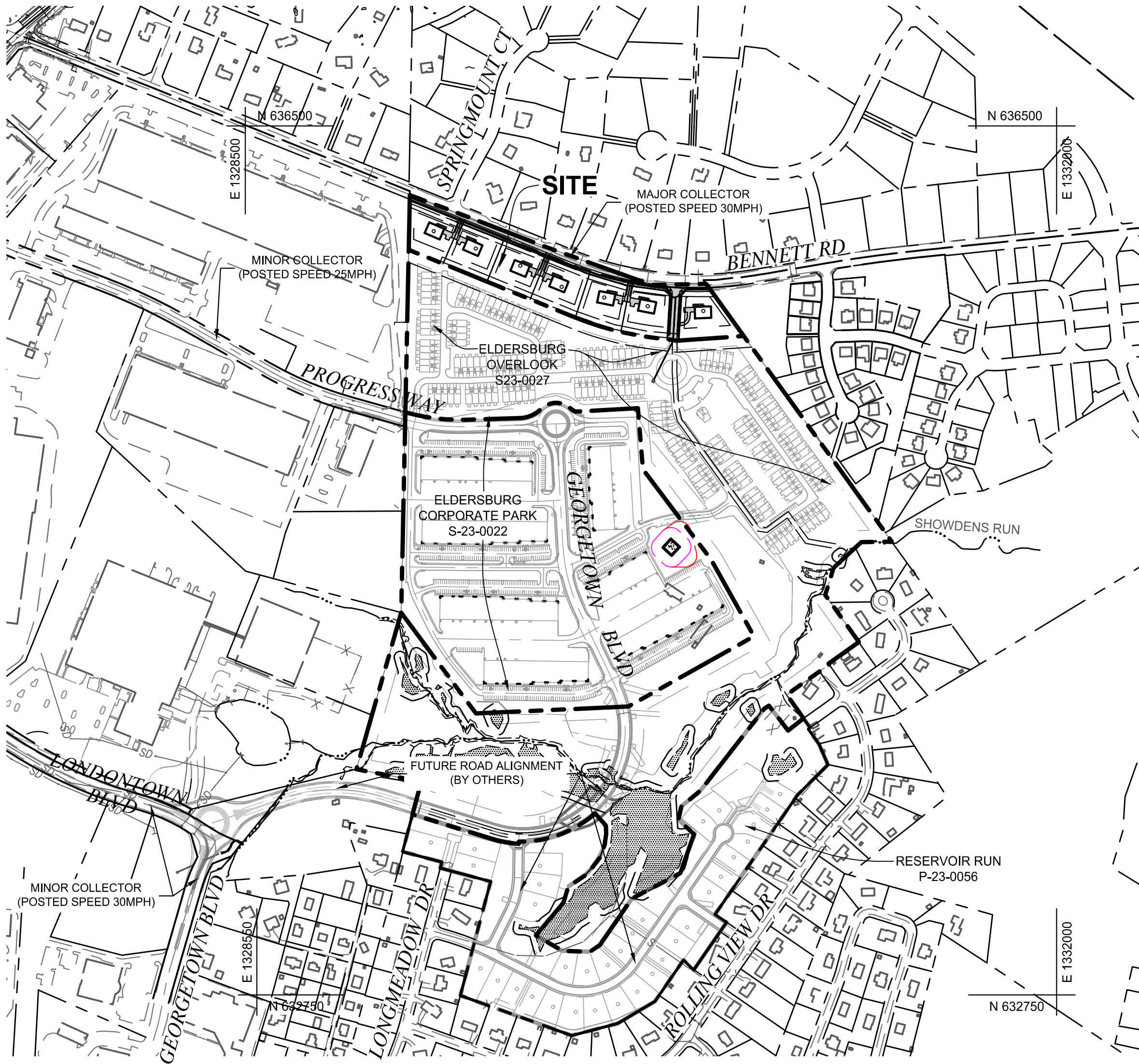
WATER AND SEWER PLANS FOR ELDERSBURG PRESERVE

TAX MAP# 73, GRID# 6 , PARCEL# 247
ELECTION DISTRICT: 5 CARROLL COUNTY, MARYLAND

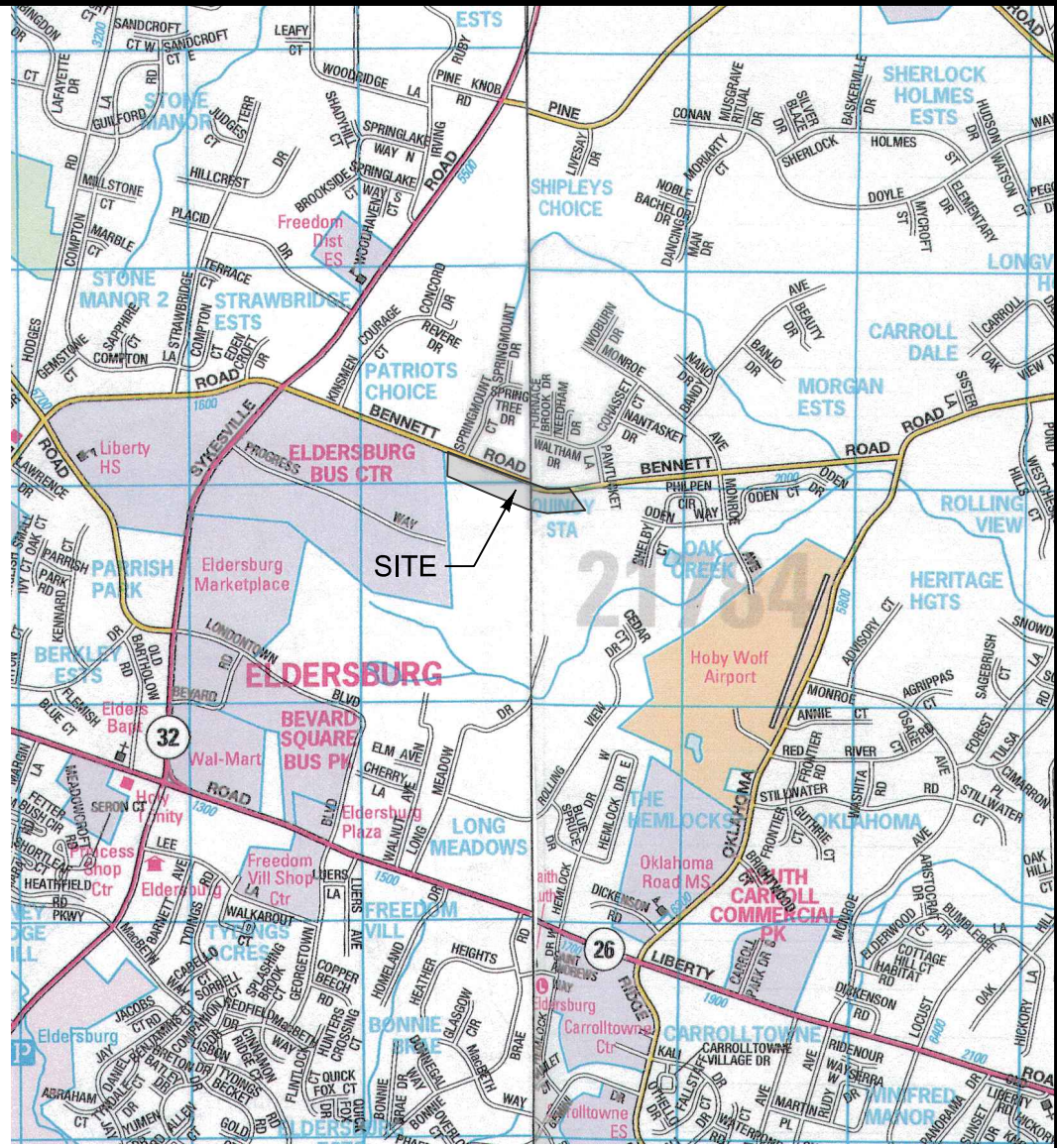
OWNER ADDRESS
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 369-1207

DEVELOPER ADDRESS
ST. JOHN PROPERTIES INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 369-1207

SITE ADDRESS
1701 BENNETT ROAD
ELDERSBURG, MD 21784



LOCATION MAP
SCALE: 1"=400'



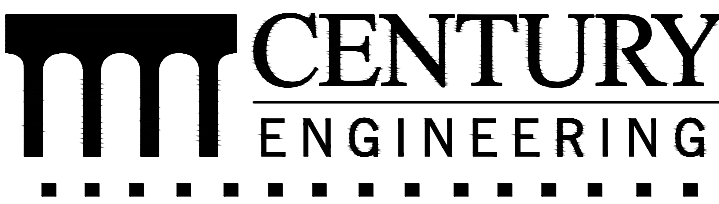
VICINITY MAP
SCALE: 1"=2000'

LIST OF DRAWINGS

- WATER AND SEWER COVER SHEET
- WATER AND SEWER PLAN SHEET
- SEWER PLAN SHEET
- WATER PROFILES
- SEWER PROFILES
- SEWER PROFILES
- WATER DETAILS
- SEWER DETAILS

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

WATER AND SEWER PLANS

Water and Sewer Cover Sheet

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER: 32674
EXPIRATION DATE: 1-16-2026

DATE: 2/14/2025
PROJECT NUMBER: 20211253.005A

SCALE: AS SHOWN

DRAWING:

1 of 8

Water Contract W-346
Sewer Contract S-346
P-23-0055

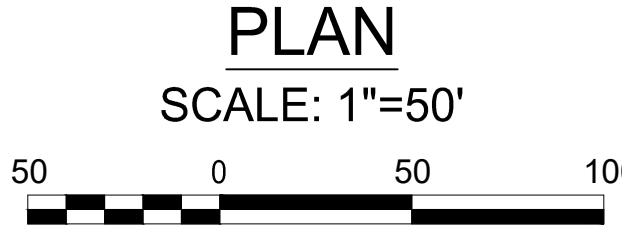
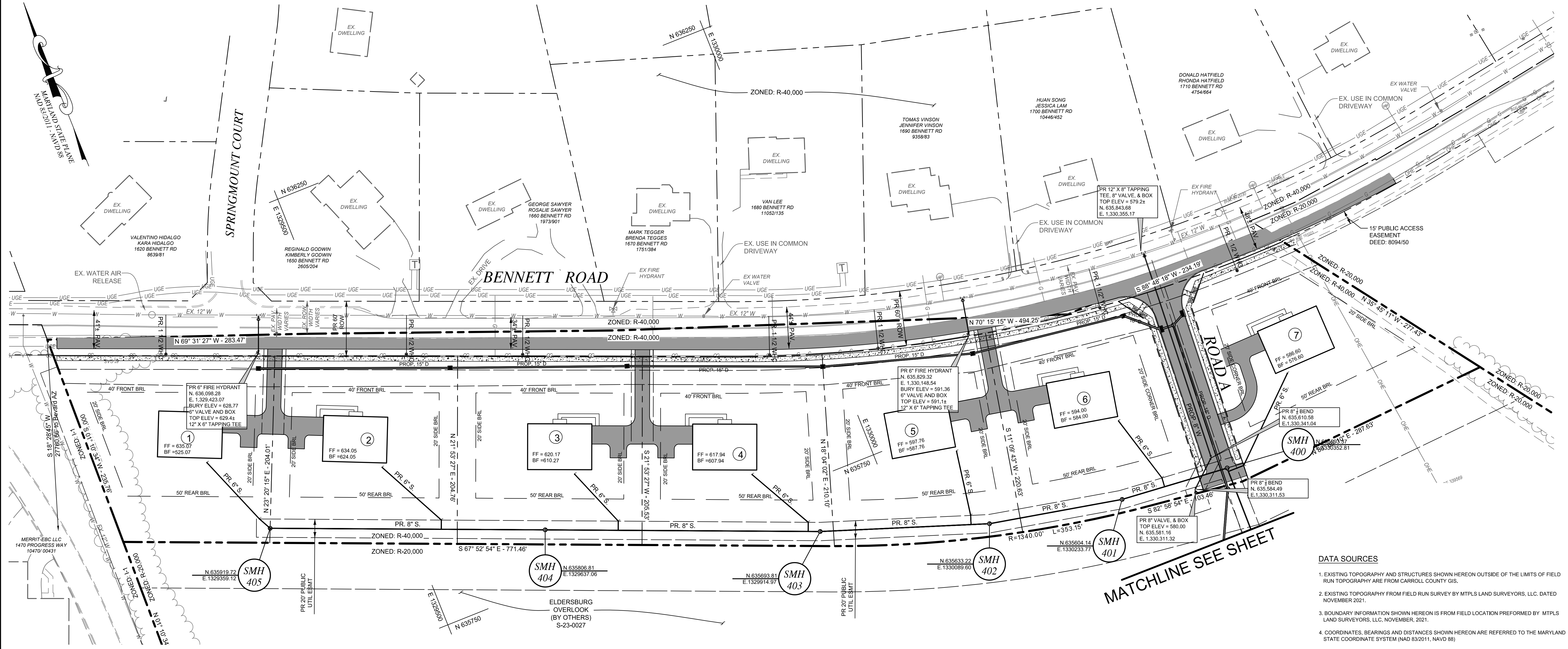
DATE	BY	REVISIONS

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

CARROLL COUNTY DEPARTMENT OF PUBLIC WORK BUREAU OF UTILITIES	
BY: _____	DATE: _____
CARROLL COUNTY DEPARTMENT OF PUBLIC WORK BUREAU OF ENGINEERING	
BY: _____	DATE: _____

T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Water Plan.dwg Feb 19, 2025 8:32am hangheir



- DATA SOURCES
1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 6. ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

CENTURY
ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

WATER AND SEWER PLANS
Water and Sewer Plan Sheet

ELDERSBURG PRESERVE
BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

**PROFESSIONAL
CERTIFICATION**
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.
LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

Water Contract W-346
Sewer Contract S-346
P-23-0055

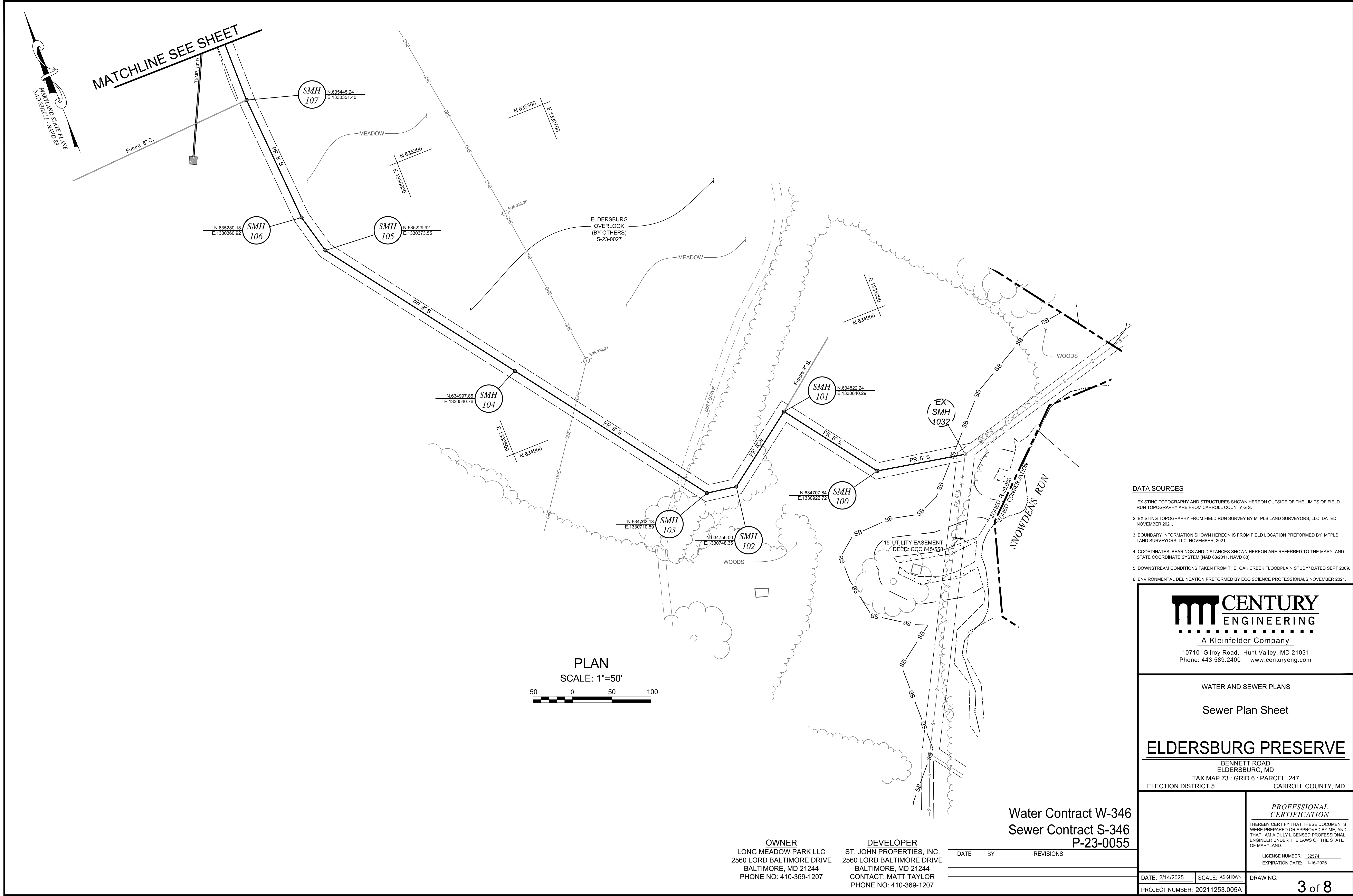
OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

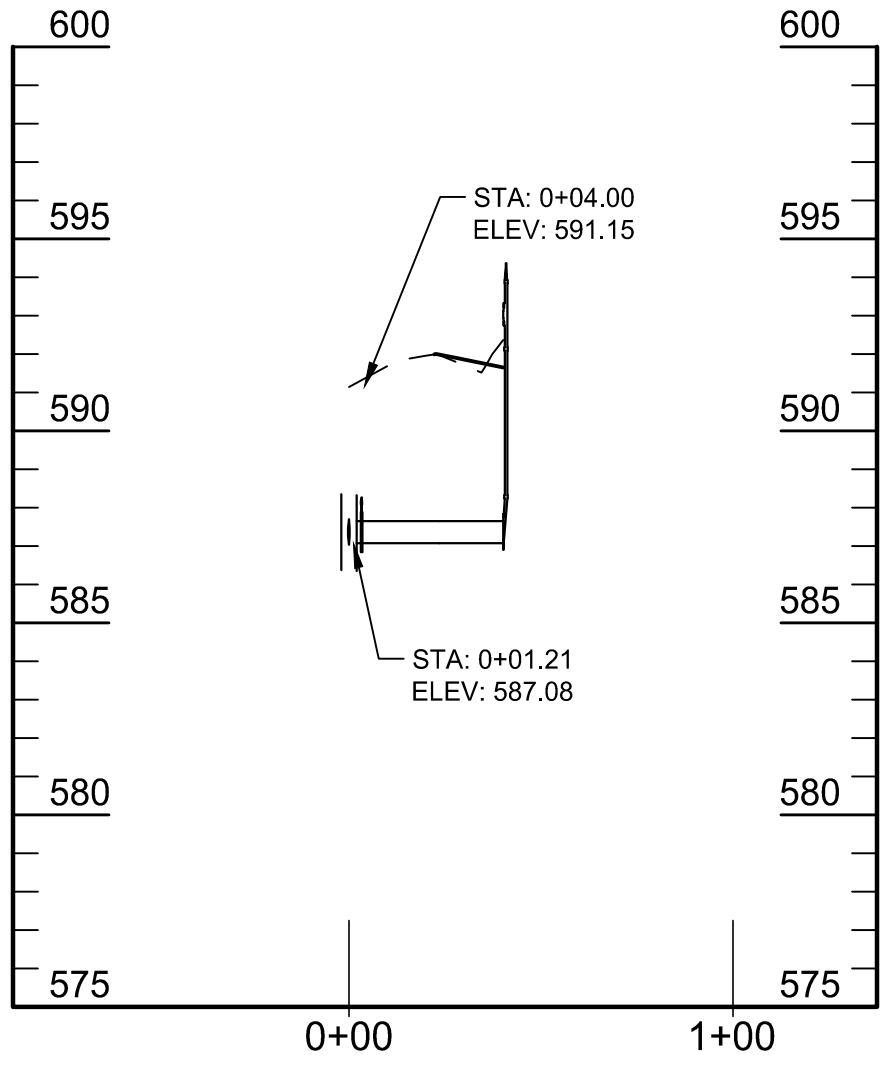
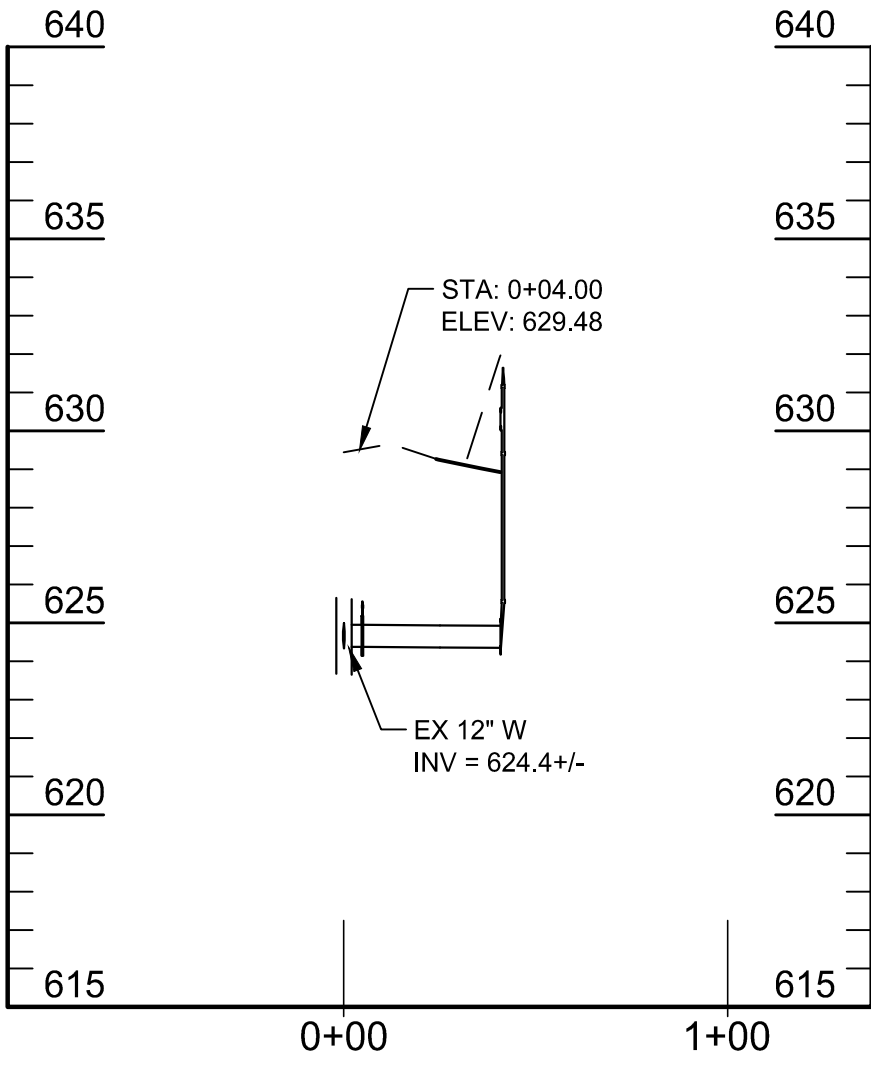
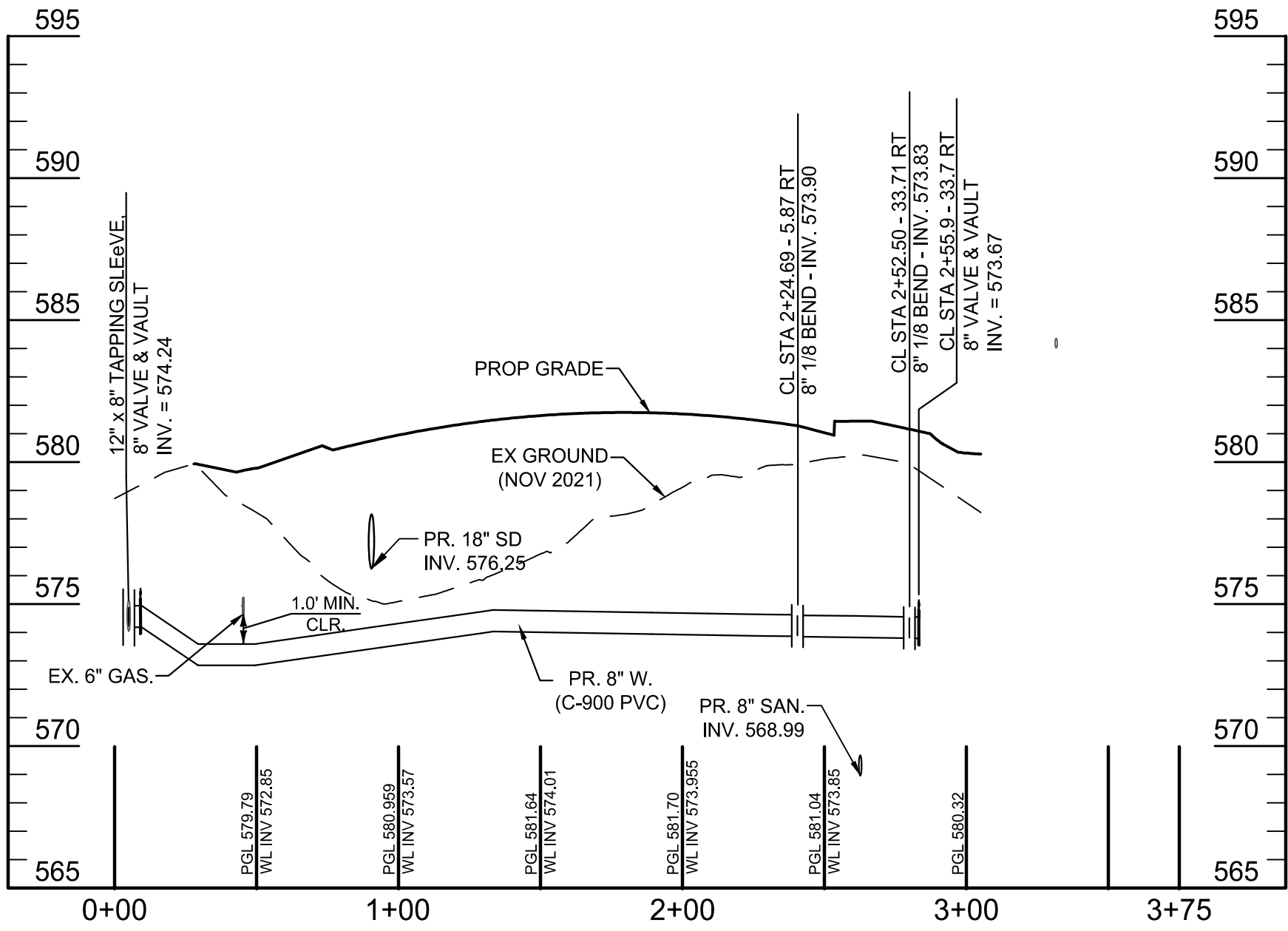
DATE	BY	REVISIONS

DATE: 2/14/2025	SCALE: AS SHOWN	DRAWING:
PROJECT NUMBER: 20211253.005A		2 of 8

T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CAD\Drawings\20211253.005A (C-x) Water Plan.dwg Feb 19, 2025 8:32am fhangheir



T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Water Plan.dwg Feb. 19, 2025 8:32am rlangrehr



WATER PROFILES
SCALE: HORIZ: 1"=50' VERT: 1"=5'
0 50 0 5

- NOTES:
1. REFER TO SHEET 2 FOR OVERALL LEGEND AND NOTES.
 2. SEE SHEETS X THROUGH X FOR SEWER PLANS, PROFILES AND DETAILS.
- DATA SOURCES
1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PREFORMED BY MTPLS LAND SURVEYORS, LLC. NOVEMBER, 2021.
 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 6. ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



CENTURY
ENGINEERING

A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

WATER AND SEWER PLANS

Water Profiles

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

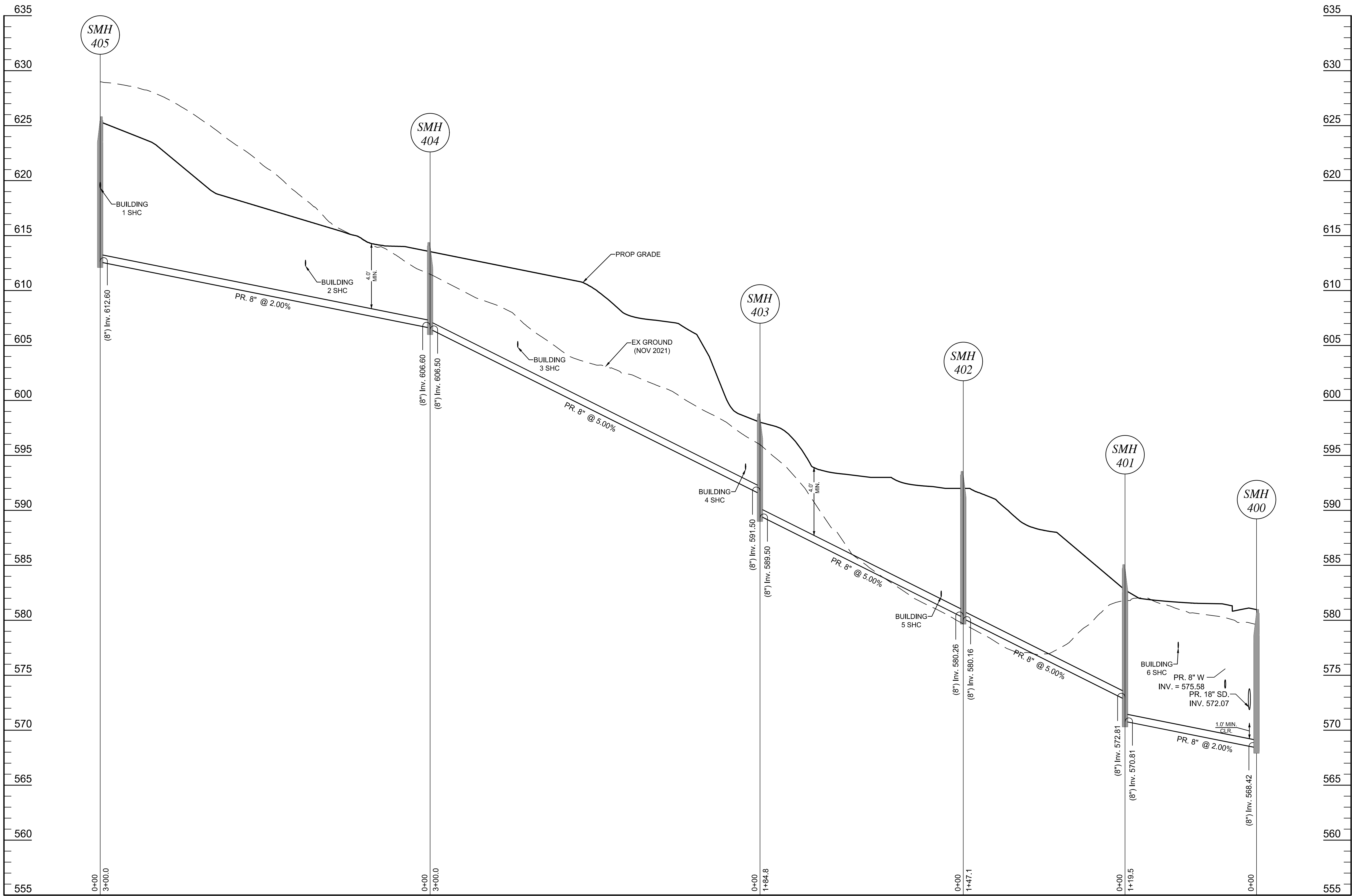
DATE	BY	REVISIONS

Water Contract W-346
Sewer Contract S-346
P-23-0055

DATE: 2/14/2025	SCALE: AS SHOWN
PROJECT NUMBER: 20211253.005A	

DRAWING:
4 of 8

T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Water Plan.dwg Feb 19, 2025 8:32am fhangheir



SEWER PROFILE
SCALE: HORIZ: 1"=50' VERT: 1"=5'
0 50 0 5

- NOTES:
1. REFER TO SHEET 2 FOR OVERALL LEGEND AND NOTES.
 2. SEE SHEETS X THROUGH X FOR SEWER PLANS, PROFILES AND DETAILS.
- DATA SOURCES
1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
 3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC. NOVEMBER, 2021.
 4. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 5. DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 6. ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

CENTURY
ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

WATER AND SEWER PLANS
Sewer Profiles

ELDERSBURG PRESERVE
BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 2/14/2025 SCALE: AS SHOWN
PROJECT NUMBER: 20211253.005A

DRAWING:

5 of 8

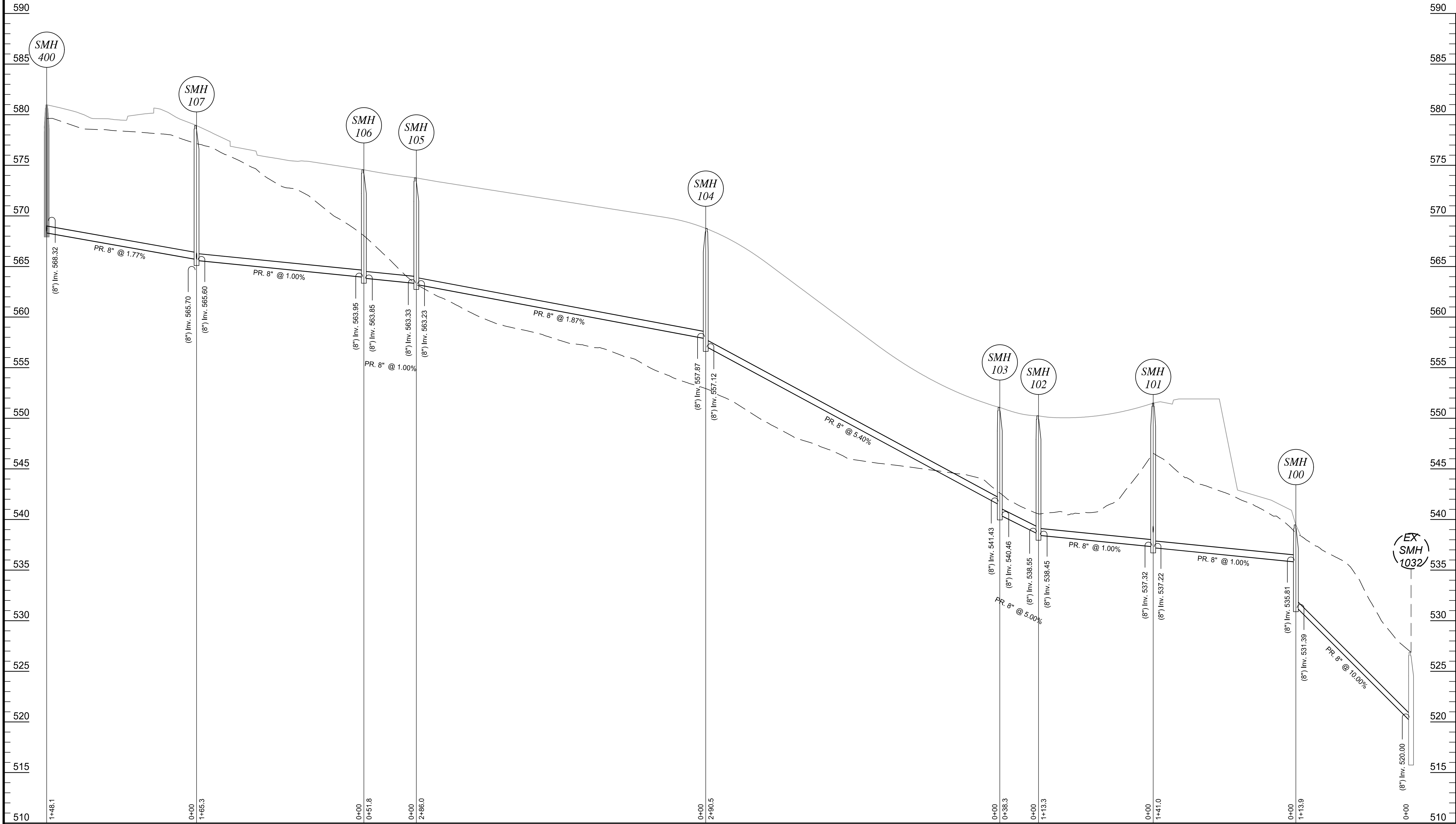
Water Contract W-346
Sewer Contract S-346
P-23-0055

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

DATE	BY	REVISIONS

T:\2021\Facilities\20211253.004A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Water Plan.dwg Feb 19, 2025 8:32am fhanghehr



SEWER PROFILE
SCALE: HORIZ: 1"=50' VERT: 1"=5'
0 50 0 5

- DATA SOURCES
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
 - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC. NOVEMBER, 2021.
 - COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 - DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 - ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

CENTURY ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

WATER AND SEWER PLANS
Sewer Profiles

ELDERSBURG PRESERVE
BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

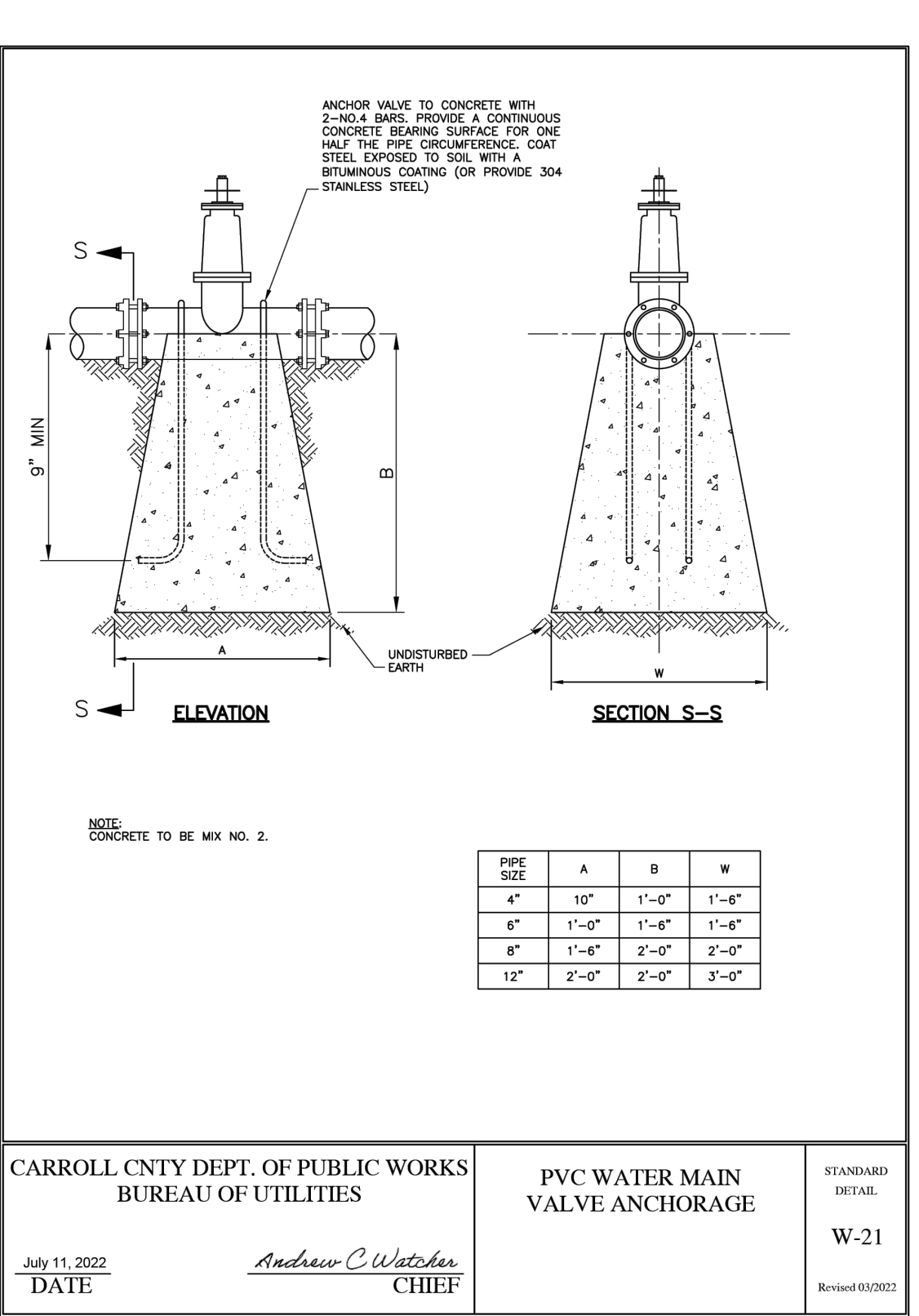
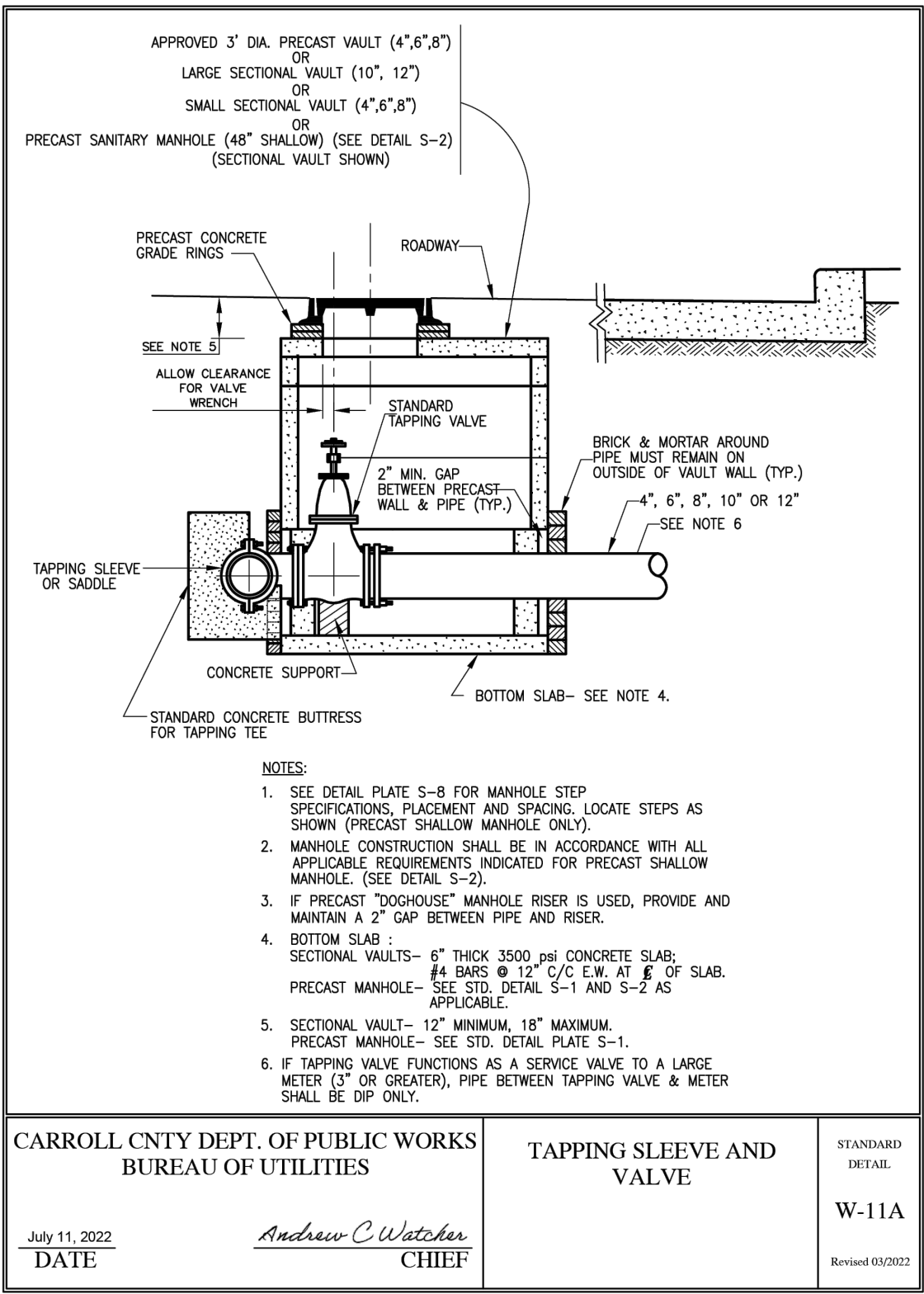
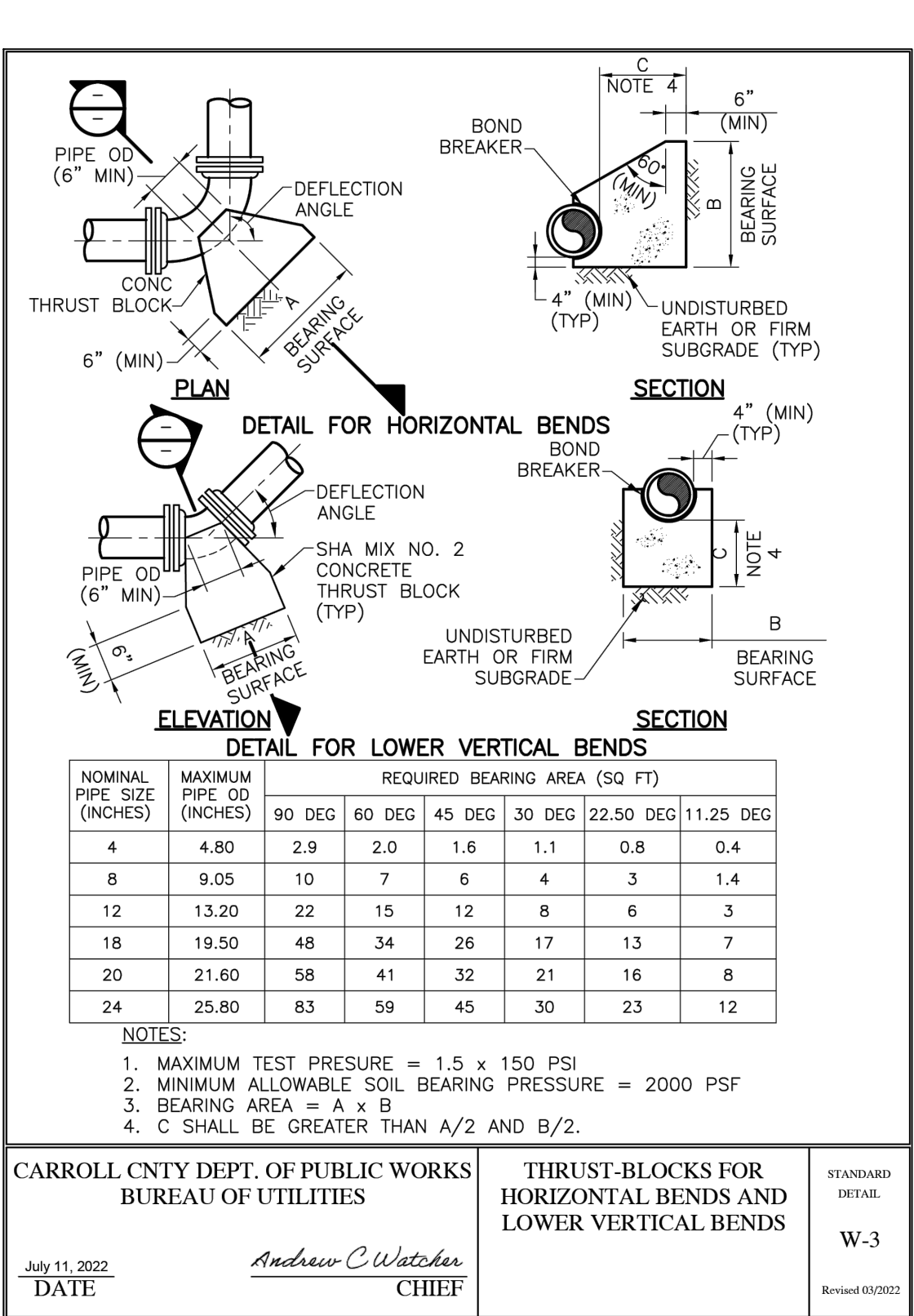
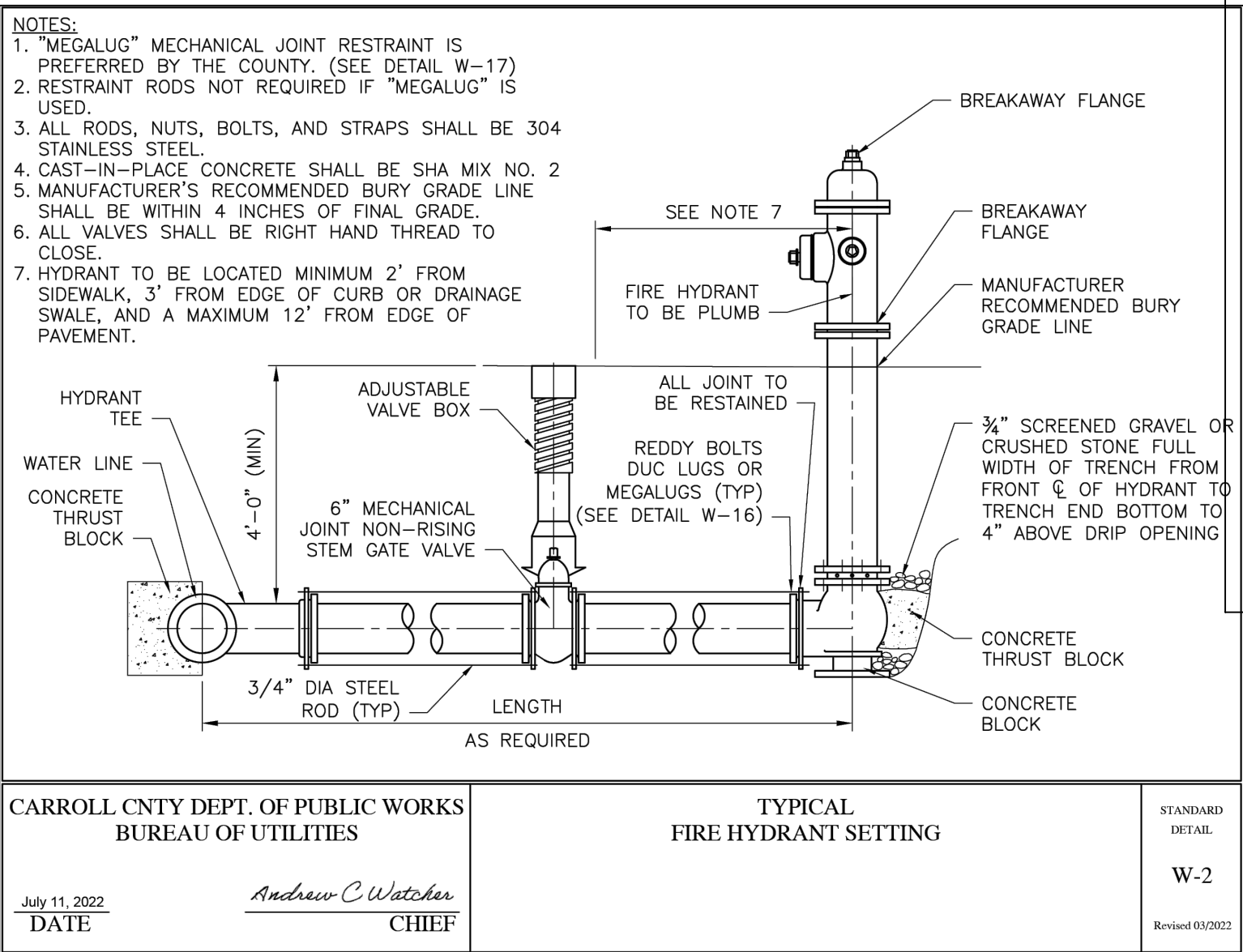
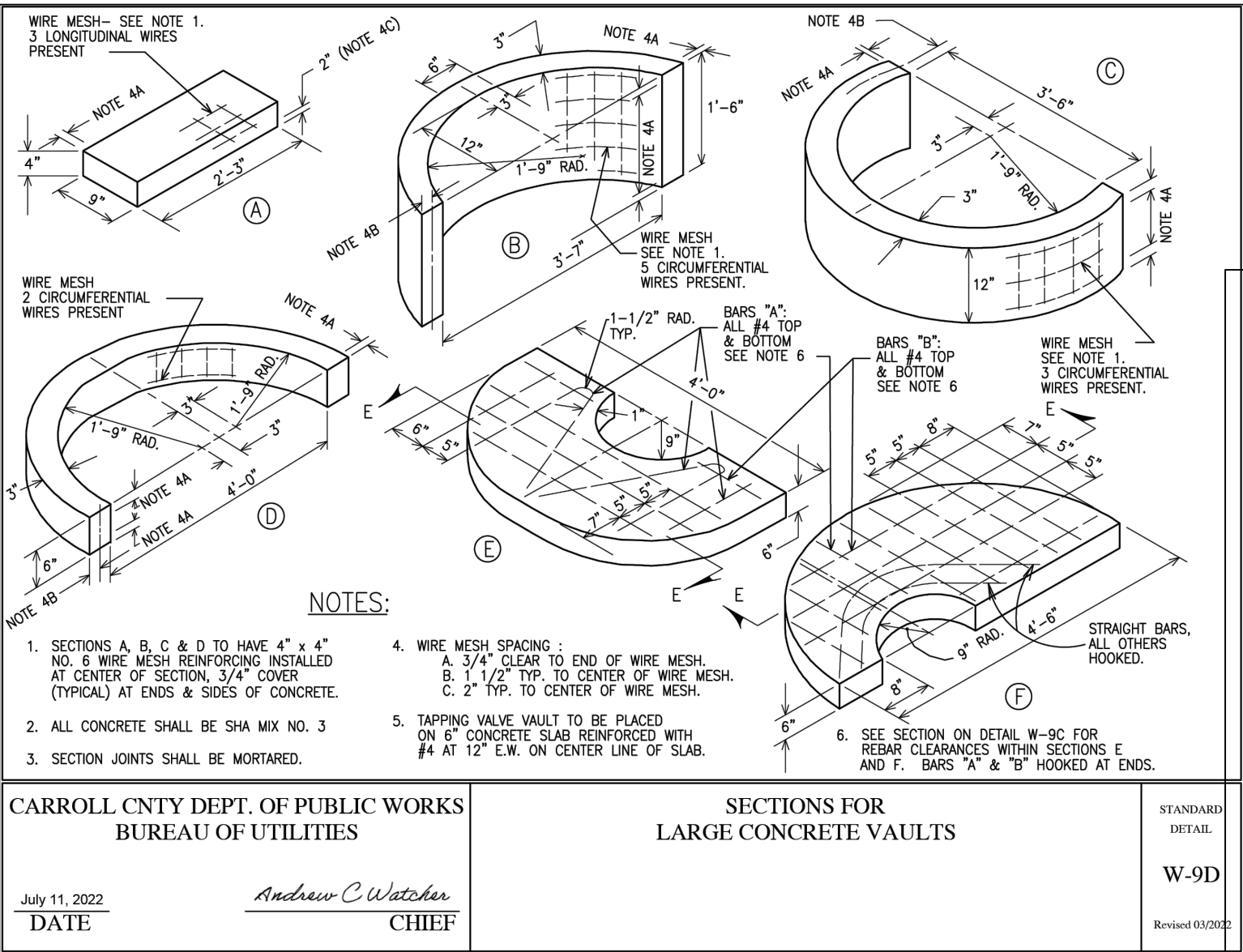
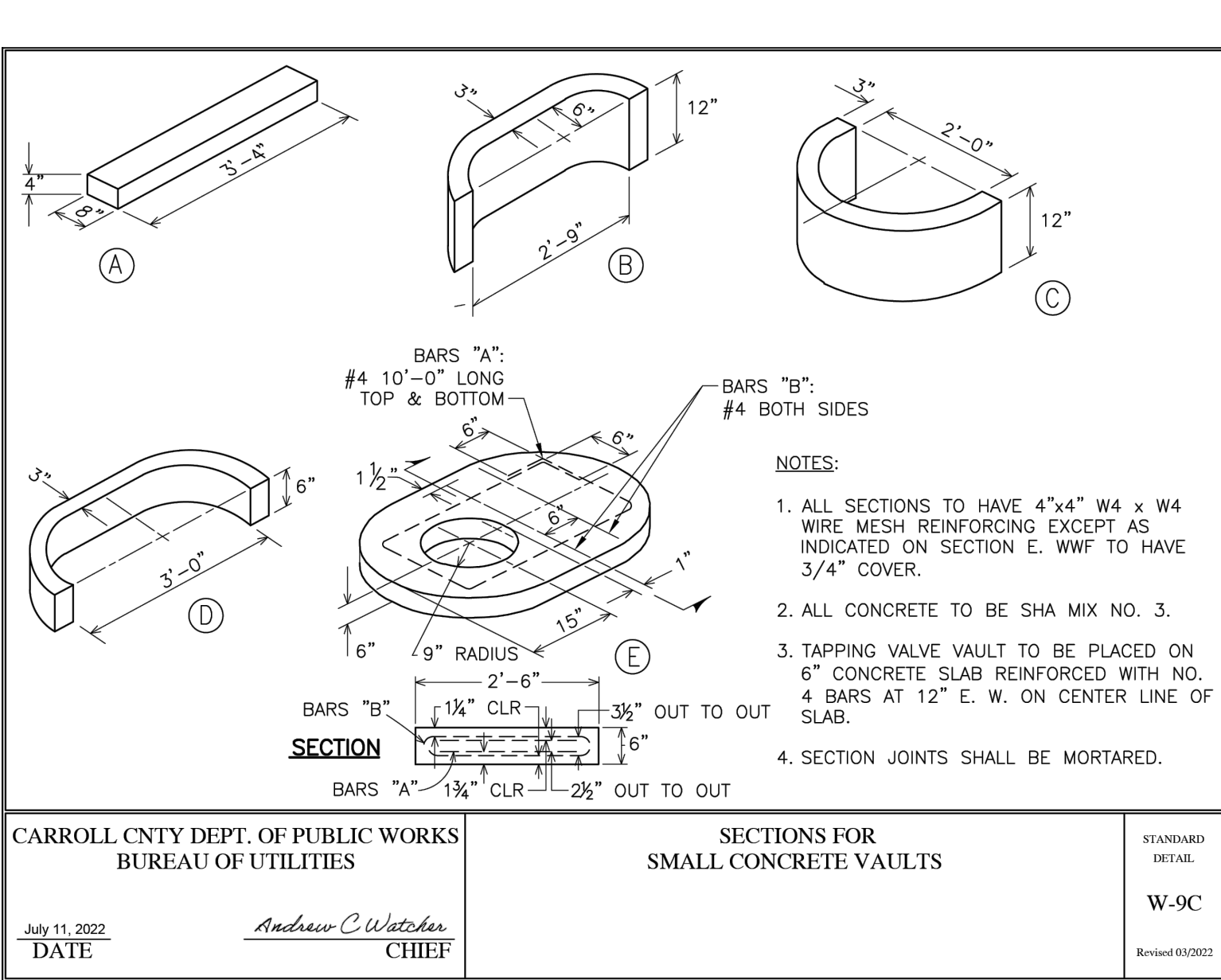
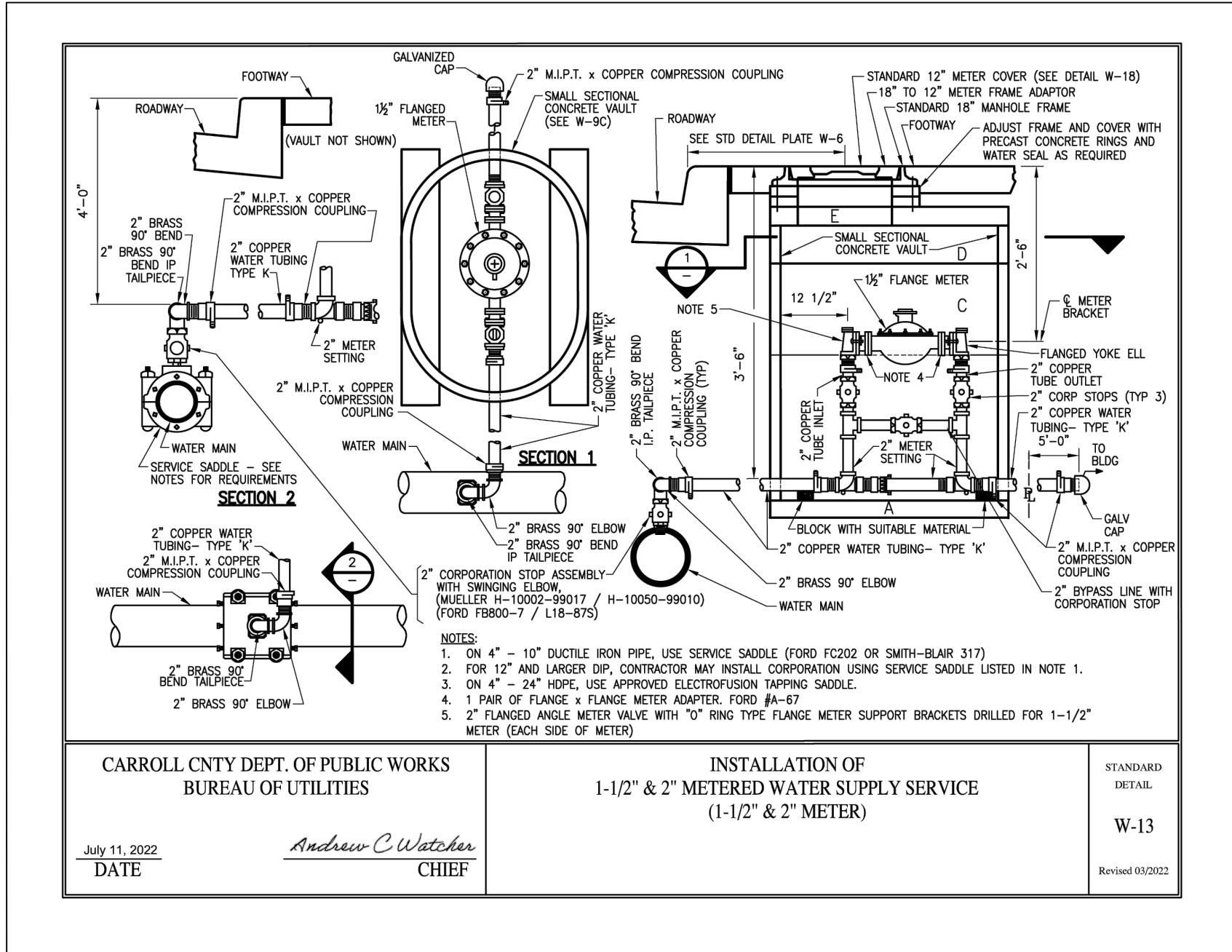
DATE	BY	REVISIONS

Water Contract W-346
Sewer Contract S-346
P-23-0055

DATE: 2/14/2025 SCALE: AS SHOWN
PROJECT NUMBER: 20211253.005A

DRAWING:
6 of 8

T:\2021\Facilities\20211253.005A Beatty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Water Plan.dwg Feb 19, 2025 8:32am fangnehr



DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC. NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

CENTURY
ENGINEERING

A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

WATER AND SEWER PLANS

Water Details

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DRAWING:

7 of 8

Water Contract W-346
Sewer Contract S-346
P-23-0055

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

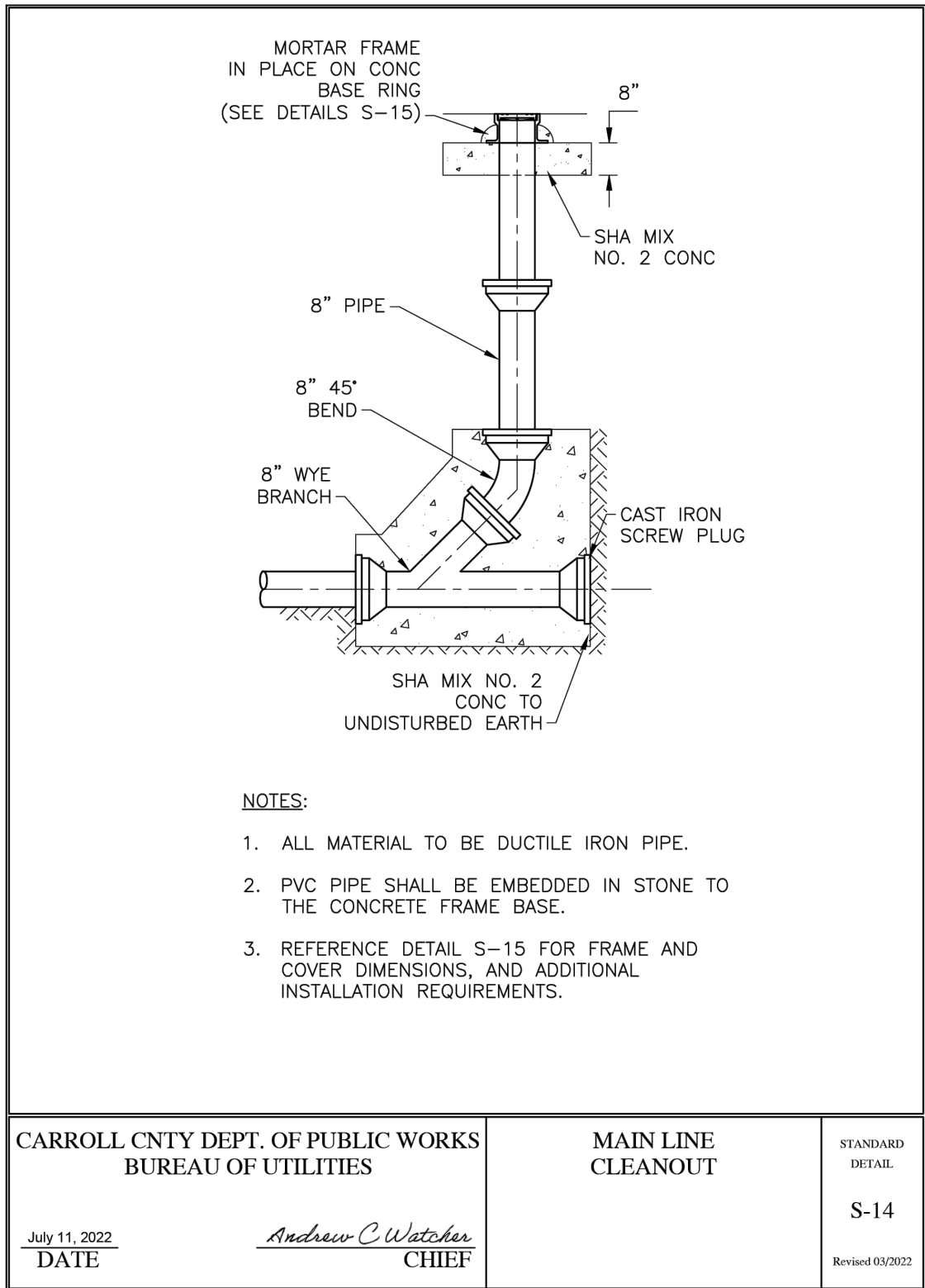
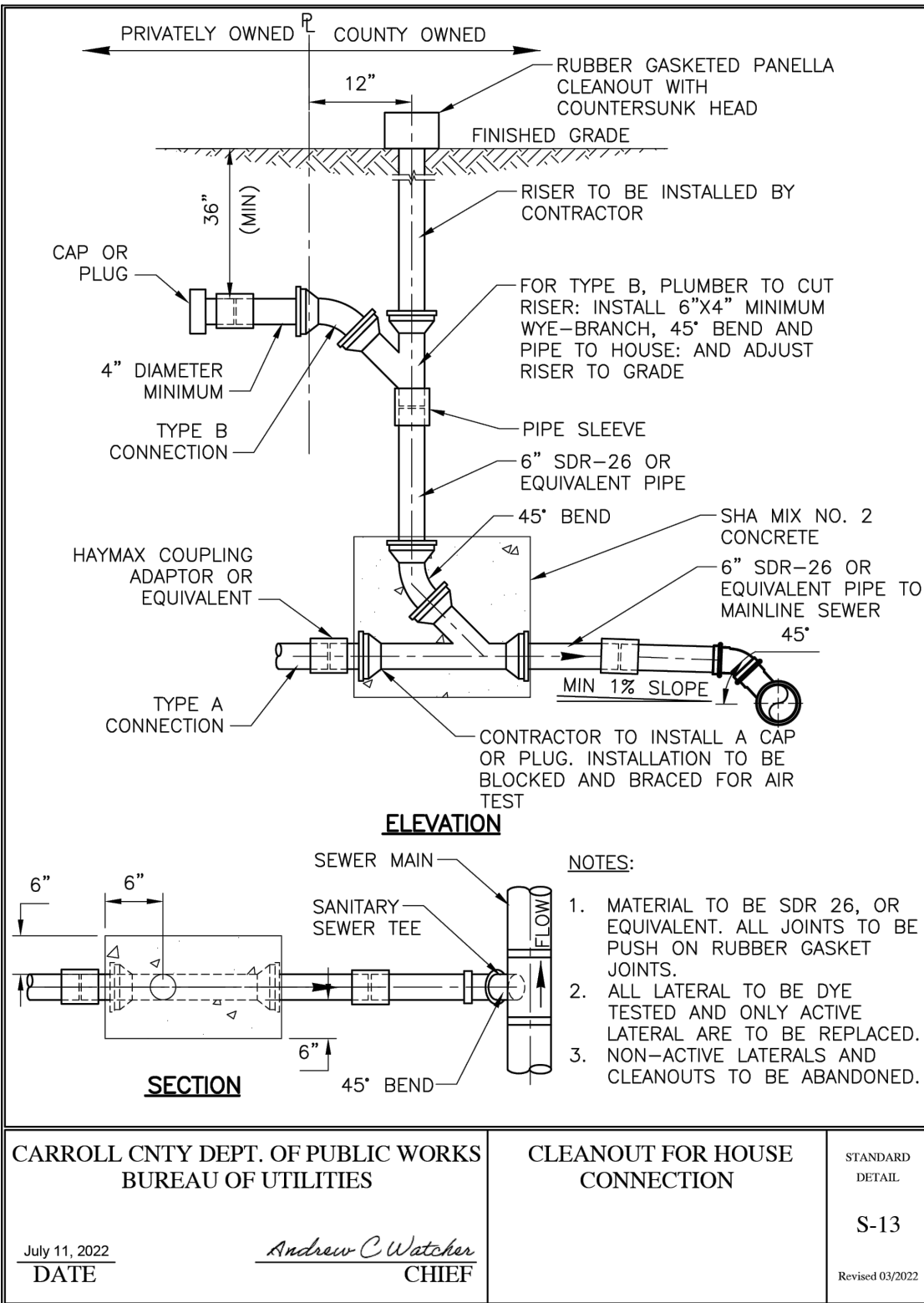
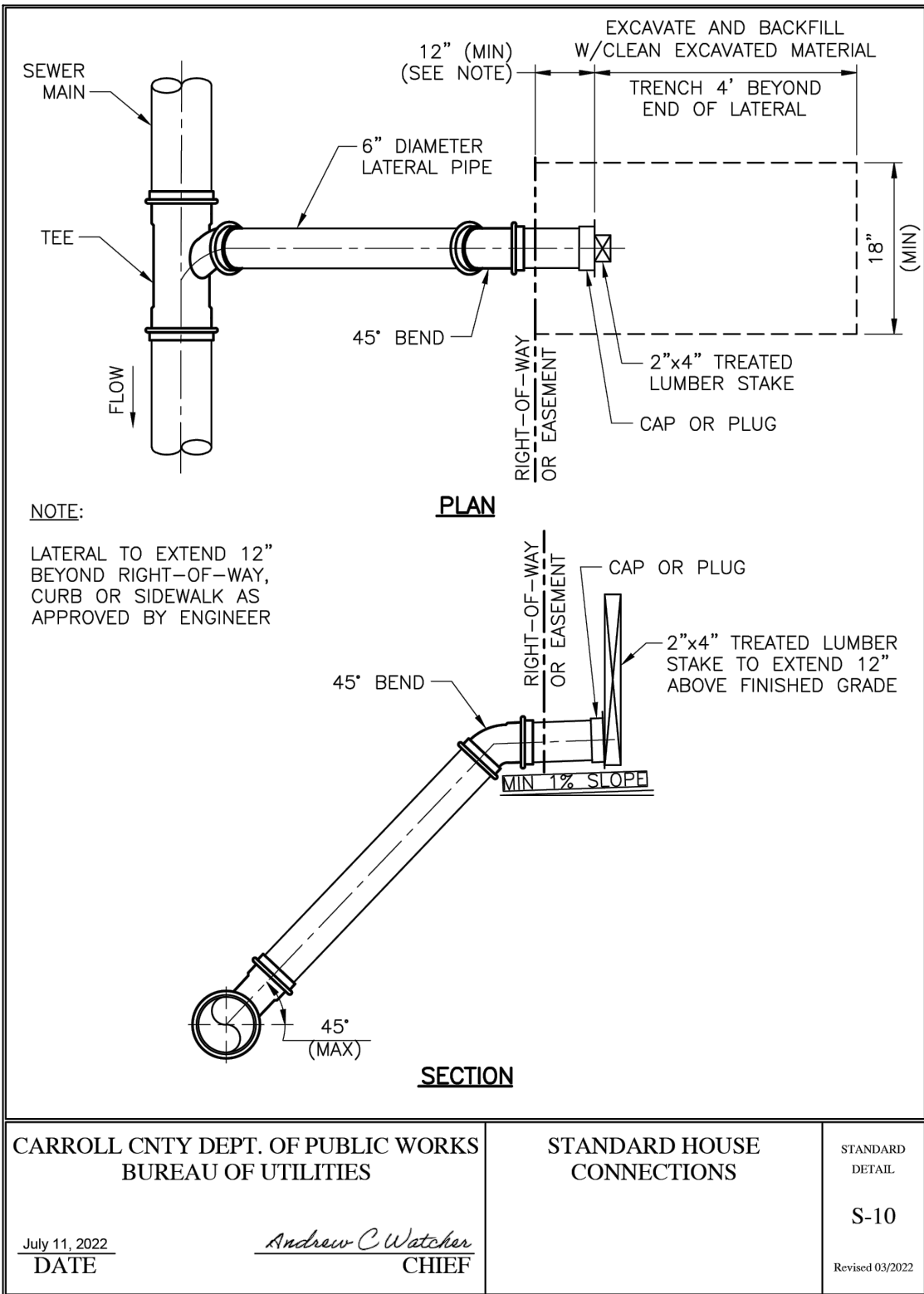
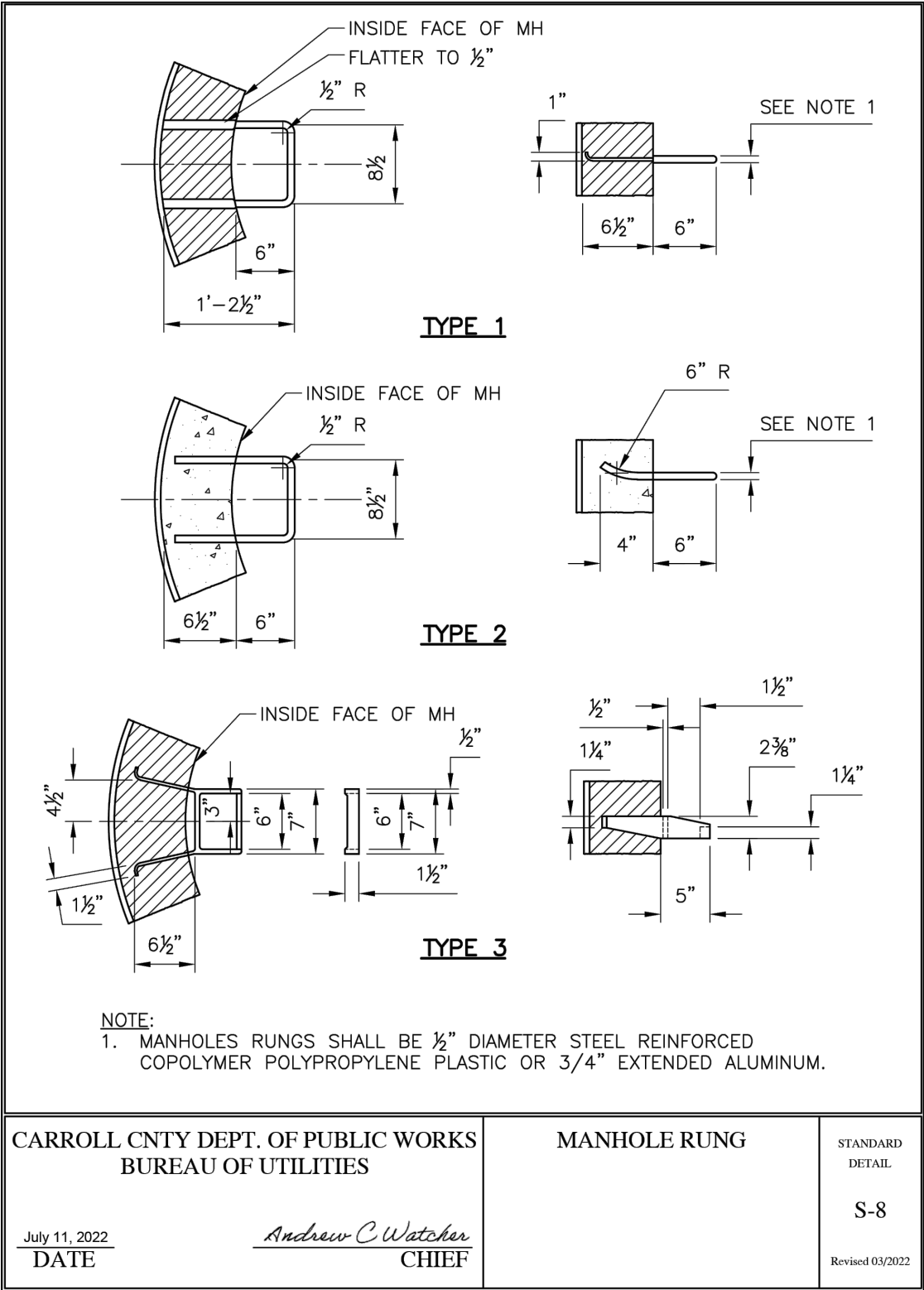
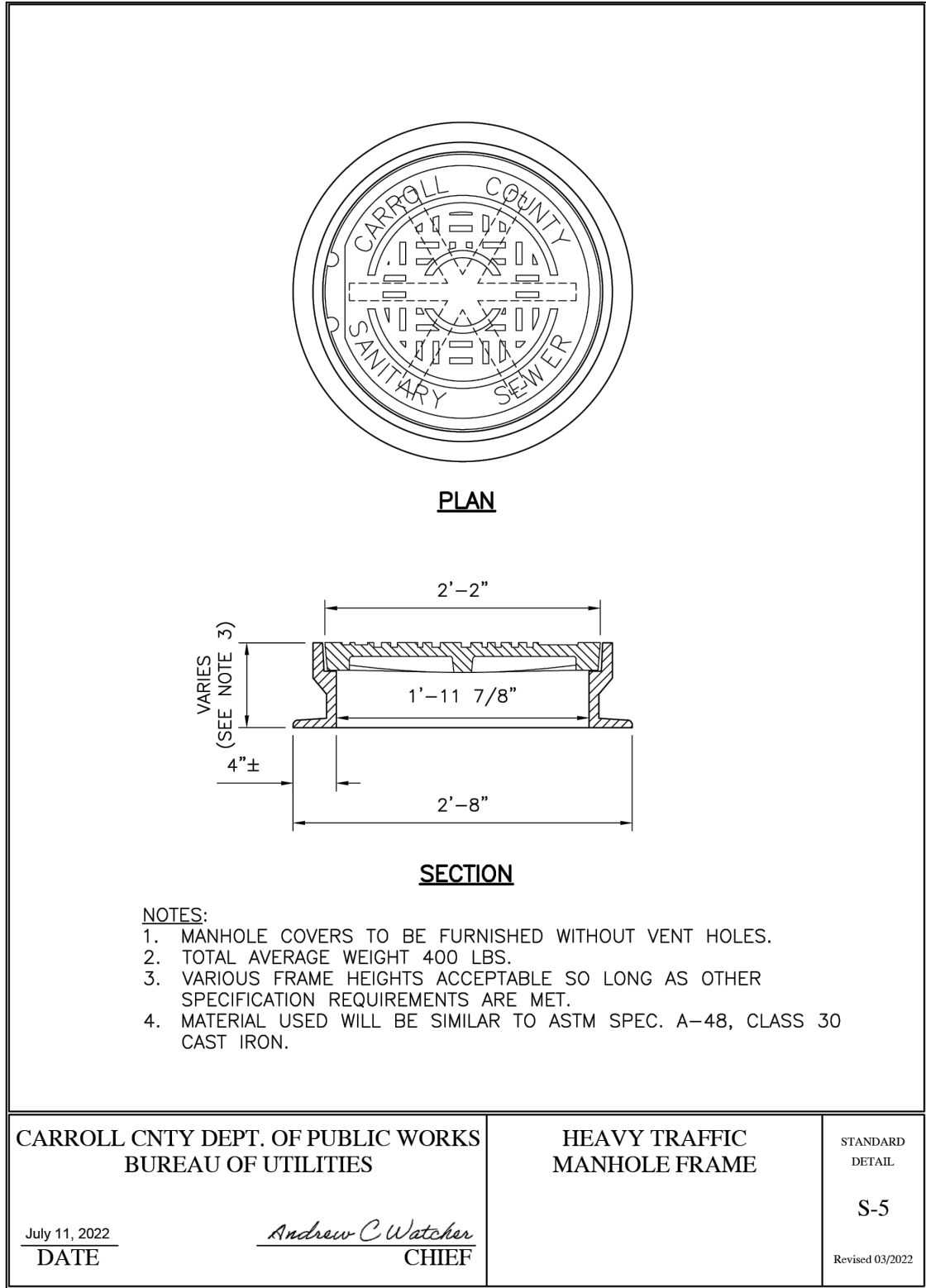
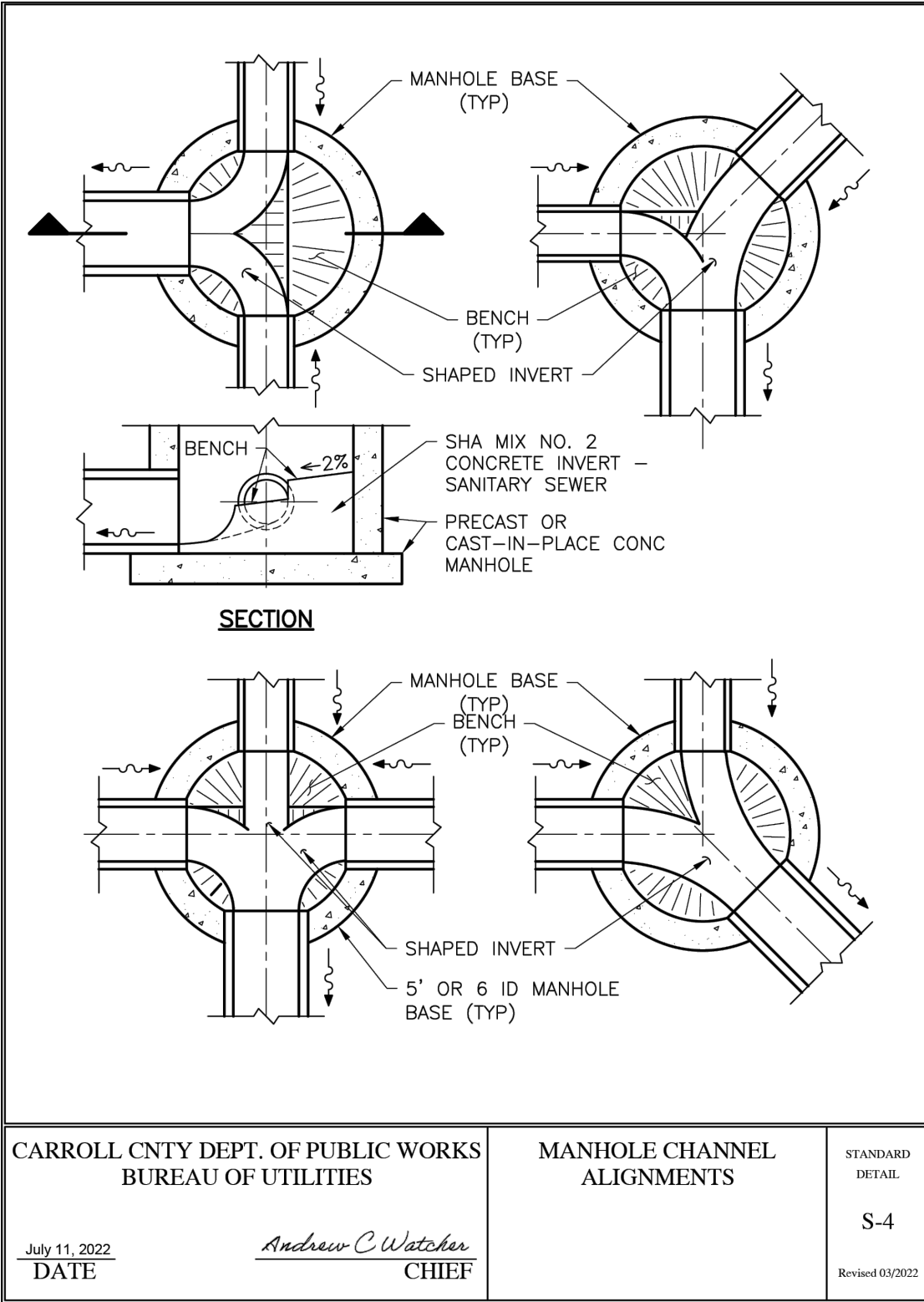
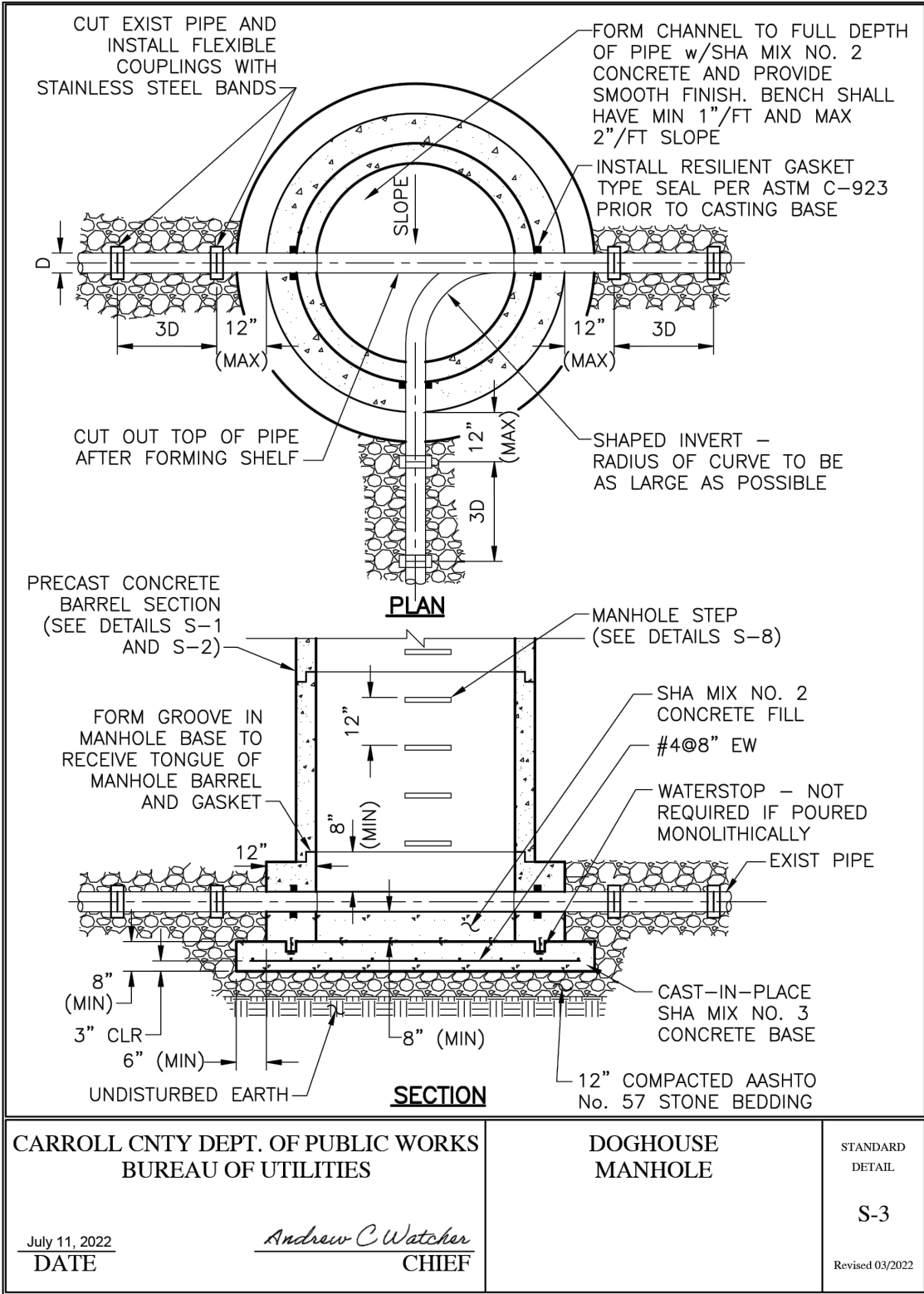
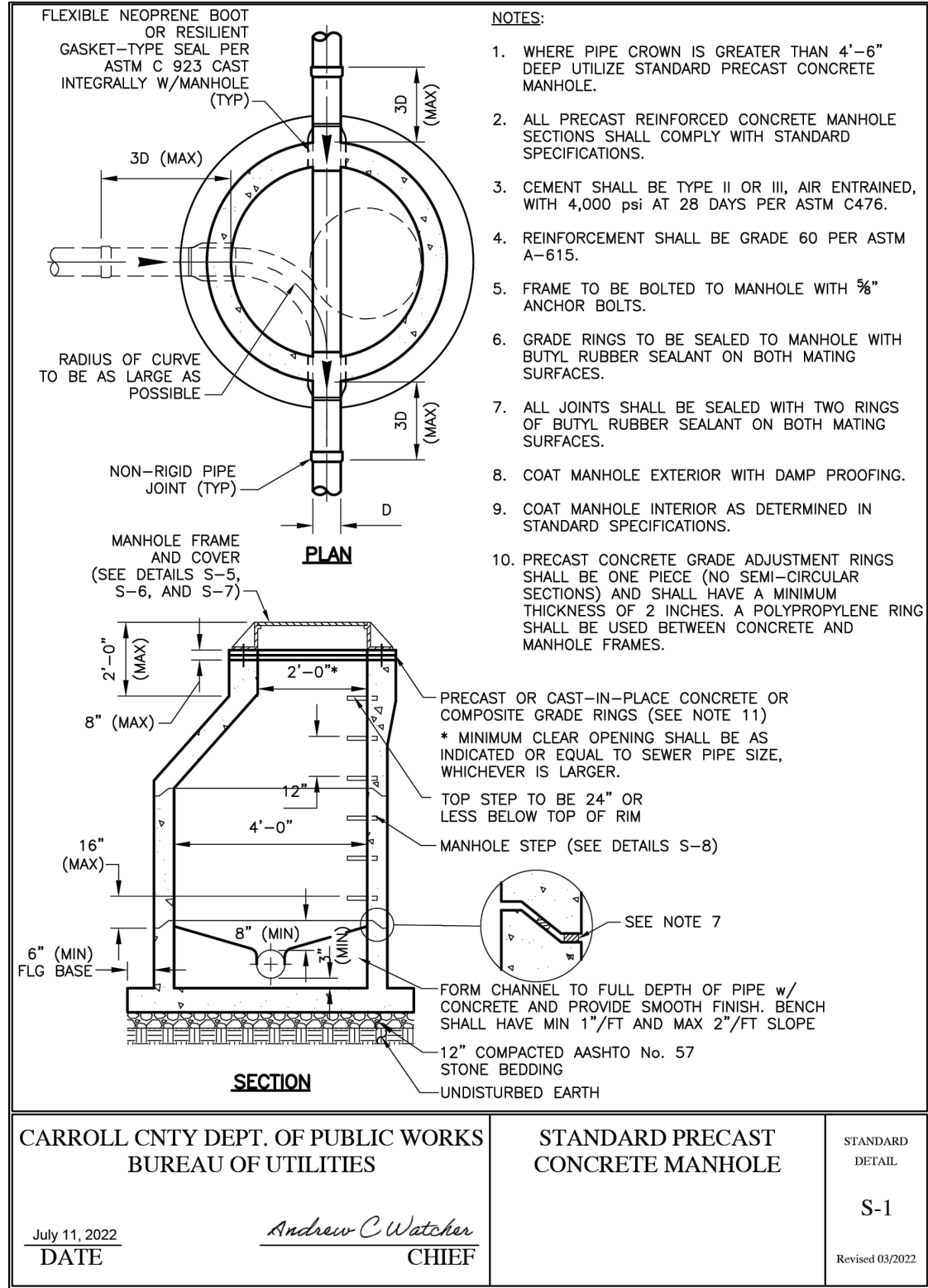
DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

DATE	BY	REVISIONS

DATE: 2/14/2025
PROJECT NUMBER: 20211253.005A

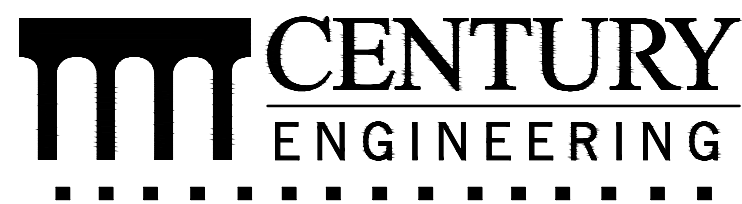
SCALE: AS SHOWN

T:\2021\Facilities\20211253.005A Beaty Property Eldersburg Preserve\CIVIL\CADD\Drawings\20211253.005A (C-x) Water Plan.dwg Feb. 19, 2025 8:32am fanghehr



DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC. DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC. NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.



A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

WATER AND SEWER PLANS

Sewer Details

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 2/14/2025 SCALE: AS SHOWN
PROJECT NUMBER: 20211253.005A

DRAWING:

8 of 8

Water Contract W-346
Sewer Contract S-346
P-23-0055

OWNER
LONG MEADOW PARK LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

DATE	BY	REVISIONS