

GENERAL NOTES

- Construction shall be performed in accordance with latest editions of the following, including all addenda, supplements or updates:
 - Design Manual - Volume One - Roads and Storm Drains, 1994 edition, of the Carroll County Department of Public Works.
 - Design Guide for Flexible Pavement, 2004, of the Carroll County Department of Public Works.
 - Book of Standards, Highway and Incidental Structures of the Maryland Department of Transportation, State Highway Administration.
 - Standard Specifications for Construction and Materials, 2008 edition, of the Maryland Department of Transportation, State Highway Administration.
 - Maryland Manual on Uniform Traffic Control Devices (MUTCD) 2009 Edition of the Maryland Department of Transportation, State Highway Administration.
 - Maryland Standards and Specifications for Soil Erosion and Sediment Control, 1994 edition, published jointly by Water Resources Administration, Soil Conservation Service and State Soil Conservation Committee.
- All of the above noted publications are included by reference as part of these construction plans.
- The Contractor shall notify the Carroll County Department of Public Works, Construction Inspection Division (410-386-2157) a minimum of three (3) working days before beginning work.
- Contractor shall furnish, place and maintain traffic control measures as shown in these plans and as specified in the MUTCD. Contractor shall immediately remove and replace devices when they are damaged, do not function properly, or are determined by Construction Inspector to be unsuitable for their purpose. Traffic control devices may be removed only upon approval of Construction Inspector.
- Locations of existing utilities are shown only as notification to Contractor of the presence of underground utilities. Carroll County and the design engineer do not warrant or guarantee correctness or completeness of information shown. Contractor is responsible for contacting Miss Utility at 1-800-257-7777 for verifying existence and location of all utilities prior to beginning work. Any damage to existing utilities due to Contractor's operation shall be repaired immediately at Contractor's expense.
- Developer is responsible in all regards for relocation of any existing utilities.
- In case of discrepancy between scaled and figured dimensions, figured dimensions shall govern.
- If for any reason proposed facilities cannot be constructed in accordance with approved plans, Contractor must immediately inform Construction Inspector or Construction Inspection Division (410-386-2157) and shall not begin or continue work on those items. If the Department of Public Works determines plan revisions are necessary, no work shall be performed on the item(s) in question until revised plans issued by the design engineer are approved and issued for construction by the Bureau of Development Review.
- Failure to mention specifically the provision of any item(s), or performance of any work or procedure which would normally be required to complete the project, shall not relieve the Contractor of his responsibility to provide such item(s) or to perform such work or procedure.
- Construct earth fills for roads, embankments, and structures in accordance with Section 204 EMBANKMENT AND SUBGRADE of the MD SHA Standard Specifications for Construction and Materials. Compact the material that is 1 foot below the top of subgrade to at least 92.0% of maximum dry density using AASHTO T-100 method. Compaction of top one foot of fill shall not be less than 97.0% of maximum dry density using the same method.
- Developer is responsible for providing soil, base aggregate and hot mix asphalt compaction testing. A certified technician must be onsite at all times during fill operations. Compaction tests must be certified by a Professional Engineer registered in the State of Maryland. Copies of soil compaction test results must be provided to, and approved by, the Construction Inspection Division prior to placement of curbs and/or base aggregate. Copies of base aggregate compaction test results must be provided to, and approved by, the Construction Inspection Division prior to placement of base hot mix asphalt.
- Inlet grates in sumps shall be constructed level at elevation given in structure schedule. Inlets on grade shall be adjusted so that slope of grate matches finished flow line of curb. Top elevation shall apply to centerline of grate at flow line of curb. Cross slope of the grate shall match the road cross slope.
- Pipe elevations shown on storm drain profiles are invert elevations unless otherwise noted.
- Where ditch or waterway stabilization matting of any type is specified, installation shall be in accordance with manufacturer's recommendations. Matting shall be placed on bottom and side slopes to provide either 1.0' stabilized depth, unless otherwise indicated on plans.
- All existing paving disturbed by utility cuts shall be replaced in accordance with Carroll County Standard Plate 47, Option 1 or Option 3 in the Design Manual, Volume 1 or as noted in the Utility Permit.
- Once begun, road construction shall be continued until full depth of aggregate base and paving as shown on the typical section are placed, including the finished surface course. Aggregate base course and hot mix asphalt base course shall not remain uncovered for more than five working days.
- Off-site borrow material to be imported for embankment construction and support of pavement is to meet the minimum subgrade soil specifications in Table 3 of the Design Guide for Flexible Pavements. CBR testing of off-site borrow material shall be completed and the test results submitted to and approved by the Bureau of Development Review prior to delivery of the material. The paving design sections shown on the approved plans shall be reviewed and evaluated using the CBR testing results of the borrow material. Any changes to the pavement design sections based on the CBR test results shall be incorporated through the red-line revision process.
- The design Equivalent Single Axle Loads (ESAL) and the design CBR value shall be noted on the construction plans.
- Permanent signage and striping shall be furnished and installed by the Carroll County Bureau of Roads Operations. Contractor shall notify the Bureau of Roads Operations at 410-386-6717 a minimum of three (3) weeks prior to starting work and then again 48 hours prior to completion of work.
- Construction vehicles, contractor or private, or construction materials or equipment shall not be parked, placed, or stored within any public right-of-way.

LEGEND

SOIL CLASSIFICATION	-----	OBSERVATION HOLE/TREATMENT ZONE	
PROPERTY LINE	=====	EXISTING WELL	
STREAM	~~~~~	PROPOSED WELL	
SEPTIC / STREAM BUFFER	-----	>25% SLOPES	
CLEAN OUT	-----	>12% SLOPES	
SUMP DRYWELL	-----	STONE CONSTRUCTION EASEMENT	
FAILED PERC TEST			
PROPOSED PERC TEST			
PASSED PERC TEST			

BENCH MARKS

BENCHMARK #1: CARROLL COUNTY SURVEY CONTROL "FRYMAN"
 NORTH = 681,008.195
 EAST = 1,320,593.460
 ELEVATION = 877.33
 DESCRIPTION = CONCRETE MONUMENT SET FLUSH WITH THE GROUND, ON THE SOUTH SIDE OF HOOK ROAD, BEING 1.10 MILES FROM INTERSECTION OF MARYLAND ROUTE 97 & HOOK ROAD.

BENCHMARK #2: CARROLL COUNTY SURVEY CONTROL "FRYMAN AZI"
 NORTH = 680,866.275
 EAST = 1,321,730.908
 ELEVATION = 787.385
 DESCRIPTION = REBAR AND CAP SET FLUSH WITH THE GROUND, ON THE SOUTH SIDE OF ARNOLD ROAD, BEING 0.10 MILES FROM INTERSECTION OF HOOK ROAD AND ARNOLD ROAD.

CONCEPT PLANS FOR THE SANCTUARY

7TH ELECTION DIST. CARROLL CO., MD.

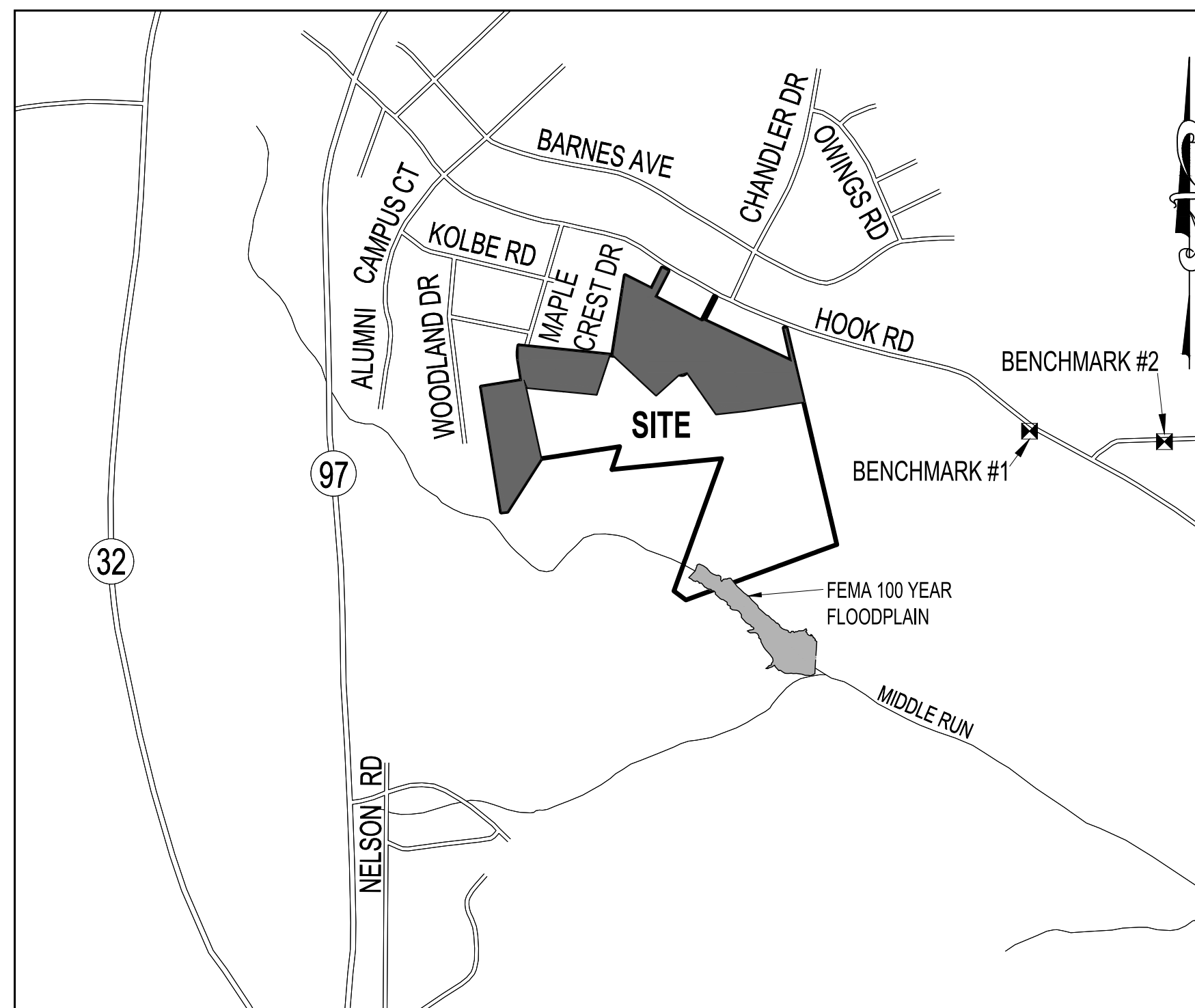
OWNER

KENNEL INC.
 C/O WALTER KENNEL
 6200 CANDLE COURT
 SYKESVILLE, MD 21784
 PHONE # 443-827-3307

DEVELOPER

KENNEL INC.
 C/O WALTER KENNEL
 6200 CANDLE COURT
 SYKESVILLE, MD 21784
 PHONE # 443-827-3307

TRIP GENERATION	
PROPOSED SINGLE FAMILY RESIDENCES	10
AVG. DAILY TRIPS PER RESIDENCE	10
AM PEAK HOUR TRIPS	9
PM PEAK HOUR TRIPS	12
TOTAL AVG. DAILY TRIPS	100



LOCATION MAP
 SCALE: 1" = 1000'

ENGINEER'S/SURVEYOR'S DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER/SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED _____ DATE _____
 LICENSE NO. 21096 EXP. 08-03-2025

DEVELOPER'S/LANDOWNER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT IT IS MY/OUR RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY/FACILITIES. I/WE ALSO CERTIFY THAT THESE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH TITLE XV, CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY.

SIGNED _____ DATE _____

ENGINEER'S/SURVEYOR'S "AS-BUILT" CERTIFICATION

I/WE HEREBY CERTIFY THAT THE FACILITY/FACILITIES SHOWN ON THIS/THESE PLANS WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT THIS/THESE FACILITIES WERE INSPECTED IN ACCORDANCE WITH TITLE XV, CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED _____ DATE _____
 LICENSE NO. 21096 EXP. _____

INDEX OF SHEETS

SHEET 1:	TITLE SHEET
SHEET 2:	CONCEPT PLAN
SHEET 3:	CONCEPT PLAN & PROFILE - SANCTUARY COURT
SHEET 4:	CONCEPT STORM WATER MANAGEMENT PLAN
SHEET 5:	CONCEPT STORM WATER MANAGEMENT DETAILS

REVISIONS

DATE	REASON
9-11-2024	CONCEPT PLAN REVIEW COMMENTS
11-20-2024	SWM COMMENTS



142 EAST MAIN STREET
 WESTMINSTER, MD 21157
 PHONE: 410-848-2040
 PHONE: 410-876-1222
 WWW.RTFSURVEYING.COM

JOHN E. LEMMERMAN
 PROFESSIONAL LAND SURVEYOR #21096
 RENEW / EXPIRES 08-03-2025

THE SANCTUARY COVER SHEET

DATE: 11-22-23	RTF JOB#: 19-19A	SHEET: 1 OF 5
	CO. FILE#: P-22-0102	

FORESTED WATER RESOURCE PROTECTION EASEMENT

Table with columns: LEFT / WEST, TRANSECT, RIGHT / EAST, TOTAL, WETLANDS, STEEP SLOPES, SLOPE BUFFER, AVG. SLOPE, BASE, AVG. SLOPE, SLOPE BUFFER, STEEP SLOPES, WETLANDS, TOTAL. It lists various measurements for different transects.

Table with columns: 21, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 21, 38. It lists specific test results and dates.

Table with columns: 22, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 22, 39. It lists specific test results and dates.

Table with columns: 23, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 23, 40. It lists specific test results and dates.

Table with columns: 24, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 24, 41. It lists specific test results and dates.

Table with columns: 25, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 25, 42. It lists specific test results and dates.

Table with columns: 26, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 26, 43. It lists specific test results and dates.

Table with columns: 27, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 27, 44. It lists specific test results and dates.

Table with columns: 28, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 28, 45. It lists specific test results and dates.

Table with columns: 29, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 29, 46. It lists specific test results and dates.

Table with columns: 30, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 30, 47. It lists specific test results and dates.

Table with columns: 31, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 31, 48. It lists specific test results and dates.

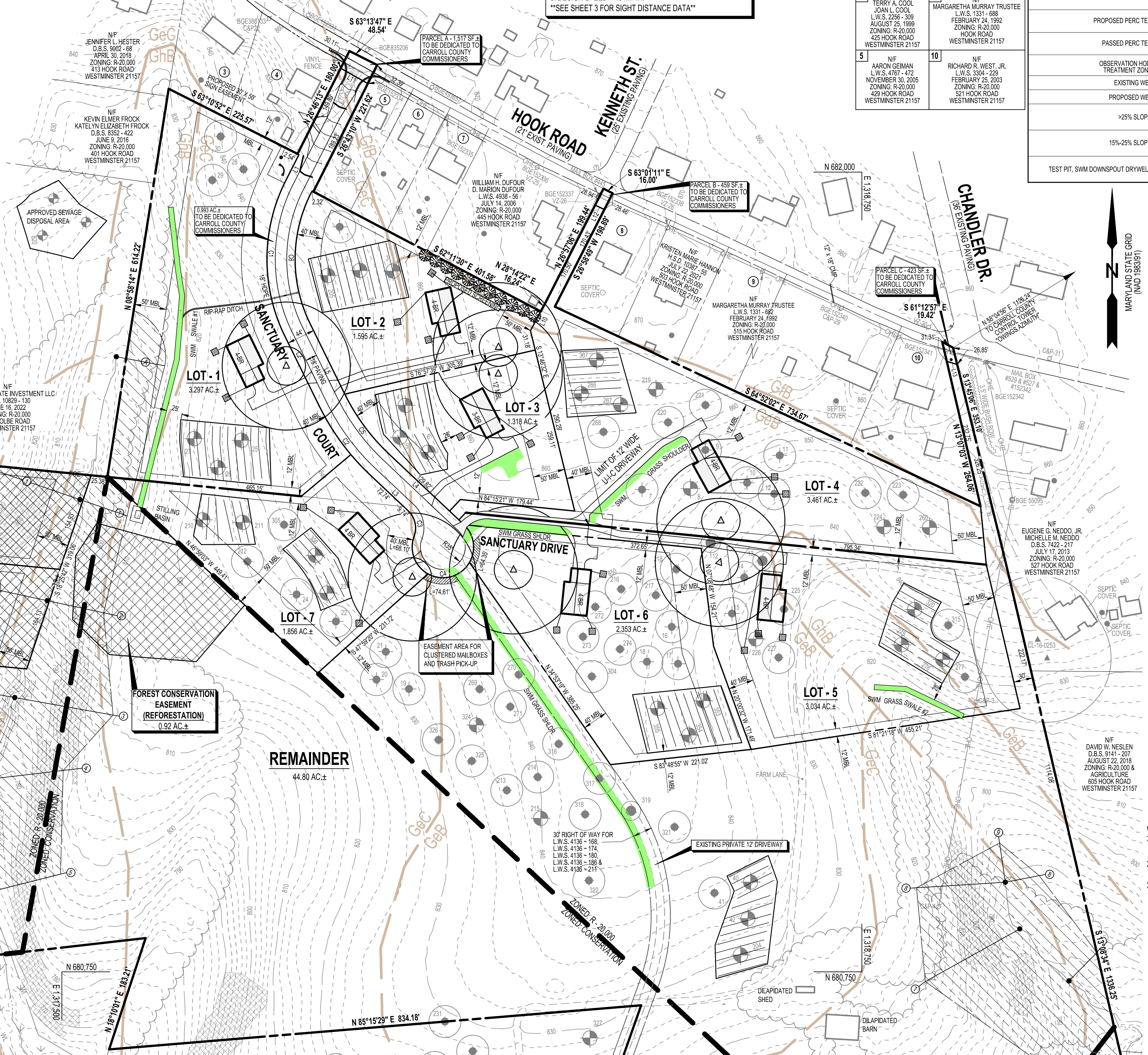
Table with columns: 32, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 32, 49. It lists specific test results and dates.

Table with columns: 33, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 33, 50. It lists specific test results and dates.

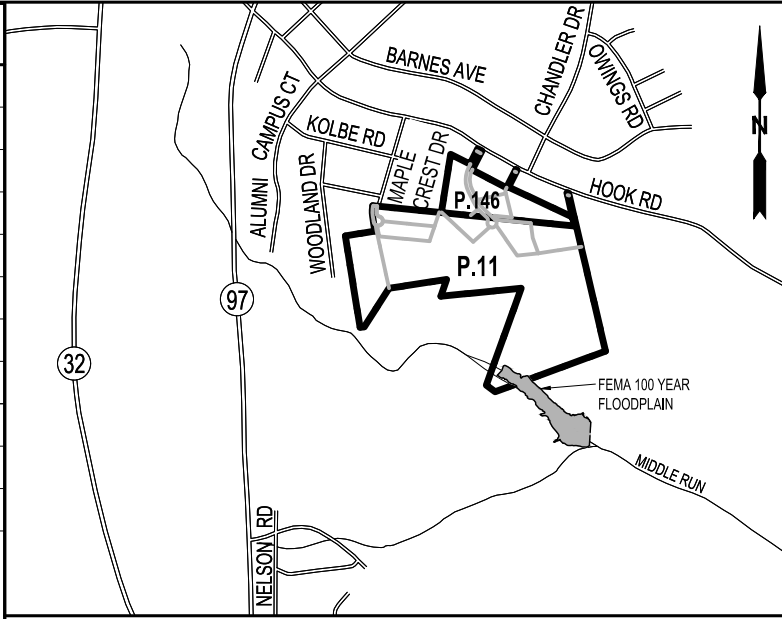
Table with columns: 34, TF, >30 min at 3 ft, >2 minutes at 7 feet, 10/28/20, 34, 51. It lists specific test results and dates.

Table with columns: Test #, Test Type, Percolation Rate, Percolation Rate, Comments, Date, Test #. It lists various test results and dates.

MAPLE CREST DRIVE EXTENSION
1. FUNCTIONAL ROAD CLASSIFICATION = CUL-DE-SAC
2. FUNCTIONAL ROAD CLASSIFICATION = MINOR COLLECTOR
3. POSTED SPEED LIMIT = 25 M.P.H.
4. DESIGN SPEED = 35 M.P.H.
5. TYPICAL SECTION = C.C. PLATE 20
6. TYPICAL SECTION = C.C. PLATE 31 (OFFSET)
7. (PAVING RADI = C.D.S. 35', RETURN RADI = 50')
8. (R.O.W. RADI = C.D.S. 48', RETURN RADI = 37')



ADJOINER INFO. CHART table listing adjacent parcels, owners, and details.



VICINITY MAP
SCALE: 1" = 200'

ENVIRONMENTAL HEALTH DEPARTMENT NOTES
1. THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100 FEET OF THE PROPERTY BOUNDARY UNLESS SHOWN OTHERWISE.
2. BEFORE ISSUANCE OF A SEPTIC PERMIT, IT MUST BE DEMONSTRATED THAT THERE IS ADEQUATE AREA FOR AN INITIAL AND TWO REPLACEMENT SEPTIC SYSTEMS IN ACCORDANCE WITH COMAR 26.03.02.03 (EFFECTIVE 1/1/86).

SEPTIC MINOR SUBDIVISION (CARROLL COUNTY CODE § 155.031(i))
Table with columns: TAX PARCEL #, # LOTS CREATED SINCE 10-01-2012, # LOTS PROPOSED, TOTAL # LOTS SINCE 10-01-2012.

- GENERAL NOTES
1. TITLE REFERENCE PARCEL 146:
1.1. OWNER: KENNELL INC.
1.2. DEED REFERENCE: LIBER L.W.S. 4136, FOLIO 198
1.3. DATE: SEPTEMBER 8, 2004

- DATA BLOCK
1. ZONING DISTRICT - R-20.000
2. SOILS TAKEN FROM N.R.C.S. WEB SOIL SURVEY.
3. NUMBER OF LOTS PROPOSED = 10
4. TOTAL AREA OF LOTS = 27.833 AC ±
5. TOTAL AREA OF OTHER PARCELS = 1.338 AC ±

- FOREST CONSERVATION
1. FOREST CONSERVATION ORDINANCE IS TO BE ADDRESSED BY ON-SITE RETENTION AND PLANTING.
2. EXISTING FOREST TO BE REMOVED = 0.02 ACRES.
3. FOREST CONSERVATION IS BEING ADDRESSED BY ONSITE RETENTION AND PLANTING.

- LANDSCAPING
1. THERE ARE NO RESIDENTIAL PARKING LOTS
2. NO LOTS HAVE REAR OR SIDE YARDS ADJACENT TO PUBLIC STREETS.
3. NO LANDSCAPING IS REQUIRED. ANY LANDSCAPING / SCREENING PROVIDED IS VOLUNTARY.

- WATER RESOURCE PROTECTION
1. THERE ARE NO TIER-II WATERS ON SITE.
2. SITE IS IN TIER-II CATCHMENT FOR BEAVER RUN 2.
3. THE PROPOSED DEVELOPMENT IS IN AN AQUIFER PROTECTION AREA. SURFACE WATER PROTECTION AREA, PARTIALLY IN A WELLHEAD PROTECTION AREA AND SURFACE WATER MANAGEMENT ZONE.

Table with columns: TITLE REFERENCE P.146, OWNER/DEVELOPER, TITLE REFERENCE P.11, OWNER/DEVELOPER.

RTF associates, Inc. LAND SURVEYORS & PLANNERS
142 EAST MAIN STREET WESTMINSTER, MD 21157
410-848-2040
WWW.RTFSURVEYING.COM

CHECKED BY: DATE:
DRAWN BY: AR DATE: 11-02-2023
SCALE: 1" = 100'

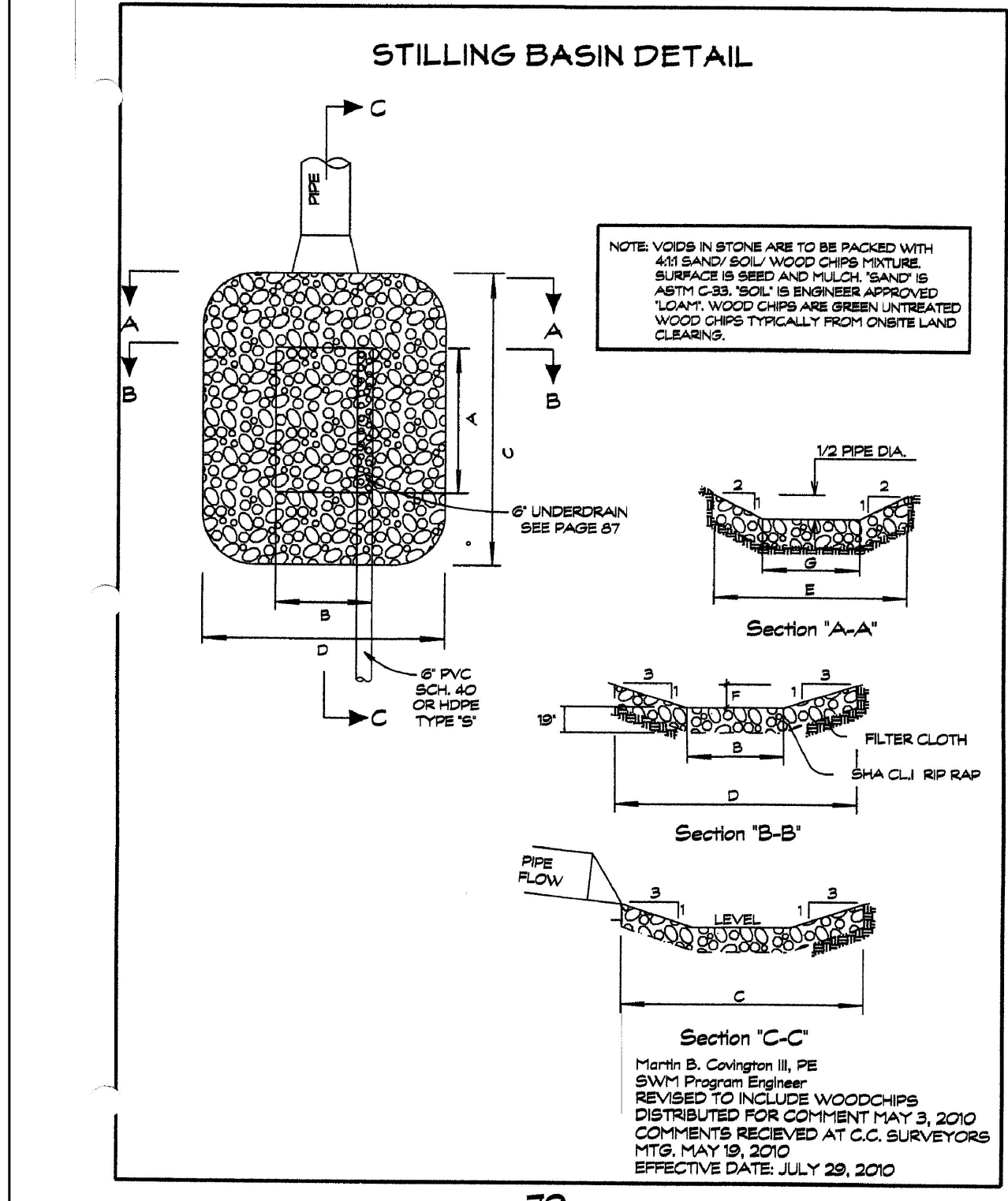
REVISIONS table with columns: DATE, REASON, COMMENT.

I HEREBY CERTIFY THAT ALL PERCOLATION TESTS SHOWN HEREON HAVE BEEN FIELD LOCATED AND ARE ACCURATELY SHOWN.

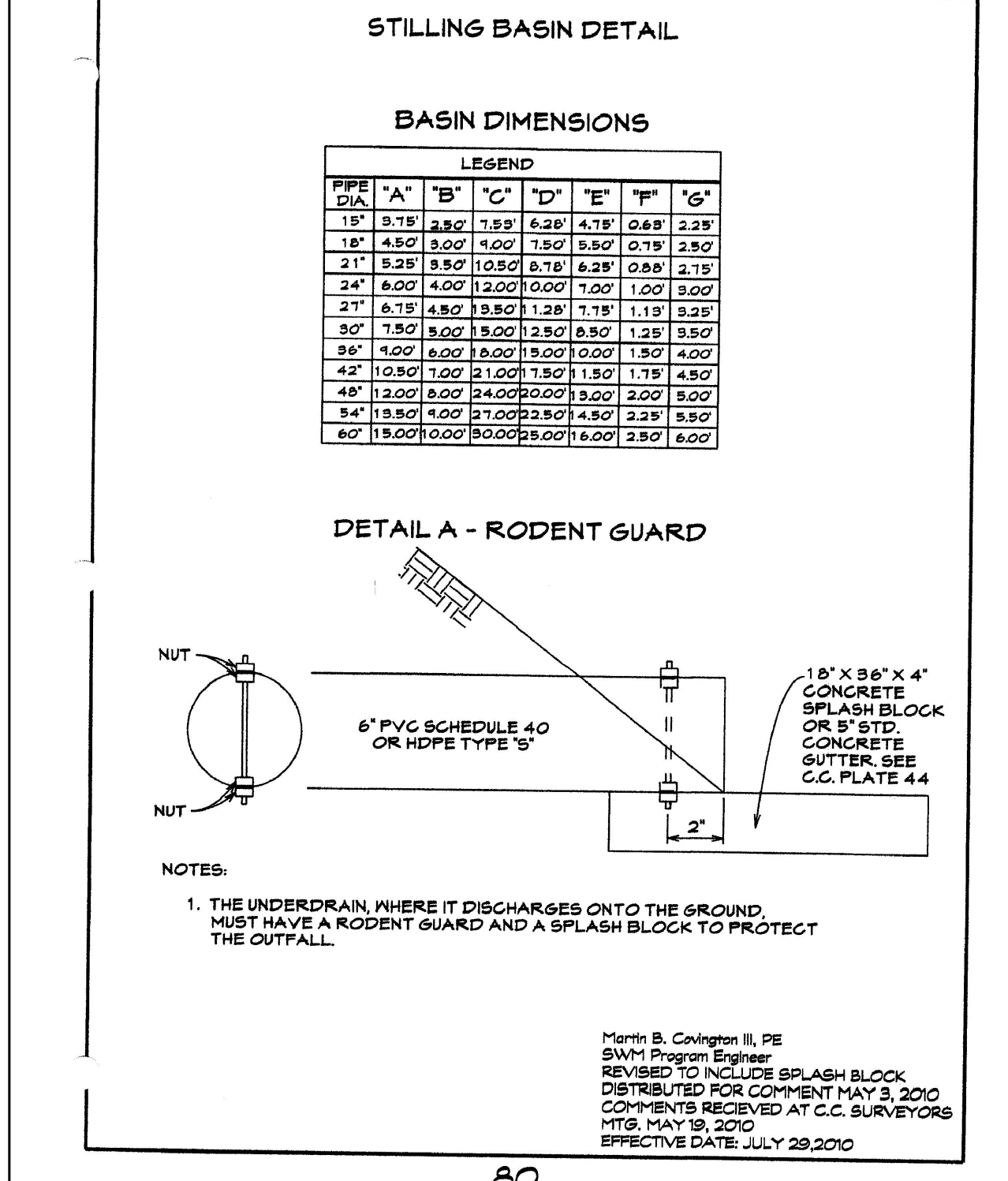
JOHN E. LEMMERMAN
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 21098
EXP. 08-03-2025

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	172.00	152.48	15°11'08"	S 0°25'11" W	243.53
C2	372.00	132.88	20°27'56"	S 38°26'20" E	132.11
C3	37.00	43.37	67°19'19"	S 13°03'59" E	40.93
C4	48.00	207.06	24°19'19"	N 78°56'21" E	193.98
C5	328.00	117.16	20°27'56"	N 38°26'20" W	118.54
C6	228.00	215.33	54°19'43"	N 0°59'59" E	201.47
C7	137.00	141.84	84°17'11"	S 26°10'17" E	93.64
C8	48.00	198.83	23°12'49"	S 57°12'12" W	84.23

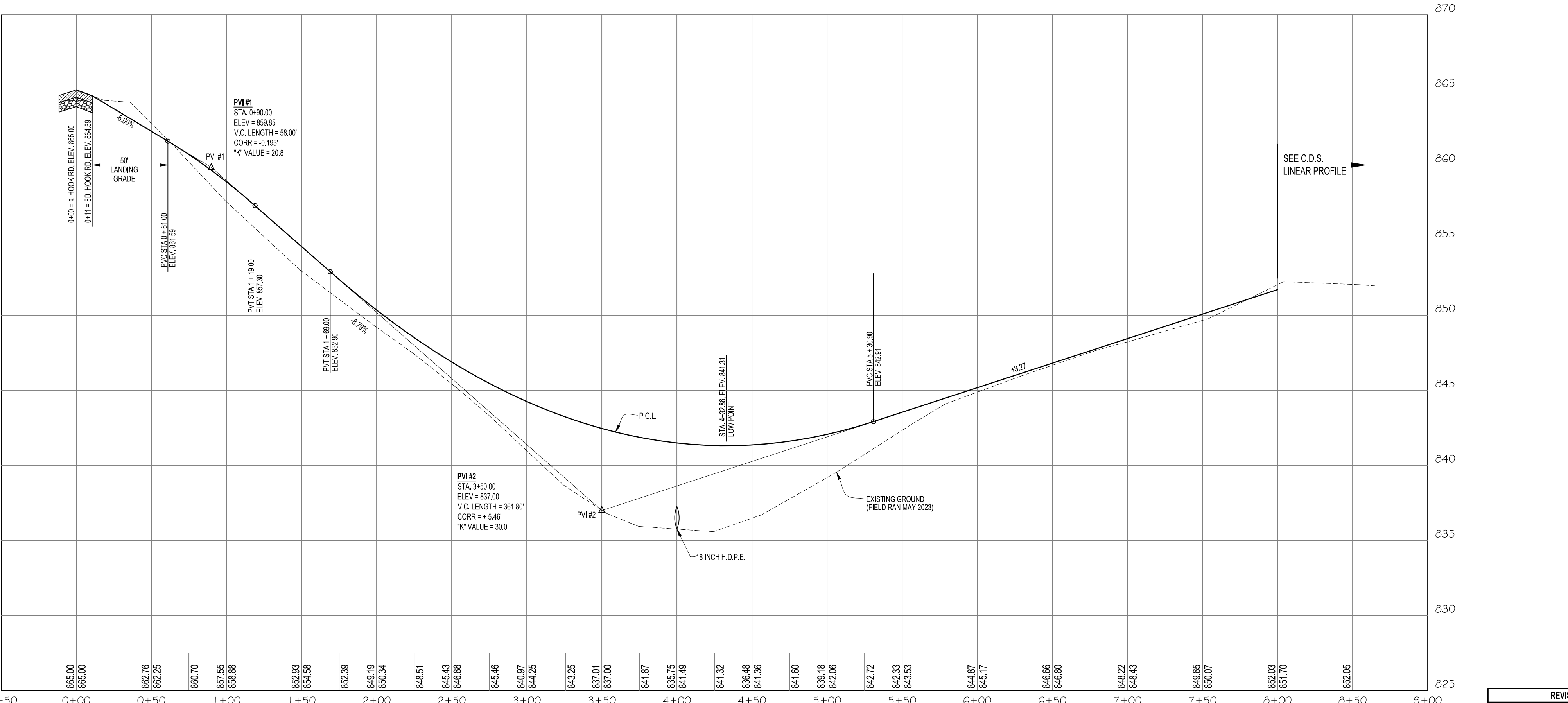
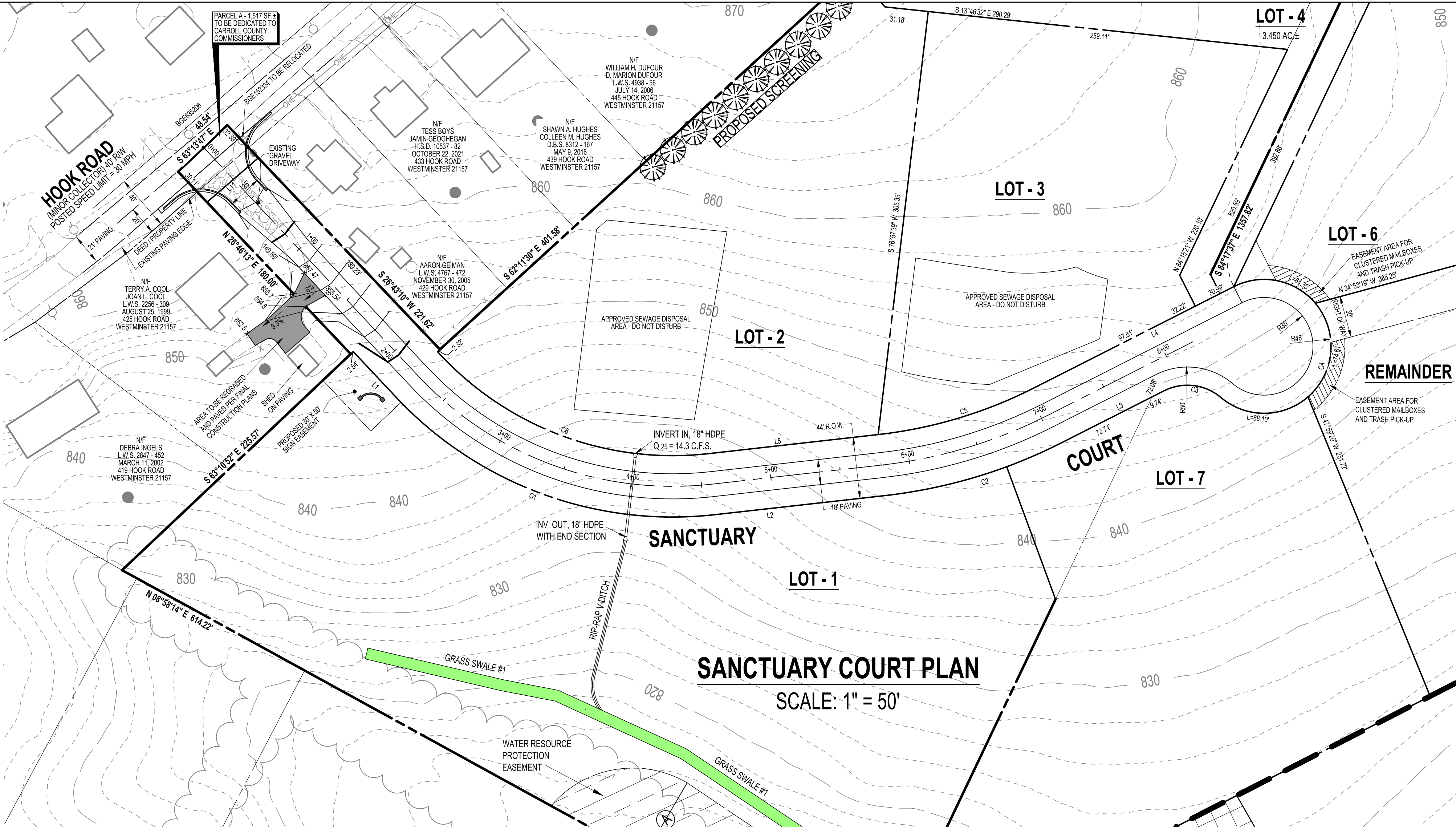
- SANCTUARY COURT / HOOK ROAD INTERSECTION**
- POSTED SPEED LIMIT OF HOOK ROAD = 30 MPH
DESIGN SPEED = 40 MPH
 - REQUIRED INTERSECTION SIGHT DISTANCE = 445'
 - MEASURED INTERSECTION SIGHT DISTANCE:
LEFT / WEST = 542'
RIGHT / EAST = 463'
 - REQUIRED STOPPING SIGHT DISTANCE
LEFT / WEST = 300' (CALCULATED WITH SLOPE)
RIGHT / EAST = 333.5' (CALCULATED WITH SLOPE)
 - MEASURED STOPPING SIGHT DISTANCE
LEFT / WEST = 511'
RIGHT / EAST = 461'



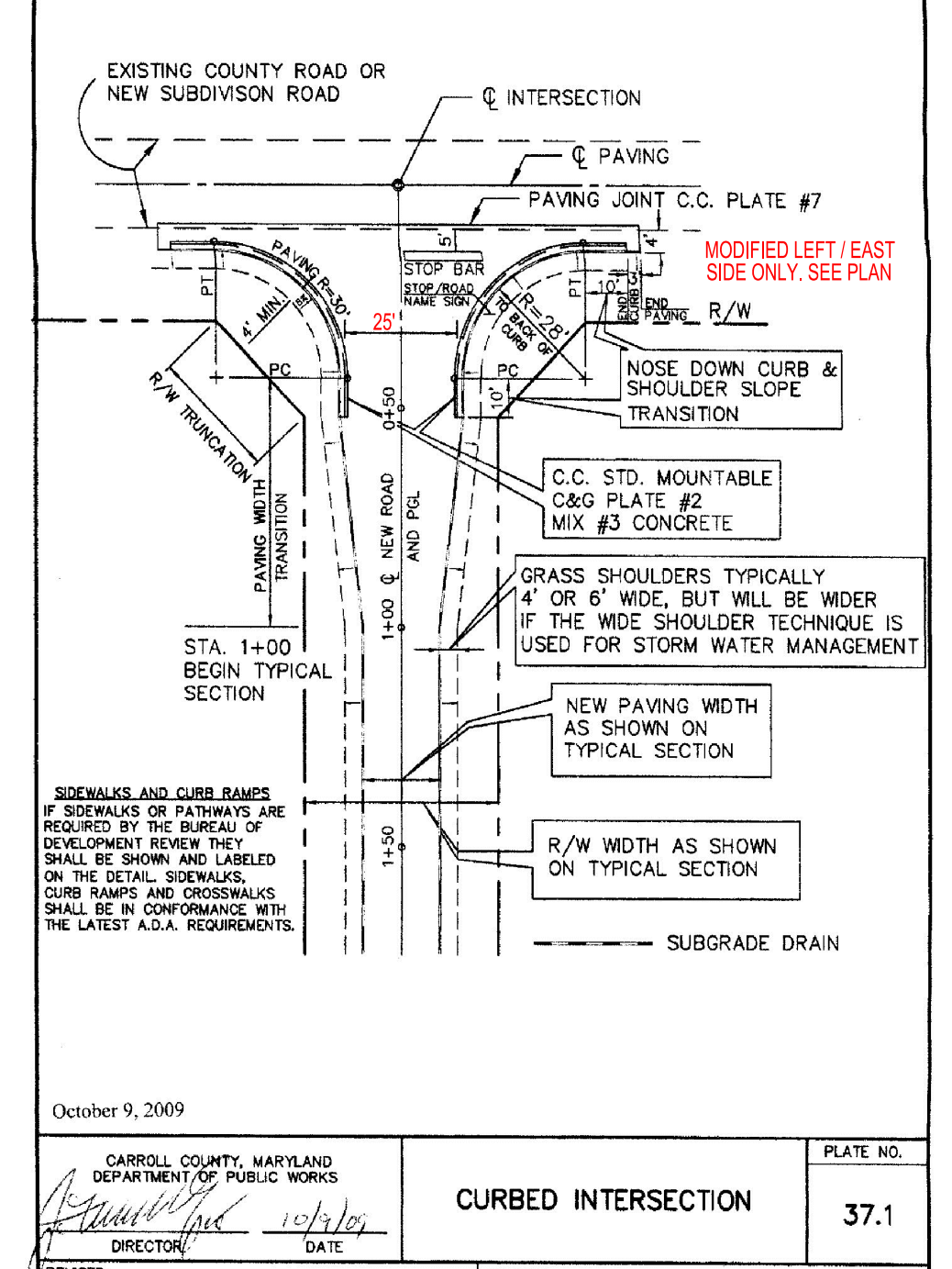
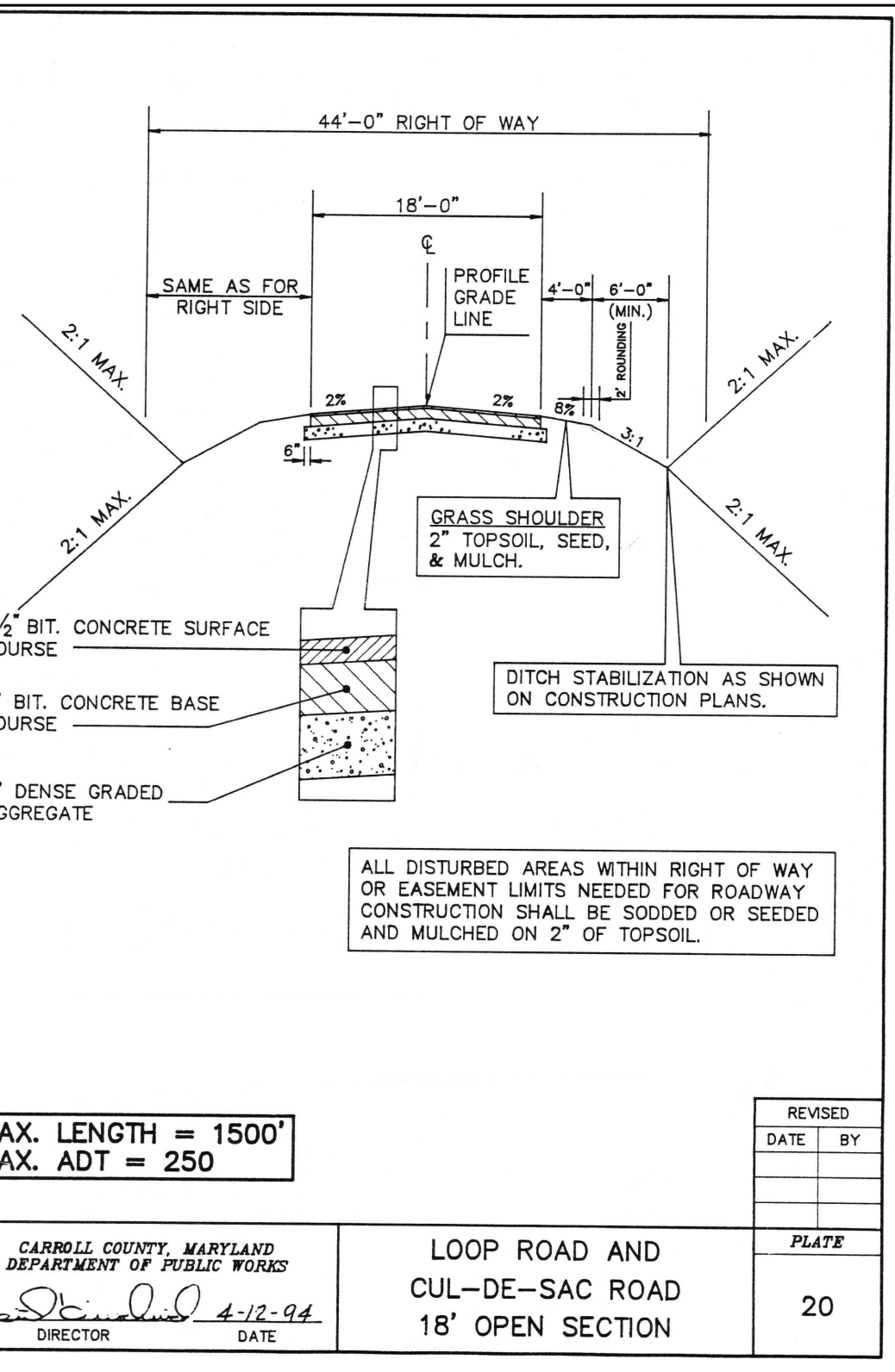
79



80



SANCTUARY COURT PROFILE
SCALE: 1" = 50' HORIZ, 1" = 5' VERT
(DESIGN SPEED = 25 MPH)



CONCEPT PLAN & PROFILE OF **SANCTUARY COURT**
SOUTH OF HOOK ROAD EAST OF MARYLAND ROUTE 97
7TH ELECTION DISTRICT, CARROLL CO. MD
TAX MAP: 52, GRID: 8, PARCELS: 146 & 11

TITLE REFERENCE	OWNER/DEVELOPER
KENNEL INC. L.W.S. 4136 - 198 SEPTEMBER 8, 2004	KENNEL INC. 6200 CANDLE COURT SYKESVILLE, MD 21784

RTF associates, Inc.
LAND SURVEYORS & PLANNERS

142 EAST MAIN STREET WESTMINSTER, MD 21157
410-848-2040
410-876-1222
WWW.RTFSURVEYING.COM

CHECKED BY: _____ DATE: _____
DRAWN BY: AR DATE: 11-03-2023
SCALE: 1" = 50'

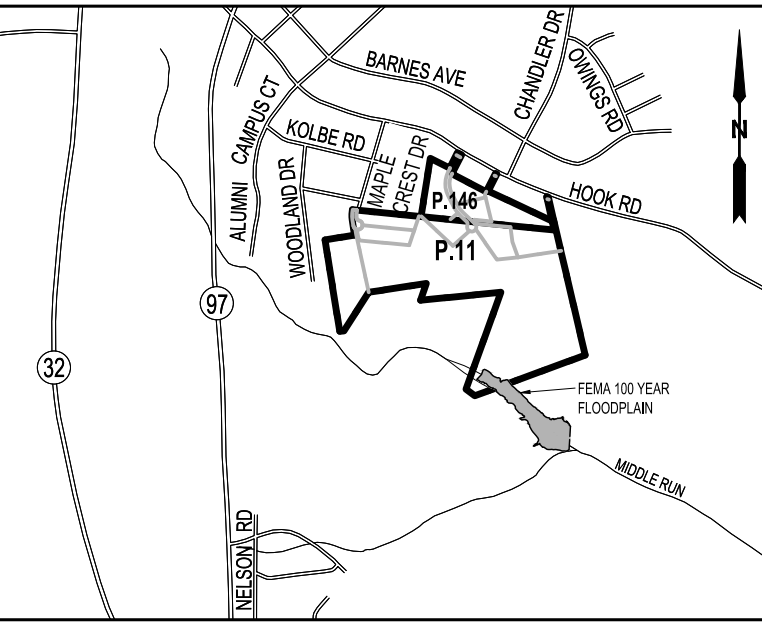
RTF JOB#: 19-19A COUNTY FILE#: P-22-0102 SHEET: 3 OF 5

DATE	REASON
9-11-2024	CONCEPT COMMENTS

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	172.00	252.48	151.1192	S 63°07'11" W	184.37
C2	572.00	132.88	20.2752	S 36°20'20" E	132.77
C3	37.00	43.37	67.9919	S 13°52'59" E	40.93
C4	148.00	223.76	143.9919	N 76°54'21" E	178.98
C5	328.00	117.16	20.2752	N 36°20'20" W	116.54
C6	228.00	215.33	54.0643	N 00°50'59" E	207.42
C7	37.00	41.94	64.4711	S 29°07'07" E	39.84
C8	48.00	188.83	237.1949	S 57°15'12" W	84.23

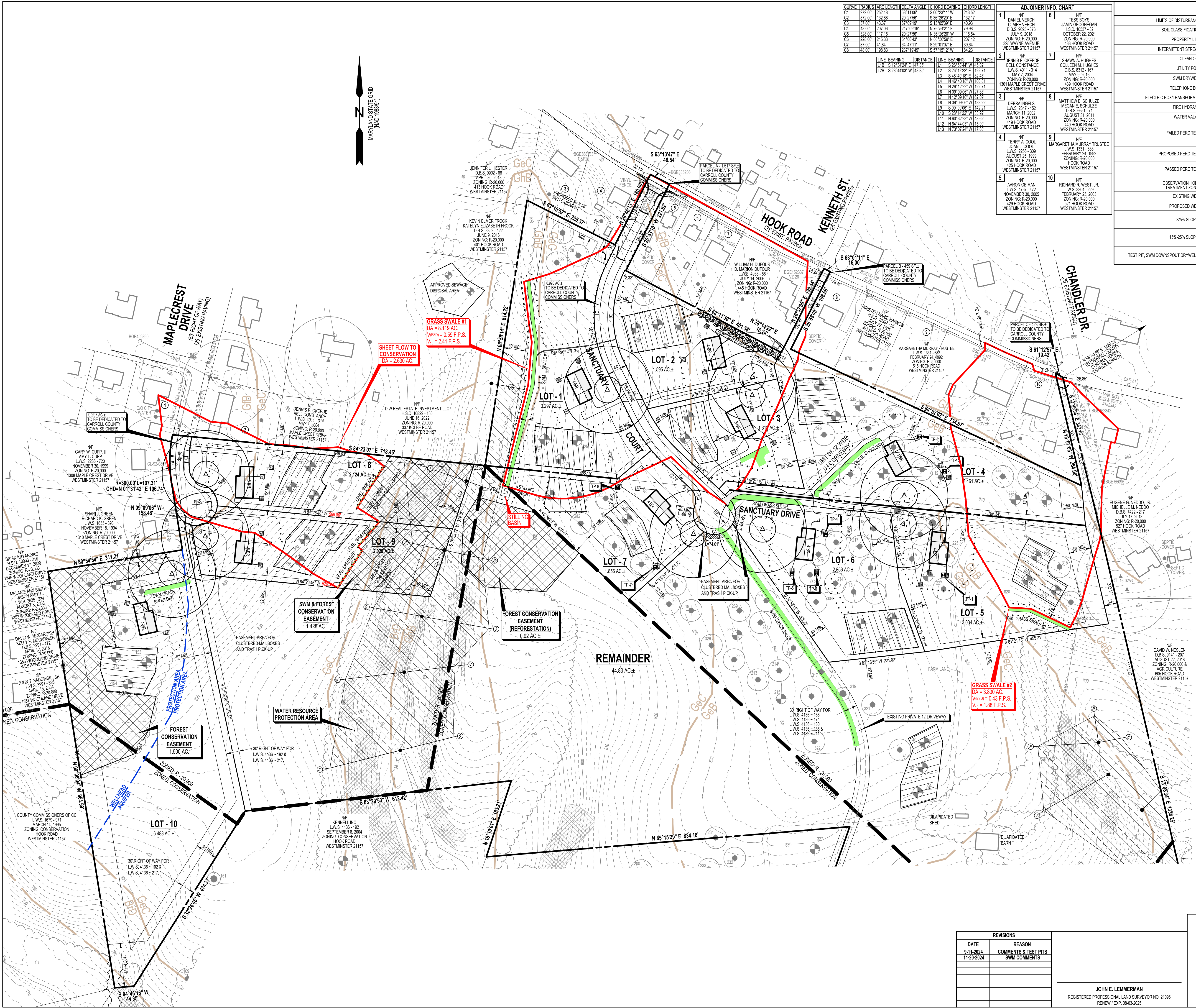
ADJOINER INFO. CHART	NO.	NAME	DATE	ADDRESS
1	NF	DANIEL VERCH	NOV 9, 2018	332 WYNNE AVENUE WESTMINSTER 21157
2	NF	DENNIS P. OKEEGHE	MAY 7, 2004	130 MAPLE CREST DRIVE WESTMINSTER 21157
3	NF	DEBRA ANGUS	MARCH 11, 2002	419 HOOK ROAD WESTMINSTER 21157
4	NF	TERRY A. COOL	AUGUST 25, 1999	425 HOOK ROAD WESTMINSTER 21157
5	NF	AARON GERMAN	NOVEMBER 30, 2005	429 HOOK ROAD WESTMINSTER 21157
6	NF	TESS BOYS	OCTOBER 22, 2021	433 HOOK ROAD WESTMINSTER 21157
7	NF	SHAWNA HUGHES	MAY 7, 2016	439 HOOK ROAD WESTMINSTER 21157
8	NF	MATTHEW SCHULZE	AUGUST 31, 2011	449 HOOK ROAD WESTMINSTER 21157
9	NF	MARGARETHA MURRAY TRUSTEE	FEBRUARY 24, 1992	459 HOOK ROAD WESTMINSTER 21157
10	NF	RICHARD R. WEST, JR.	FEBRUARY 25, 2003	521 HOOK ROAD WESTMINSTER 21157

LEGEND	
LIMITS OF DISTURBANCE	.....
SOIL CLASSIFICATION	.....
PROPERTY LINE	.....
INTERMITTENT STREAM	.....
CLEAN OUT	.....
UTILITY POLE	.....
SWM DRYWELL	.....
TELEPHONE BOX	.....
ELECTRIC BOX/TRANSFORMER	.....
FIRE HYDRANT	.....
WATER VALVE	.....
FAILED PERC TEST	.....
PROPOSED PERC TEST	.....
PASSED PERC TEST	.....
OBSERVATION HOLE/ TREATMENT ZONE	.....
EXISTING WELL	.....
PROPOSED WELL	.....
>25% SLOPES	.....
15%-25% SLOPES	.....
TEST PIT, SWM DRAINOUT DRYWELLS	TP-8



STORMWATER MANAGEMENT MAINTENANCE AGREEMENT SCHEDULE

- THE STORMWATER MANAGEMENT FACILITY/FACILITIES SHOWN ON THESE PLANS SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER(S).
- THE OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR CONTINUING MAINTENANCE OF THE FACILITY/FACILITIES, WHICH SHALL INCLUDE SUCH ITEMS AS MOWING, CLEANING AND REMOVING SEEDMENT, TREES, SHRUBS AND DESIRES, REQUIREMENTS AND SCHEDULES FOR SPECIFIC TYPES OF FACILITIES AND PRACTICES AS LISTED ON THE PLANS ARE HEREBY INCLUDED. THE TIME PERIOD FOR THIS CONTINUING MAINTENANCE SHALL BE ON "AS-NEEDED" BASIS BUT SHALL BE DELAYED NO LONGER THAN THIRTY (30) DAYS.
- THE OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR REPAIRING OR ANY STRUCTURAL DAMAGES OR FAILURE WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE. IN THE EVENT OF STRUCTURAL DAMAGE, OWNER SHALL BE REQUIRED TO MAKE THE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE BUT IN ANY CASE WITHIN THIRTY (30) DAYS.
- IF AFTER NOTICE BY THE COUNTY/TOWN TO CORRECT A VIOLATION REQUIRING MAINTENANCE WORK, SATISFACTORY CORRECTIONS ARE NOT MADE BY THE OWNER(S) WITHIN THIRTY (30) DAYS, THE COUNTY/TOWN MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE OWNER(S) OF THE FACILITY SHALL BE ASSESSED THE COST OF WORK AND ANY PENALTIES. THESE MONIES SHALL BE COLLECTED FROM A BOND, WHICH THE DEVELOPER IS REQUIRED TO POST WITH THE COUNTY/TOWN TO COVER SUCH EXPENSES UNTIL "COMPLETION OF THE FACILITY". "COMPLETION OF THE FACILITY" IS CONSIDERED TO MEAN THAT ALL CONTRIBUTORY DRAINAGE AREAS ARE PAVED OR SUPPORTING A TWO INCH STAND OF GRASS AND THAT THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT HAS INSPECTED THE CONSTRUCTION AND A REGISTERED PROFESSIONAL ENGINEER/SURVEYOR HAS CERTIFIED THAT THE "AS-BUILT" PLANS MEET THE PLANS AND SPECIFICATIONS FOR CONSTRUCTION. AFTER "COMPLETION OF THE FACILITY" THE OWNER(S) WILL BE ASSESSED FOR ANY WORK AND PENALTIES. THIS MAY BE ACCOMPLISHED BY PLACING A LIEN ON THE PROPERTY, WHICH MAY BE PLACED ON THE TAX BILL AND COLLECTED AS ORDINARY TAXES BY THE COUNTY/TOWN.
- OWNER(S) SHALL GRANT RIGHT OF ENTRY TO AUTHORIZED COUNTY/TOWN PERSONNEL FOR PURPOSES OF INSPECTION, MONITORING AND/OR REPAIR. SITE VISITS FOR INSPECTION AND/OR MONITORING SHALL BE CONDUCTED ONLY DURING NORMAL COUNTY WORKING HOURS (8:00 AM. TO 5:00 P.M. MONDAY THRU FRIDAY).
- THIS AGREEMENT INCLUDING RIGHT OF ENTRY FOR INSPECTION/MAINTENANCE AND REPAIR SHALL BE RECORDED BY THE APPLICANT AND/OR OWNER IN THE LAND RECORDS OF THE COUNTY.



REVISIONS	
DATE	REASON
9-11-2024	COMMENTS & TEST PITS
11-20-2024	SWM COMMENTS

JOHN E. LEMMERMAN
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 21096
RENEW EXP. 04-03-2025

CONCEPT
STORMWATER MANAGEMENT PLAN
OF
THE SANCTUARY
SOUTH OF HOOK ROAD EAST OF MARYLAND ROUTE 97
7TH ELECTION DISTRICT, CARROLL CO. MD
TAX MAP: 52, GRID: 8, PARCELS: 146 & 11

TITLE REFERENCE P.146	OWNER/DEVELOPER
KENNEL INC. L.W.S. 4136 - 198 SEPTEMBER 8, 2004	KENNEL INC. 6200 CANDLE COURT SYKESVILLE, MD 21784 443-827-3307
TITLE REFERENCE P.11	
KENNEL INC. L.W.S. 4136 - 204 SEPTEMBER 5, 2004	



142 EAST MAIN STREET WESTMINSTER, MD 21157
410-846-2040
410-876-1222
WWW.RTFSURVEYING.COM
CHECKED BY: _____ DATE: _____
DRAWN BY: AR DATE: 11-02-2023
SCALE: 1" = 100'

