

GENERAL NOTES

- EXISTING ZONING: I-1 Light Industrial
- TOTAL AREA OF PROPERTY: 10.5615 Acres
- TOTAL DEVELOPED AREA: 9.84 Acres
- TOTAL DISTURBANCE: 298,000 sq. ft. / 6.84 Acres
- THE PROPERTY SHOWN HEREON IS OWNED BY
Owner: 5214 Klee Mill Road, LLC
Deed Reference: Liber 11270 Folio 359
Date: June 25, 2023
Grantor: Plumbridge LLC
- TAX MAP REFERENCE: Tax Map 68 - Grid 13 - Parcel 470
- TOPOGRAPHY: The 2 Contours as shown hereon were developed using Carroll County LIDAR products and Carroll County does not warrant its accuracy for any purposes and supplemented by data field surveyed by BPR LLC.
- FIRE PROTECTION SOURCE: Building to be sprinklered.
- EXISTING UTILITIES: The location of existing utilities are approximate only. Contractor shall verify the existence, location, and depth of any existing utilities and shall notify the Engineer/Surveyor of any discrepancies prior to beginning work.
- THE OWNER SHALL CONTACT THE FOLLOWING A MINIMUM OF 3 WORKING DAYS BEFORE BEGINNING CONSTRUCTION:
B.G.E. (410) 850-4620
Miss Utility - toll free: 1-800-257-7777
Carroll County Bureau of Permits and Inspections (410) 386-2674 or 1-888-302-8978 ext. 2674
- PLAN DIMENSIONS: The Contractor shall note that in case of a discrepancy between the scaled and figured dimensions shown on these plans, the figured dimensions shall govern.
- CHANGES TO THE PLAN: Any changes to this plan will require an Amended Site Development Plan to be approved by the Carroll County Planning and Zoning Commission.
- SITE PLAN EXPIRATION: This Site Plan shall become void eighteen months after the date of the approval if no building permit or zoning certificates has been issued for this project, unless an extension of this time limit is issued by the Department of Land and Resource Management.

SITE DEVELOPMENT PLAN INSPECTION SEQUENCE NOTES

- Contractor shall notify the Carroll County Bureau of Permits and Inspections at 410-386-2674, at least one (1) day prior to beginning any work.
- Site Compliance Inspections are required at the following stages during construction.
a. Proposed structures staked out in proper locations as shown on these approved plans.
b. Proposed foundations installed for all buildings shown on these approved plans.
c. Sub-grades established for all drives, parking lots, and surrounding grading.
d. Completion of all drives, parking lots, and surrounding grading.
e. Completion of all work shown on these plans.
It is the contractor's responsibility to contact the Carroll County Bureau of Permits and Inspections at 410 - 386 - 2674 upon completion of each phase of construction.
- Contractor shall notify Carroll County Bureau of Resource Management, Environmental Inspection Services Division at 410 - 386 -2210 prior to beginning any work. All Forest Conservation plan devices must be in place prior to any construction.
- Final landscaping inspection shall be arranged through the Bureau of Resource Management, Environmental Inspection Services Division at 410 - 386 - 2210 by the contractor/developer or agent. Written approval from the Landscape Review Specialist, Bureau of Resource Management, must be obtained for any deviations from the landscaping or forest conservation plans or modifications in the plant material.
5. The contractor shall not proceed to next phase of construction until given approval of prior phases.

SITE DATA

- PROPOSED USE: Light Manufacturing
- BUILDING HEIGHT: Front = 30 ft.
Rear = 30 ft.
Floor Area = 40,000 sq. ft. of which
- SIGNAGE: Front of building 4'-0"x43'-9" = 175 SF
End of building 5'-0"x22'-9" = 114 SF
Total = 289 SF
- LIGHTING: Building mounted wallpack lighting.
- FIRE PROTECTION: This plan is in compliance with code of Local Laws & Ordinances of Carroll County, Maryland per Chapter 91 of The Fire Protection Ordinance. The owner shall maintain all fire alarms, extinguishers, lighting, sprinklers, and supervision in accordance with the State Fire Prevention Code.
- STORMWATER MANAGEMENT: This plan is in compliance with code of Local Laws & Ordinances of Carroll County, Maryland per Chapter 151 of The Stormwater Management Ordinance. The property contains a private stormwater management facility. A stormwater management easement and maintenance agreement shall be granted to the Carroll County Commissioners as an easement of access to the County Commissioners or authorized representatives by a deed to be recorded simultaneously herewith.
- WATER RESOURCE PROTECTION: This plan is in compliance with code of Local Laws & Ordinances of Carroll County, Maryland per Chapter 154 of The Water Resource Management Ordinance. The area shown hereon as Water Resource Protection Easement, with a total acreage of ???, shall be granted to the Carroll County Commissioners by a deed to be recorded simultaneously herewith.
a. Designated Water Resource Protection Area(s): This site lies within a Surface Water Protection area. This site is not located within a Wellhead Protection Area, or near any existing or potential municipal well sites or well site buffers.
b. Toxic Substances: No storage, use, sale or maintenance of any regulated substance is allowed on the premises without first obtaining the proper permits. Any person(s) handling on-site regulated substances must be in compliance with the applicable regulations of the Carroll County Bureau of Resource Management, "Water Resource Management Manual", Section IV. A.
- PRIVATE WATER & SEWAGE SERVICE: The proposed is being served by private well and septic.
- PARKING TABULATION: INDUSTRIAL OR MANUFACTURING.
REQUIREMENTS:
1 space per 1.5 employees on maximum shift.
TABULATION
25 employees + 1.5 = 17 spaces

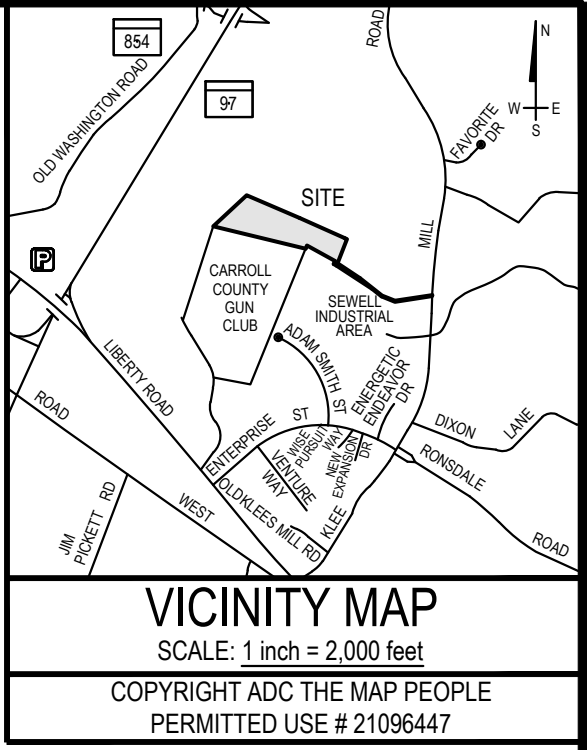
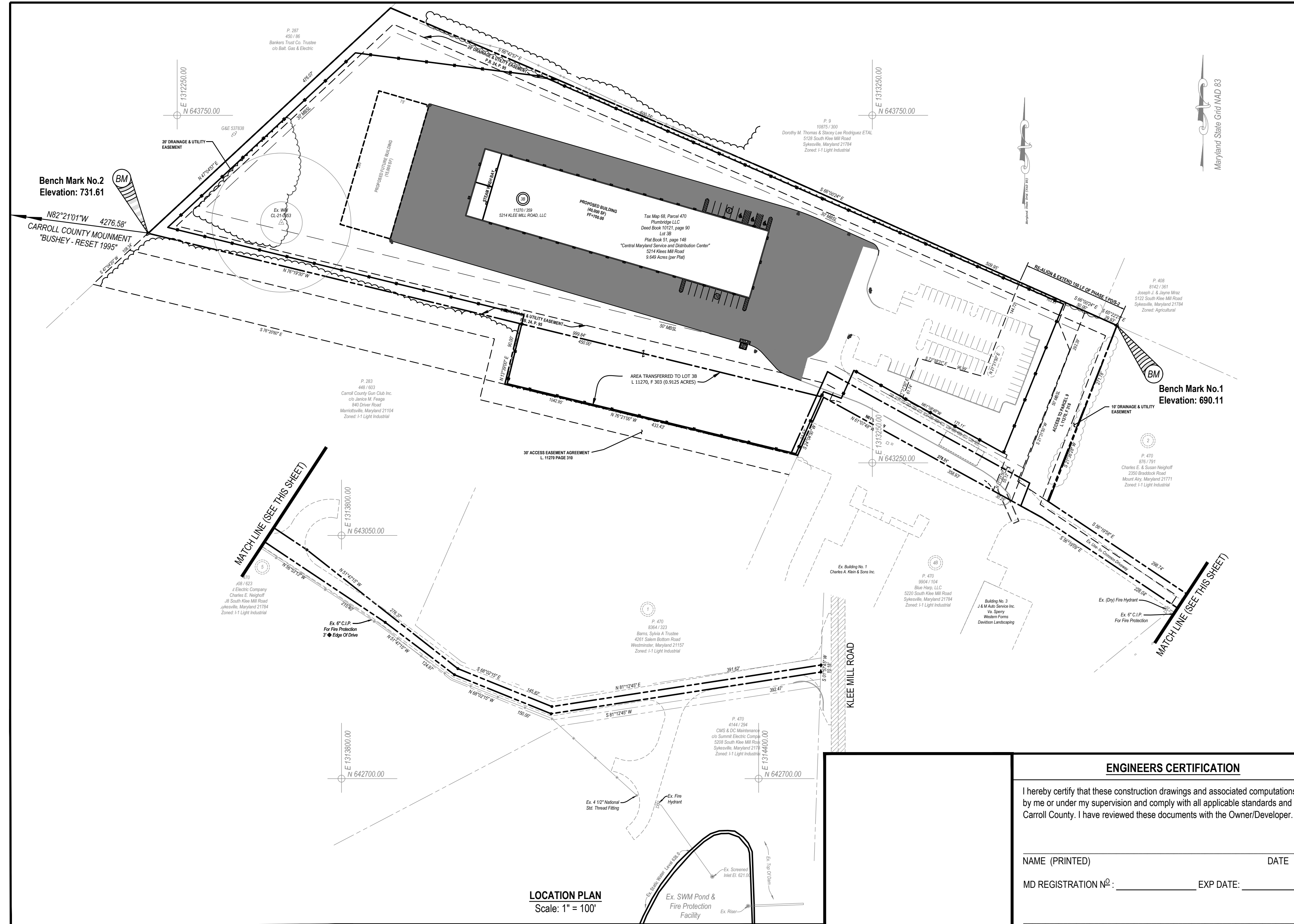
Total Spaces Required: = 17 spaces
Total Existing Spaces: = 72 Spaces
Total Spaces Provided: = 89 spaces
ADA space(Van Accessible)(1 space/ 50 std spaces) = 3 Provided

BENCH MARKS

- BENCH MARK #1** - Steel Pin Found On North east Property Corner,
Elevation =690.11
N 643447.5584 , E 1313601.7238
- BENCH MARK #2** - Tall Steel Pipe Found On Westerly Most Property Corner,
Elevation = 731.61
N 643580.5360 , E 1312208.1340

AMENDED SITE DEVELOPMENT PLAN FOR ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)

LOT 3B, SECTION ONE OF CENTRAL MARYLAND
SERVICE & DISTRIBUTION CENTER
14th ELECTION DISTRICT
CARROLL COUNTY, MARYLAND
TAX MAP - 68 BLOCK - 13 PARCEL - 470
PLAT BOOK - 51 PAGE - 148



LIST OF DRAWINGS

- TITLE SHEET
- EXISTING FEATURES PLAN
- SITE LAYOUT AND DETAILS PLAN
- GRADING PLAN
- SEDIMENT CONTROL PLAN, NOTES & DETAILS
- ESD / FOREST CONSERVATION PLAN
- DRAINAGE AREA MAP
- STORMDRAIN PROFILES & DETAILS
- MICRO-BIORETENTION #1 - #2 PLAN AND PROFILE
- MICRO-BIORETENTION #3 - #6 PLAN AND PROFILE
- STORMWATER MANAGEMENT, NOTES & DETAILS
- LANDSCAPE PLAN AND DETAILS
- PHOTOMETRIC PLAN
- BUILDING ELEVATIONS

CARROLL COUNTY SIGNATURE BLOCKS

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES
BY: _____ DATE: _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING
BY: _____ DATE: _____

CARROLL COUNTY PLANNING AND ZONING COMMISSION APPROVAL
BY: _____ DATE: _____

CARROLL COUNTY HEALTH DEPARTMENT APPROVAL
BY: _____ DATE: _____

ENGINEERS CERTIFICATION

I hereby certify that these construction drawings and associated computations were prepared by me or under my supervision and comply with all applicable standards and regulations of Carroll County. I have reviewed these documents with the Owner/Developer.

NAME (PRINTED) _____ DATE _____

MD REGISTRATION NO: _____ EXP DATE: _____

SIGNATURE _____ DATE _____

MISS UTILITY



BEFORE YOU DIG CALL
PROTECT YOURSELF. GIVE
TWO WORKING DAYS NOTICE.

THIS DRAWING DOES NOT INCLUDE
NECESSARY COMMENTS FOR
CONSTRUCTION SAFETY. ALL CONSTRUCTION
MUST BE DONE IN ACCORDANCE WITH THE
OCCUPATIONAL SAFETY AND HEALTH ACT OF
1970 AND ALL RULES AND REGULATIONS
THEREBY APPLICABLE.
THE CONTRACTOR TO CALL MISS UTILITY TO
HAVE ALL EXISTING UTILITIES MARKED
PRIOR TO ANY CONSTRUCTION.

EXISTING

LEGEND

PROPOSED

OWNERS'S/DEVELOPER'S CERTIFICATION

OWNER / DEVELOPER

TITLE SHEET

---	PROPERTY LINE SUBJECT	---	EDGE OF PAVEMENT
---	PROPERTY LINE ADJOINER	---	DENOTES CONTOURS
---	DENOTES EDGE OF ROAD	SSF	DENOTES SUPER SILT FENCE
---	DENOTES CURB	SF	DENOTES SILT FENCE
---	CENTER LINE ROAD	•••••	LIMITS OF DISTURBANCE
---	DENOTES BUILDING	---	OVERHEAD UTILITIES
---	DENOTES WATER LINE	---	GUARD RAIL CONCRETE
---	SANITARY SEWER LINE	---	PAVEMENT (DRIVEWAYS / ROADS)
⊙	SANITARY SEWER MANHOLE	⊙	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER MANHOLE	⊙	WATER VALVE
⊙	SANITARY SEWER CLEAN OUT	⊙	WATER METER
⊙	HANDICAP PARKING	⊙	FIRE HYDRANT

---	PROPERTY LINE SUBJECT	---	EDGE OF PAVEMENT
---	PROPERTY LINE ADJOINER	---	DENOTES CONTOURS
---	DENOTES EDGE OF ROAD	SSF	DENOTES SUPER SILT FENCE
---	DENOTES CURB	SF	DENOTES SILT FENCE
---	CENTER LINE ROAD	•••••	LIMITS OF DISTURBANCE
---	DENOTES BUILDING	---	OVERHEAD UTILITIES
---	DENOTES WATER LINE	---	GUARD RAIL CONCRETE
---	SANITARY SEWER LINE	---	PAVEMENT (DRIVEWAYS / ROADS)
⊙	STORMDRAIN MANHOLE	⊙	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER MANHOLE	⊙	WATER VALVE
⊙	SANITARY SEWER CLEAN OUT	⊙	FIRE HYDRANT
⊙	HANDICAP PARKING	⊙	DENOTES PERPETUAL EASEMENT FOR PARKING AREA AND ACCESS ROAD FOR LOT 4A

I/WE hereby certify that all proposed work shown on these construction drawing(s) has been reviewed by me/us and that I/WE fully understand what is necessary to accomplish this work and that the work will be conducted in strict accordance with these plans. I/WE also understand that any changes to these plans will require an amended plan to be reviewed and approved by the Carroll County Planning and Zoning Commission before any change in the work is made.

Name(s) (Printed) _____ Date _____

Signed _____ Date _____

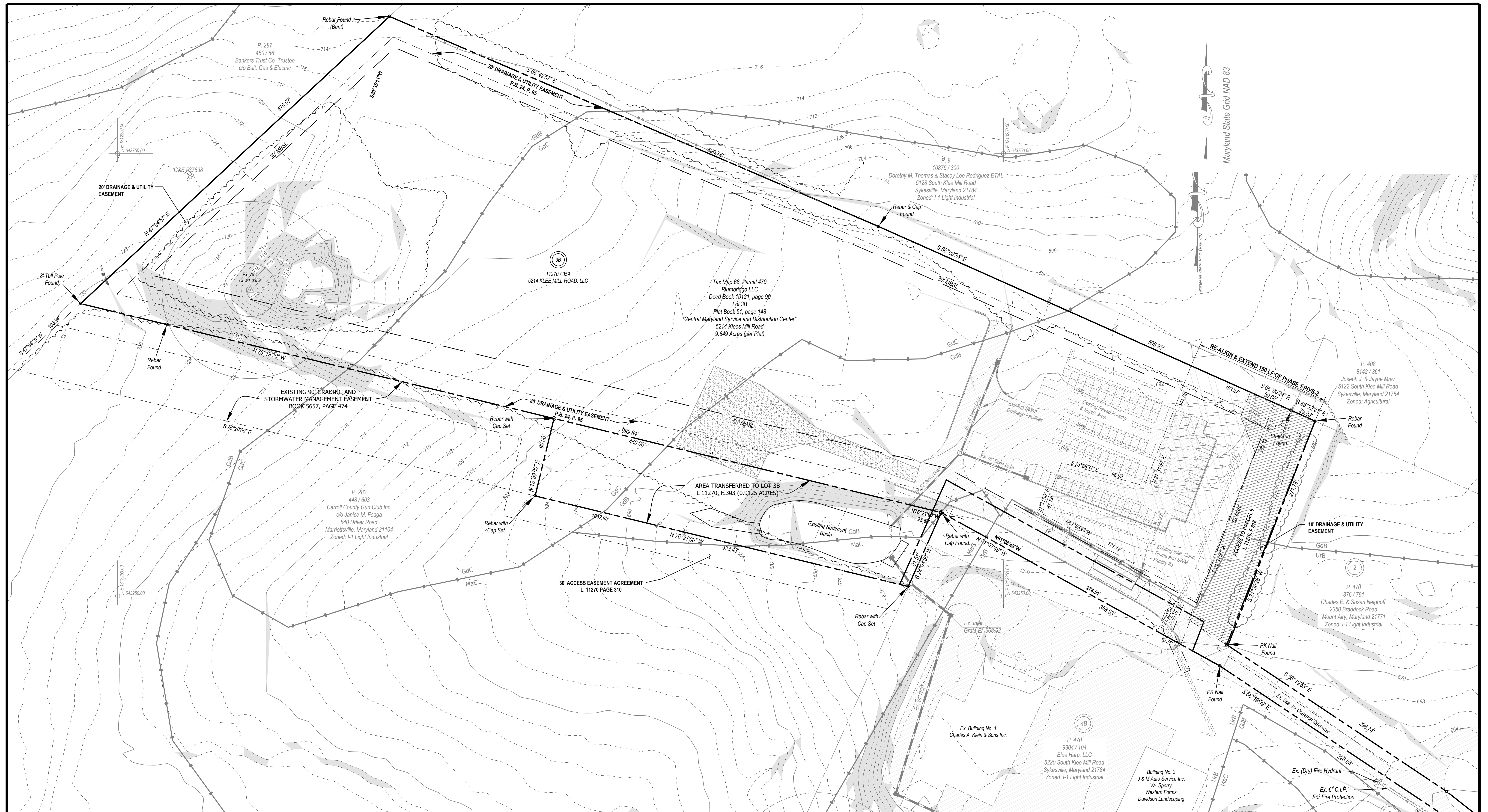
DATE	REVISIONS	BY
BPR, LLC Job No. 23-1212		
Date: November 11, 2024	Scale: 1 inch = 100 feet	Engineer's Signature - _____ Date _____

LOT 3B, SECTION ONE OF CENTRAL MARYLAND
SERVICE & DISTRIBUTION CENTER
ALL ROADS TRUCK BODIES
(FORMERLY KLEIN'S WAREHOUSE FACILITY)
TAX MAP - 68 GRID - 13 PARCEL - 470

Surveyed By	BPR
Computed By	AEH / EDA
Drawn By	JWF / EDA
Checked By	RAP

BPR LLC
LAND SURVEYING & CIVIL ENGINEERING
150 Airport Drive, Suite 4
Westminster, Maryland 21157
410 - 857 - 9030
INFO@BPRSURVEYING.COM

Carroll County File No. S - 24 - 0022
SHEET 1 OF 14

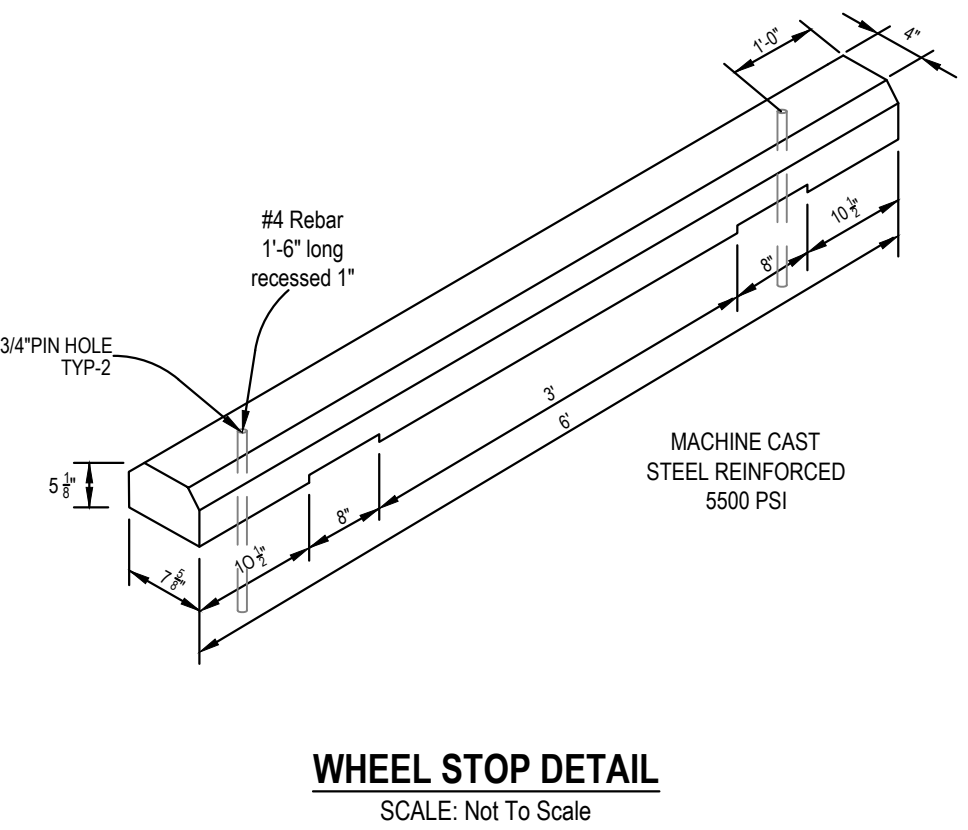
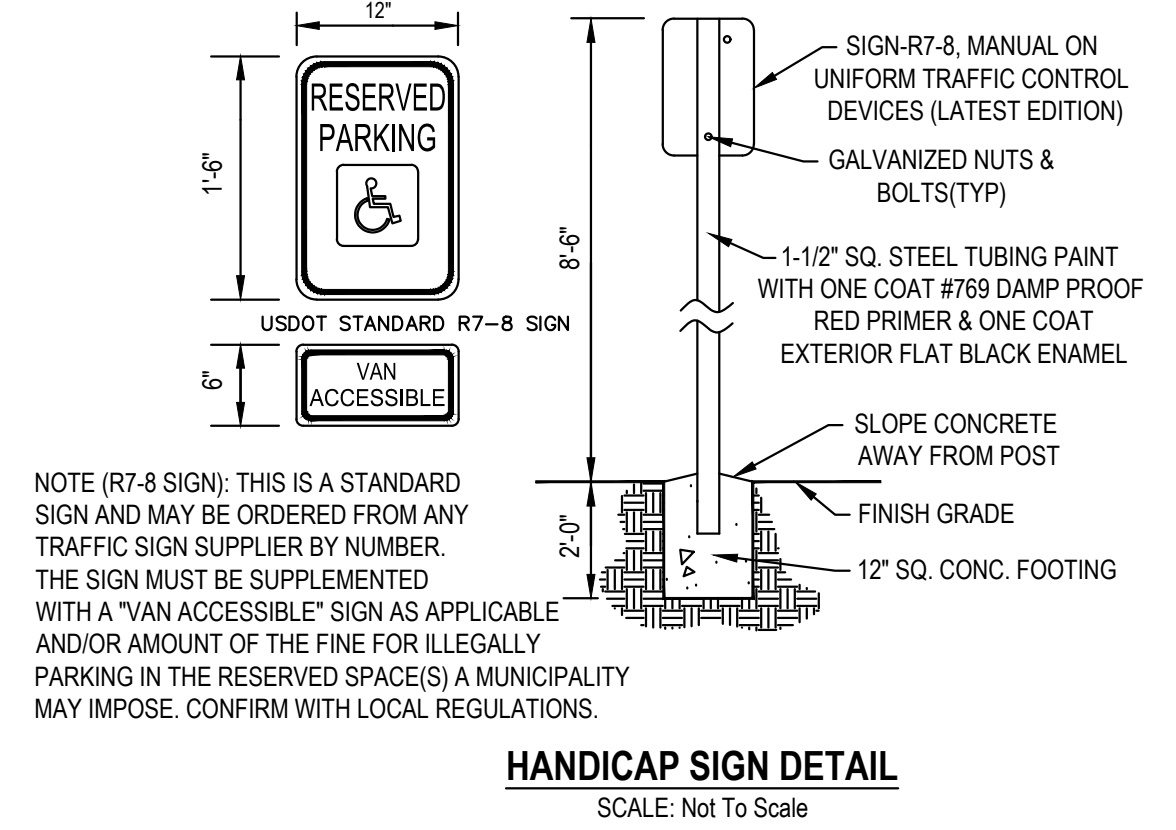
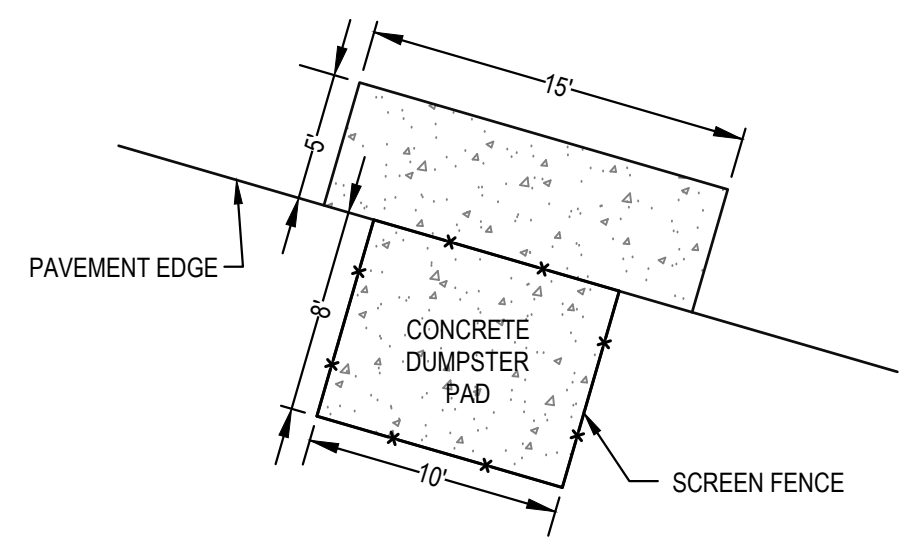
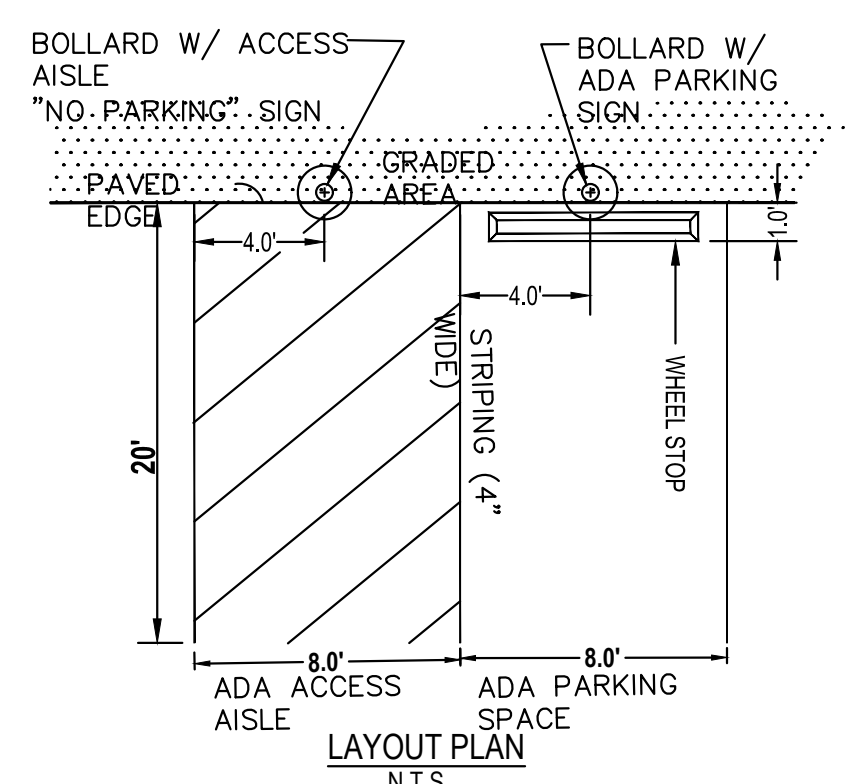
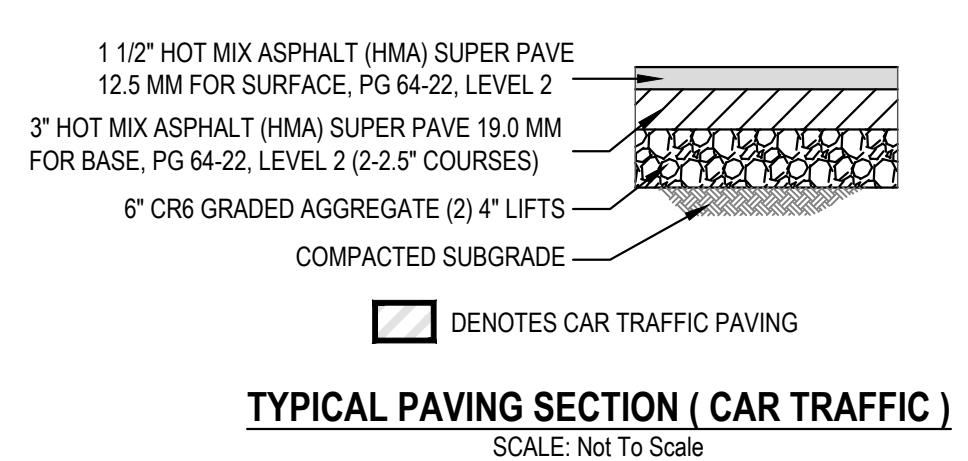
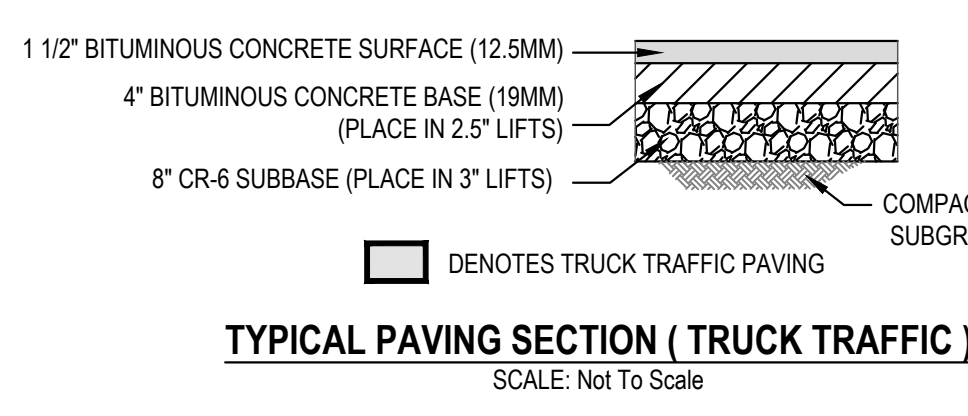
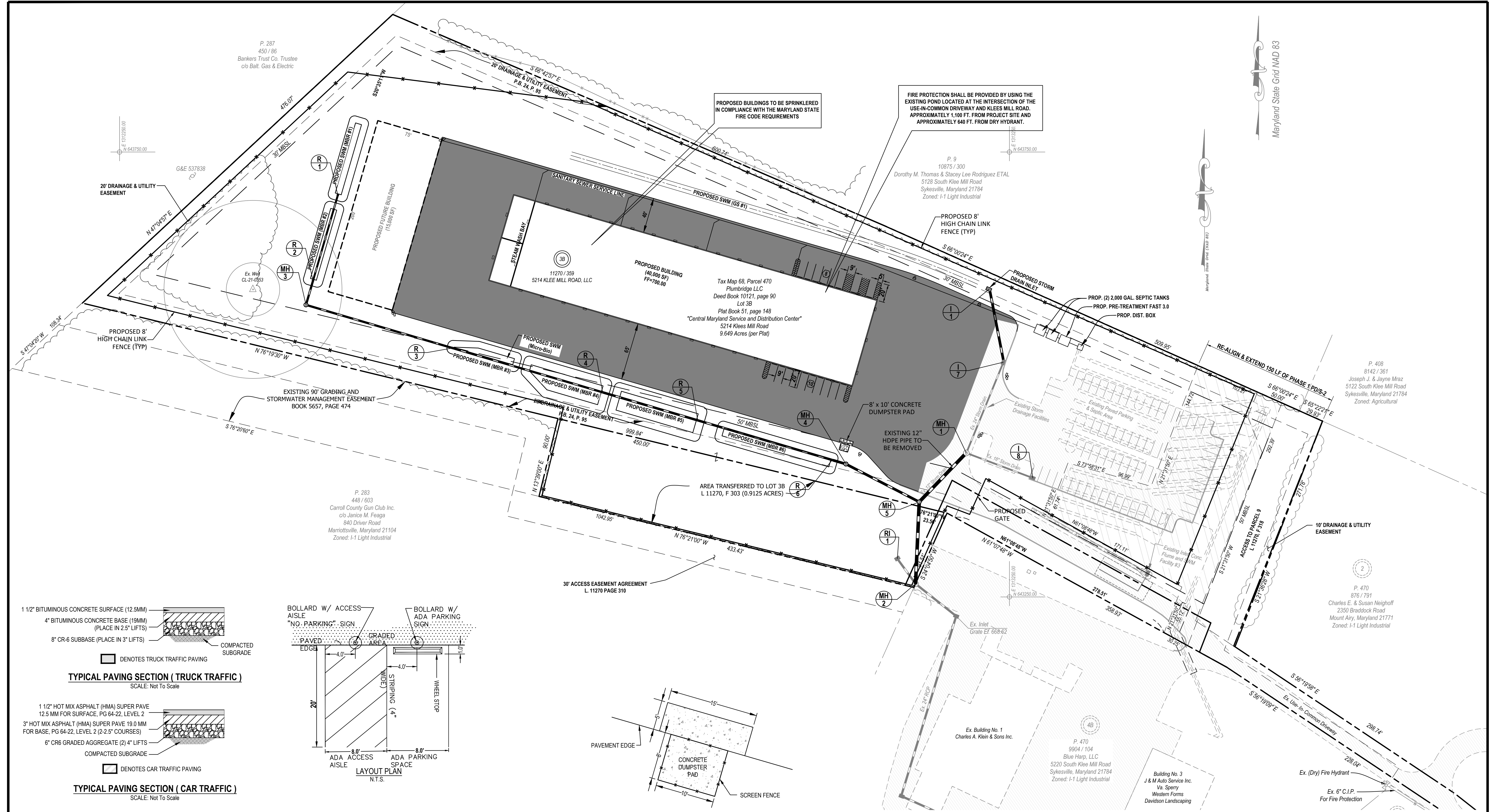


SOILS DATA					
Symbol	Name/Description	K-Factor	Hydrologic Group	Drainage Class	Hydric Rating
GdB	Glenelig loam, 3% to 8% slopes	0.24	B	Well Drained	Not Hydric
GdC	Glenville loam 8% to 15% slopes	0.24	B	Well Drained	Not Hydric
MaC	Manor loam 8% to 15% slopes	0.28	B	Well Drained	Not Hydric
UrB	Urban land complex 0% to 8% slopes	-	D	Well Drained	Not Hydric

LEGEND

Perpetual Easement for Septic Disposal Systems for Lot 4A (Book 5403, Page 462)

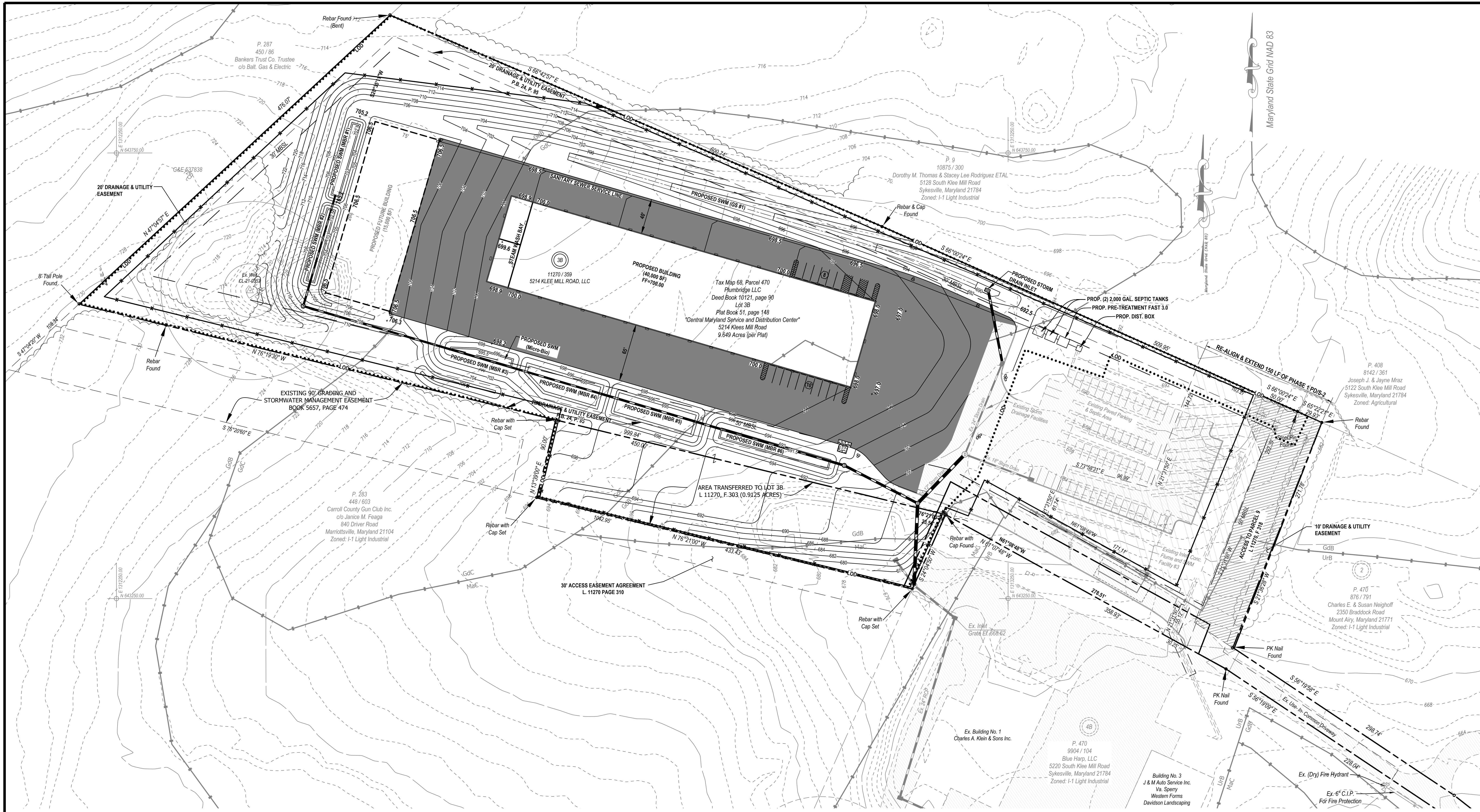
OWNER / DEVELOPER			EXISTING FEATURES PLAN		
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULEVARD DUNDALK, MD 2122 410-285-0600			LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)		
			TAX MAP - 68 GRID - 13 PARCEL - 470		
DATE			Surveyed By		
REVISIONS			BPR		
BY			Computed By		
			AEH / EDA		
			Drawn By		
			JWF / EDA		
			Checked By		
			RAP		
BPR, LLC Job No. 23-1212			 BPR LLC LAND SURVEYING & CIVIL ENGINEERING 150 Airport Drive, Suite 4 Westminster, Maryland 21157 410-857-9030 INFO@BPRSURVEYING.COM		
Date: November 11, 2024 Scale: 1 inch = 50 feet					
			Carroll County File No. S - 24 - 0022		
			Sheet 2 of 14		



ADA CONSTRUCTION NOTES:

- PROVIDE "ACCESSIBLE" AND "VAN ACCESSIBLE" HANDICAP PARKING WITH AN ACCESSIBLE ROUTE TO THE MAIN ENTRANCE. HANDICAP PARKING AND ALL ACCESS AISLES MUST MAINTAIN A MAXIMUM 2% SLOPE THROUGHOUT. ACCESSIBLE ROUTES MUST MAINTAIN A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM RUNNING SLOPE OF 5%.
- ALL "ACCESSIBLE" AND "VAN ACCESSIBLE" PARKING SHALL HAVE PROPER SIGNAGE. SIGNS SHALL BEAR THE INTERNATIONAL SYMBOL OF ACCESS AND THE WORDS "RESERVED PARKING". "VAN ACCESSIBLE" PARKING SIGNS SHALL BEAR THE WORDS "VAN ACCESSIBLE". EACH "VAN ACCESSIBLE" ACCESS AISLE SIGN SHALL BE IDENTIFIED WITH A SUPPLEMENTAL "NO PARKING" SIGN. ALL SIGNS SHALL CONFORM WITH THE REQUIREMENTS FOR UNIFORM TRAFFIC CONTROL DEVICES UNDER TRANSPORTATION ARTICLE 25-104, ANNOTATED CODE OF MARYLAND.

OWNER / DEVELOPER			SITE LAYOUT AND DETAILS PLAN		
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULEVARD DUNDALK, MD 2122 410-285-0600			LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)		
TAX MAP - 68 GRID - 13 PARCEL - 470			Surveyed By		
BPR			Computed By		
AEH / EDA			Drawn By		
JWF / EDA			Checked By		
RAP			BPR LLC LAND SURVEYING & CIVIL ENGINEERING 150 Airport Drive, Suite 4 Westminster, Maryland 21157 410-857-9030 INFO@BPRSURVEYING.COM		
BPR, LLC Job No. 23-1212			Carroll County File No. S - 24 - 0022		
Date: November 11, 2024			Scale: 1 inch = 50 feet		
			Sheet 3 of 14		



OWNER / DEVELOPER			GRADING PLAN		
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULEVARD DUNDALK, MD 2122 410-285-0600			LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)		
			TAX MAP - 68 GRID - 13 PARCEL - 470		
DATE			Surveyed By	 BPR LLC LAND SURVEYING & CIVIL ENGINEERING 150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 857 - 9030 INFO@BPRSURVEYING.COM	Carroll County File No. S - 24 - 0022 Sheet 4 of 14
REVISIONS			Computed By		
BY			AH / EDA		
DATE			Drawn By		
DATE			JWF / EDA		
BPR, LLC Job No. 23-1212			Checked By		
Date: November 11, 2024			RAP	Building No. 3 J & M Auto Service Inc. Va. Sperry Western Forms Davidson Landscaping	
Scale: 1 inch = 50 feet			Ex. (Dry) Fire Hydrant Ex. 6" C.I.P. For Fire Protection		

REQUIRED SEQUENCE OF CONSTRUCTION

- Contact the Sediment Control Inspector 24 hours prior to any work being done (410-848-8200). All protection fencing and signage required under Carroll County Code Chapter 150 Forest Conservation must be installed PRIOR to the pre-construction meeting with the Sediment Control Inspector.
- Install Rock Construction entrance and perimeter sediment control devices including Super Silt Fence and Perimeter Dike Swale. Contractor to make the following adjustments to the existing Sediment Control Basin:
 - Regrade Sediment Basin per the proposed sediment control plan and install the rock outlet. Contractor to maintain the existing 12" storm drain from MH-1 to the sediment basin.
 - Contractor to remove the existing riser structure and associated storm drain pipe to MH-2. Contractor to purge the pipe opening closed in MH-2.
- Grade site according to the grading plan. Construct proposed building. Install storm drain inlet I-1 and associated inlet protection according to plans. Install proposed MH-4.
- Upon completion of building final grading proposed paved areas and install paving to sub-base course.
- Final grade grass swale GS-1 and stabilize. Begin construction of micro-bioretentation facilities MBR-1 through MBR-6 and associated structures and piping. Connect micro-bioretentation piping to MH-4.
- With approval of the Sediment Control Inspector remove sediment basin and 12" storm drain pipe to MH-1. Install storm drain manhole MH-5 and connect to MH-1, MH-2 and MH-4.
- Stabilize all remaining disturbed areas and apply permanent seeding and mulching per the sediment control plan.
- With the permission of the Sediment Control Inspector remove all remaining sediment control devices.
- Apply final paving course, paving markings, parking blocks and signage.

TEMPORARY SEEDING NOTES

- SCOPE: planting short term (no more than one (1) year) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.
- STANDARDS: The following notes shall conform to the "1994 Maryland Standards and Specifications for Erosion and Sediment Control" published jointly by the Maryland Department of the Environment - Water Management Administration, the National Resource Conservation Service and the State Soil Conservation Committee.
- SEEDING PREPARATION: TEMPORARY SEEDING
 - Seeded preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment, after the soil is loosened it should not be rolled or dragged smooth but left in the roughened condition. Slope areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.
 - Apply fertilizer and lime as prescribed on the plans.
 - Incorporate lime and fertilizer into the top 3" - 5" of soil by disking or suitable means.

SEED MIXTURE (FOR HARDNESS ZONE 4-6) (FROM TABLE 26)					
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	FERTILIZER RATE (10-10-10)	LIME RATE
1	BARLEY OR RYE	150	1/31/15/15 8/15/15/15	600 lb/ac (15 lb/1,000 sq)	2 TONS/ac (100 lb/1,000 sq)

- Seed tags should be available to the inspector to verify the type and rate of seed.
- Straw mulch to be spread at the rate of 2 tons/acres, mulch shall be applied to a uniform loose depth of between 1" and 2". mulch shall be uniformly distributed so that the soil surface is not exposed, mulch binder: Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks, the remainder of area should appear uniform after binder application, synthetic binders such as acrylic dir (agro-tack), dca-70, petrosat, terra tack ii, terra tack ar or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.

SITE ANALYSIS:

Total area of site.....	10,561 acres
Total disturbed area.....	298,000 sq. ft.
approximate cut.....	28,300 cu. yds.
approximate fill.....	28,300 cu. yds.
Net Fill.....	0 cu. yds.

(Cut and fill are estimates only, contractor shall verify during the bid process)
(Cut and fill do not include compaction)

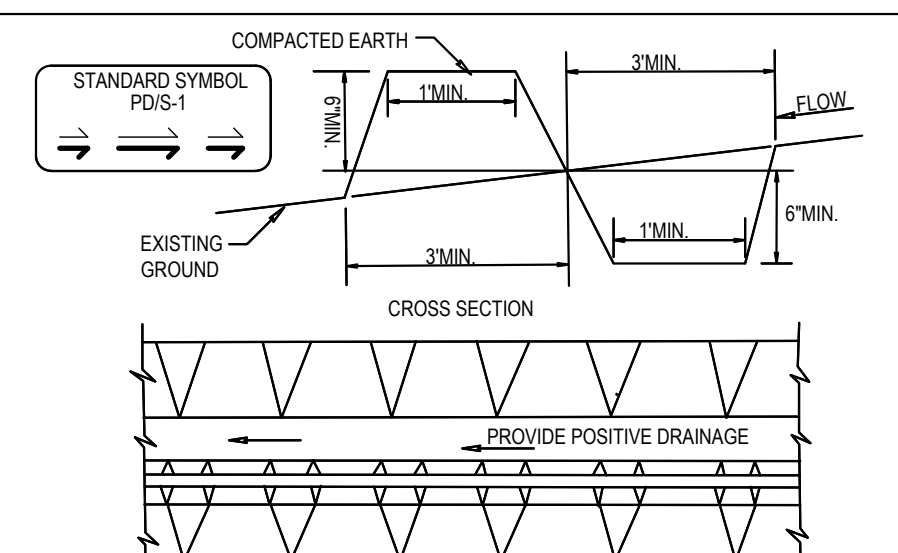
PERMANENT SEEDING NOTES

- SCOPE: Planting permanent, long lived vegetative cover on grading and/or cleared areas and areas that have been in temporary vegetation for more than one (1) year.
- STANDARDS: The following notes shall conform to the "1994 Maryland Standards and Specifications for Erosion and Sediment Control" published jointly by the Maryland Department of the Environment - Water Management Administration, the National Resource Conservation Service and the State Soil Conservation Committee.
- PERMANENT SEEDING
 - Minimum soil conditions required for permanent vegetative establishment:
 - Soil pH shall be between 6.0 and 7.0
 - Soluble salts shall be less than 500 parts per million (ppm).
 - The soil shall contain less than 40% clay but enough fine grained material (>30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if loegrass or seresia lepedeza is to be planted, then a sandy soil (<30% silt plus clay) would be acceptable. Soil shall contain 1.5% minimum organic matter by weight.
 - Soil must contain sufficient pore space to permit adequate root penetration.
 - If these conditions cannot be met by soils on site, adding topsoil is required in accordance with section 21 standard and specification for topsoil.
 - Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3"-5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
 - Apply soil amendments as per soil test or as included on the plans.
 - Mix soil amendments into the top 3"-5" of topsoil by disking or other suitable means. lawn areas should be raked to smooth the surface, remove large objects like stones and branches and ready the area for seed application, where site conditions will not permit normal seeded preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be traced by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1"-3" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.

- SEED SPECIFICATIONS
 - All seed must meet the requirements of the Maryland state seed law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall be tested within six (6) months immediately preceding the date of sowing such material on this job. Seed tags shall be made available to the inspector to verify type and rate of seed used. Note:

- METHODS OF SEEDING
 - Hydroseeding: apply seed uniformly with hydroseeder (slurry includes seed and fertilization), broadcast or drop seeder or a cultipacker seeder.
 - If fertilizer is being applied at the time of seeding, the application rates amounts shall not exceed the following: nitrogen; maximum of 100 lbs. per acre total of soluble nitrogen; p205 (phosphorous) 200 lbs/ac; k20 (potassium) 200 lbs/ac.
 - Lime - Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than two tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
 - Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

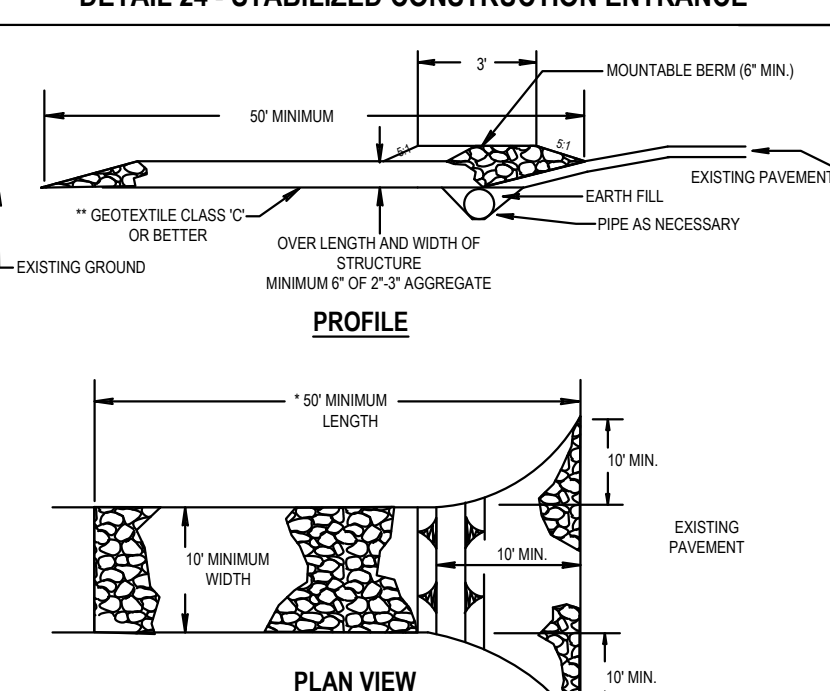
DETAIL 3 - PERIMETER DIKE / SWALE



- STABILIZATION**
- PDS-1 SEED AND MULCH (DRAINING 1 ACRE) PDS-2 SEED AND COVER WITH SOIL STABILIZATION MATTING OR LIME WITH SOD (DRAINING BETWEEN 1 AND 2 ACRES)
- All perimeter dikes/swales shall have an uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
 - Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
 - Runoff diverted from an undisturbed area shall outlet into an undisturbed stabilized area at a non-erosive velocity.
 - The swale shall be excavated or shaped to line, grade, and cross-section as required to meet the criteria specified in the standard.
 - Fill shall be compacted by earth moving equipment.
 - Stabilization with seed and mulch or as specified of the area disturbed by the dike and swale shall be completed within 7 days upon removal.
 - Inspection and required maintenance shall be provided after each rain event. Note: The maximum drainage area for this practice is 2 acres.

PERMANENT SEEDING SUMMARY					
SEED MIXTURE (FOR HARDNESS ZONE 4-6) (FROM TABLE 26)					
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	LIME RATE
10	TALL FESCUE TALL FESCUE	150 0	3/1/15/15 8/15/15/15	90 lb/ac (2.0 LB/1000 SF) 175 lb/ac (4.0 LB/1000 SF)	2 TONS/ac (100 LB/1000 SF)

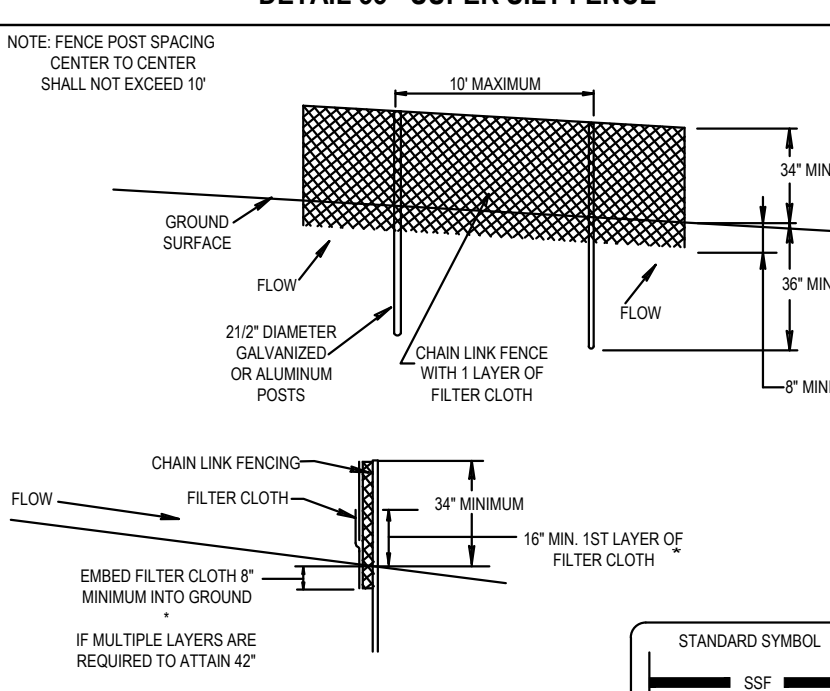
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- CONSTRUCTION SPECIFICATIONS**
- Length - minimum of 5' (3' for single residence lot).
 - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
 - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable beam with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

PERMANENT SEEDING SUMMARY					
SEED MIXTURE (FOR HARDNESS ZONE 4-6) (FROM TABLE 26)					
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	LIME RATE
10	TALL FESCUE TALL FESCUE	150 0	3/1/15/15 8/15/15/15	90 lb/ac (2.0 LB/1000 SF) 175 lb/ac (4.0 LB/1000 SF)	2 TONS/ac (100 LB/1000 SF)

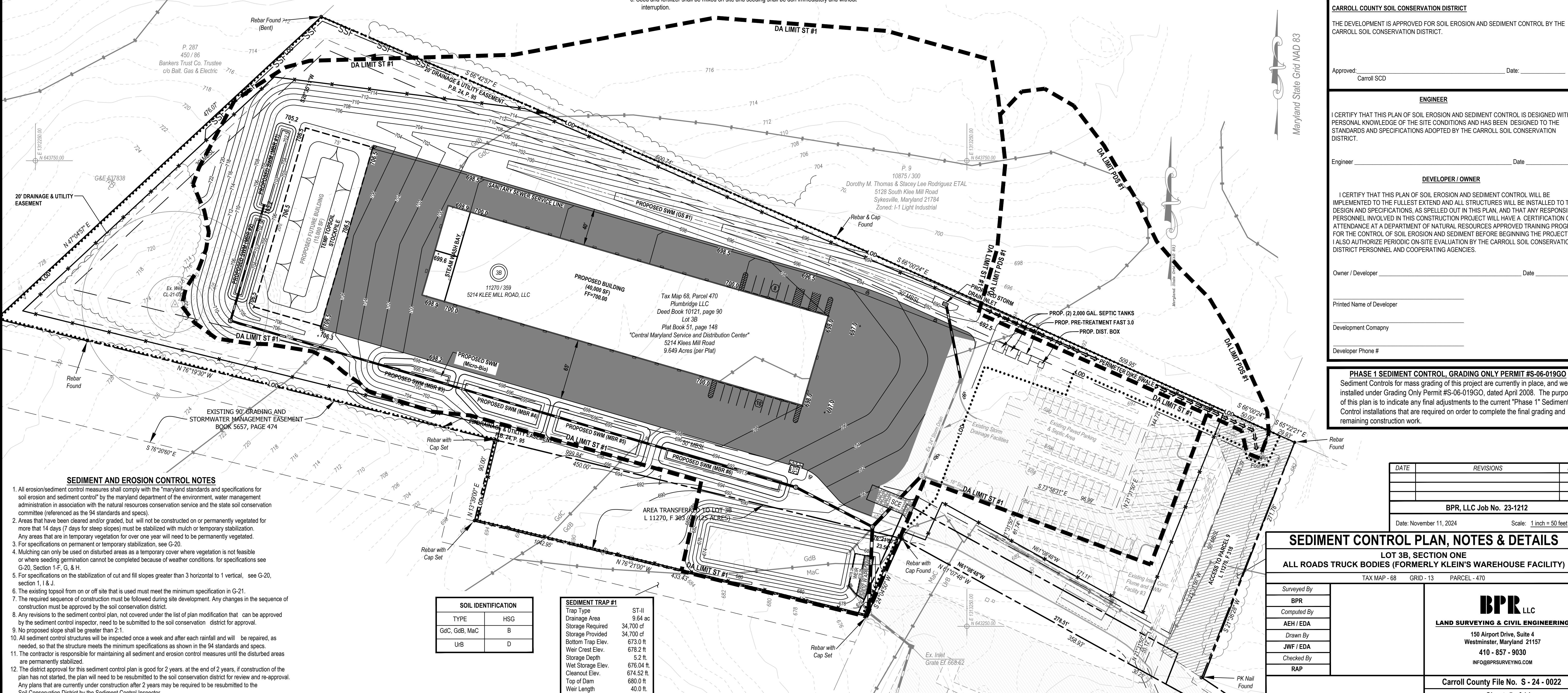
DETAIL 33 - SUPER SILT FENCE



- CONSTRUCTION SPECIFICATIONS**
- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 4" fence shall be used, substituting 42" fabric and 6" height posts.
 - Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
 - Fiber cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 - Filter cloth shall be embedded a minimum of 6" into the ground.
 - When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
 - Maintenance shall be performed as needed and silt buildup removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
 - Fiber cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/min (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

PERMANENT SEEDING SUMMARY					
SEED MIXTURE (FOR HARDNESS ZONE 4-6) (FROM TABLE 26)					
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	LIME RATE
10	TALL FESCUE TALL FESCUE	150 0	3/1/15/15 8/15/15/15	90 lb/ac (2.0 LB/1000 SF) 175 lb/ac (4.0 LB/1000 SF)	2 TONS/ac (100 LB/1000 SF)



SEDIMENT AND EROSION CONTROL NOTES

- All erosion/sediment control measures shall comply with the "Maryland standards and specifications for soil erosion and sediment control" by the Maryland Department of the Environment, Water Management Administration in association with the natural resources conservation service and the state soil conservation committee (referenced as the 94 standards and specs).
- Areas that have been cleared and/or graded, but will not be constructed on or permanently vegetated for more than 14 days (7 days for steep slopes) must be stabilized with mulch or temporary stabilization. Any areas that are in temporary vegetation for over one year will need to be permanently vegetated.
- For specifications on permanent or temporary stabilization, see G-20.
- Mulching can only be used on disturbed areas as a temporary cover where vegetation is not feasible or where seeding germination cannot be completed because of weather conditions. For specifications see G-20, Section 1-F, G, & H.
- For specifications on the stabilization of cut and fill slopes greater than 3 horizontal to 1 vertical, see G-20, section 1, I, & J.
- The existing topsoil from on or off site that is used must meet the minimum specification in G-21.
- The required sequence of construction must be followed during site development. Any changes in the sequence of construction must be approved by the soil conservation district.
- Any revisions to the sediment control plan, not covered under the list of plan modification that can be approved by the sediment control inspector, need to be submitted to the soil conservation district for approval.
- No proposed slope shall be greater than 2:1.
- All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 94 standards and specs.
- The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.
- The district approval for this sediment control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be resubmitted to the soil conservation district for review and re-approval. Any plans that are currently under construction after 2 years may be required to be resubmitted to the Soil Conservation District by the Sediment Control Inspector.

SOIL IDENTIFICATION	
TYPE	HSG
GdC, GdB, MaC	B
UrB	D

SEDIMENT TRAP #1	
Trap Type	ST-II
Drainage Area	9.64 ac
Storage Required	34,700 cf
Storage Provided	34,700 cf
Bottom Trap Elev.	673.0 ft
Weir Crest Elev.	678.2 ft
Storage Depth	5.2 ft.
Wet Storage Elev.	676.04 ft.
Cleanout Elev.	674.52 ft.
Top of Dam	680.0 ft.
Weir Length	40.0 ft.

CARROLL COUNTY SOIL CONSERVATION DISTRICT

THE DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT.

Approved: _____ Date: _____
Carroll SCD

ENGINEER

I CERTIFY THAT THIS PLAN OF SOIL EROSION AND SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL SOIL CONSERVATION DISTRICT.

Engineer _____ Date _____

DEVELOPER / OWNER

I CERTIFY THAT THIS PLAN OF SOIL EROSION AND SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS, AS SPELLED OUT IN THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES.

Owner / Developer _____ Date _____

PHASE 1 SEDIMENT CONTROL, GRADING ONLY PERMIT #S-06-019GO

Sediment Controls for mass grading of this project are currently in place, and were installed under Grading Only Permit #S-06-019GO, dated April 2008. The purpose of this plan is to indicate any final adjustments to the current "Phase 1" Sediment Control installations that are required on order to complete the final grading and remaining construction work.

DATE	REVISIONS	BY

BPR, LLC Job No. 23-1212
Date: November 11, 2024 Scale: 1 inch = 50 feet

SEDIMENT CONTROL PLAN, NOTES & DETAILS

LOT 3B, SECTION ONE
ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)

TAX MAP - 68 GRID - 13 PARCEL - 470

Surveyed By	BPR
Computed By	BPR
AEH / EDA	JWF / EDA
Drawn By	JWF / EDA
Checked By	RAP

BPR, LLC
LAND SURVEYING & CIVIL ENGINEERING
150 Airport Drive, Suite 4
Westminster, Maryland 21157
410 - 857 - 9030
INFO@BPRSURVEYING.COM

Carroll County File No. S - 24 - 0022
Sheet 5 of 14

LEGEND

- DENOTES WETLAND AREA
DENOTES SPECIMEN TREE TO BE REMOVED
DENOTES STAND PLOT
DENOTES EXISTING PAVEMENT
DENOTES 25% SLOPES
DENOTES SOIL LINES
DENOTES WOODS LINE
DENOTES SURFACE ROCK
DENOTES TREE PROTECTION FENCE

SOILS DATA table with columns: Symbol, Name/Description, K-Factor, Hydrologic Group, Drainage Class, Hydric Rating. Rows include GdB, GdC, MaC, URB.

STAND CHART table with columns: LABEL, AREA, RETENTION PRIORITY. Rows include A, B, TOTAL.

SPECIMEN TREE CHART table with columns: No., CRZ, D.B.H., COMMON NAME / SCIENTIFIC, CONDITION. Rows include 1, 1-A.

ENVIRONMENTAL SITE DELINEATION ADDENDUM

ANOTHER ENVIRONMENTAL SITE DELINEATION WAS PERFORMED BY MAR-LEN ENVIRONMENTAL ON OCTOBER 10, 2006. THE SITE IS 10.56 ACRES IN SIZE...

THE ENTIRE SITE IS PART OF THE "LIBERTY RESERVOIR" DRAINAGE BASIN # 2130907. STREAMS ARE DESIGNATED AS USE I-P. NO STREAMS ON SITE...

THE SITE IS PARTIALLY WOODED, WITH THE REST AS OPEN FIELD. WITHIN THE OPEN FIELD (NEAR THE EXISTING PARKING LOT) TWO ABANDONED VEHICLES WERE NOTED...

ENVIRONMENTAL SITE NOTES

- 1. WATERSHED # 2130907
2. STREAM CLASS DESIGNATION: USE I-P
3. HYDROGEOLOGIC MAP: SCHIST-SAPROLITE AQUIFER
4. WATER RESOURCE MANAGEMENT AREA MAP SHOWS THIS SITE IS LOCATED IN A SURFACE WATERSHED AREA...

VICINITY MAP SCALE: 1 inch = 2,000 feet. COPYRIGHT ADC THE MAP PEOPLE PERMITTED USE # 21096447

STAND LEGEND

- EXISTING FOREST TO REMAIN & PLACED INTO PERMANENT FC EASEMENT (0.55 Ac.)
FOREST CLEARING (1.64 Ac.)
LIMITS OF DISTURBANCE (6.84 Ac.)

Diagram of a tree with labels for Crown, Trunk, and Critical Root Zone. Includes text: PREVENT THE FOLLOWING IMPACTS: CROWN, TRUNK, CRITICAL ROOT ZONE.

PROTECTING TREE DURING CONSTRUCTION

Diagram showing tree retention area and disturbance area. Includes text: FIELD EDGE DETERMINATION. Scale: Not To Scale.

Diagram of a forest conservation area sign. Text: FOREST CONSERVATION AREA DO NOT DISTURB NO DUMPING NO MOTORIZED VEHICLES.

FOREST CONSERVATION SIGN DETAIL

Diagram of plastic mesh tree protection fencing. Text: PLASTIC MESH TREE PROTECTION FENCING. Scale: Not To Scale.

SIGN AND T.P.F. SCHEDULE

Table with columns: SIGN, QUANTITY. Rows include Forest Conservation Area Sign (20), Tree Protection Fence (1750 L.F.).

FOREST CONSERVATION WORKSHEET

Table with columns: REFORESTATION CALCULATION, AFFORESTATION CALCULATION. Rows include Total Number of Lots, Total Proposed Forest Clearing, etc.

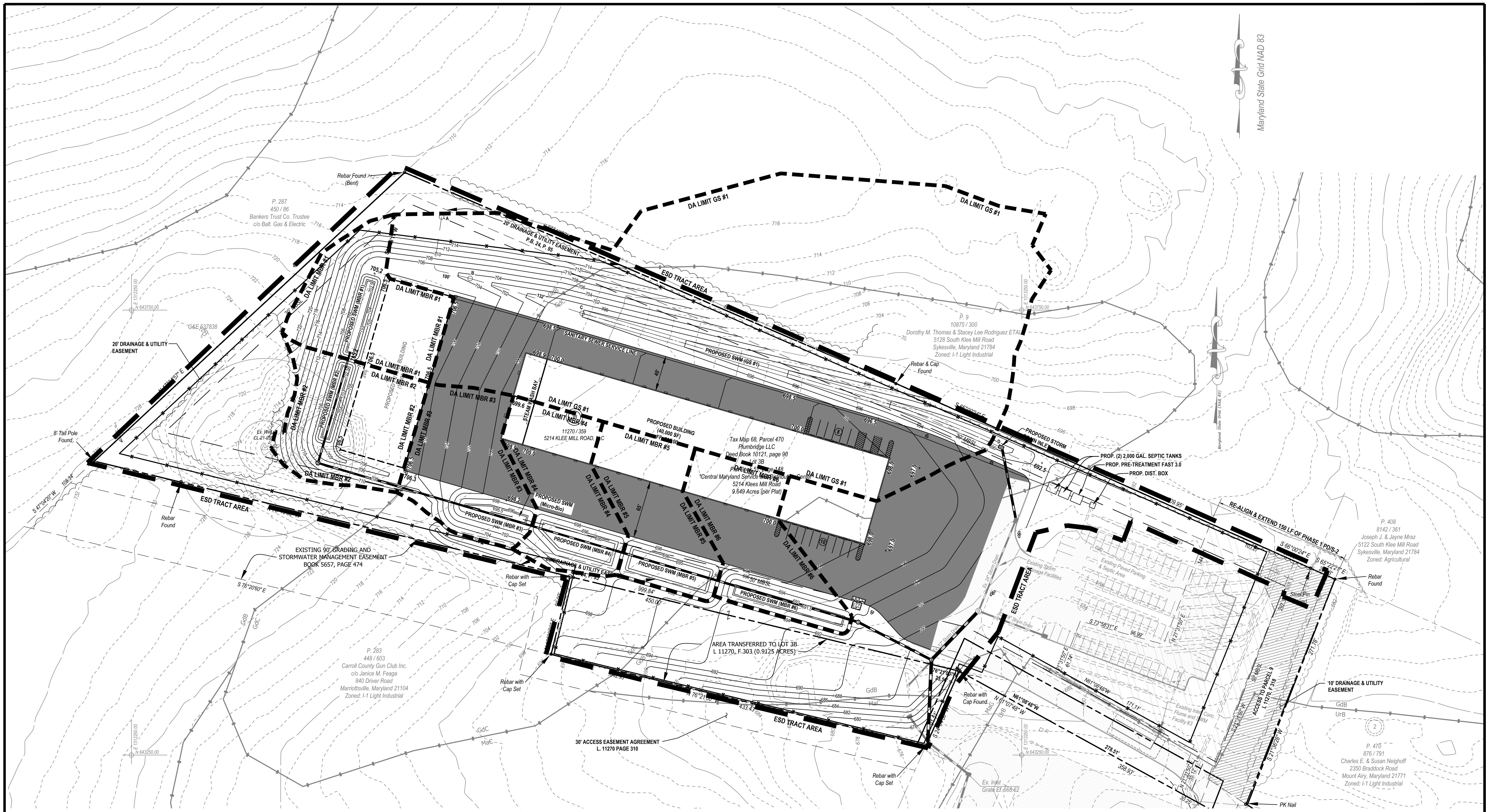
FOREST CONSERVATION PLAN NARRATIVE

Efforts have been made to minimize forest disturbance, justification for the disturbance is necessary for the lot size, grading for access drive, building site and mandatory clearing of 60 feet around home site, driveways, and the private septic system.

FOREST CONSERVATION NOTES

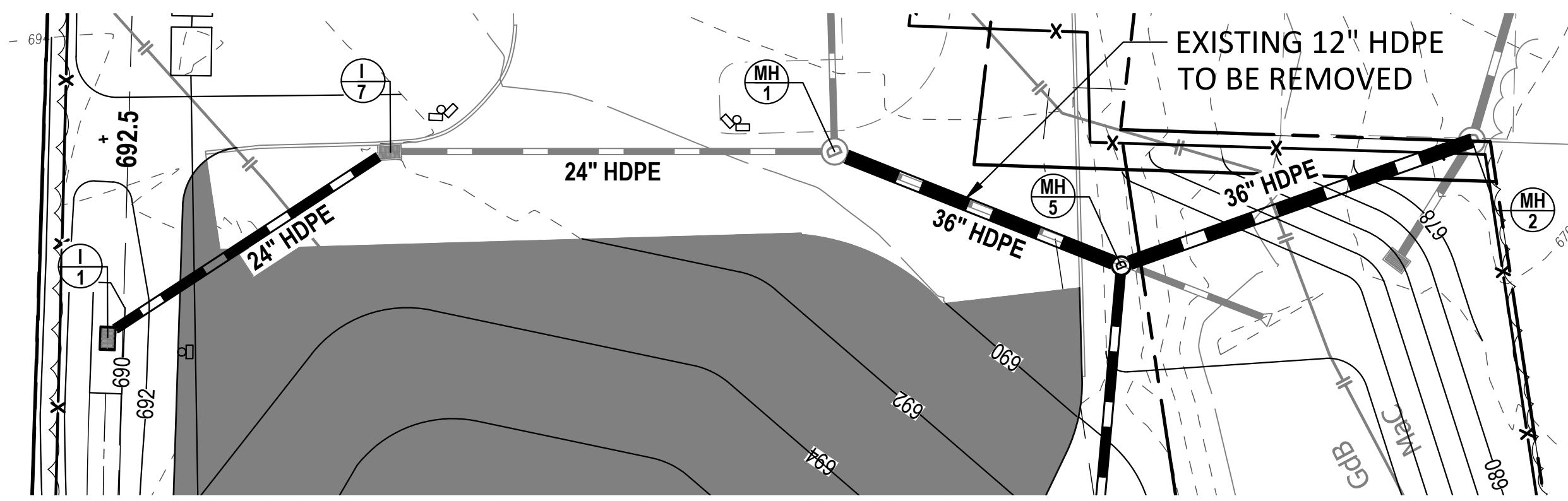
- 1. Plan prepared by BPR LLC, 150 Airport Drive, Suite 4, Westminster, MD 21157 (410-857-9030)
2. Attachment of signs or any other object, to trees is prohibited.
3. No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed in conservation areas.

OWNER / DEVELOPER: 5214 KLEE MILL ROAD, LLC. ESD / FOREST CONSERVATION PLAN. LOT 3B, SECTION ONE. ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY). Includes BPR LLC logo and contact info.

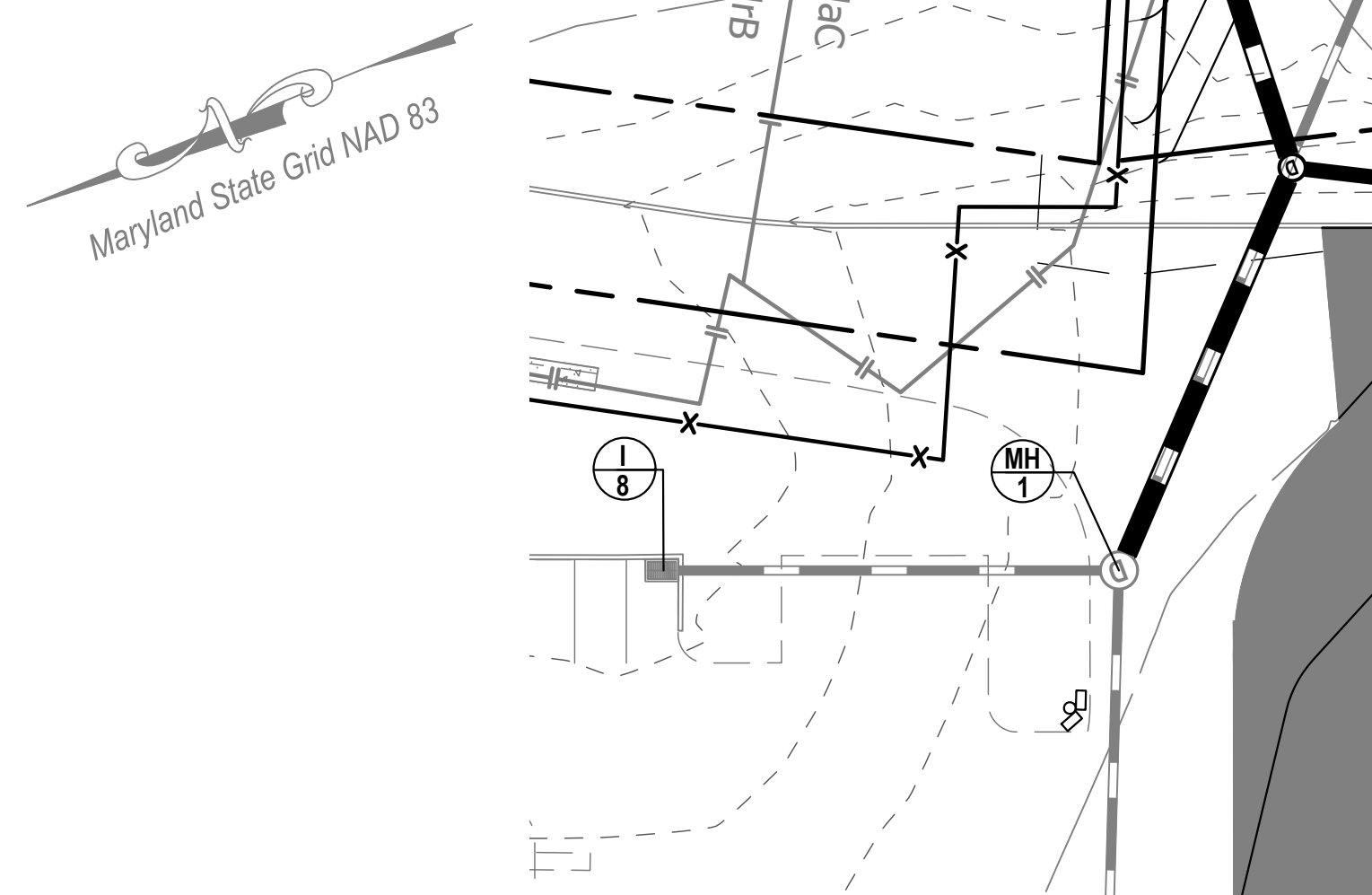


SOILS DATA					
Symbol	Name/Description	K-Factor	Hydrologic Group	Drainage Class	Hydric Rating
GdB	Glenelg loam, 3% to 8% slopes	0.24	B	Well Drained	Not Hydric
GdC	Glenelg loam 8% to 15% slopes	0.24	B	Well Drained	Not Hydric
MaC	Manor loam 8% to 15% slopes	0.28	B	Well Drained	Not Hydric
UrB	Urban land complex 0% to 8% slopes	-	D	Well Drained	Not Hydric

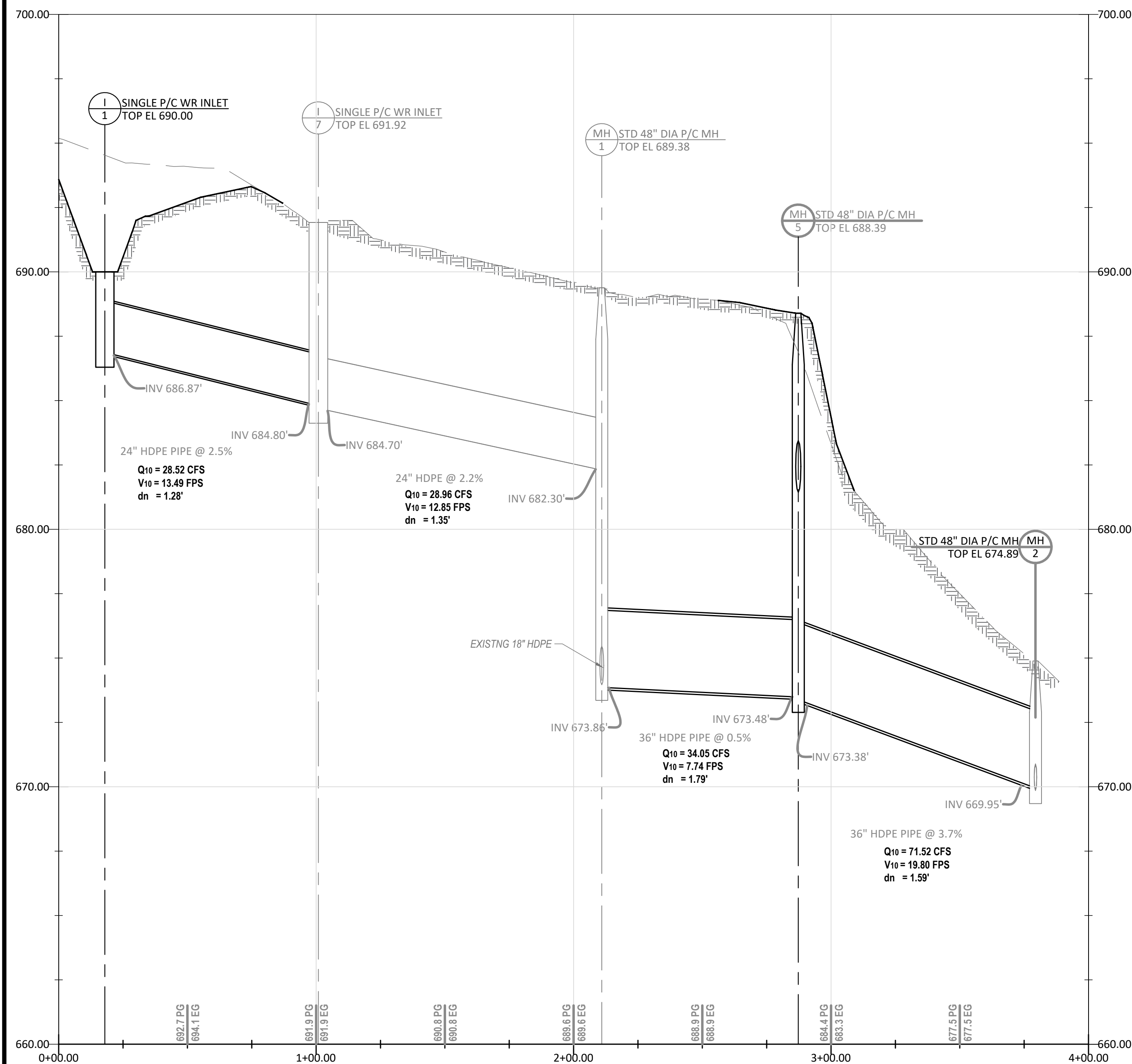
OWNER / DEVELOPER			DRAINAGE AREA MAP		
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULEVARD DUNDALK, MD 2122 410-285-0600			LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)		
			TAX MAP - 68 GRID - 07 PARCEL - 454		
DATE	REVISIONS	BY	Surveyed By	BPR LLC LAND SURVEYING & CIVIL ENGINEERING 150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 657 - 9030 INFO@BPRSURVEYING.COM	Carroll County File No. S - 24 - 0022 Sheet 7 of 14
			Computed By		
			AH / EDA		
			Drawn By		
			JWF / EDA		
BPR, LLC Job No. 23-1212 Date: November 11, 2024 Scale: 1 inch = 50 feet			Checked By		
			RAP		



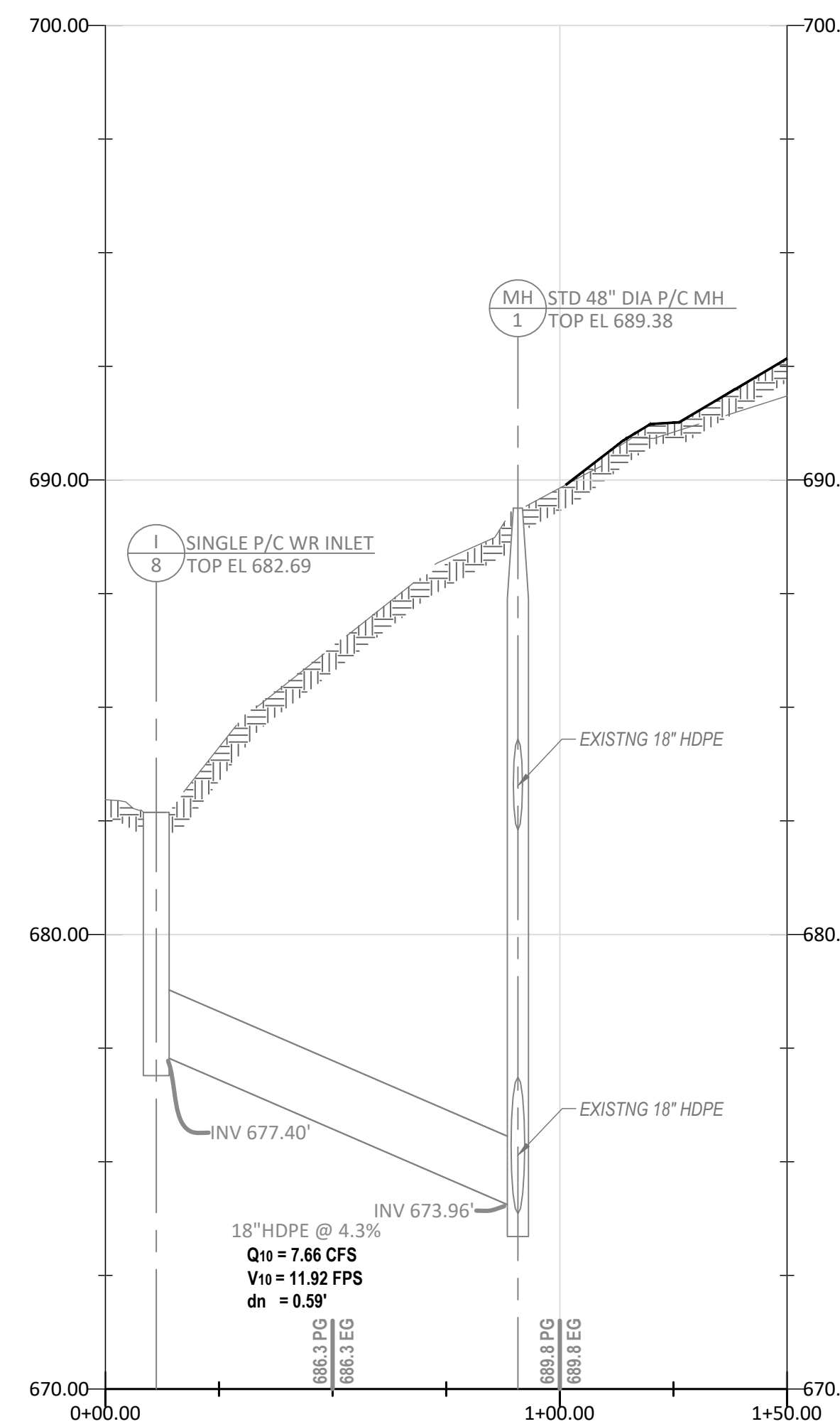
PLAN - INLET 1 - MANHOLE 2
SCALE: 1" = 30'



PLAN - INLET 8 - MANHOLE 1
SCALE: 1" = 30'



PROFILE - INLET 1 - MANHOLE 2
SCALE: H: 1" = 30' V: 1" = 10'



PROFILE - INLET 8 - MANHOLE 1
SCALE: H: 1" = 30' V: 1" = 10'

SWM STORM SEWER DESIGN: 10-Yr Storm & 130% 10-Yr Storm

Substitute Spreadsheet for Forms:
SHA 61.1-492 & Carroll Cnty B-2

DESIGN BY: Randall A. Petkus, P.E.

STRUCTURE	CONTRIBUTING AREA	10 YEAR RUNOFF					PIPE												
		Subarea Ident.	CA (ac)	Tc (min)	CA+ Tc+ (ac)	Time Conc (min)	Rainf Inten ("/hr)	Runoff Q10 (cfs)	Q10 x 1.3 (cfs)	Size (in)	Mat'l	Coef	Slope (1/ft)	Len (ft)	Depth (ft)	Veloc (ft/s)	Flow (cfs)	Pipe Capac (min)	Time Full (cfs)
*** R-1 TO MH-5 ***																			
R-1	R-2	MBR1	0.46	5.0	0.46	5.0	7.00	3.20	4.16	15	HDPE	0.012	0.0100	100.0	0.69	5.95	4.16	0.28	7.0
R-2	MH-3	MBR2 (MBR1)	0.46	5.0	0.92	5.3	6.93	6.35	8.25	18	HDPE	0.012	0.0100	28.4	0.95	7.02	8.25	0.07	11.4
MH-3	R-3	(MBR1, MBR2)			0.92	5.4	6.91	6.33	8.23	18	HDPE	0.012	0.0125	171.5	0.88	7.66	8.23	0.37	12.7
R-3	R-4	MBR3 (MBR1, MBR2)	0.44	5.0	1.36	5.8	6.81	9.24	12.02	18	HDPE	0.012	0.0125	176.0	1.16	8.19	12.02	0.36	12.7
R-4	R-5	MBR4 (MBR1, MBR2, MBR3)	0.42	5.0	1.78	6.2	6.72	11.94	15.52	21	HDPE	0.012	0.0125	111.5	1.19	8.88	15.52	0.21	19.2
R-5	R-6	MBR5 (MBR1, MBR2, MBR3, MBR4)	0.40	5.0	2.18	6.4	6.68	14.57	18.94	21	HDPE	0.012	0.0125	157.5	1.41	9.10	18.94	0.29	19.2
R-6	MH-4	MBR6 (MBR1, MBR2, MBR3, MBR4, MBR5)	0.44	5.0	2.62	6.7	6.61	17.35	22.55	24	HDPE	0.012	0.0125	16.2	1.38	9.74	22.55	0.03	27.4
MH-4	MH-5	(MBR1, MBR2, MBR3, MBR4, MBR5, MBR6)	5.0		2.62	6.7	6.61	17.35	22.55	24	HDPE	0.012	0.0300	59.8	1.04	13.72	22.55	0.07	42.4

*** I-1 TO MH-1 ***																			
I-1	I-7	DA1	4.58	17.0	4.58	17.0	4.79	21.94	28.52	24	HDPE	0.012	0.0250	82.9	1.28	13.49	28.52	0.10	38.7
I-2	MH-1	DA2 (DA1)	0.08	5.0	4.66	17.1	4.78	22.27	28.96	24	HDPE	0.012	0.0220	110.0	1.35	12.85	28.96	0.14	36.3

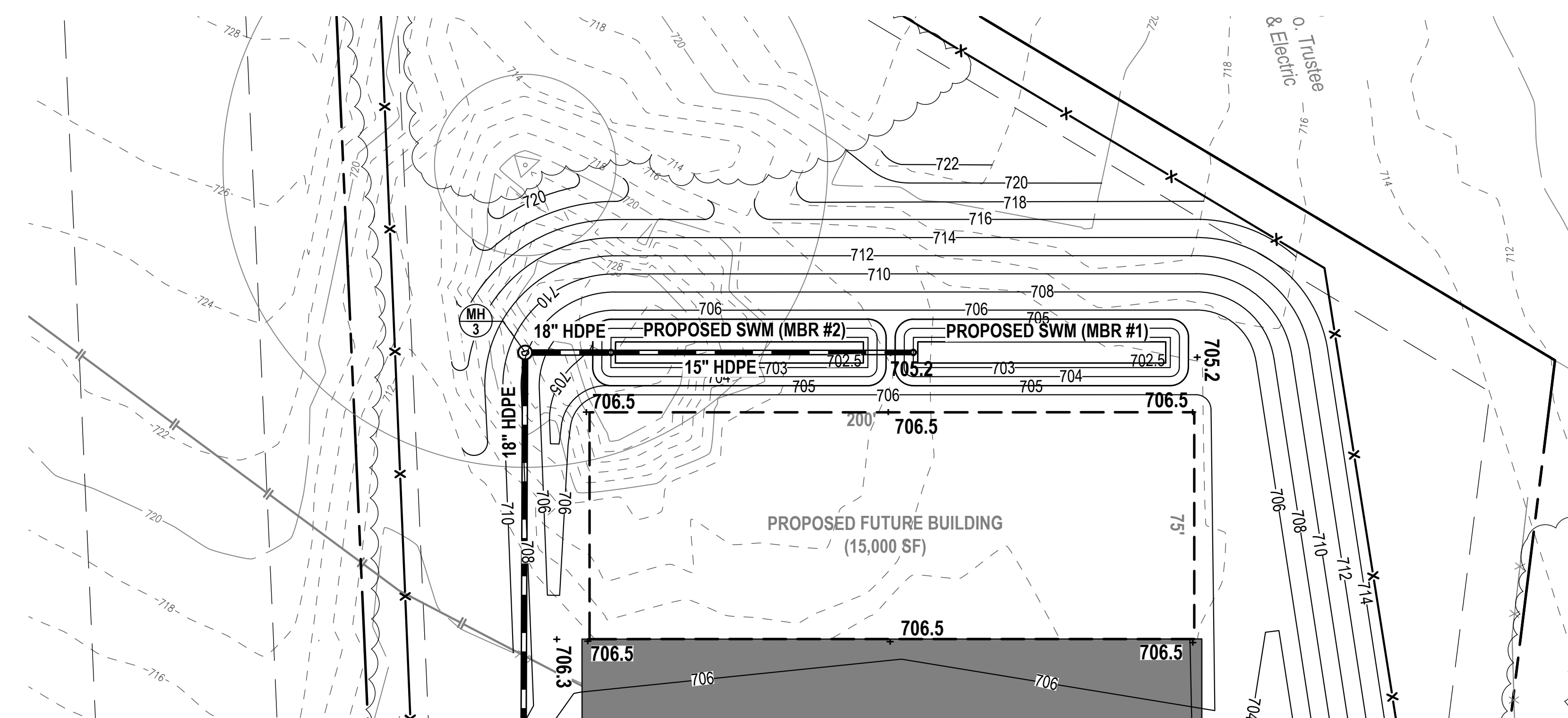
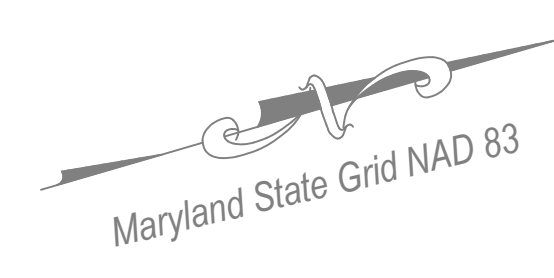
*** I-8 TO MH-1 ***																			
I-3	MH-1	DA3	0.84	5.0	0.84	5.0	7.00	5.89	7.66	18	HDPE	0.012	0.0430	79.7	0.59	11.92	7.66	0.11	23.6

*** MH-1 TO MH-2 ***																			
MH-1	MH-5	(DA1, DA2, DA3)	0.00	5.0	5.50	17.2	4.76	26.19	34.05	36	HDPE	0.012	0.0050	76.3	1.79	7.74	34.05	0.16	51.1
MH-5	MH-2	(DA1, DA2, DA3, MBR1, MBR2, MBR3, MBR4, MBR5, MBR6)	0.00	6.0	8.13	6.0	6.77	55.02	71.52	36	HDPE	0.012	0.0370	79.7	1.53	19.80	71.52	0.07	139.0

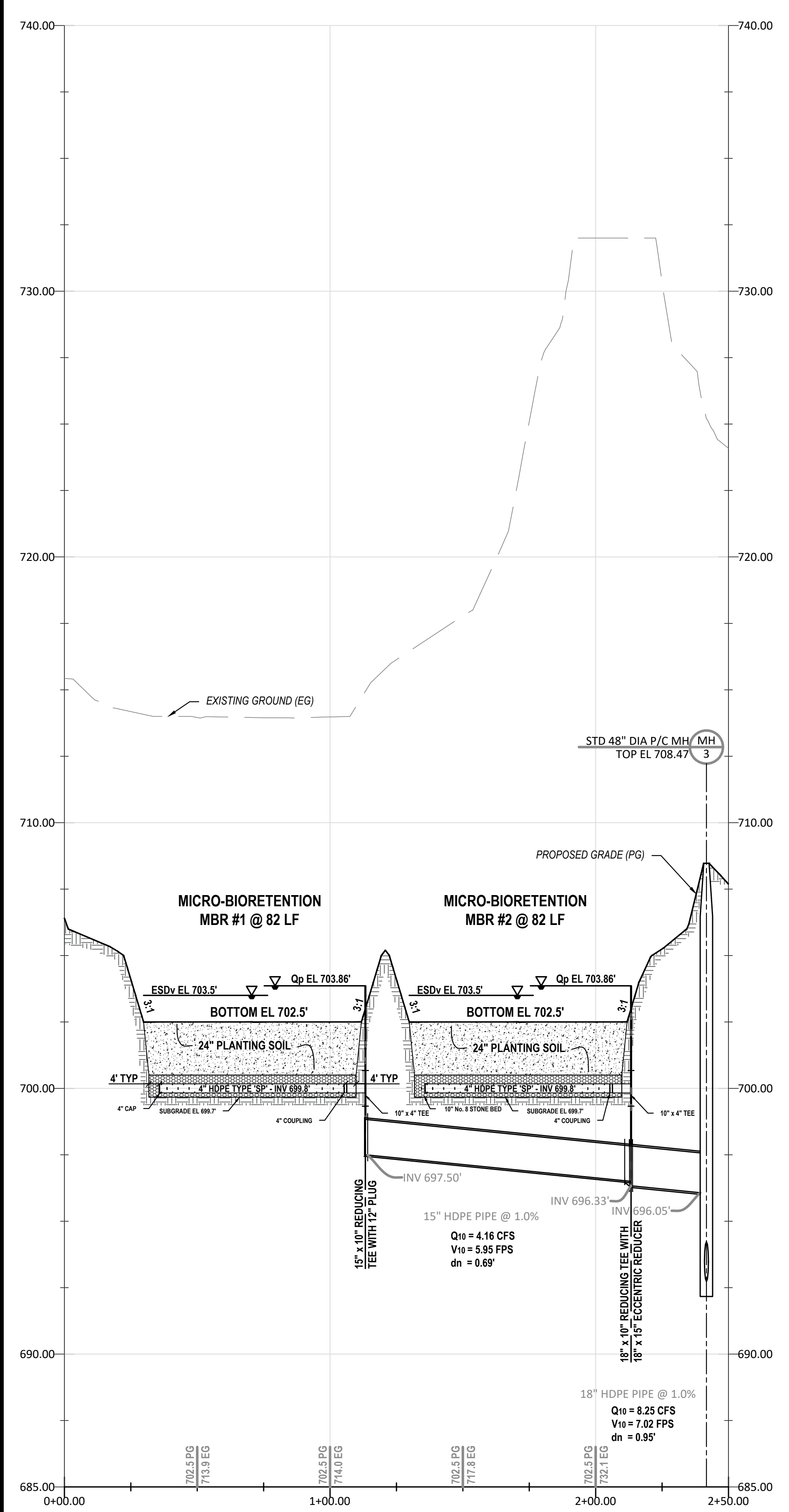
NOTES: The flows above are computed by the Rational Method with a 1.3 factor increase for equivalent TR55 values.

STORM DRAIN STRUCTURE SCHEDULE						
STRUCTURE NO.	TYPE	INV. IN ELEV.	INV. OUT ELEV.	BOTTOM ELEV.	TOP ELEV.	EASTING
I 1	MD 374.70		686.87	686.79	690.00	1313227.8592
MH 3	MD 384.01	696.05	692.73	692.67	708.47	1312459.4856
MH 4	MD 384.01	684.32	684.22	684.14	693.67	1313066.3063
MH 5	MD 384.03	673.48	673.38	673.28	688.39	1313148.5969

OWNER / DEVELOPER		STORM DRAIN PLAN AND PROFILE	
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULEVARD DUNDALK, MD 2122 410-285-0600		LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)	
		TAX MAP - 68 GRID - 07 PARCEL - 454	
DATE		Surveyed By	 BPR LLC LAND SURVEYING & CIVIL ENGINEERING 150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 857 - 9030 INFO@BPRSURVEYING.COM
REVISIONS		Computed By	
BY		AEH / EDA	
		Drawn By	
		JWF / EDA	
		Checked By	
		RAP	
BPR, LLC Job No. 23-1212		Carroll County File No. S - 24 - 0022	
Date: November 11, 2024		Scale: AS SHOWN	
		Sheet 8 of 14	



PLAN - MICRO-BIORETENTION #1 & #2
SCALE: 1" = 30'



PROFILE - MICRO-BIORETENTION #1 & #2
SCALE: H: 1" = 30' V: 1" = 10'

Planting Medium

The planting medium shall be 24"-48" thick and shall consist of 1/3 perlite or Solite, 1/3 compost and 1/3 topsoil. The perlite shall be coarse grade horticultural perlite. The compost shall be high grade compost free of stones and partially composted woody material. The topsoil component shall meet the following criteria: contain no more than 10% clay, 10-25% silt and 60-75% sand and be free of stones, stumps, roots or other similar objects larger than 2 inches. The first layer of the planting medium shall be lightly tilled to mix it into the 6-inch sand layer, so as not to create a definitive boundary. The planting bed shall be flooded after placement. Any settlement that occurs shall be filled back to the design elevation.

Mulch

The mulch layer is an important part of the Micro-Bioretentment device. Much of the pollutant removal capacity of the Micro-Bioretentment system is within the mulch layer. The surface mulch layer will consist of standard double shredded aged hardwood mulch. The mulch should be applied uniformly to a depth of 3 inches. Yearly replenishing may be necessary. Pine bark is not acceptable.

ENGINEER'S "AS-BUILT" CERTIFICATION
I hereby certify that the facility/facilities shown on this/these plan(s) was constructed as shown on the "As-Built" plans and meets the approved plans and specifications. I also certify that this/these facilities were inspected in accordance with Sections § 136-22 and § 136-23 of the Charter and Code of the City of Westminster, MD and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Engineer or Professional Land Surveyor, as appropriate, under the laws of the State of Maryland.

Signed: _____ Date: _____
License No.: _____ Expiration Date: _____

DAM BREACH STATEMENT
The location of the impoundments of the Std M-5 Micro-Bioretentment ESD Practices MBR #1, MBR #2, & MBR #3, do not represent undue risks to downstream properties or life and failure of the embankment will not result in loss of life or in damages that exceed the ability of the owner to pay.

Signed: _____ Date: _____
Professional Engineer
License No.: _____ Expiration Date: _____

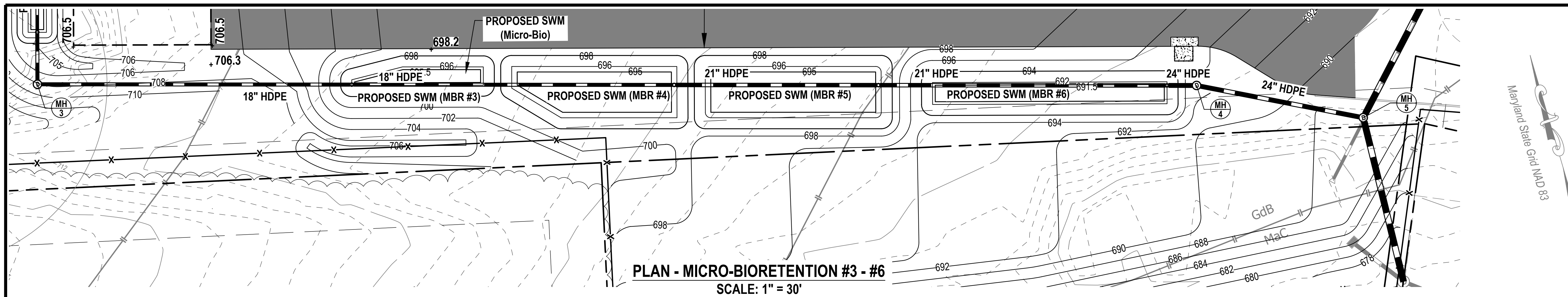
DEVELOPER'S CERTIFICATION
I hereby certify that all proposed work shown on these construction drawing(s) will be conducted in strict accordance with these plans. I also understand that it is my responsibility to have the construction supervised and certified, including the submittal of "as-Built" plans certified by a registered Professional Engineer or Professional Land Surveyor, as appropriate, within thirty (30) days of completion of work on the stormwater management facility/facilities. I also certify that this/these stormwater management facility/facilities will be inspected during construction by a registered Professional Engineer or Professional Land Surveyor, as appropriate, in accordance with Sections § 136-22 and § 136-23 of the Charter and Code of the City of Westminster, MD.

Signed: _____ Date: _____

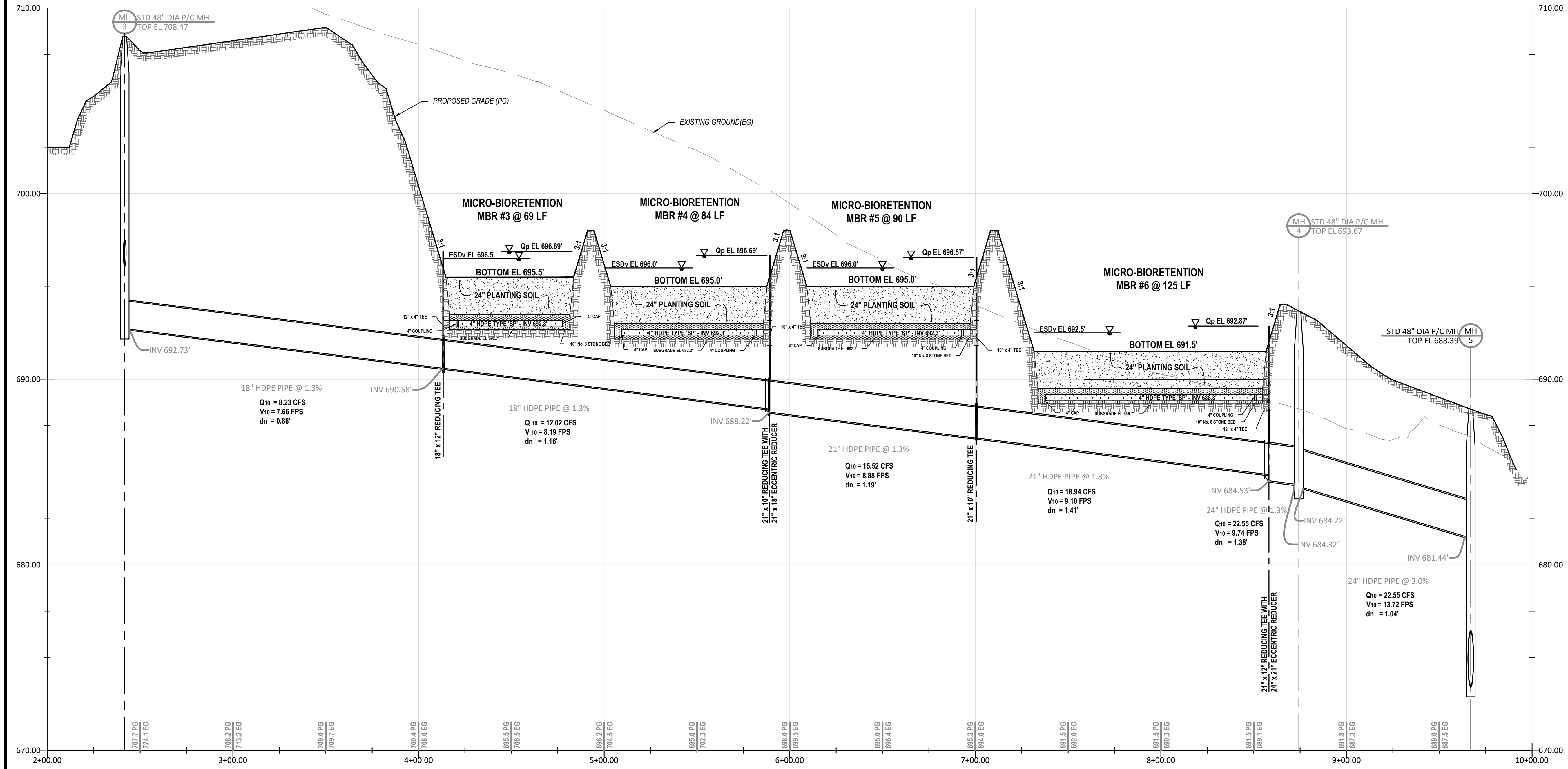
ENGINEER'S DESIGN CERTIFICATION
I hereby certify that these plans have been designed according to Chapter 136 of the Charter and Code of the City of Westminster, MD and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Engineer or Professional Land Surveyor, as appropriate, under the laws of the State of Maryland.

Signed: _____ Date: _____
License No.: _____ Expiration Date: _____

OWNER / DEVELOPER		MICRO-BIORETENTION #1 - #2 PLAN AND PROFILE									
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULVARD DUNDALK, MD 2122 410-285-0600		LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)									
		TAX MAP - 66 GRID - 07 PARCEL - 454									
DATE	REVISIONS	BY									
BPR, LLC Job No. 23-1212		<table border="1"> <tr> <td>Surveyed By</td> <td>BPR</td> </tr> <tr> <td>Computed By</td> <td>AEH / EDA</td> </tr> <tr> <td>Drawn By</td> <td>JWF / EDA</td> </tr> <tr> <td>Checked By</td> <td>RAP</td> </tr> </table>		Surveyed By	BPR	Computed By	AEH / EDA	Drawn By	JWF / EDA	Checked By	RAP
Surveyed By	BPR										
Computed By	AEH / EDA										
Drawn By	JWF / EDA										
Checked By	RAP										
Date: November 11, 2024		Scale: AS SHOWN									
		<p>BPR LLC LAND SURVEYING & CIVIL ENGINEERING 150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 857 - 9030 INFO@BPRSURVEYING.COM</p>									
		<p>Carroll County File No. S - 24 - 0022 Sheet 9 of 14</p>									



PLAN - MICRO-BIORETENTION #3 - #6
SCALE: 1" = 30'

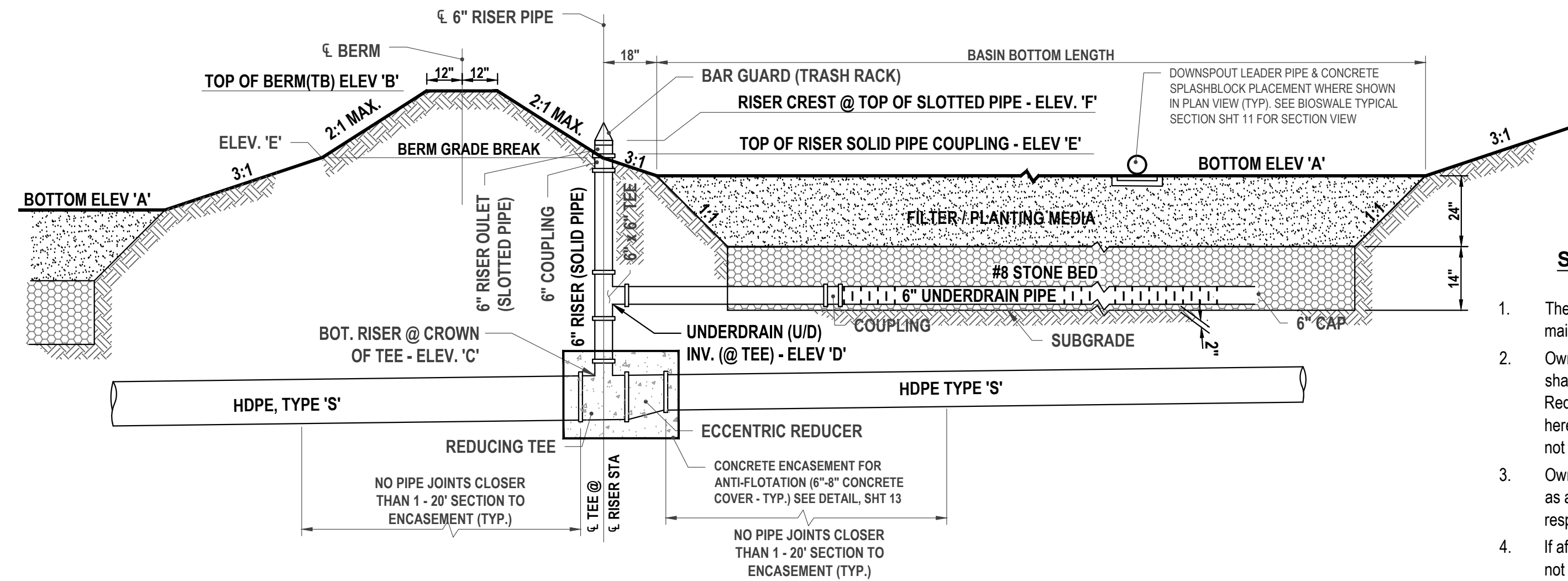


PROFILE - MICRO-BIORETENTION #3 - #6
SCALE: H: 1" = 30' V: 1" = 10'

OWNER / DEVELOPER		MICRO-BIORETENTION #3 - #6 PLAN AND PROFILE	
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULEVARD DUNDALK, MD 2122 410-285-0600		LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)	
		TAX MAP - 66 GRID - 07 PARCEL - 454	
DATE	REVISIONS	BY	
BPR, LLC Job No. 23-1212			
Date: November 11, 2024		Scale: AS SHOWN	
Surveyed By BPR Computed By AEH / EDA Drawn By JWF / EDA Checked By RAP		BPR LLC LAND SURVEYING & CIVIL ENGINEERING 150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 857 - 9030 INFO@BPRSURVEYING.COM	
		Carroll County File No. S - 24 - 0022	
		Sheet 10 of 14	

MICRO-BIORETENTION(MBR) ESD INSPECTION CHART						
STAGE	MBR #1	MBR #2	MBR #3	MBR #4	MBR #5	MBR #6
	INSPECTORS APPR.	INSPECTORS APPR.	INSPECTORS APPR.	INSPECTORS APPR.	INSPECTORS APPR.	INSPECTORS APPR.
	INITIALS	DATE	INITIALS	DATE	INITIALS	DATE
1						
2						
3						
4						
5						
6						
7						

*NOTIFY CERTIFYING ENGINEER'S 48 HRS PRIOR TO COMMENCING CONSTRUCTION
 CERTIFYING ENGINEER'S NAME: BPR, LLC PHONE # (410) 857-9030
 GEOTECHNICAL ENGINEER'S NAME: _____ PHONE # _____



TYPICAL DETAIL - MICRO-BIORETENTION ELEVATION
NTS

STORMWATER MANAGEMENT MAINTENANCE AGREEMENT SCHEDULE

- The Stormwater Management Facility/Facilities shown on these plans shall be constructed and maintained by the owner(s).
- Owner/his heirs or assigns shall be responsible for continuing maintenance of the facility/facilities, which shall include such items as mowing, cleaning and removing sediment, trees, shrubs and debris. Requirements and schedules for specific types of facilities and practices as listed on the plans are hereby included. The time period for this continuing maintenance shall be on "as-needed" basis but shall not be delayed longer than thirty (30) days.
- Owner, his heirs or assigns shall be responsible for any structural damages or failure which may occur as a result of negligence, accident or misuse. In the event of structural damage, owner shall be responsible to make the necessary repairs as quickly as possible but in any case within thirty (30) days.
- If after notice by the City to correct a violation requiring maintenance work, satisfactory corrections are not made by the owner(s) within (30) days the City may perform all necessary work to place the facility in proper working condition. The owners of the facility shall be assessed the cost of the work and any penalties. These monies shall be collected from a bond, which the developer is required to post with the City to cover such expenses until "completion of the facility". "Completion of the facility" is construed to mean that all contributory drainage areas are paved or supporting a 2" stand of dense grass and that the Carroll County Bureau of Resource Management has inspected construction and a registered professional engineer has certified that the "As-Built" plans meet the plans and specifications for construction. After "completion of the facility" the monies may be collected by placing a lien on the property, or by including the costs and penalties on the property tax bill and collecting them as ordinary taxes by the City.
- Owner(s) shall grant right of entry to authorized City personnel for purposes of inspection monitoring and/or repair. Site visits for inspection and/or monitoring shall be conducted only during normal City working hours (8:00a.m. to 5:00p.m. Monday - Friday).
- This agreement including right-of entry for inspection/maintenance and repair shall be recorded in the Land Records of the County.

CARROLL COUNTY SUPPLEMENTAL MATERIALS SPECIFICATIONS FOR BIO-SWALE, BIORETENTION, MICRO-BIORETENTION & RAIN GARDENS

MATERIAL	SPECIFICATION	SIZE	NOTES
Plantings	See Landscape Plan	N/A	Plantings are Site Specific and per Approved Landscape Plan
Seed Mix	Filter Bed Mix - Use Wet Meadow Mix per MD Standards and Specifications 707. See Table 3 (lb. min / micro-bioretentation)	N/A	Used with Straw Mulch in Place of Shredded Hardwood Mulch.
Mulch	Shredded Hardwood	N/A	Aged 6 Months, Minimum.
Straw Mulch	MD Standards and Specifications 707. (200 lb. min / micro-bioretentation)	N/A	Straw Mulch over seed bed.
Geotextile	Class "C" - Apparent Opening Size (ASTM -D-4751) Grab Tensile Strength (ASTM -D-4632), Puncture Resistance (ASTM-D-4833)	N/A	Sides Only, Not on Bottom Unless Specified on the Plans.
Underdrain Gravel	AASHTO M-43 No. 8 Stone	3/8" - 1/2"	Stone must be clean and washed
Underdrain Piping Riser Pipes	Slotted PVC or Slotted HDPE Type "SP" Pipes. Solid: Schedule 40 PVC or HDPE Type "S".	See Plan	Refer to Carroll County SWM Supplement Pg 87. All pipes must be double walled (smooth core) and slotted (no circular holes).
Sand	ASTM C-33 (3 Parts to 6 within Filter Media)	0.02" - 0.04"	Sand Substitutes such as Diabase and Graystone #10 are not Acceptable. No Calcium Carbonate & Dolomitic Sands Substitutions are Acceptable. No "Rock Dust" can be used for Sand. Manufactured Sand from approved sources may be used for filters. Manufactured sand may not be used in Dams.
Soil	Engineer Approved Loam with 20% or less Clay (1 Part to 6 within Filter Media)	N/A	
Wood Chips	Untreated "Green" (2 Part to 6 within Filter Media)	N/A	Untreated "Green" Wood Chips
Filter/Planting Media	Comprised of 3 Parts Sand, 2 Parts Wood Chips, 1 Part Soil	N/A	See Individual Materials Specifications.
Embankments & Trench Backfill (non-378)	Soils used for embankments and trench backfill shall be uniform and in accordance with MD 378 Code, except that fill material shall conform to Unified Soil Classification, GC, SC, SM, MH, ML, CH, or CL and be compacted to a density of not less than 95% of maximum dry density. Woody vegetation is prohibited on embankments.	N/A	See Earth Fill and Structure Backfill, Carroll County Construction Specifications Carroll County SWM Supplement, Page 130
Principal Spillway Pipe (non 378)	Shall be in accordance with MD 378 Code, except that all pipe joints are to be gasketed and completely watertight. Pipes connected to risers (inlets) shall be a single piece 20-feet long with no joints.	N/A	See Pipe Conduits, Carroll County Construction Specifications Carroll County SWM Supplement, Page 131

STORMWATER MAINTENANCE SCHEDULE - GRASS SWALE

MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in channel, including inlets, outlets, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Grass Cover	Grass in swale must be maintained at a height of 4 to 6 inches. Check for channelizing and bare spots.	Mow side slopes when grass exceeds 12 inches in height. Mow channel at least bi-annually. Remove grass clippings. Re-plant with topsoil, seed, and matting.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Sediment Accumulation	Check for accumulated sediment and clogged openings	When sediment accumulates to 2 inches in depth, remove sediment. Remove sediment from any clogged openings. Dispose of all sediment in an acceptable location.
Erosion	Check inflow, channel, outfall, and side slopes for evidence of erosion, rills, gullies, and runoff channelization.	Re-plant with topsoil, seed, and matting. Re-grade if concentrated runoff to the facility is causing rills or gully. Grade, vegetate, and/or armor to provide stabilize facility in accordance with approved plans.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Overall Function of Facility	Check that flow conveyance is operating as designed	Repair to good condition according to specifications on the approved plans.

STD M-8 GRASS SWALE

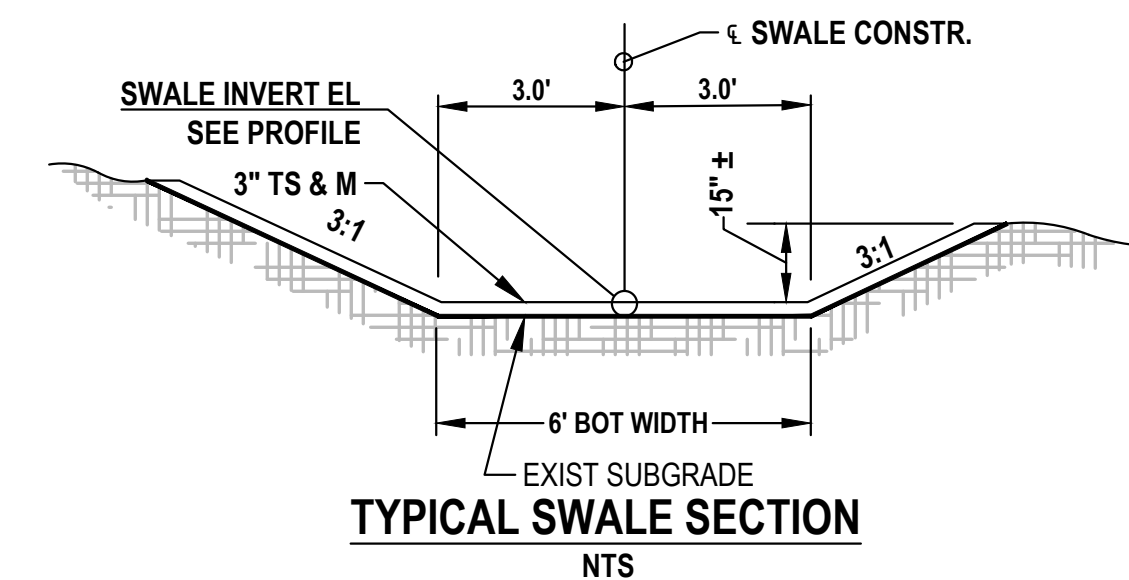
INSPECTION CHART

STAGE	INSPECTORS APPROVAL	
	INITIALS	DATE
1. GRASS CHANNEL STAKED OUT PER PLAN LINE & GRADE.		
2. SWALE BOTTOM & SIDE SLOPES, EXCAVATED TO SUBGRADE.		
3. PLACEMENT OF 3" TOPSOIL, SEED & MULCH STABILIZATION IN GRASS SWALE.		
4. ALL VEGETATED DISTURBED AREAS ARE STABILIZED WITH A 2" STAND OF DENSE GRASS.		
5. SIGNED AND CERTIFIED AS-BUILT PLAN SUBMITTED TO THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT WITHIN 60 DAYS OF COMPLETION OF CONSTRUCTION.		

*Please notify the certifying professional, BPR LLC 410-857-9030 48 hours prior to commencing construction

SEQUENCE OF CONSTRUCTION

- Once the individual house has been constructed and the final lot grading is complete, contact the certifying Professional Engineer/Professional Land Surveyor, BPR LLC, (410)-857-9030. After the certifying Professional has given his/her approval, proceed as follows.
- Excavate the Swale subgrade to plan line & grade.
- Place 3" topsoil on Swale bottom and side slopes and stabilize with permanent grass seed & mulch
- Once the entire contributory area to the grass channel is stabilized with pavement or a 2" stand of grass, submit an as-built certification to the Carroll County Bureau of Resource Management for bond release.



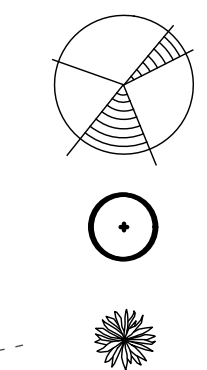
OWNER / DEVELOPER		STORMWATER MANAGEMENT NOTES & DETAILS	
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULEVARD DUNDALK, MD 2122 410-285-0600		LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)	
		TAX MAP - 68 GRID - 07 PARCEL - 454	
DATE		Surveyed By	<p>BPR LAND SURVEYING & CIVIL ENGINEERING</p> <p>150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 857 - 9030 INFO@BPRSURVEYING.COM</p>
		Computed By	
		AEH / EDA	
		Drawn By	
		JWF / EDA	
BPR, LLC Job No. 23-1212		Checked By	<p>Carroll County File No. S - 24 - 0022</p>
		RAP	
Date: November 11, 2024		Scale: AS SHOWN	
		Sheet 11 of 14	

LANDSCAPE PLAN GENERAL NOTES:

- LANDSCAPING WILL NOT ADVERSELY AFFECT STREETLIGHTS OR UNDERGROUND UTILITIES SHOWN ON THE FINAL LANDSCAPE PLAN.
- 50% OF THE LANDSCAPING CONSISTS OF NATIVE OR ADAPTIVE SPECIES.
- ALL NEW PLANTS WILL BE APPROPRIATE TO THE SITE'S SOIL TYPE AND MICRO-CLIMATE, AND NONE OF THE NEW PLANTS WILL BE INVASIVE SPECIES.
- ALL TRASH WILL BE COLLECTED IN 50 G TRASH CANS, TO BE STORED INSIDE THE NEW FACILITY.
- TREE PRESERVATION IS NOT REQUIRED FOR THIS PROJECT, THERE ARE NO TREES BEING PRESERVED.
- ALL PERMANENT GRASSED AREAS SHALL BE PREPARED AND PLANTED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF SECTION B-4 OF THE 2011 MARYLAND STANDARDS & SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- THIS DEVELOPMENT WILL CONTAIN WATER CONSERVING AND ENERGY STAR FEATURES AS STIPULATED BY THE 2016 CITY OF WESTMINSTER DEVELOPMENT DESIGN PREFERENCES MANUAL.

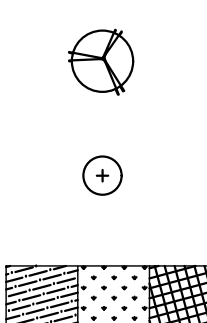


LANDSCAPE LEGEND

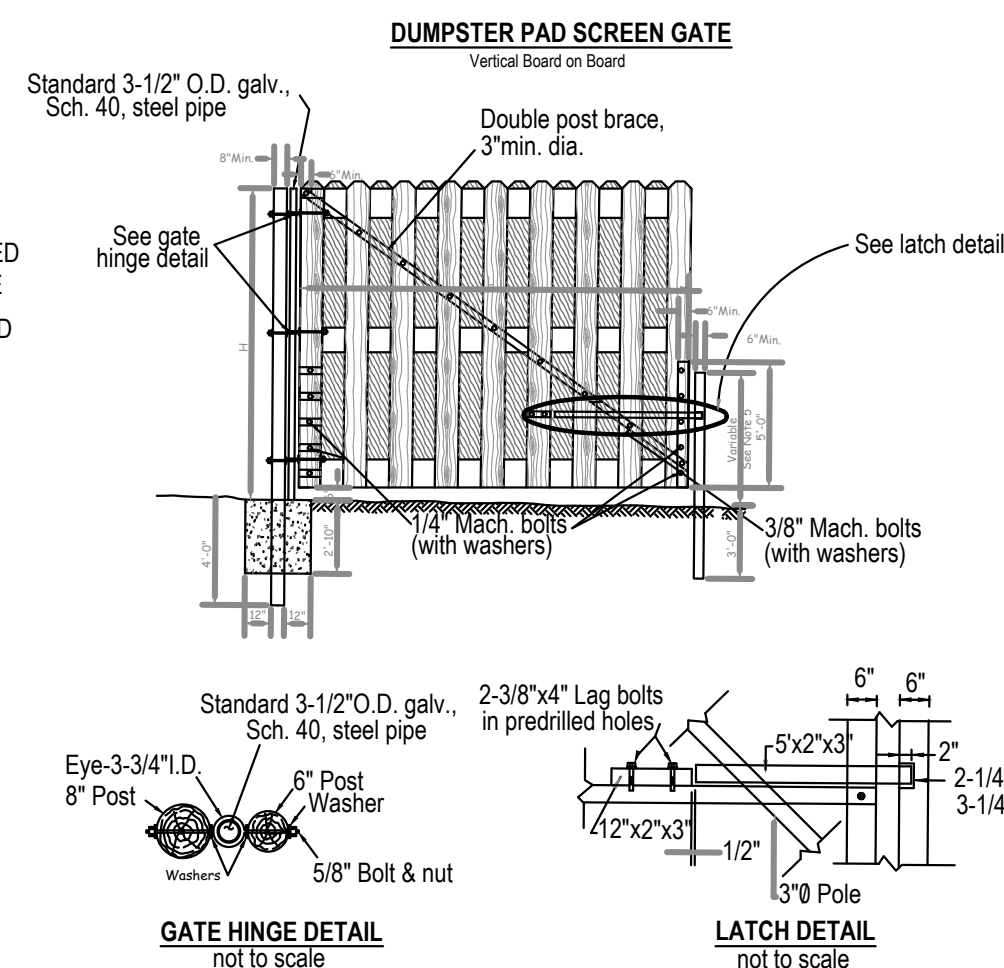
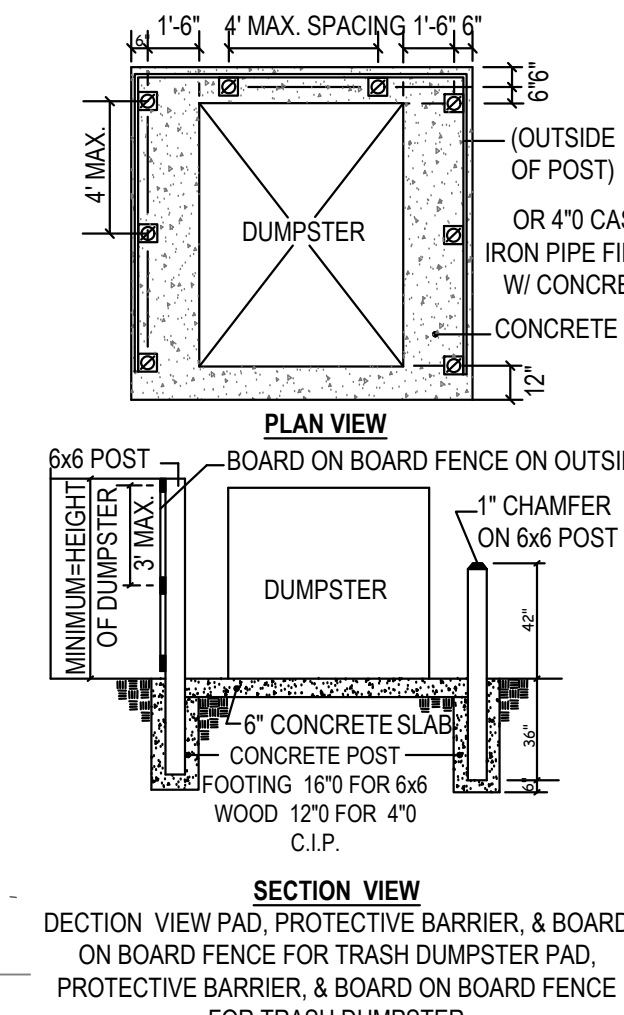


- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE

BIORETENTION LEGEND



- ORNAMENTAL TREE
- SHRUB
- GROUND COVER



- NOTES:**
- Other suitable gate post anchors may be substituted upon written approval of the Contracting Officer.
 - Holes for bolts shall be predrilled if there is danger or evidence of splitting.
 - Full-threaded bolts may be used to eliminate the need for different bolt lengths.
 - Gate post and gate post anchor shall be set in concrete. The concrete mix shall be according to the specifications. The exposed surface of the concrete shall be crowned to shed water.
 - Post height shall be the same as required for the adjacent fence.

INDUSTRIAL LANDSCAPE MANUAL CALCULATIONS:

DESCRIPTION	RATE	QUANTITY	REQUIRED PU
COMMERCIAL, INDUSTRIAL, INSTITUTIONAL & GOVERNMENTAL (PART 2, II, B. 1. c.)	10' W CLASS A SCREEN (PARKING LOT ADJACENT RESIDENTIAL)	30 LF/20	1.5 PU
COMMERCIAL, INDUSTRIAL, INSTITUTIONAL & GOVERNMENTAL (PART 2, II, B. 2. a. v.)	1 PU PER 12 SPACES (INTERIOR LANDSCAPING)	18 SP/ 12 SP	1.5 PU
COMMERCIAL, INDUSTRIAL, INSTITUTIONAL & GOVERNMENTAL (PART 2, III, A. 1.)	CLASS A SCREEN (DUMPSTER SCREEN)	30 LF/20	1.5 PU
TOTAL PLANTING UNITS REQUIRED:			4.5 PU
TOTAL PLANTING UNITS PROVIDED:			28.6 PU

LANDSCAPE PLANS AND SPECIFICATIONS REFERENCES:

- ALL PLANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH HORTUS THIRD, BY L.H. BAILEY, 1976 OR ITS LATEST EDITION.
- ALL NURSERY STOCK SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. STANDARDS AS DESCRIBED IN THE AMERICAN STANDARDS FOR NURSERY STOCK, PUBLICATION ANSI Z60.1-2014 OR ITS LATEST EDITION.
- LANDSCAPE SPECIFICATIONS SHALL CONFORM TO THE CURRENT LANDSCAPE SPECIFICATIONS GUIDELINES BY LANDSCAPE CONTRACTORS ASSOCIATION, MD-DC-VA, 2014 EDITION. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES IN THE GUIDELINES WITH THE FOLLOWING EXCEPTIONS:
 - IF THE SOIL IS WET OR COMPACTED, ALL CONTAINERIZED AND BALLED NURSERY STOCK SHOULD BE PLANTED SUCH THAT THE TOP ONE-THIRD OF THE ROOTBALL IS ABOVE THE EXISTING GRADE. THIS DEPARTURE IN THE ESTABLISHED PROCEDURES HAS BEEN DOCUMENTED TO INCREASE THE RATE OF TRANSPLANT SUCCESS IN THESE TYPES OF SOIL.
 - WIRE AND NONDEGRADABLE MATERIALS SHOULD BE REMOVED AS FAR AS PRACTICAL BEFORE BACKFILLING TO PREVENT ROOT GIRDLING.

LANDSCAPE PLANTING SPECIFICATIONS

GENERAL: PLANT MATERIALS SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK SPONSORED BY AMERICAN ASSOCIATION OF NURSERYMEN, INC.

PLANTS SHALL BE SUBJECT TO INSPECTION BY THE CARROLL COUNTY OFFICE OF LANDSCAPE & FOREST CONSERVATION FOR QUALITY, SIZE, COLOR, AND TRUENESS TO SPECIES. PLANTS LACKING COMPACTNESS OR PROPER PROPORTIONS, PLANTS WHICH ARE WEAK OR THIN, AND PLANTS WHICH ARE NOT THE SPECIES OR VARIETY CALLED FOR IN THE PLANT LIST WILL NOT BE ACCEPTED. RIGHT IS RESERVED TO REJECT PLANTS CONSIDERED UNSATISFACTORY. REJECTED PLANTS SHALL BE REMOVED FROM THE SITE AND REPLACED WITH PLANTS SPECIFIED. PRUNING PLANTS PRIOR TO DELIVERY SHALL BE PROHIBITED.

SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT THE CONSENT OF THE CARROLL COUNTY OFFICE OF LANDSCAPE & FOREST CONSERVATION. IF PROOF IS SUBMITTED THAT SPECIFIC PLANTS OR SIZES ARE UNOBTAINABLE, PROPOSALS WILL BE CONSIDERED FOR THE NEAREST EQUIVALENT SIZE OR VARIETY WITH EQUIVALENT ADJUSTMENT TO THE CONTRACT PRICE.

PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEM. THEY SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECT, DECAY, DAMAGED ROOTS, SUN SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT PESTS' EGGS, BORERS AND FORMS OF INFESTATIONS AND OBJECTIONABLE DISFIGUREMENTS.

PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFICALLY PERMITTED IN EACH INSTANCE AND SHALL HAVE BEEN GROWING UNDER SIMILAR CLIMATIC CONDITIONS AS THE LOCATION OF THE PROJECT FOR AT LEAST 2 YEARS PRIOR TO THE DATE OF THE PLANTING CONTRACT.

LANDSCAPE SPECIFICATIONS SHALL CONFORM TO THE LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS 2014 OR LATEST EDITION, DEVELOPED BY THE LANDSCAPE CONTRACTORS ASSOCIATION, MD-DC-VA. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GUIDELINES WITH THE FOLLOWING EXCEPTIONS:

- IF THE SOIL IS WET OR COMPACTED, ALL CONTAINERIZED AND BALLED NURSERY STOCK SHOULD BE PLANTED SUCH THAT THE TOP ONE-FOURTH OF THE ROOTBALL IS ABOVE THE EXISTING GRADE. THIS DEPARTURE IN THE ESTABLISHED PROCEDURES HAS BEEN DOCUMENTED TO INCREASE THE RATE OF TRANSPLANT SUCCESS IN THESE TYPES OF SOILS.
- WIRE AND NON-DEGRADABLE MATERIALS SHOULD BE REMOVED AS FAR AS PRACTICAL BEFORE BACKFILLING TO PREVENT ROOT GIRDLING.

OWNER CERTIFICATION

I CERTIFY THAT THIS LANDSCAPE PLAN IS CONSISTENT WITH THE GOAL AND INTENT OF AND COMPLIES WITH THE CITY OF WESTMINSTER LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICIES, GUIDELINES AND ORDINANCES AND AGREE TO IMPLEMENT THE FINAL LANDSCAPE PLAN SHOWN HEREIN WITHIN ONE YEAR OF OCCUPANCY.

SKY HIGH DOG SPORTS, LLC
2402 BLACK ROCK ROAD
HANOVER, PA 17331

LANDSCAPE ARCHITECT CERTIFICATION

I CERTIFY THAT THIS LANDSCAPE PLAN IS CONSISTENT WITH THE GOAL AND INTENT OF AND COMPLIES WITH THE CITY OF WESTMINSTER LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICIES, GUIDELINES AND ORDINANCES.

LANDSCAPE ARCHITECT _____ DATE _____

LANDSCAPE SUMMARY TABLE

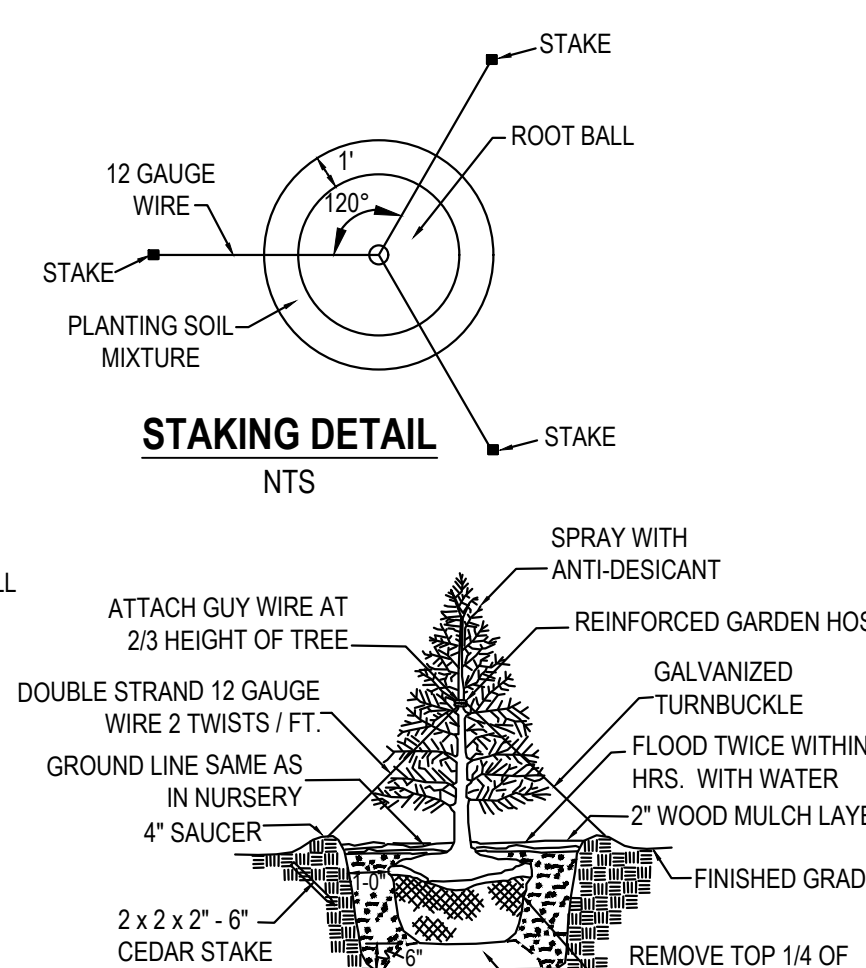
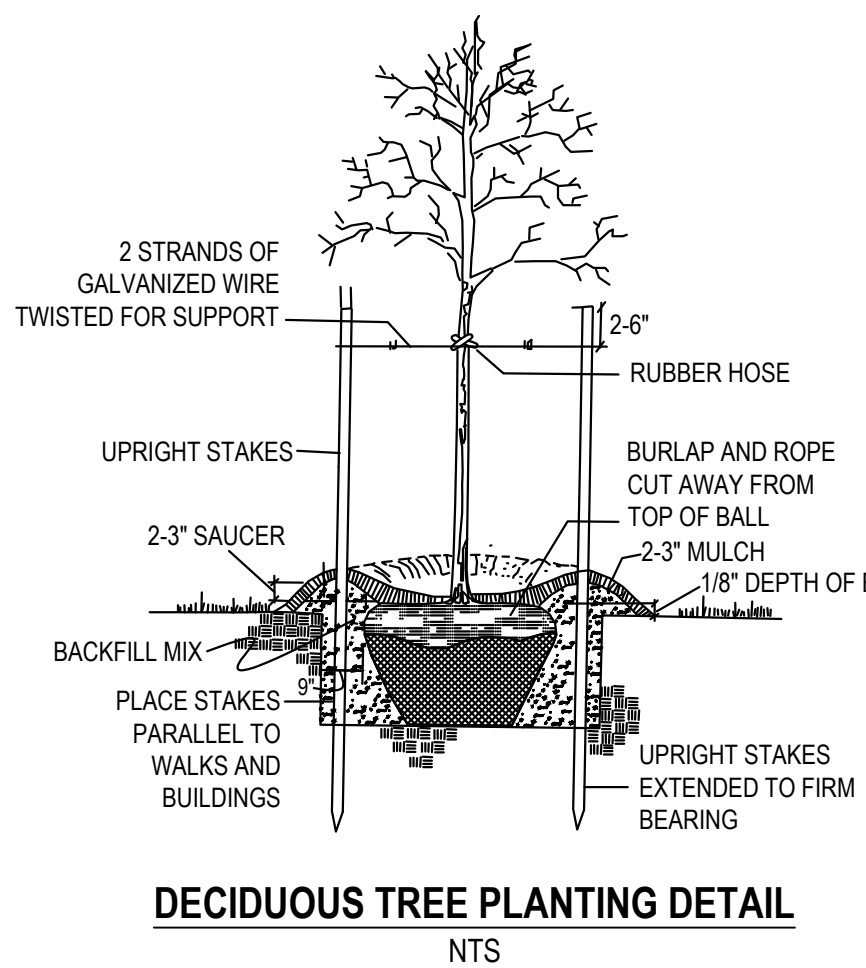
PLANT TYPE	MIN. SIZE	# OF PLANTS	PU RATE	TOTAL PU
MAJOR DECIDUOUS TREE	2" CAL	2	1 TREE = 1 PU	2
MINOR DECIDUOUS TREE	1" CAL	9	2 TREE = 1 PU	4.5
EVERGREEN TREE	5" HT.	29	2 TREE = 1 PU	14.5
SHRUBS	24" HT.	12	5 SHRUBS = 1 PU	2.4
GROUND COVER	NO MIN. HT.	1,297 SF	250 SF = 1 PU	5.2
TOTAL PLANTING UNITS PROVIDED:				28.6 PU

PLANT LIST

SYM	QTY	BOTANICAL NAME/ COMMON NAME	SIZE	SPACING	ROOT	# PU
MAJOR TREES						
ZS	2	ZELKOVA SERRATA 'VILLAGE GREEN'/ VILLAGE GREEN ZELKOVA	2-2 1/2" CAL	AS SHOWN	B & B	2 PU
MINOR TREES / EVERGREENS						
LI	9	LAGERSTROEMIA INDICA 'ACOMA'/ ACOMA CRAPE MYRTLE	6-8"	AS SHOWN	B & B	4.5 PU
BP	29	THUJA OCCIDENTALIS 'EMERALD'/ EMERALD GREEN ARBORVITAE	4-5"	AS SHOWN	B & B	14.5 PU
						21 PU TOTAL

MICRO-BIORETENTION ESD PLANT LIST

SYM	QTY	BOTANICAL NAME/ COMMON NAME	SIZE	SPACING	ROOT
TREES					
CV	4	CHIONANTHUS VIRGINICUS FRINGE-TREE	#3	AS SHOWN	CONT
SHRUBS					
MP	8	MYRICA PENNSYLVANICA/ BAYBERRY	#2	AS SHOWN	CONT
PERENNIALS & GROUNDCOVERS					
AU	448	ASTER UMBELLATUS/ FLAT-TOP WHITE ASTER	1 GAL	2" OC	CONT
CS	449	CAREX STRICTA/ UPRIGHT SEDGE	1 GAL	2" OC	CONT
IVE	400	IRIS VERSICOLOR/ BLUE FLAG	1 GAL	2" OC	CONT



PLANTING PROCEDURES

PLANTS SHALL BE FRESHLY DUG AT TIME OF DELIVERY. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF ADEQUATE SIZE, THE BALLS SECURELY WRAPPED WITH BURLAP OR CANVAS, TIGHTLY BOUND WITH ROPE OR WIRE. THE PLANTING SEASONS FOR PLANT MATERIAL SHALL BE AS FOLLOWS:

DECIDUOUS TREES AND SHRUBS: OCTOBER 1 THRU DECEMBER 15
MARCH 15 THRU MAY 30

EVERGREEN TREES, SHRUBS AND VINES: SEPTEMBER 1 THRU NOVEMBER 15
MARCH 15 THRU MAY 15

AT THE OPTION AND FULL RESPONSIBILITY OF THE CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS WITHOUT ADDITIONAL COMPENSATION. CONTRACTOR IS RESPONSIBLE TO MAINTAIN WATERING OF PLANTS PLANTED OUTSIDE OF THE RECOMMENDED DATES ABOVE UNTIL ROOT SYSTEM ESTABLISHMENT IS VERIFIED.

PLANTING AND BACKFILL MIX SHALL CONSIST OF 3 PARTS EXCAVATED SOIL, 1 PART SOIL CONDITIONER AND FERTILIZER (14-14-14).

REASONABLE CARE SHALL BE EXERCISED TO HAVE PITS DUG AND SOIL PREPARED PRIOR TO MOVING PLANTS ON SITE FOR PLANTING TO ENSURE THAT THEY WILL NOT BE UNNECESSARILY EXPOSED TO DYING ELEMENTS OR PHYSICAL DAMAGE. SIZE OF PITS SHALL BE 1/3 TO 2 TIMES THE DIAMETER OF THE ROOT BALL AND THE ROOT BALL SHALL BE ELEVATED 2" HEIGHT OF THE ROOT BALL ABOVE THE GRADE TO ALLOW FOR DRAINAGE. AROUND MOUND OF SOIL SHALL BE LEFT AROUND THE BASE TO ENABLE THE ELEVATION TO BLEND INTO THE SITE.

GROUND COVER AREAS SHALL BE PREPARED AS SPECIFIED BEFORE. PLANT GROUND COVER TO WITHIN 1'-0" OF TREE TRUNKS OR SHRUBS. PLANTINGS SHALL BE SPACED 12" ON CENTER.

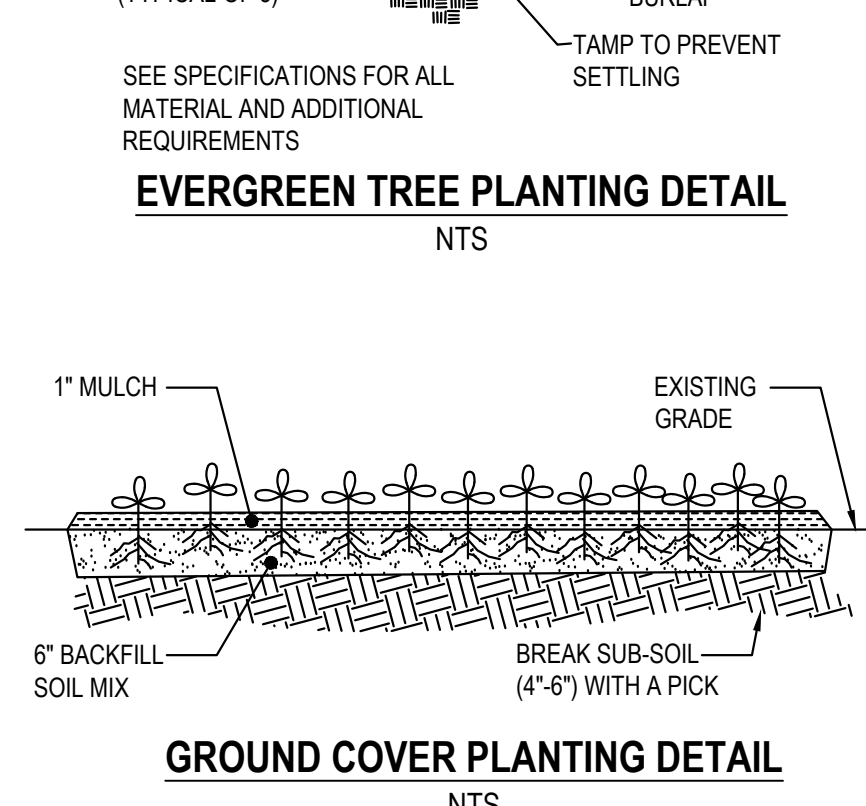
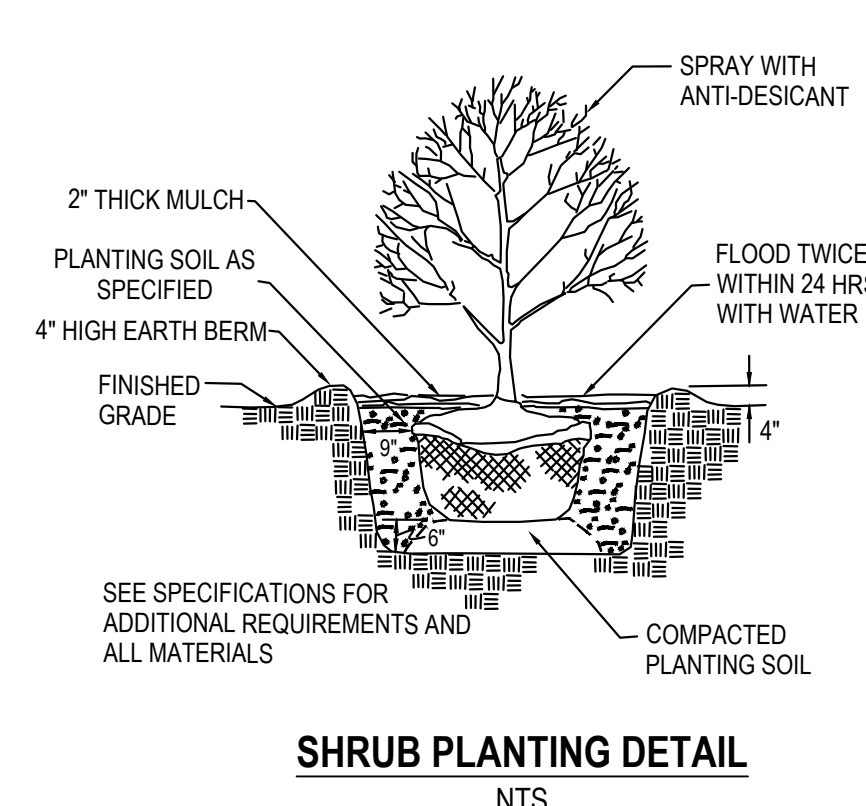
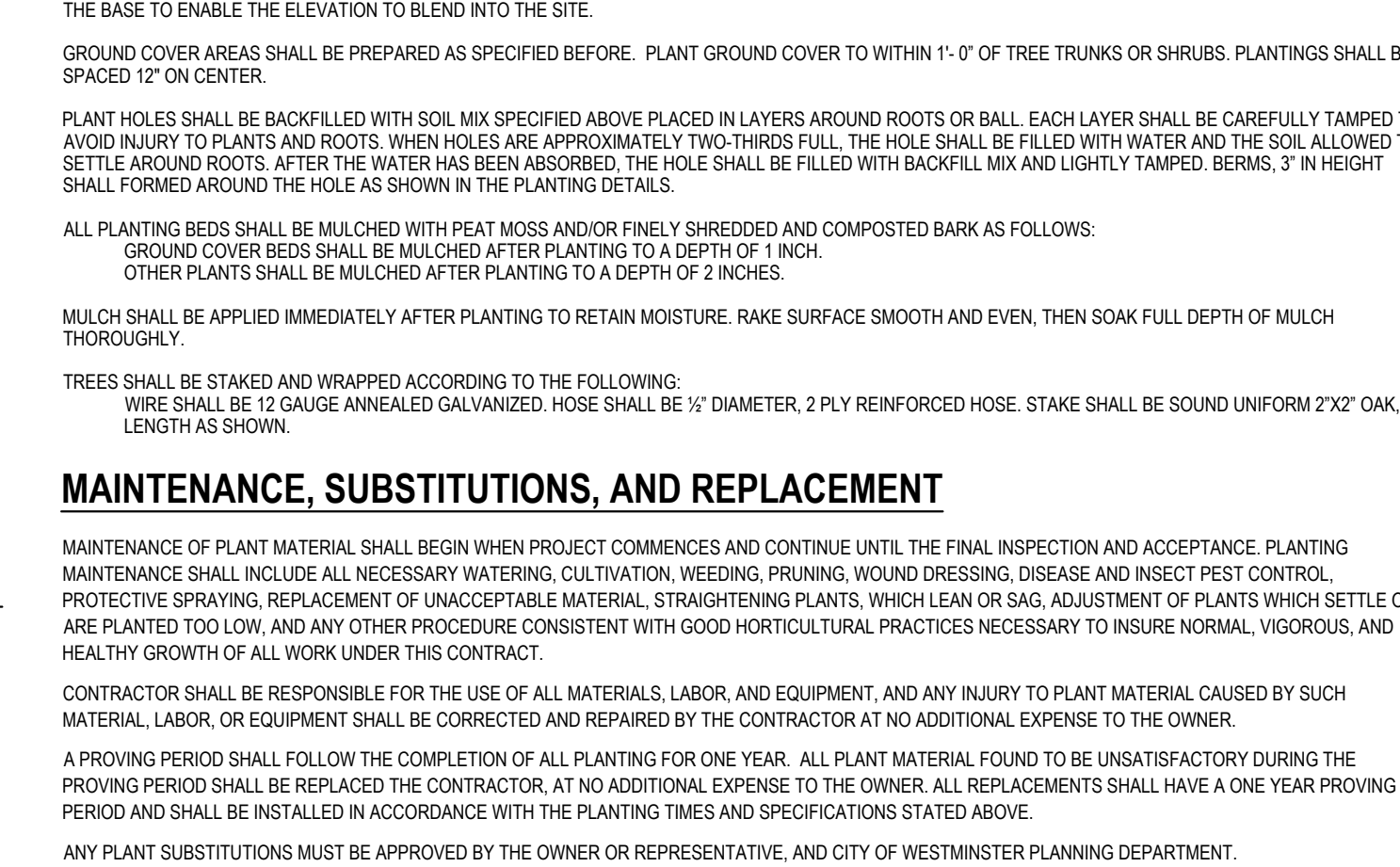
PLANT HOLES SHALL BE BACKFILLED WITH SOIL MIX SPECIFIED ABOVE PLACED IN LAYERS AROUND ROOTS OR BALL. EACH LAYER SHALL BE CAREFULLY TAMPED TO AVOID INJURY TO PLANTS AND ROOTS. WHEN HOLES ARE APPROXIMATELY TWO-THIRDS FULL, THE HOLE SHALL BE FILLED WITH WATER AND THE SOIL ALLOWED TO SETTLE AROUND ROOTS. AFTER THE WATER HAS BEEN ABSORBED, THE HOLE SHALL BE FILLED WITH BACKFILL MIX AND LIGHTLY TAMPED. BERMS, 3" IN HEIGHT SHALL FORMED AROUND THE HOLE AS SHOWN IN THE PLANTING DETAILS.

ALL PLANTING BEDS SHALL BE MULCHED WITH PEAT MOSS AND/OR FINELY SHREDDED AND COMPOSTED BARK AS FOLLOWS:
GROUND COVER BEDS SHALL BE MULCHED AFTER PLANTING TO A DEPTH OF 1 INCH.
OTHER PLANTS SHALL BE MULCHED AFTER PLANTING TO A DEPTH OF 2 INCHES.

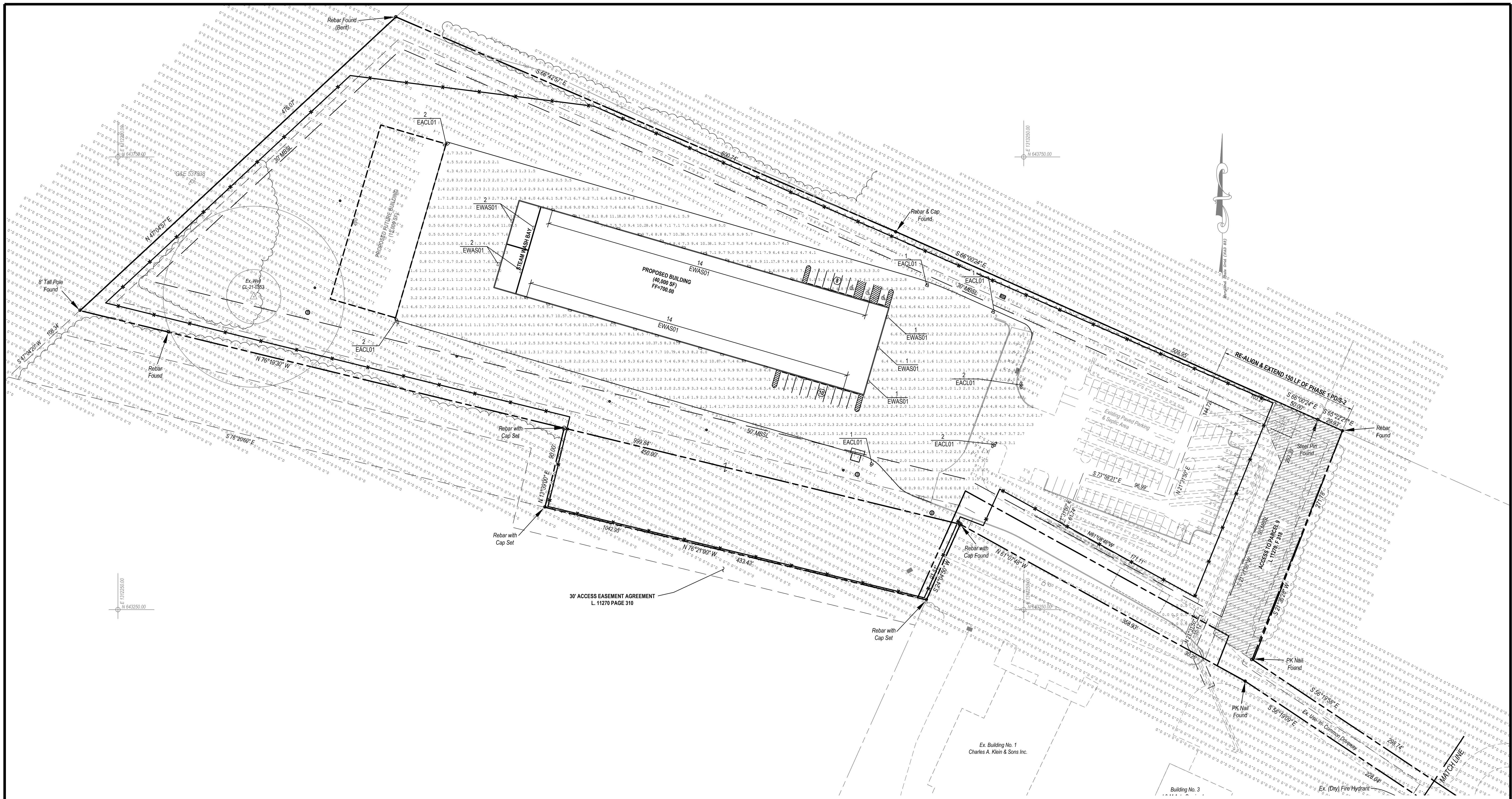
MULCH SHALL BE APPLIED IMMEDIATELY AFTER PLANTING TO RETAIN MOISTURE, RAKE SURFACE SMOOTH AND EVEN, THEN SOAK FULL DEPTH OF MULCH THOROUGHLY.

TREES SHALL BE STAKED AND WRAPPED ACCORDING TO THE FOLLOWING:
WIRE SHALL BE 12 GAUGE ANNEALED GALVANIZED. HOSE SHALL BE 1/2" DIAMETER, 2 PLY REINFORCED HOSE. STAKE SHALL BE SOUND UNIFORM 2"x2" OAK, LENGTH AS SHOWN.

EVERGREEN TREE PLANTING DETAIL



OWNER / DEVELOPER		LANDSCAPE PLAN & DETAILS	
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULEVARD DUNDALK, MD 2122 410-285-0600		LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)	
TAX MAP - 68 GRID - 13 PARCEL - 470		Surveyed By BPR Computed By AEH / EDA Drawn By JWF / EDA Checked By RAP	
BPR, LLC Job No. 23-1212		Landscape Architect Signature _____ Date _____	
Date: November 11, 2024 Scale: 1 inch = 50 feet		Carroll County File No. S - 24 - 0022 Sheet 12 of 14	



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CRIC_ZONE Planar	Illuminance	FC	3.78	12.1	0.0	N.A.	N.A.
SPILL LIGHTING	Illuminance	FC	0.11	5.9	0.0	N.A.	N.A.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens
□	11	EASCL01 F4AF740	Single	EASCL01 F4AF740	0.900	15000
□	35	EWAS01 E4AF740	Single	EWAS01 E4AF740	0.900	12200

OWNER / DEVELOPER		PHOTOMETRIC PLAN	
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULEVARD DUNDALK, MD 2122 410-285-0600		LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)	
		TAX MAP - 66 GRID - 13 PARCEL - 470	
DATE		REVISIONS	BY
BPR, LLC Job No. 23-1212		Scale: 1 inch = 50 feet	
Date: November 11, 2024		Sheet 13 of 14	

BPR LLC
LAND SURVEYING & CIVIL ENGINEERING

150 Airport Drive, Suite 4
Westminster, Maryland 21157
410 - 857 - 9030
INFO@BPRSURVEYING.COM

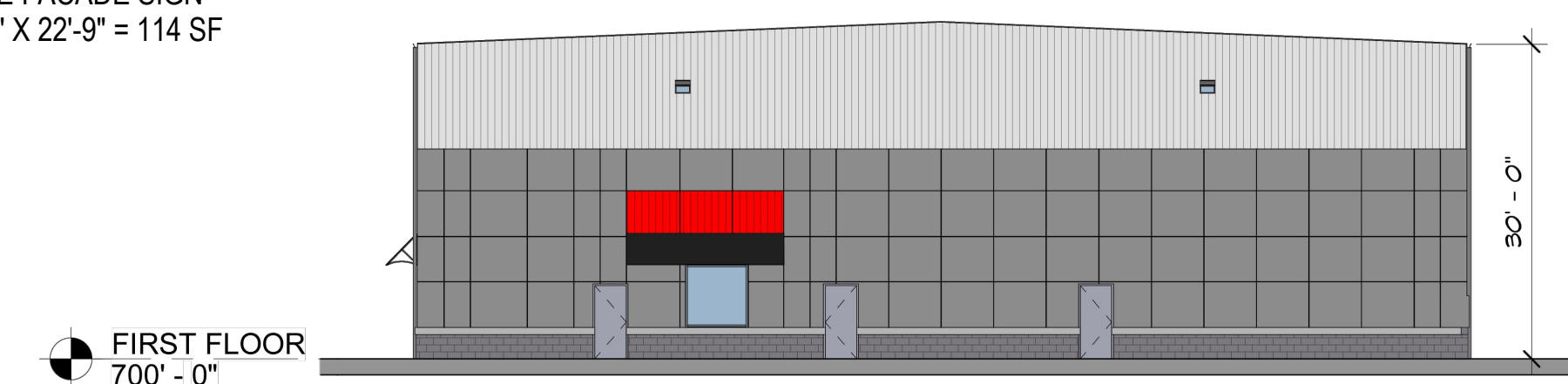
Carroll County File No. S - 24 - 0022

SIGNAGE NOTE
FRONT FACADE SIGN
4'-0" X 43'-9" = 175 SF

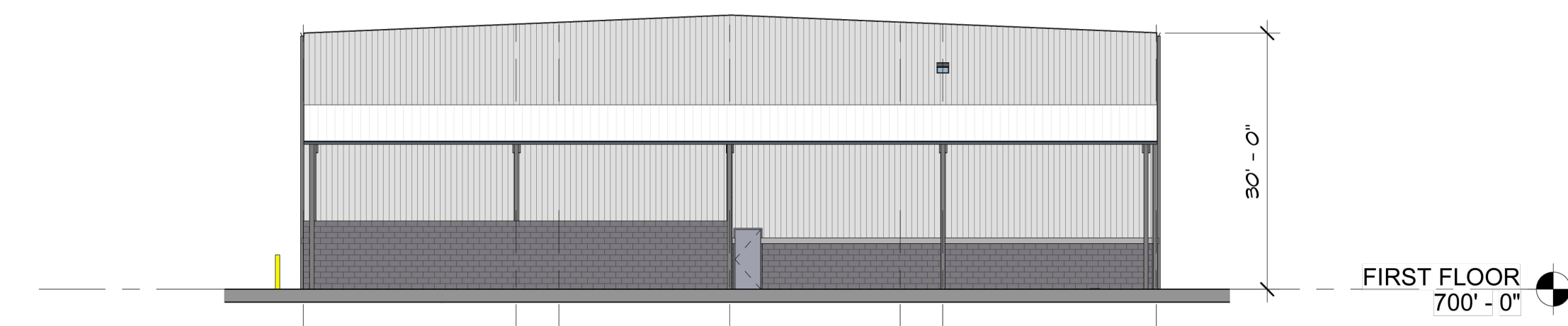


1	SOUTH ELEVATION
SCALE: 1/16" = 1'-0"	A1

SIGNAGE NOTE
SIDE FACADE SIGN
5'-0" X 22'-9" = 114 SF



2	EAST ELEVATION
SCALE: 1/16" = 1'-0"	A1



3	WEST ELEVATION
SCALE: 1/16" = 1'-0"	A1



4	NORTH ELEVATION
SCALE: 1/16" = 1'-0"	A1

OWNER / DEVELOPER		BUILDING ELEVATIONS																								
5214 KLEE MILL ROAD, LLC 925 MERRITT BOULVARD DUNDALK, MD 2122 410-285-0600		LOT 3B, SECTION ONE ALL ROADS TRUCK BODIES (FORMERLY KLEIN'S WAREHOUSE FACILITY)																								
		TAX MAP - 68 GRID - 13 PARCEL - 470																								
<table border="1"> <tr><td>DATE</td><td>REVISIONS</td><td>BY</td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>		DATE	REVISIONS	BY													<table border="1"> <tr><td>Surveyed By</td><td>BPR</td></tr> <tr><td>Computed By</td><td>AEH / EDA</td></tr> <tr><td>Drawn By</td><td>JWF / EDA</td></tr> <tr><td>Checked By</td><td>RAP</td></tr> </table>	Surveyed By	BPR	Computed By	AEH / EDA	Drawn By	JWF / EDA	Checked By	RAP	 BPR LLC LAND SURVEYING & CIVIL ENGINEERING 150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 857 - 9030 INFO@BPRSURVEYING.COM
		DATE	REVISIONS	BY																						
Surveyed By	BPR																									
Computed By	AEH / EDA																									
Drawn By	JWF / EDA																									
Checked By	RAP																									
BPR, LLC Job No. 23-1212		Carroll County File No. S - 24 - 0022																								
Date: November 11, 2024 Scale: Not to Scale																										
		Sheet 14 of 14																								