

2ND AMENDED SITE PLAN OF HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS

CARROLL COUNTY CONTRACT NO. S-448
 BID NO. 71-F-2-22/23

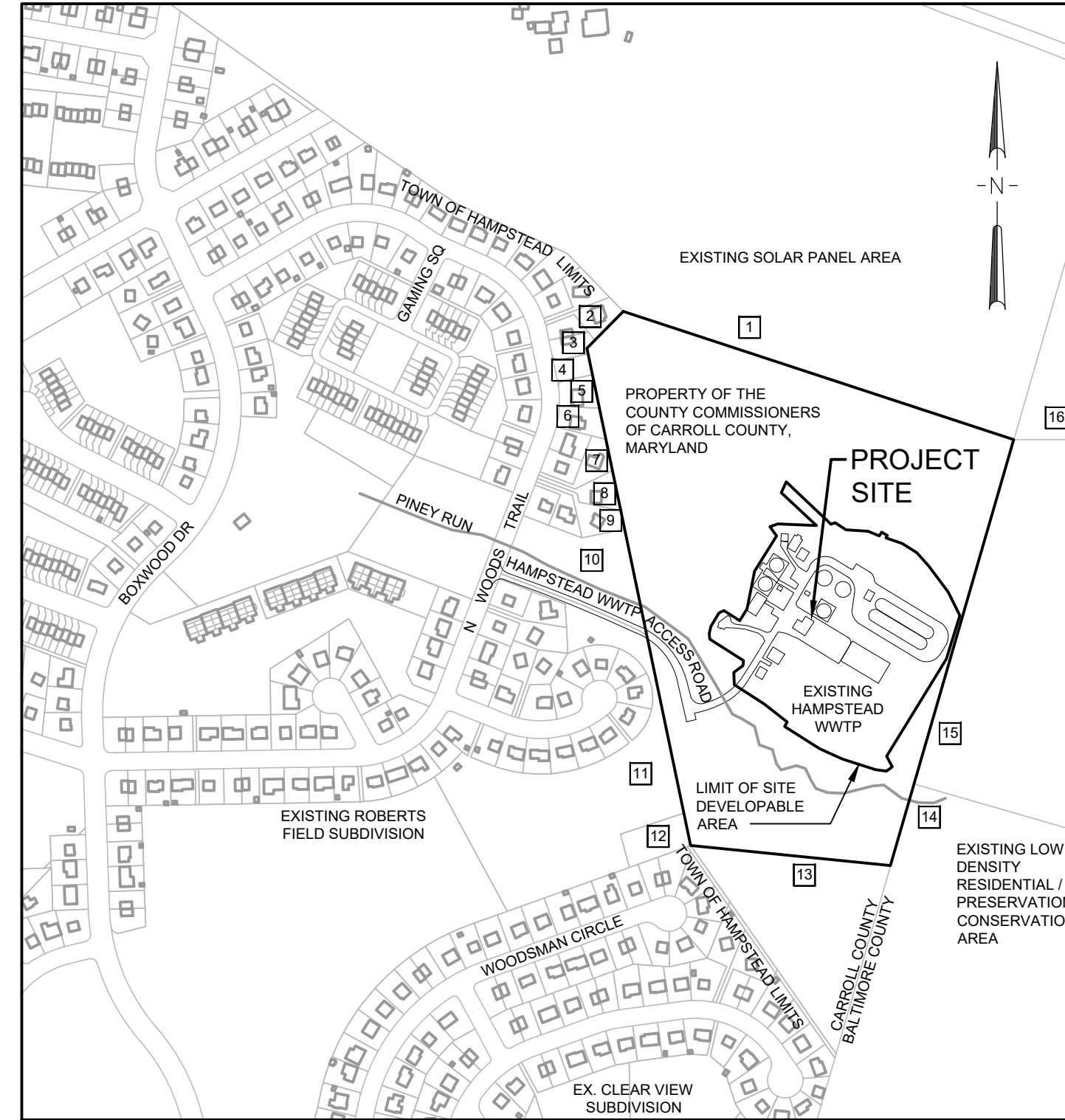
SITE DATA NOTES

- EXISTING ZONING: CONSERVATION.
- EXISTING AND PROPOSED USE: WASTEWATER TREATMENT PLANT (EXEMPT COMMERCIAL).
- TOTAL AREA OF PARCEL: 1,252,350 SQ. FT. OR 28.759 AC.
- TOTAL AREA OF SITE (SITE DEVELOPABLE): 301,713 SQ. FT. OR 6.920 AC.
- TOTAL AREA OF LIMIT OF DISTURBANCE: 7,520 SQ. FT. OR 0.173 AC.
- PROPERTY SHOWN HEREON ARE OWNED BY: THE COUNTY COMMISSIONERS OF CARROLL COUNTY, MARYLAND AND IS RECORDED IN THE LAND RECORDS OF CARROLL COUNTY IN DEED 10876 / 0005, DATED AUGUST 29, 2022. THE TAX ACCOUNT NUMBER FOR THE PARCEL AFFECTED BY THESE PLANS IS 08-001790.
- OWNER ADDRESS: 225 NORTH CENTER STREET, WESTMINSTER, MD 21157.
- PROPERTY PARCEL INFORMATION: TAX MAP 41, BLOCK 10, PARCEL 0058 L.10876 / F.05, TAX ID #08-001790 AND ELECTION DISTRICT 08.
- PROPERTY LOCATION: 4455 NORTH WOODS TRAIL, HAMPSTEAD, MD, 21074.
- DEVELOPER NAME: CARROLL COUNTY BUREAU OF UTILITIES.
- DEVELOPER ADDRESS: 225 NORTH CENTER STREET, WESTMINSTER, MD 21157.
- ADJACENT PROPERTY OWNERS ARE ON THE VICINITY MAP SHOWN ON THIS DRAWING.
- COORDINATES AS SHOWN HEREON ARE REFERENCED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM (83 / 2011) AND ELEVATIONS TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- LOCATION OF EXISTING UTILITIES IS SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR. THE BUREAU OF UTILITIES, CARROLL COUNTY OR THE ENGINEER DO NOT WARRANT OR GUARANTEE THE CORRECTNESS OF THE INFORMATION GIVEN. CONTRACTOR MUST VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES TO THEIR OWN SATISFACTION.
- EXISTING ENVIRONMENTAL FEATURES SUCH AS WETLANDS, WOODED AREAS AND 25% SLOPES ARE NOT PLANNED TO BE EFFECTED. THE SITE AREA IS ABOVE THE 100 YEAR FLOODPLAIN.
- FLOOD MAP INFORMATION: PREMISES IS SHOWN ON MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, CARROLL COUNTY, MD, UNINCORPORATED AREAS, PANEL 100 OF 150, COMMUNITY PANEL 2400150100 B, MAP REVISED AUGUST 7, 1971" AND IS LOCATED IN ZONE C (AREAS OF MINIMAL FLOODING).
- SOUTH HEADWORKS FACILITY LIMIT OF DISTURBANCE IS NOT WITHIN THE MDE TIER II WATERSHED AREA. A WAIVER BY MDE IS NOT REQUIRED.
- PER COORDINATION WITH USFWS, THE FEDERALLY ENDANGERED SPECIES NORTHERN LONG EARED BAT IS POTENTIALLY LOCATED WITHIN THE PROJECT AREA, BUT NO EFFECT TO THE SPECIES IS ANTICIPATED.
- MD DNR WILDLIFE AND HERITAGE SERVICE HAS NO RECORDS OF STATE OR FEDERAL LISTED SPECIES IN THE PROJECT AREA.
- MD HISTORIC TRUST STATED NO HISTORIC PROPERTY WILL BE AFFECTED BY THE PROPOSED PROJECT.
- WATER SERVICE AREA: SITE SERVED BY ONE EXISTING WELL ONSITE, WATERSHED: LOCH RAVEN RESERVOIR (02130805) AND PUBLIC WATER IS NOT AVAILABLE. SEWER SERVICE AREA: SITE SERVED BY WWTP ONSITE, PUBLIC FACILITY.
- THIS SITE DRAINS TO LOCH RAVEN RESERVOIR THROUGH PINEY RUN STREAM, WHICH IS CLASSIFIED A USE III-P.
- THIS SITE IS LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- LANDSCAPE: NO PLANNED IMPACTS AND NO PLANNED IMPROVEMENTS.
- FOREST CONSERVATION: NONE OF THE EXISTING FOREST ON SITE WILL BE CUT, CLEARED, OR GRADED FOR THE PROPOSED USE; AND ALL OF THE FOREST IN THE NET TRACT AREA WILL BE RETAINED AND PROTECTED BY THE FOREST CONSERVATION EASEMENT.
- STORM WATER MANAGEMENT: REFER TO SWM DRAWINGS AND SUBMITTED SWM REPORT.
- BUILDING HEIGHT: PERMITTED: 35 FT. MAX. PROPOSED < 35 FT.
- ALL NEW BUILDINGS WILL BE FOR EQUIPMENT AND PLANT OPERATIONS ONLY AND CONSIDERED AS NON-OCCUPIED SPACES.
- THERE WILL NOT BE ANY NEW PROPOSED LIGHTING OR SIGNAGE IMPROVEMENTS.
- THERE WILL BE NO ANTICIPATED NEW EMPLOYEES AS A RESULT OF THE PLANT IMPROVEMENTS.
- THERE WILL BE NO ANTICIPATED INCREASE IN VEHICLE TRIP GENERATION ON SITE AS A RESULT OF THE PLANT IMPROVEMENTS. THE ADDITIONAL PAVEMENT ADDED AROUND THE EXISTING HANDICAP PARKING SPACE IS FOR TRUCK TURN AROUND ACCESS. ONLY SINCE ACCESS TO SLUDGE PRESS BUILDING WAS REVISED WITH THE PROPOSED EXPANSION OF BUILDING.
- EXISTING PARKING SPACES ARE 7 INCLUDING 1 HDPC. PLANT PARKING SPACE REQUIRED 1 PER 1.5 EMPLOYEES ON A MAXIMUM SHIFT. NO PLANNED FOR ADDITIONAL PARKING SPACES OR ADDITIONAL EMPLOYEES.
- NO PLANNED PROPOSED UTILITY SERVICES FROM VERIZON, BGE, ALLEGHENY POWER.

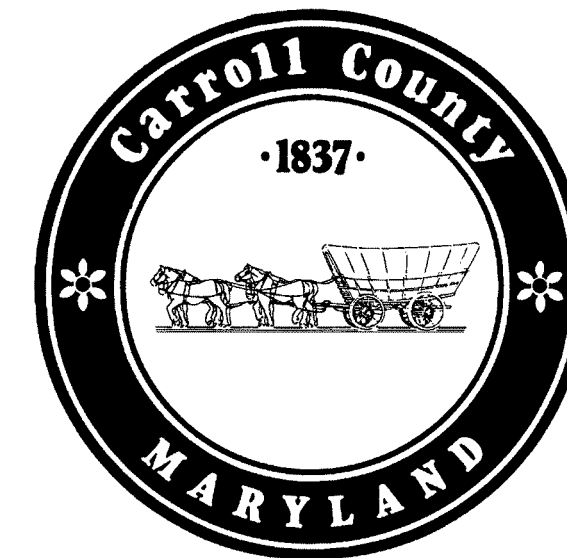
ADJACENT PROPERTY OWNERS									
ID NUMBER	OWNER NAME	PREMISES ADDRESS	TAX MAP	PARCEL	TAX ID NUMBER	DEED REF	RECORD PLAT REF. NO	LOT NO	COUNTY
1	THOMAS E. COLE	4505 BLACK ROCK RD	0041	0039	003181	5657/024	N/A	N/A	CARROLL
2	KAREN R. & GREGORY L. MON SR.	901 HACKLE DR	0503	0742	053510	1370/33	35-20/19	241	CARROLL
3	LISA M. & RONALD B. MALECKI	4513 NORTH WOODS TRL	0503	0742	053537	1377/472	35-20/19	243	CARROLL
4	ROSEMARY CLARE & JOSE SAINZ	NORTH WOODS TRL	0503	0742	431690	1804/146	35-20/19	PAR D	CARROLL
5	ROSEMARY CLARE & JOSE SAINZ	4511 NORTH WOODS TRL	0503	0742	053545	1364/35	35-20/19	244	CARROLL
6	CHRISTINE COUGHENOUR & DENNIS STRAWDERMAN JR.	4509 NORTH WOODS TRL	0503	0742	053553	8785/95	35-20/19	245	CARROLL
7	SUSAN E. & JEFFREY E. LEUTNER	802 DECOY DR	0503	0742	053596	1397/347	35-20/19	248	CARROLL
8	DIANE A. & WAYNE A. WILSON	800 DECOY DR	0503	0742	053618	2729/619	35-20/19	249	CARROLL
9	STEPHEN UITHOVEN	801 DECOY DR	0503	0742	053626	6154/108	35-20/19	250	CARROLL
10	FIELDS HOMEOWNERS ASSOC INC	OPEN SPACE	0503	0742	053774	1327/713	35-21/19	PAR C	CARROLL
11	FIELDS HOMEOWNERS ASSOC INC	OPEN SPACE	0503	0742	050783	1225/458	33-76/77	PAR A	CARROLL
12	TOWN OF HAMPSTEAD	OPEN SPACE	0503	0742	070016	4490/399	33-73/75	P A1	CARROLL
13	LINDA & FLOYD E. TALIAFERRO	BLK ROCK & TRENTON MILL RD	0041	0059	000190	10571/455	N/A	N/A	CARROLL
14	LINDA & FLOYD E. TALIAFERRO	TRENTON MILL RD	0019	0012	2300002053	46092/490	70/31	2	BALTIMORE
15	WILLIAM A. MCDANIEL JR.	5015 BLACK ROAD RD	0019	0012	2300002054	24506/00388	70/31	3	BALTIMORE
16	DIANE C. & THOMAS E. COLE	4505 BLACK ROCK RD	0019	0011	0503048050	34905/174	N/A	N/A	BALTIMORE

ALL PROPERTIES ARE LOCATED IN THE TOWN OF HAMPSTEAD, MD 21074; EXCEPT ID NUMBERS 13 & 14 WHICH ARE IN UPPERCO, MD 21155

☐ DESIGNATES ADJACENT PROPERTY ID NUMBER



VICINITY MAP
1"=400'



CARROLL COUNTY, MARYLAND

DEPARTMENT OF PUBLIC WORKS
 BRYAN BOKEY
 DIRECTOR

OWNERS CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE.

NAME: _____ DATE: _____

CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY: _____ DATE: _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING

BY: _____ DATE: _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES

BY: _____ DATE: _____

CARROLL COUNTY HEALTH DEPARTMENT

BY: _____ DATE: _____

DRAWING INDEX

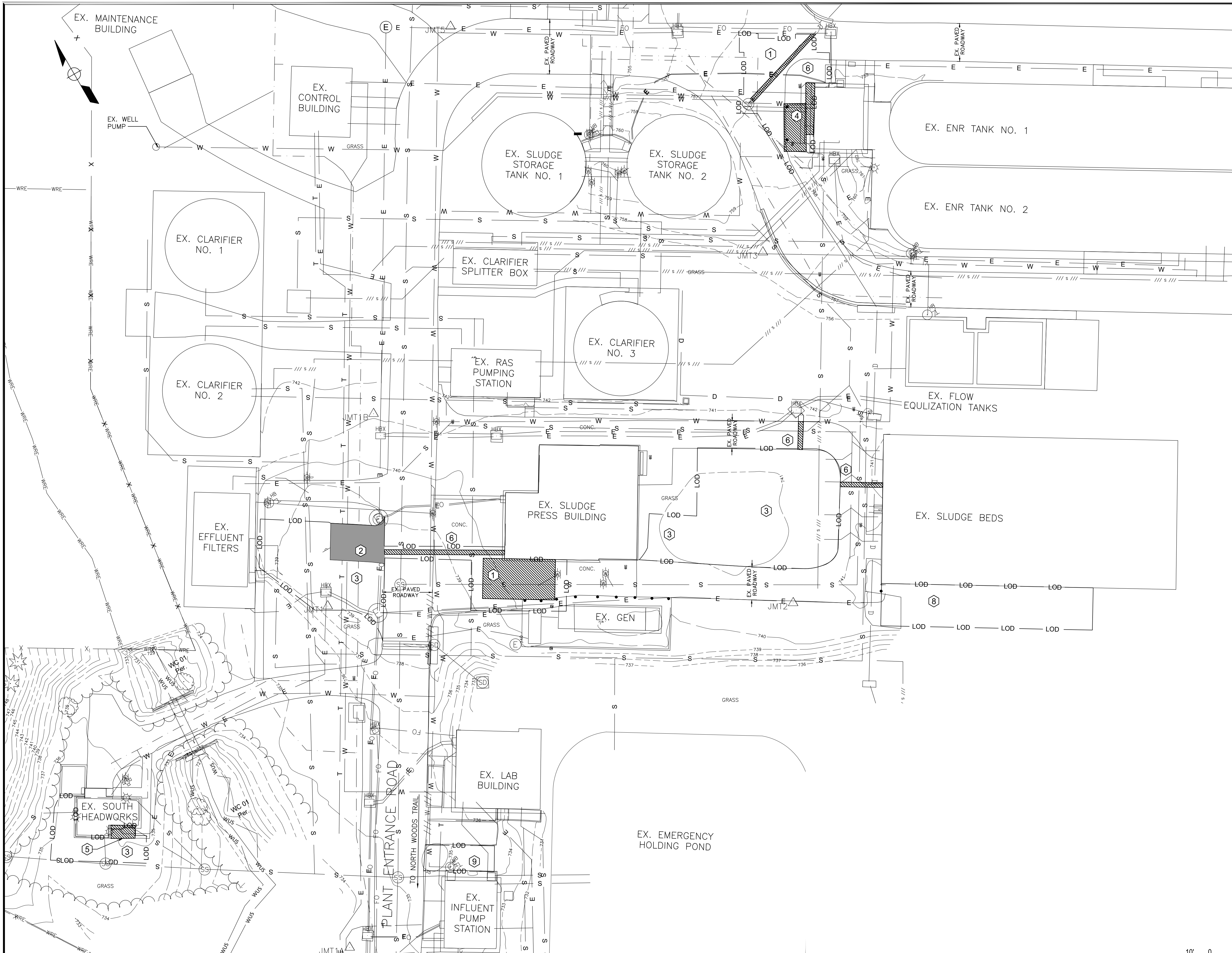
- COVER SHEET
- GENERAL NOTES
- EXISTING CONDITIONS PLAN AND SITE DEMOLITION PLAN
- PROPOSED SITE PLAN
- EROSION AND SEDIMENT CONTROL NOTES
- EROSION AND SEDIMENT CONTROL NOTES
- EROSION AND SEDIMENT CONTROL DETAILS
- MAINTENANCE OF TRAFFIC NOTES AND DETAILS
- STORMWATER MANAGEMENT DRAINAGE AREA MAP -- PROPOSED CONDITIONS
- WATER QUALITY MAP
- STORMWATER MANAGEMENT PLAN
- DRAINAGE PROFILE & DETAILS
- SOUTH HEADWORKS STRUCTURE - MECHANICAL/STRUCTURAL
- INFLUENT PUMP STATION - MECHANICAL/STRUCTURAL
- SLUDGE PRESS FACILITY - ELEVATIONS
- SLUDGE PRESS FACILITY - ELEVATIONS
- SLUDGE PRESS FACILITY - RENDERING VIEWS
- PAC STORAGE & METERING FACILITY - ELEVATIONS
- PAC STORAGE & METERING FACILITY - RENDERING VIEWS
- STORAGE & MAINTENANCE FACILITY - ELEVATIONS
- STORAGE & MAINTENANCE FACILITY - RENDERING VIEWS

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. _____
 EXPIRATION DATE _____

REV. NO.	DATE	REVISION	BY

<p>40 WIGHT AVENUE HUNT VALLEY, MD 21030 410-329-3100 www.jmt.com</p>	OWNER / DEVELOPER / APPLICANT CARROLL COUNTY COMMISSIONERS BUREAU OF UTILITIES 225 NORTH CENTER STREET WESTMINSTER, MD 21157	HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS	TITLE SHEET	DESIGNED: SEA DRAWN: DJC CHECKED: SEA	SCALE: AS SHOWN DRAWING NO. 1 OF 21	SHEET NO. SD-1
				CONCEPT SITE DEVELOPMENT PLAN JULY 18, 2024		
				JMT		

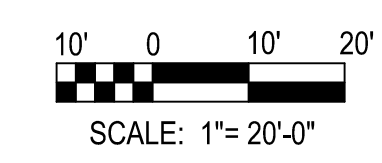


- SHEET NOTES**
- REFER TO "SEDIMENT AND EROSION CONTROL GENERAL NOTES" ON DRAWING NO. SD-5 FOR GENERAL INFORMATION
 - CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH PROPOSED WORK. SEE PROPOSED SITE PLAN AND DRAWINGS FOR OTHER DISCIPLINES.
 - REFER TO DEMOLITION NOTES ON DRAWING NO. SD-2.

- DEMOLITION FOR SITE IMPROVEMENTS**
- SAW CUT AND REMOVE EXISTING PAVEMENT FOR PROPOSED FEATURES.
 - SAW CUT EXISTING PAVEMENT FOR EXTENSION OF PROPOSED BITUMINOUS PAVEMENT.
 - REMOVE SOD AND EARTH FOR PROPOSED PAVEMENT.
 - REMOVE EXISTING CONCRETE SIDEWALK AND EXISTING CONCRETE TANK PAD.
 - REMOVE EXISTING CONCRETE SIDEWALK AND EXISTING BUILDING FEATURES.
 - SAW CUT AND REMOVE EXISTING PAVEMENT FOR PROPOSED UTILITY.
 - REMOVE SOD AND EARTH FOR PROPOSED BUILDING FEATURES.
 - REMOVE EXISTING GRAVEL
 - REMOVE EXISTING YARD HYDRANT

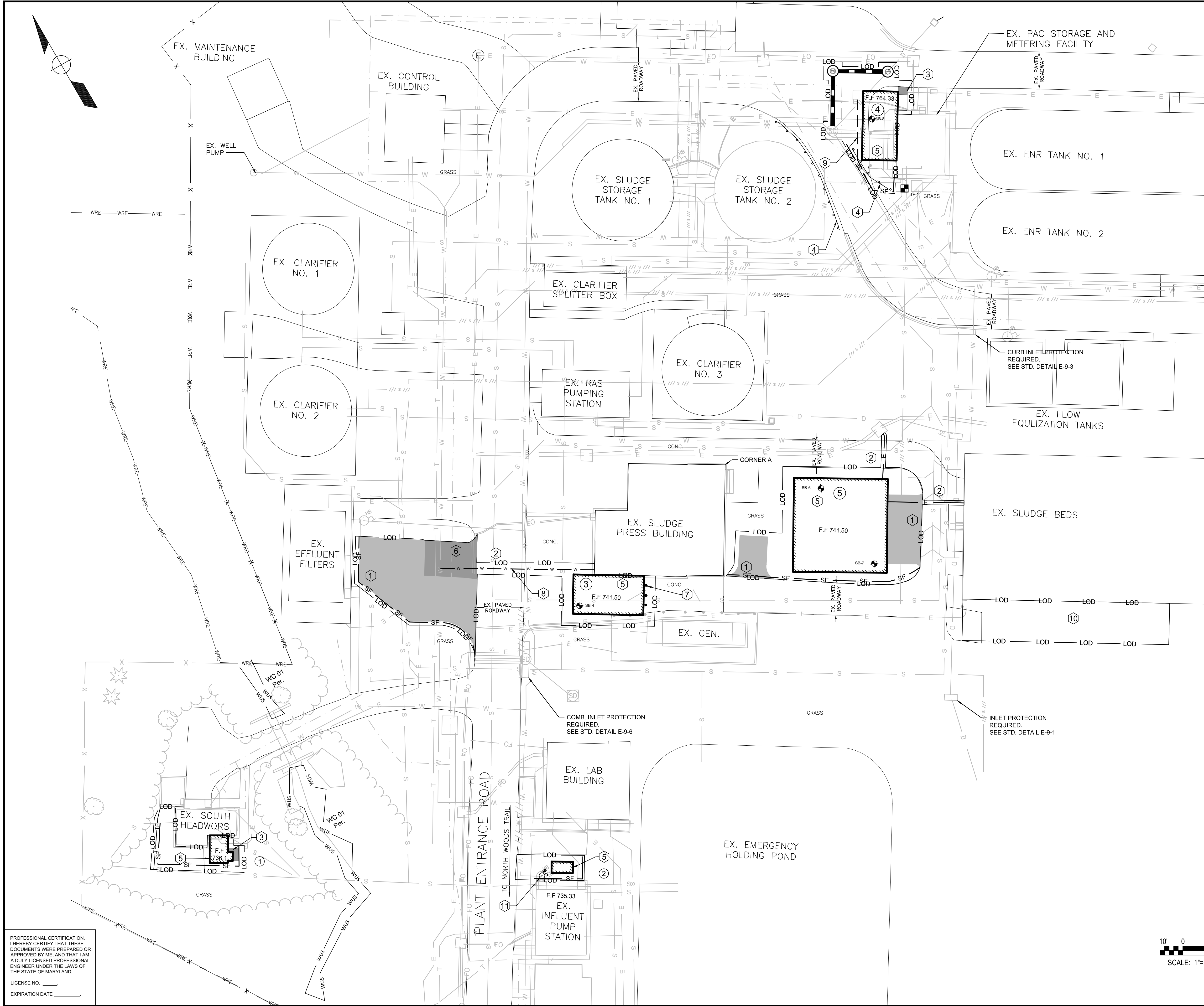
LEGEND

- DEMOLITION**
- EX. PAVED ROADWAYS INCLUDING SIDEWALKS/STAIRS TO BE REMOVED (STONE SUB-BASE TO REMAIN)
 - EX. 15" RCP D (TBR) (TBA)
 - EX. STORM DRAIN TO BE REMOVED OR ABANDONED
 - (TBR) / (TBA)
 - TO BE REMOVED/ABANDONED LABEL
 - LOD
 - LIMIT OF DISTURBANCE
- EXISTING**
- SB-##
 - SOIL BORING (SB-## & AB-##)
 - TH-##
 - TEST HOLE
 - 200
 - CONTOUR (MAJOR)
 - 199
 - CONTOUR (MINOR)
 - X
 - CHAIN LINK FENCE
 - TREELINE
 - WRE
 - WATER RESOURCE EASEMENT
 - ROAD SIGN
 - WM
 - WATER SERVICE METER
 - W
 - WATER MAIN W/ FIRE HYDRANT & VALVE
 - SS
 - SANITARY SEWER MAIN AND MANHOLE
 - CO
 - SANITARY SEWER CLEANOUT
 - SD
 - STORM DRAIN MAIN AND MANHOLE
 - T
 - TELEPHONE CABLE (BURIED)
 - CTV
 - CABLE TELEVISION (BURIED)
 - E
 - ELECTRIC CABLE (BURIED)
 - G
 - GAS MAIN
 - FM
 - SANITARY FORCE MAIN
 - POWER POLE WITH GUY WIRE
 - Light Pole
 - Light Pole
 - TEL
 - TELEPHONE CABLE (BURIED)
 - T
 - ELECTRIC TRANSFORMER



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- SHEET NOTES**
- THE PURPOSE OF THIS DESIGN IS TO MAKE NEEDED IMPROVEMENTS TO FIVE AREAS WITHIN THE EXISTING HAMPSTEAD WWTP. AS SHOWN ON THIS PROPOSED SITE PLAN. THE SET OF SITE PLAN DEVELOPMENT DRAWINGS WILL BE PART OF THE COUNTY'S CONTRACT S-488 BID DOCUMENTS FOR THESE IMPROVEMENTS THAT WILL INCLUDING OTHER DISCIPLINES SUCH AS MECHANICAL, ELECTRICAL, STRUCTURAL AND ARCHITECTURAL.
 - REFER TO "SEDIMENT AND EROSION CONTROL GENERAL NOTES" ON DRAWING NO. SD-5 FOR GENERAL INFORMATION
 - THE CONTRACTOR SHALL EITHER PERFORM ALL WORK FROM PAVED SURFACES REACHING INTO THE SITE OR DESIGNATED PIECES OF CONSTRUCTION EQUIPMENT TO STAY WITHIN THE LOD. THIS EQUIPMENT SHALL BE KEPT WITHIN THE LOD UNTIL THE PROPOSED WORK IS COMPLETED AND SHALL HAVE TREADS/TIRES CLEANED PRIOR TO LEAVING THE LOD SO AS TO NOT TRACK SOIL ONTO PUBLIC STREETS. ALL MATERIAL REMOVAL/LOAD OUT SHALL BE LIFTED FROM LOD.
 - THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE STREAM/FOREST BUFFER OR OTHER FOREST RETENTION AREAS, EXCEPT AS PERMITTED BY THE COUNTY.
 - HIGH VISIBILITY FENCE MUST BE INSTALLED ALONG THE STREAM/FOREST BUFFER OR OTHER FOREST RETENTION AREAS, WHEREVER THE LIMIT OF DISTURBANCE IS WITHIN 50' OF THOSE AREAS.

- PROPOSED FACILITIES**
- SOUTH HEADWORKS FACILITY
 - INFLUENT PUMP STATION
 - SLUDGE PRESS FACILITY AND TRUCK TURNAROUND
 - PAC STORAGE AND METERING FACILITY
 - MAINTENANCE AND STORAGE FACILITY

- PROPOSED IMPROVEMENTS (SEE CIVIL DETAIL SHEETS)**
- PAVEMENT (FULL DEPTH).
 - PAVEMENT UTILITY TRENCH REPAIR.
 - CONCRETE SIDEWALK.
 - TRAFFIC BARRIER W-BEAM PLACEMENT.
 - CONCRETE SLAB OR BUILDING, SEE STRUCTURAL PLAN.
 - HANDICAP PARKING SPACE, STRIPING AND SIGN.
 - BOLLARDS (TYP. OF 3).
 - 2" WATER SERVICE FOR NEW SLUDGE PRESS BUILDING.
 - 4-INCH DRAIN PIPE FOR NEW PAC BUILDING.
 - 4 INCHES OF TOPSOIL, SEEDING, AND MULCH.
 - 2" YARD HYDRANT.

LEGEND

- PROPOSED**
- PROPOSED GUARDRAIL
 - E— PROPOSED UNDERGROUND ELECTRIC
 - M— PROPOSED SANITARY VALVE
 - O— PROPOSED WATER HOSE CONNECTION
 - PROPOSED ELECTRIC MANHOLE
 - LOD— LIMITS OF DISTURBANCE
 - PROPOSED WATER
 - - - - PROP. STORM DRAIN
 - - - - PROP. BUILDING DRAIN
 - TF— PROP. TREE PROTECTION FENCE
 - SF— PROP. SILT FENCE

SITE LOCATION	ADDITIONAL IMPERVIOUS (SF)	LIMIT OF DISTURBANCE (SF)
1	78.6	652.5
2	46.6	327.4
3	1286.2	2999.3
4	245.4	1507.8
5	2360.5	5141.9
TOTAL	4017.3	10628.9

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LICENSE NO. _____
EXPIRATION DATE _____

10' 0 10' 20'
SCALE: 1"=20'-0"

JUNE 2024

REV. NO.	DATE	REVISION	BY

40 WIGHT AVENUE | HUNT VALLEY, MD 21030
410-329-3100 | www.jmt.com

CONTRACT NO. S-448

HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS

PROPOSED SITE PLAN

DESIGNED:	SCALE	DRAWING	SHEET NO.
SEA	AS SHOWN	NO. _____	SD-4
DRAWN:		OF _____	
DJC			
CHECKED:			
SEA			

SEDIMENT AND EROSION CONTROL GENERAL NOTES

- 1. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION IN ASSOCIATION WITH THE NATURAL RESOURCES CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS (REFERENCED AS THE 2011 STANDARDS AND SPECS).
2. AREAS THAT HAVE BEEN CLEARED AND/OR GRADED, BUT WILL NOT BE CONSTRUCTED ON OR PERMANENTLY VEGETATED FOR MORE THAN 7 DAYS (3 DAYS FOR SEDIMENT CONTROL MEASURES AND FOR STEEP SLOPES) MUST BE STABILIZED WITH MULCH OR TEMPORARY STABILIZATION. ANY AREAS THAT ARE IN TEMPORARY VEGETATION FOR OVER 6 MONTHS WILL NEED TO BE PERMANENTLY VEGETATED.
3. FOR SPECIFICATIONS ON PERMANENT OR TEMPORARY STABILIZATION, SEE B-4.4 AND B-4.5.
4. MULCHING ONLY IS RESTRICTED TO USE ON DISTURBED AREAS AS A TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING GERMINATION CANNOT BE COMPLETED BECAUSE OF WEATHER CONDITIONS. FOR SPECIFICATIONS SEE B-4.3, A.1.B
5. FOR SPECIFICATIONS ON THE STABILIZATION OF CUT AND FILL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL, SEE INCREMENTAL STABILIZATION B-4.1
6. THE EXISTING TOPSOIL FROM ON OR OFF SITE THAT IS USED MUST MEET THE MINIMUM SPECIFICATION IN B-4.2
7. THE REQUIRED SEQUENCE OF CONSTRUCTION MUST BE FOLLOWED DURING SITE DEVELOPMENT. ANY CHANGES IN THE SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
8. ANY REVISIONS TO THE SEDIMENT CONTROL PLAN, NOT COVERED UNDER THE LIST OF PLAN MODIFICATIONS THAT CAN BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR, NEED TO BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR APPROVAL.
9. NO PROPOSED SLOPE THAT IS REQUIRED TO BE SEEDED AND/OR MULCHED SHALL BE STEEPER THAN 2:1. SLOPES STEEPER THAN 2:1 SHALL REQUIRE AN ENGINEERED DESIGN FOR STABILIZATION
10. ALL SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL AND WILL BE REPAIRED, AS NEEDED, SO THAT THE STRUCTURE MEETS THE MINIMUM SPECIFICATIONS AS SHOWN IN THE 2011 STANDARDS AND SPECS.
11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED.
12. THE DISTRICT APPROVAL FOR THIS SEDIMENT CONTROL PLAN IS GOOD FOR 2 YEARS. AT THE END OF 2 YEARS, IF CONSTRUCTION OF THE PLAN HAS NOT STARTED, THE PLAN WILL NEED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR REVIEW AND RE-APPROVAL. ANY PLANS THAT ARE CURRENTLY UNDER CONSTRUCTION AFTER 2 YEARS MAY BE REQUIRED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT BY THE SEDIMENT CONTROL INSPECTOR.
13. INSTALL REINFORCED SILT FENCE DOWNSTREAM OF THE WORK AS REQUIRED
14. EQUIPMENT AND METAL/WOOD MATERIALS MAY BE PLACED IN TEMPORARY STAGING AREAS. NO LOOSE MATERIAL INCLUDING DIRT, SOIL, OR STONE SHALL BE PLACED IN THIS AREA
15. IF THE CONTRACTOR DETERMINES THAT THE STAGING AREA IS NOT SUFFICIENT IN SIZE, THE CONTRACTOR CAN INVESTIGATE OTHER LOCATIONS AND ACQUIRE NECESSARY PERMITS. ANY DAMAGE TO EXISTING PAVEMENT, CURB, AND GUTTER, ETC. SHALL BE REPAIRED BY THE CONTRACTOR AT THE END OF CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
16. ANY DAMAGE TO EXISTING PAVEMENT, CURB, AND GUTTER, AND SIDEWALK OUTSIDE THE LOD SHALL BE REPAIRED BY THE CONTRACTOR AT THE END OF CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
17. IF THE CONTRACTOR CANNOT PLACE A STABILIZED CONSTRUCTION ENTRANCE ONSITE, ALL EQUIPMENT WHEELS AND TRACKS MUST BE WASHED BEFORE EXITING THE LOD. SEDIMENT RESULTING FROM WASHING ACTIVITIES SHALL BE SAFELY DISPOSED OF.
18. FENCING SHALL BE PLACED AT THE DRIP LINE OF TREES TO BE PROTECTED DURING CONSTRUCTION EXCEPT ON THE SIDE OF UTILITY TRENCHING. FENCING SHALL NOT BE PLACED CLOSER TO THE TREE THAN 1/2 THE TOTAL DISTANCE FROM THE TREE TO THE LIMITS OF THE TREE'S DRIP LINE. THIS SPACE IS TO ACCOMMODATE TRENCHING ONLY AND NOT TO ALLOW ADDITIONAL WORKING SPACE.

EXISTING UTILITIES

THE UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION AND GUIDANCE ONLY. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THE INFORMATION SHOWN.

UTILITY CONSTRUCTION NOTE

FOR ALL UTILITY CONSTRUCTION BEYOND SEDIMENT AND EROSION CONTROL MEASURES, ONLY THAT WHICH CAN BE COMPLETED AND STABILIZED AT THE END OF EACH DAY SHALL BE DONE.

MAINTENANCE OF SEDIMENT CONTROL

THE CONTRACTOR SHALL, WITHOUT EXTRA COST TO THE PROJECT, REPAIR AND MAINTAIN EXISTING SEDIMENT CONTROL DEVICES UNTIL ALL AREAS WITHIN LIMITS OF CONSTRUCTION ARE STABILIZED. ALL SEDIMENT CONTROL MEASURES REFERRED TO ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE PUBLICATION ENTITLED "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL".

CONTRACTOR SHALL INSPECT AND MAINTAIN ALL SEDIMENT CONTROLS MEASURES AND DEVICES AT END OF EACH WEEK AND AFTER EVERY STORM EVENT. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO REMOVAL OF ALL ACCUMULATED SEDIMENT. GEOTEXTILE FABRIC SHALL BE REPLACED AS NEEDED TO ENSURE PROPER FUNCTION.

PERMANENT STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE, PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN THE SAME DAY.

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LICENSE NO. _____
EXPIRATION DATE _____

PERMANENT SEEDING NOTES

SCOPE: PLANTING PERMANENT, LONG LIVED VEGETATIVE COVER ON GRADED AND/OR CLEARED AREAS AND AREAS THAT HAVE BEEN IN TEMPORARY VEGETATION FOR MORE THAN 6 MONTHS.

STANDARDS: THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT - WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCE CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS.

THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION B-4.2.

FOR SITES OVER 5 AC. SOIL TESTS WILL BE PERFORMED. SOIL TESTS WILL BE CONDUCTED BY THE UNIVERSITY OF MARYLAND OR A RECOGNIZED COMMERCIAL LABORATORY. MINIMUM SOIL CONDITIONS SHALL MEET THE REQUIREMENTS OF SECTION B-4.2-A.2-A, OTHERWISE SOIL AMENDMENTS OR TOPSOIL WILL NEED TO BE APPLIED. TOPSOILING MAY OCCUR WHEN SOIL CONDITIONS MEET THE MINIMUM REQUIREMENTS AS STATED IN SECTION B-4.2-B. SOIL AMENDMENTS MUST MEET THE REQUIREMENTS AS SET FORTH IN SECTION B-4.2-C AND MUST BE APPLIED AS INDICATED BY THE SOILS TESTS.

FOR SITES OF 5 AC. OR LESS OF DISTURBANCE, THE FOLLOWING FERTILIZER AND LIME RATES SHALL APPLY.
FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT THE FOLLOWING RATES:

N = 45 LB. PER ACRE (1 LB. PER 1000 SQ.FT.) P205 = 90 LB. PER ACRE (2 LB. PER 1000 SQ.FT.) K20 = 90 LB. PER ACRE (2 LB. PER 1000 SQ.FT.)
LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB. PER 1000 SQ.FT.)

SEED TYPE, TURFGRASS OR SOD APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4.5. SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY THE TYPE AND APPLICATION RATE OF SEED USED. MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION B-4.3 A, B AND C, AND WILL BE APPLIED ALONG WITH SEED OR IMMEDIATELY AFTER SEEDING

SEEDING MIXTURES SHALL BE SELECTED FROM OR WILL BE EQUAL TO THOSE ON TABLE B-3. THE SEEDING CHART BELOW WILL NEED TO BE PLACED ON AND FILLED IN ON THE SEDIMENT CONTROL PLAN

PERMANENT SEEDING SUMMARY

Table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), and LIME RATE. Rows include TALL FESCUE, KENTUCKY BLUEGRASS, and PERENNIAL RYEGRASS.

B-3 STANDARDS AND SPECIFICATIONS FOR LAND GRADING

DEFINITION

RESHAPING THE EXISTING LAND SURFACE TO PROVIDE SUITABLE TOPOGRAPHY FOR BUILDING FACILITIES AND OTHER SITE IMPROVEMENTS.

PURPOSE

TO PROVIDE EROSION CONTROL AND VEGETATIVE ESTABLISHMENT FOR EXTREME CHANGES IN GRADE.

CONDITIONS WHERE PRACTICE APPLIES

EARTH DISTURBANCES OR EXTREME GRADE MODIFICATIONS ON STEEP OR LONG SLOPES.

DESIGN CRITERIA

THE GRADING PLAN SHOULD BE BASED ON THE INCORPORATION OF BUILDING DESIGNS AND STREET LAYOUTS THAT FIT AND UTILIZE EXISTING TOPOGRAPHY AND DESIRABLE NATURAL SURROUNDINGS TO AVOID EXTREME GRADE MODIFICATIONS. INFORMATION SUBMITTED MUST PROVIDE SUFFICIENT TOPOGRAPHIC SURVEYS AND SOIL INVESTIGATIONS TO DETERMINE LIMITATIONS THAT MUST BE IMPOSED ON THE GRADING OPERATION RELATED TO SOPE STABILITY, ADJACENT PROPERTIES, DRAINAGE PATTERNS, MEASURES FOR WATER REMOVAL, AND VEGETATIVE TREATMENT, ETC.

MANY JURISDICTIONS HAVE REGULATIONS AND DESIGN PROCEDURES ALREADY ESTABLISHED FOR LAND GRADING THAT MUST BE FOLLOWED. THE PLAN MUST SHOW EXISTING AND PROPOSED CONTOURS FOR THE AREA(S) TO BE GRADED INCLUDING PRACTICES FOR EROSION CONTROL, SLOPE STABILIZATION, AND SAFE CONVEYANCE OF RUNOFF (E.G., WATERWAYS, LINED CHANNELS, REVERSE BENCHES, GRADE STABILIZATION STRUCTURES). THE GRADING/CONSTRUCTION PLANS ARE TO INCLUDE THE PHASING OF THESE PRACTICES AND CONSIDERATION OF THE FOLLOWING:

- 1. PROVISIONS TO SAFELY CONVEY SURFACE RUNOFF TO STORM DRAINS, PROTECTED OUTLETS OR STABLE WATER COURSES TO ENSURE THAT SURFACE RUNOFF WILL NOT DAMAGE SLOPES OR OTHER GRADED AREAS.
2. CUT AND FILL SLOPES, STABILIZED WITH GRASSES, NO STEEPER THAN 2:1. (WHERE THE SLOPE IS TO BE MOWED, THE SLOPE SHOULD BE NO STEEPER THAN 3:1, BUT 4:1 IS PREFERRED BECAUSE OF SAFETY FACTORS RELATED TO MOWING STEEP SLOPES.) SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL DESIGN AND STABILIZATION CONSIDERATIONS TO BE SHOWN ON THE PLANS.

SOIL CONSERVATION DISTRICT

The Development Plan is approved for Soil Erosion and Sediment Control by the Soil Conservation District.

Approved _____ Carroll S.C.D./Date

OWNER/DEVELOPER

I certify that this plan of Soil Erosion & Sediment Control will be implemented to the fullest extent, and all structures will be installed to the design and specifications as spelled out in this plan and that any responsible personnel involved in construction of this project will have a certification of attendance at a Department of the Environment approved training program for the control of soil erosion and sediment before beginning the project. I also authorize periodic on-site evaluation by the Carroll Soil Conservation District personnel and cooperating agencies.

Developer _____ Date _____

Printed Name of Developer _____

Developer Company Name _____

Developer Phone Number _____

ENGINEER

I certify that this plan of Sediment Control is designed with my personal knowledge of the site condition and has been designed to the Standards and Specifications adopted by the Carroll Soil Conservation District.

Engineer/Date

- 3. BENCHING PER DETAIL B-3-1 WHENEVER THE VERTICAL INTERVAL (HEIGHT) OF ANY 2:1 SLOPE EXCEEDS 20 FEET; FOR 3:1 SLOPES, WHEN IT EXCEEDS 30 FEET; AND FOR 4:1 SLOPES, WHEN IT EXCEEDS 40 FEET. LOCATE BENCHES TO DIVIDE THE SLOPE FACE AS EQUALLY AS POSSIBLE AND TO CONVEY THE WATER TO A STABLE OUTLET. SOILS, SEEPS, ROCK OUTCROPS, ETC. ARE TO BE TAKEN INTO CONSIDERATION WHEN DESIGNING BENCHES.
A. PROVIDE BENCHES WITH A MINIMUM WIDTH OF SIX FEET FOR EASE OF MAINTENANCE.
B. DESIGN BENCHES WITH A REVERSE SLOPE OF 6:1 OR FLATTER TO THE TOE OF THE UPPER SLOPE AND WITH A MINIMUM OF ONE FOOT IN DEPTH. GRADE THE LONGITUDINAL SLOPE OF THE BENCH BETWEEN 2 PERCENT AND 3 PERCENT, UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS.
C. THE MAXIMUM ALLOWABLE FLOW LENGTH WITHIN A BENCH IS 800 FEET UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS.
4. DIVERSION OF SURFACE WATER FROM THE FACE OF ALL CUT AND FILL SLOPES USING EARTH DIKES OR SWALES. CONVEY SURFACE WATER DOWN SLOPE USING A DESIGNED STRUCTURE, AND:
A. PROTECT THE FACE OF ALL GRADED SLOPES FROM SURFACE RUNOFF UNTIL THEY ARE STABILIZED.
B. DO NOT SUBJECT THE SLOPE'S FACE TO ANY CONCENTRATED FLOW OF SURFACE WATER SUCH AS FROM NATURAL DRAINAGE WAYS, GRADED SWALES, DOWNSPOUTS, ETC.
C. PROTECT THE FACE OF THE SLOPE BY SPECIAL EROSION CONTROL MATERIALS TO INCLUDE, BUT NOT BE LIMITED TO, APPROVED VEGETATIVE STABILIZATION PRACTICES, RIPRAP OR OTHER APPROVED STABILIZATION METHODS.
5. SERRATED SLOPE AS SHOWN IN DETAIL B-3-2. THE STEEPEST ALLOWABLE SLOPE FOR RIPABLE ROCK IS 1.5:1. FOR NON ROCK SURFACES, THE SLOPES ARE TO BE 2:1 OR FLATTER. THESE STEPS WILL WEATHER AND ACT TO HOLD MOISTURE, LIME, FERTILIZER AND SEED THUS PRODUCING A MUCH QUICKER AND LONGER LIVED VEGETATIVE COVER AND BETTER SLOPE STABILIZATION.
6. SUBSURFACE DRAINAGE PROVISIONS. PROVIDE SUBSURFACE DRAINAGE WHERE NECESSARY TO INTERCEPT SEEPAGE THAT WOULD OTHERWISE ADVERSELY AFFECT SLOPE STABILITY OR CREATE EXCESSIVELY WET SITE CONDITIONS.
7. PROXIMITY TO ADJACENT PROPERTY. SLOPES MUST NOT BE CREATED CLOSE TO PROPERTY LINES WITHOUT ADEQUATE PROTECTION AGAINST SEDIMENTATION, EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED DAMAGES.
8. QUALITY OF FILL MATERIAL. FILL MATERIAL MUST BE FREE OF BRUSH, RUBBISH, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIAL. DO NOT PLACE FROZEN MATERIALS IN THE FILL NOR PLACE THE FILL MATERIAL ON A FROZEN FOUNDATION.
9. STABILIZATION. STABILIZE ALL DISTURBED AREAS STRUCTURALLY OR VEGETATIVELY IN COMPLIANCE WITH SECTION B4 STANDARDS AND SPECIFICATIONS FOR STABILIZATION PRACTICES.
MAINTENANCE
THE LINE, GRADE, AND CROSS SECTION OF BENCHING AND SERRATED SLOPES MUST BE MAINTAINED. BENCHES AND SERRATED SLOPES MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

THE LINE, GRADE, AND CROSS SECTION OF BENCHING AND SERRATED SLOPES MUST BE MAINTAINED. BENCHES AND SERRATED SLOPES MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

SEQUENCE OF CONSTRUCTION

- 1. NOTIFY CARROLL COUNTY SEDIMENT CONTROL INSPECTION @ 410-386-2215 AND MISS UTILITY @ 811 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL NOTIFY CARROLL COUNTY DPW SEVEN (7) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY AND HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES AND A REPRESENTATIVE OF CARROLL COUNTY DPW.
3. INSTALL SEDIMENT CONTROLS AS SHOWN ON PLANS. ENSURE THAT ALL WORK AREAS ARE PROTECTED WITH A SEDIMENT CONTROL PRACTICE. THE CONTRACTOR WILL COORDINATE THE SEQUENCE OF CONSTRUCTION WITH THE OWNER.
4. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT THE STABILIZED AREA CONTINUOUSLY MEETS THE APPROPRIATE REQUIREMENTS OF THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. UPON COMPLETION OF THE PROPOSED IMPROVEMENTS, STABILIZE ANY REMAINING DISTURBED AREAS. OR DISTURBANCES CAUSED BY THE REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES OR DEVICES.
6. CONTACT THE CARROLL COUNTY SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVING ANY SEDIMENT CONTROL MEASURES. APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR IS REQUIRED.

SITE INFORMATION:

Table with 2 columns: Description and Value. Rows include: TOTAL SITE AREA (28,759/0.66 Sq. Ft. / Acres), TOTAL DISTURBED AREA (10629/0.24 Sq. Ft. / Acres), *AREA TO BE PAVED (2,940/0.07 Sq. Ft. / Acres), *TOTAL CUT (280 Cu. Yd.), *TOTAL FILL (35 Cu. Yd.), *UTILITY AND TRENCH BUILDING EXCAVATION, **NEW AND REPLACEMENT PAVEMENT

Table with columns: REV. NO., DATE, REVISION, BY, SHEET NO., SD-5

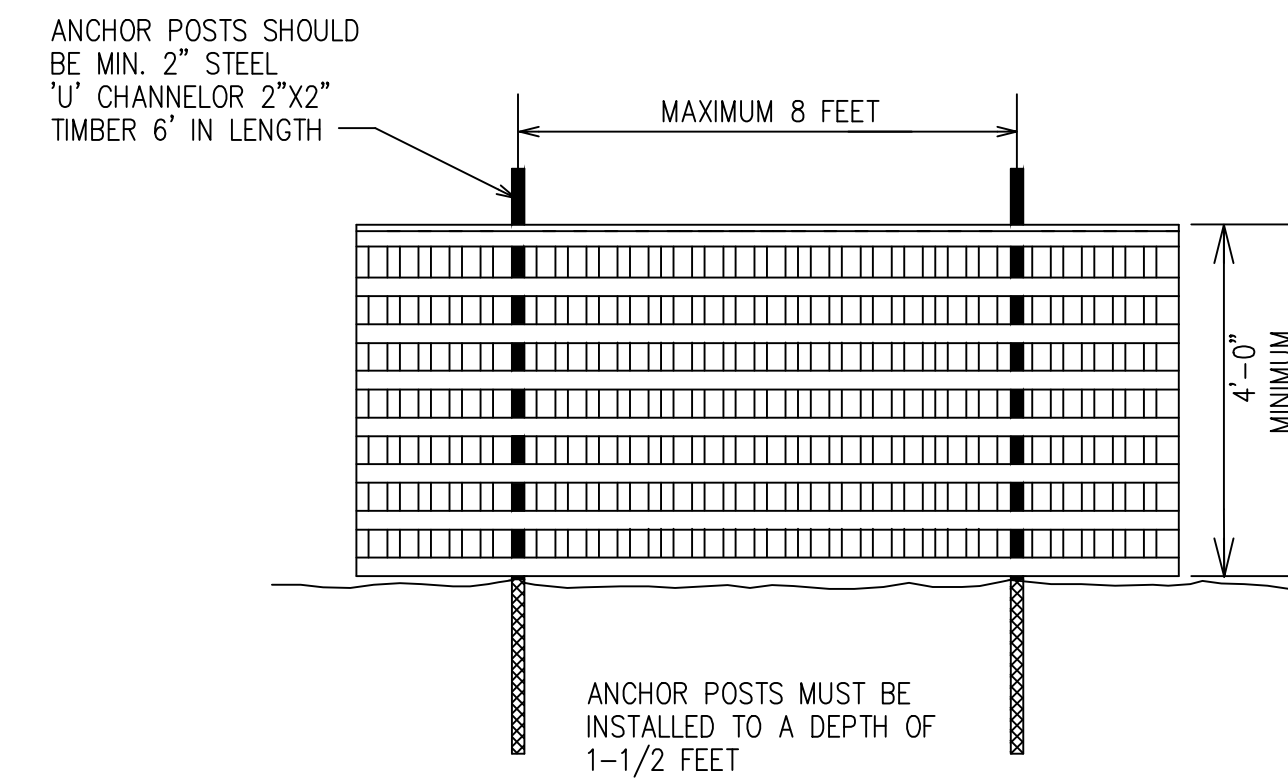
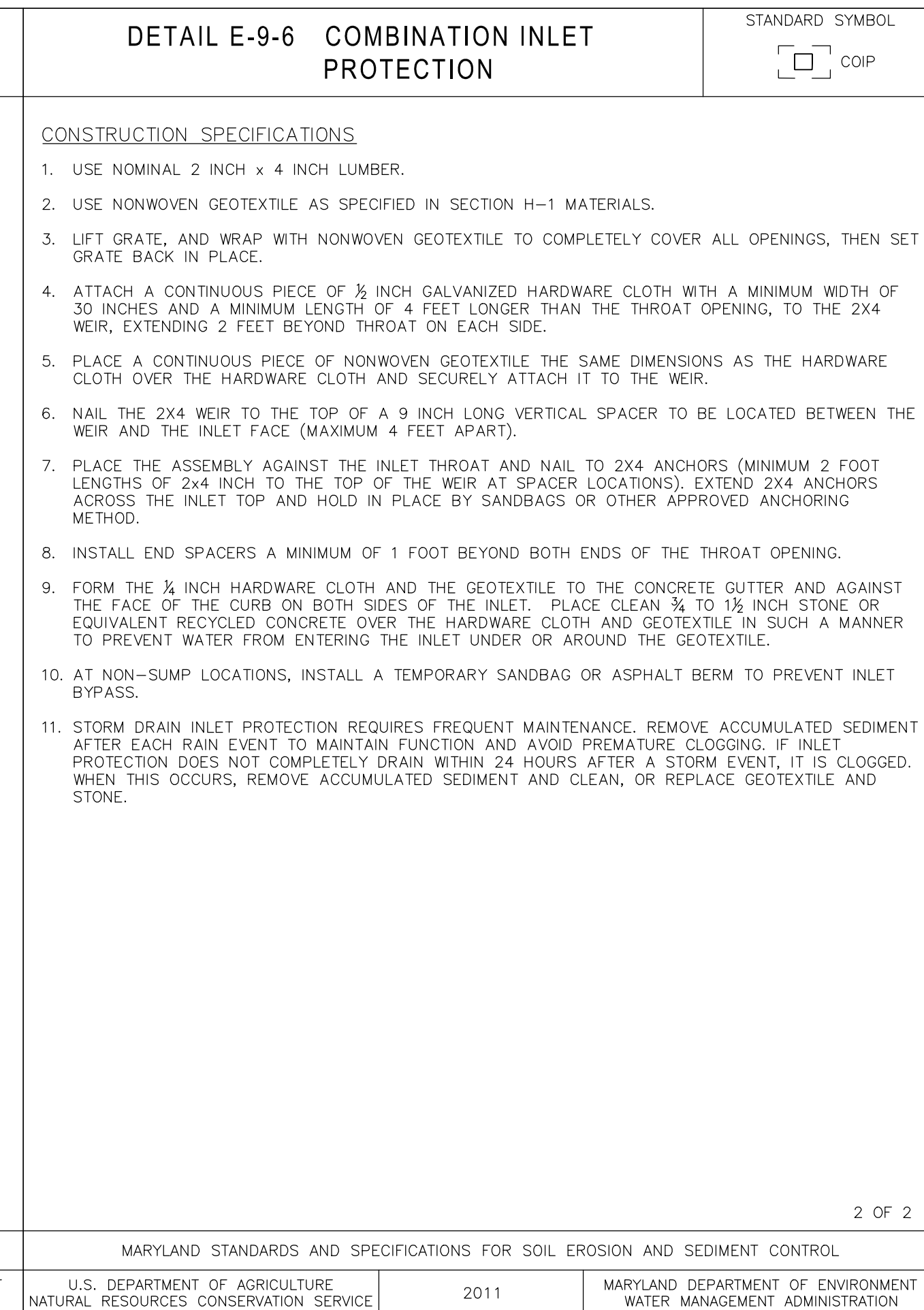
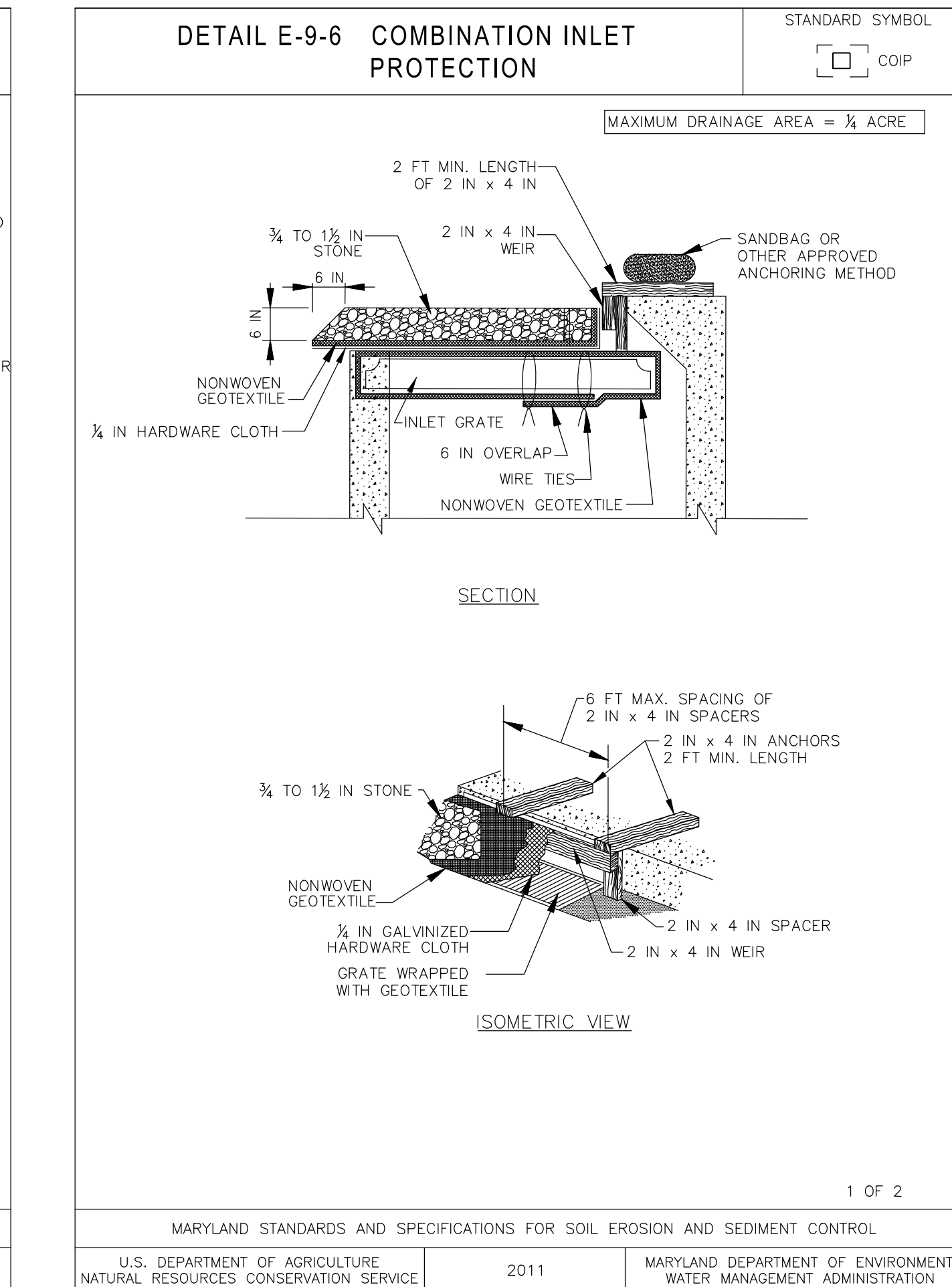
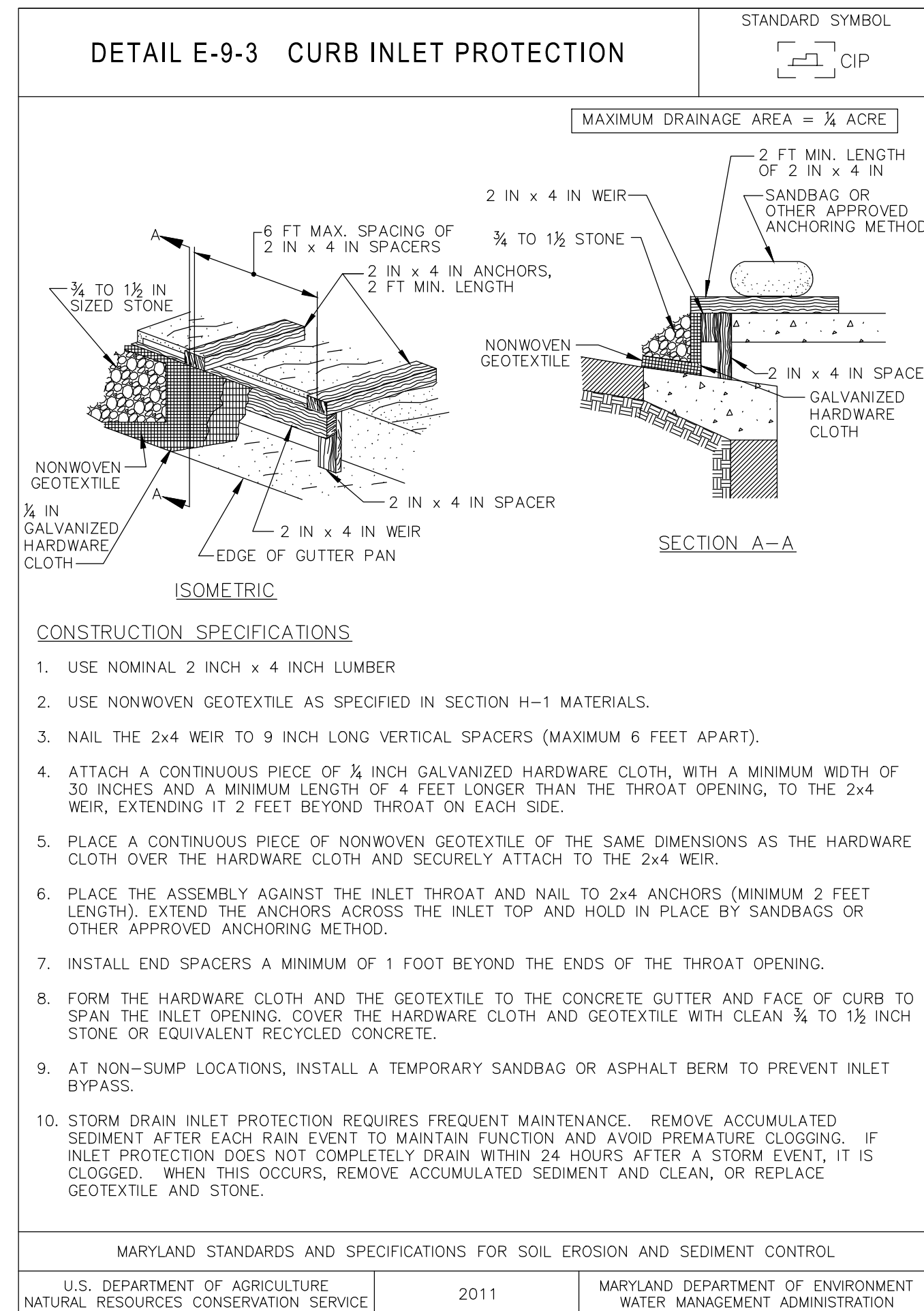
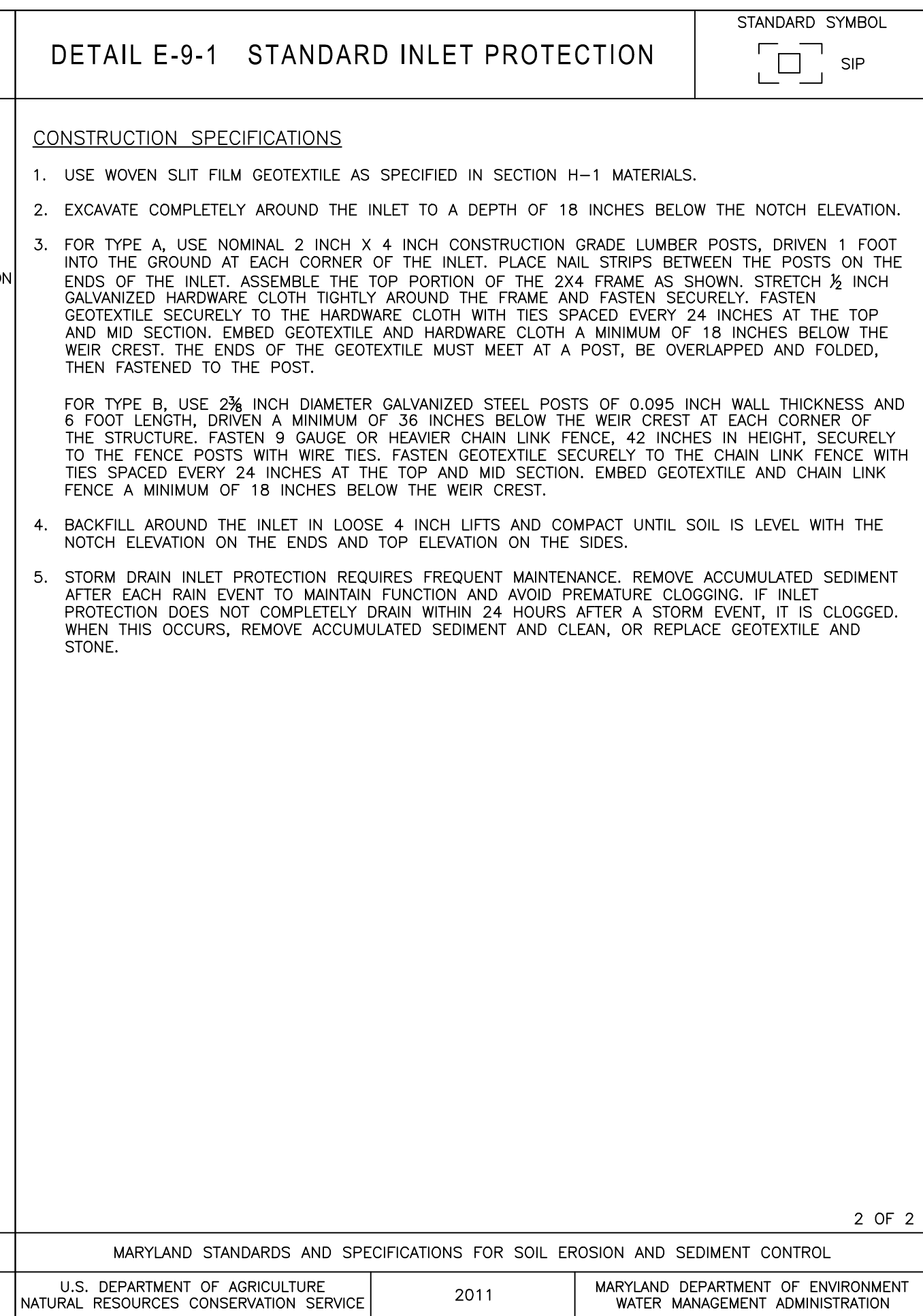
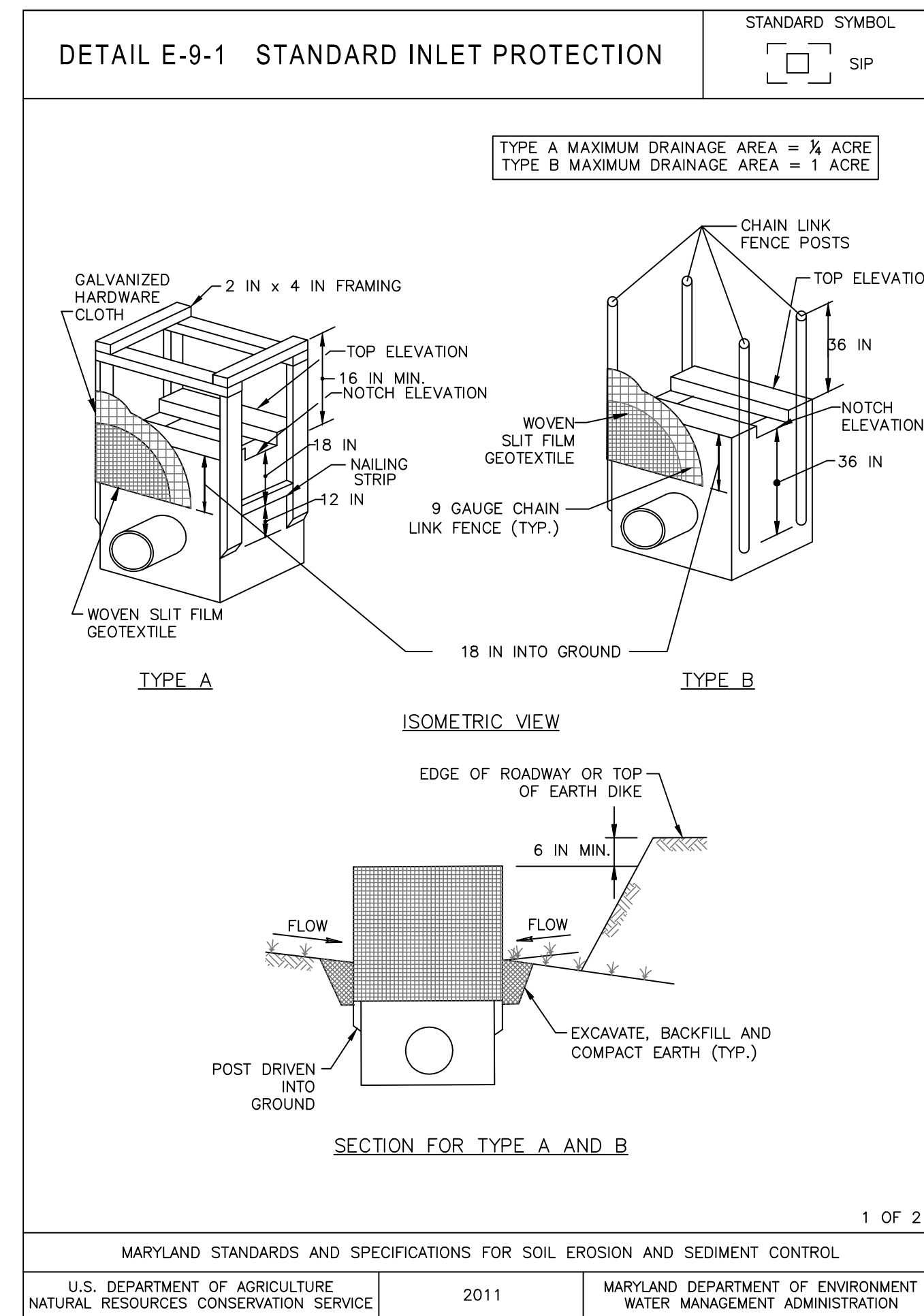
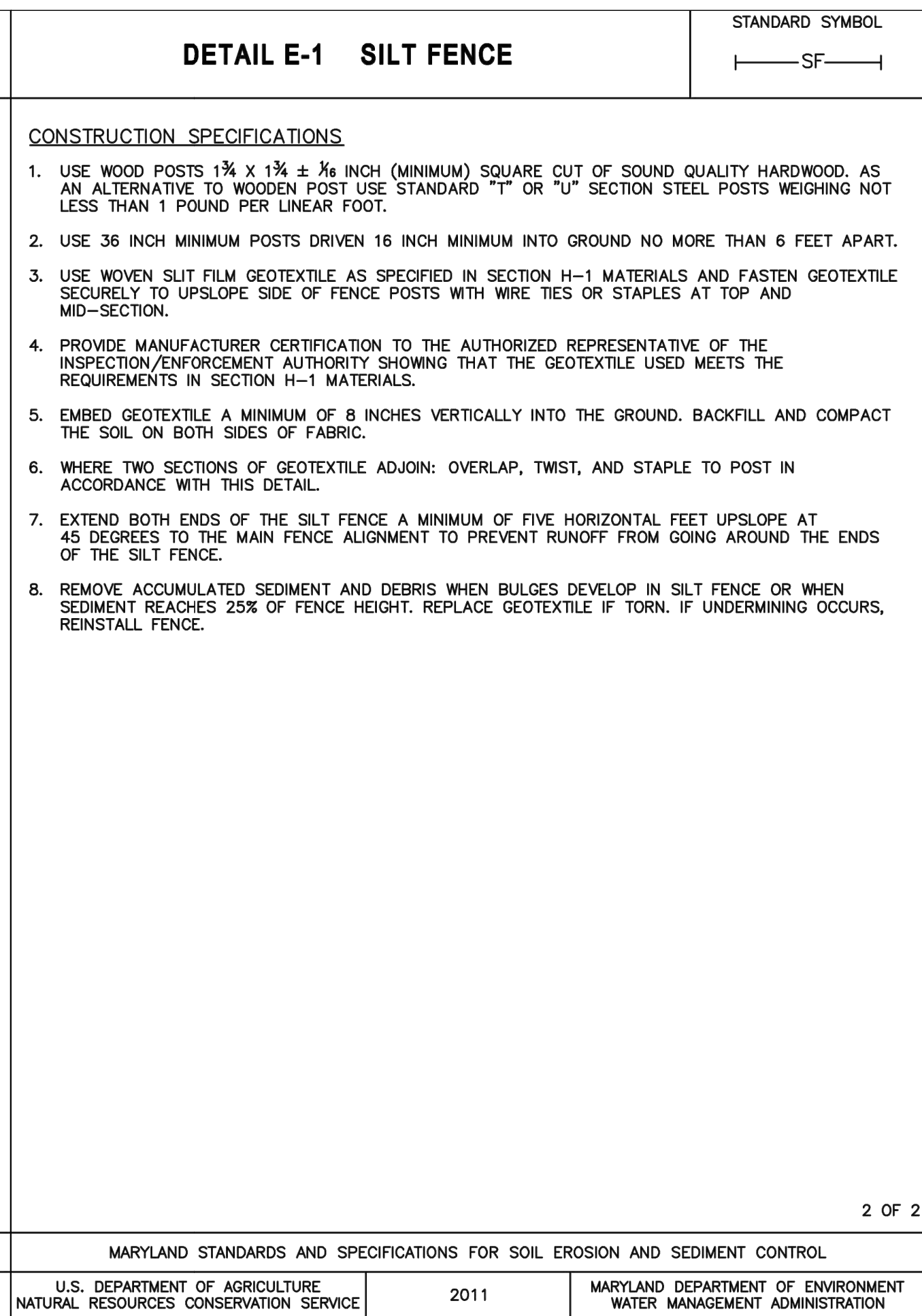
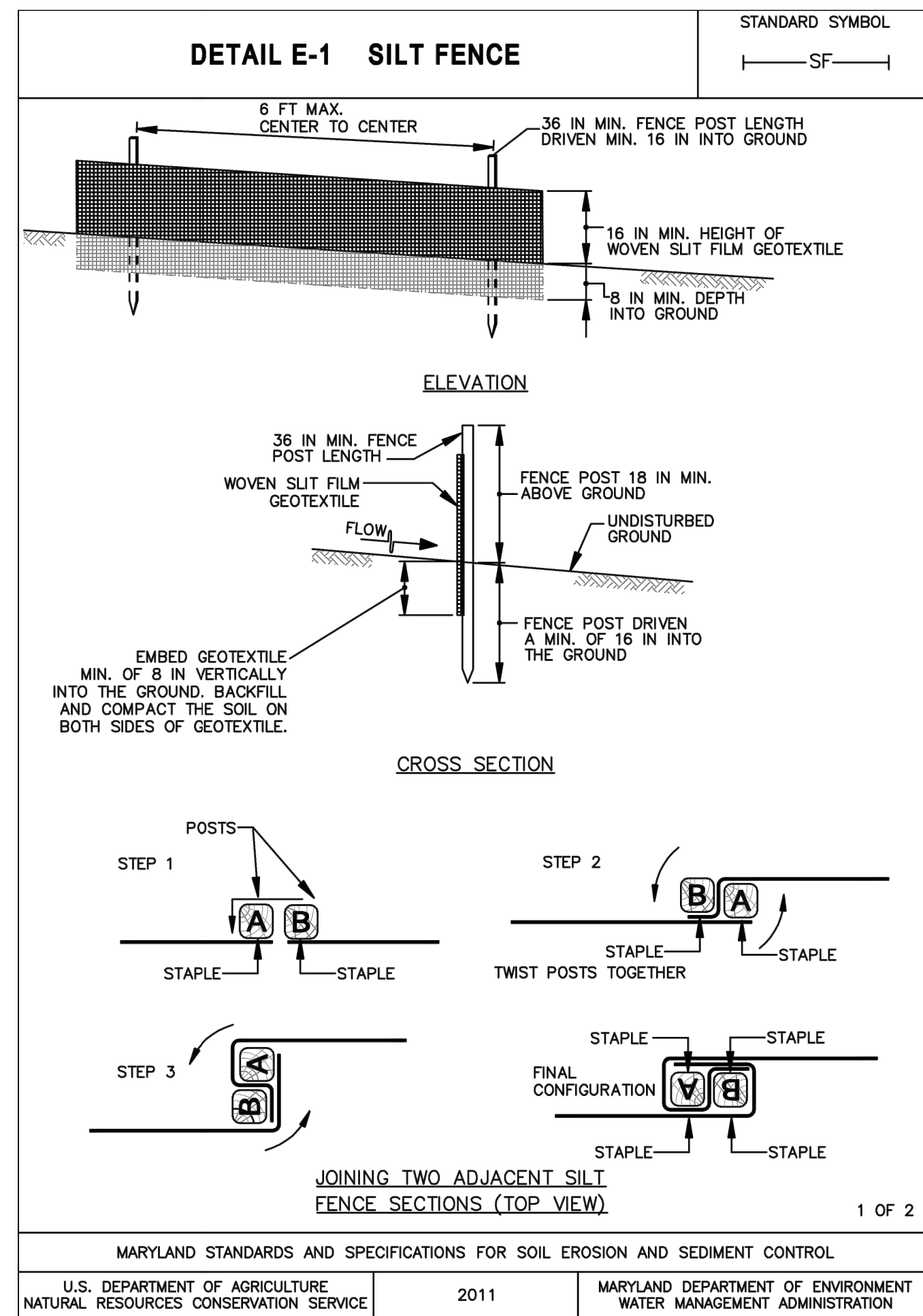
OWNER/DEVELOPER:
CARROLL COUNTY, MD
225 NORTH CENTER STREET
SUITE 221
WESTMINSTER, MD 21157



CONTRACT NO. S-448

HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS

EROSION AND SEDIMENT CONTROL NOTES



TREE PROTECTION FENCE DETAILS
NOT TO SCALE

- NOTES:**
- BLAZE ORANGE MESH FENCE FOREST PROTECTION DEVICE ONLY.
 - BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE. ALL FOREST STANDS BORDERING THE LOD ARE CONSIDERED RETENTION AREAS.
 - INSTALL AT TREE DRIP LINE ANN AVOID DAMAGE TO CRITICAL ROOT ZONE. DO NOT DAMAGE OR SEVER LARGE ROOTS WHEN INSTALLING POSTS.
 - THE DISTANCE EACH SIGN SHALL NOT BE GREATER THAN 100 LF.
 - DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. _____
EXPIRATION DATE _____

REV. NO.	DATE	REVISION	BY
DESIGNED: MAM	SCALE	DRAWING	SHEET NO.
DRAWN: _____	AS SHOWN	NO. _____	SD-7
CHECKED: SOC	OF _____		

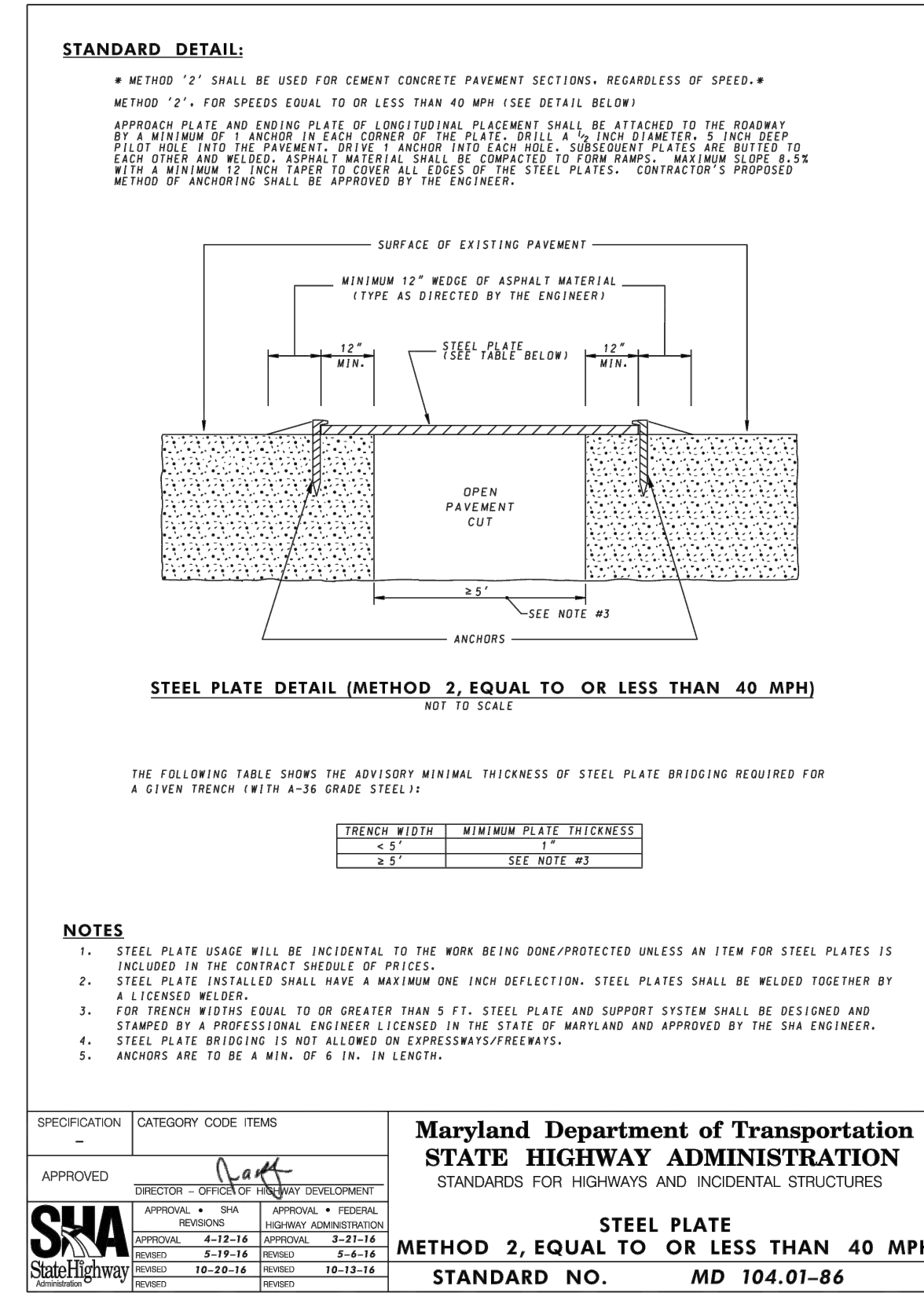


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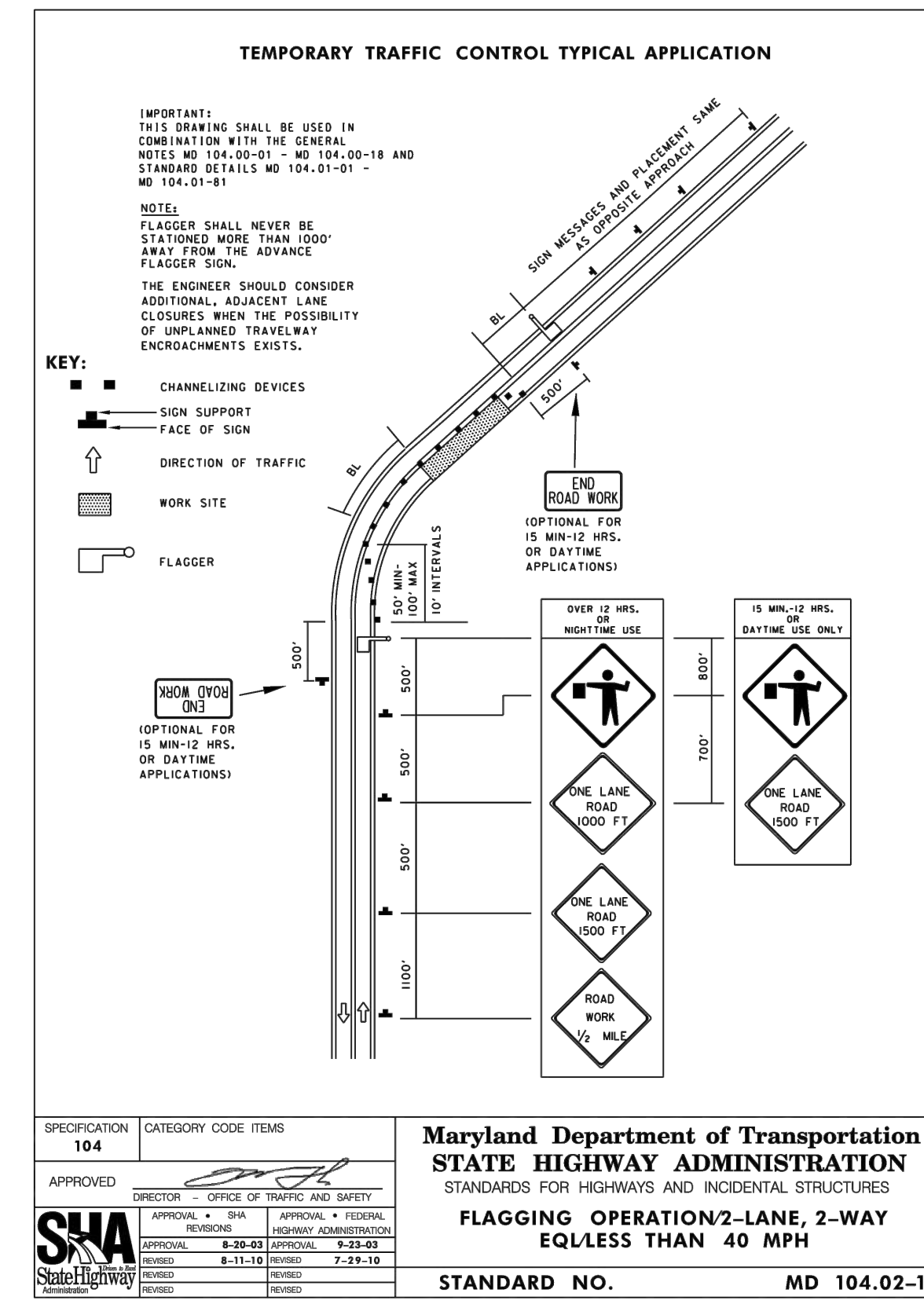
CONTRACT NO. S-448

HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS

EROSION AND SEDIMENT CONTROL DETAILS



MDOT SHA STANDARD DETAIL 104.01-86
 NOT TO SCALE



MDOT SHA STANDARD DETAIL 104.02-10
 NOT TO SCALE

MAINTENANCE OF TRAFFIC NOTES

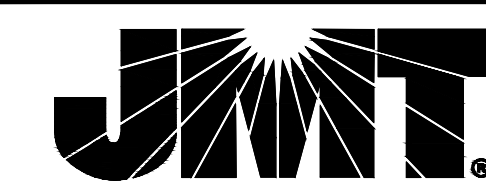
- ALL TRAFFIC CONTROL MEASURES SHALL BE IMPLEMENTED AS SHOWN ON THESE PLANS. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, MSHA BOOK OF STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES, AND MSHA UTILITY PERMIT.
- NO WORK IS TO BEGIN UNTIL ALL ADVANCED WARNING SIGNS, CHANNELIZING DEVICES AND BARRICADES ARE IN PLACE AND OPERATIONAL. AT THE END OF THE WORKING DAY ALL ROADWAYS SHALL BE OPERATIONAL AND ANY OPEN TRENCHES OR WORK AREAS SHALL BE STEEL PLATED (MD 104.01-86) FOR PAVED ROADWAYS OR UNPAVED ROADWAYS SUCH AS SIDEWALKS AND NON-TRAFFIC AREAS TO BE BACK FILLED TO EXISTING GRADE OR INSTALL A PROTECTIVE BARRIER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPLY, INSTALLATION AND MAINTENANCE OF ALL EXISTING TRAFFIC CONTROL DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS TO ALL FACILITY DOORS AND DRIVEWAYS ALONG THE LIMITS OF THE PROJECT AND COORDINATE WORK WITH OWNER AND PLANT PERSONNEL TO MINIMIZE IMPACT TO THEM
- IN GENERAL, THE CONTRACTOR MUST MAINTAIN A MINIMUM OF ONE (1) TEN-FOOT (10') LANE OF TRAFFIC AT ALL TIMES OR PROVIDE A TWO-PERSON FLAGGING OPERATION EQUIPPED WITH STOP/SLOW PADDLES. A TEN-FOOT WIDE LANE OF TRAFFIC SHALL BE OPEN TO TRAFFIC AT THE END OF EACH WORKDAY.

SUGGESTED MAINTENANCE OF TRAFFIC SEQUENCE OF OPERATION

- CONTRACTOR SHALL PROVIDE A TRAFFIC PLAN APPROVED BY CARROLL COUNTY DPW.
- NO WORK IS TO BEGIN UNTIL ALL TEMPORARY SIGNS, BARRICADES AND CHANNELIZING DEVICES ARE IN PLACE AND OPERATIONAL.
- NO ROADWAY OR LANE CLOSURES WILL BE ALLOWED UNLESS APPROVED BY CARROLL COUNTY DPW.
- EXISTING TRAFFIC SHALL BE MAINTAINED AS SHOWN ON DETAILS AND STATED IN NOTES.
- AT THE COMPLETION OF THE DAYS WORK, EXCAVATIONS, AND TRENCHES WILL EITHER BE CLOSED WITH ASPHALT, STEEL PLATED OR PRECAST BARRIERS TO PROTECT OR PREVENT VEHICLES FROM ENTERING.
- ALL DEBRIS SHALL BE REMOVED ON A DAILY BASIS TO MINIMIZE TRAFFIC INTERRUPTIONS.

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LICENSE NO. _____
 EXPIRATION DATE _____



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CONTRACT NO. S-448

HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS

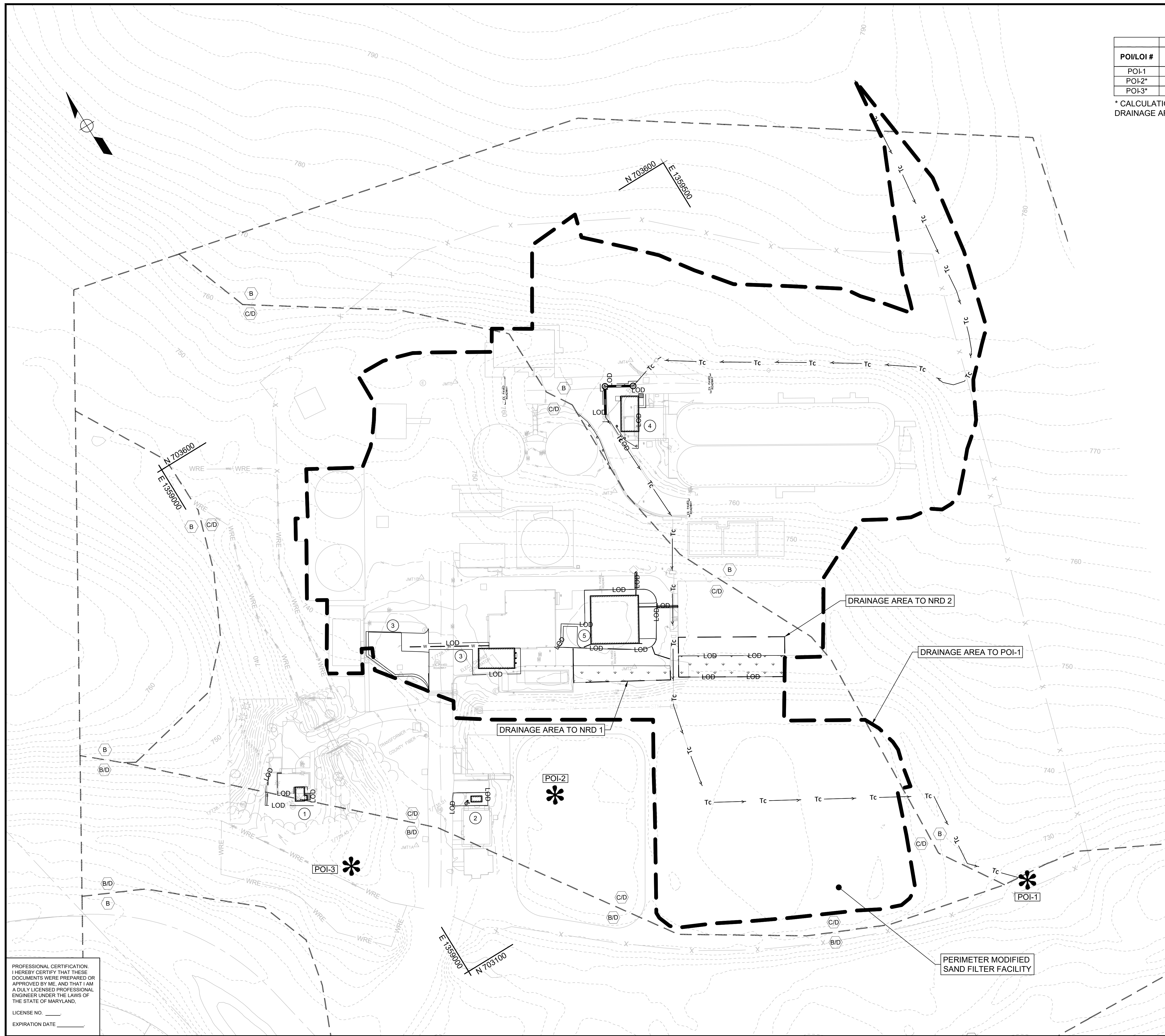
MAINTENANCE OF TRAFFIC NOTES AND DETAILS

REV. NO.	DATE	REVISION	BY

DESIGNED:	SCALE	DRAWING	SHEET NO.
DRAWN:	AS SHOWN	NO. _____	SD-8
CHECKED:		OF _____	

POI/LOI #	EXISTING CONDITIONS			PROPOSED CONDITIONS			ULTIMATE CONDITIONS		
	DA (ACRES)	RCN	TC (HRS)	DA (ACRES)	RCN	TC (HRS)	DA (ACRES)	RCN	TC (HRS)
POI-1	4.81	75	0.25	4.81	75	0.25	4.81	85	0.25
POI-2*	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
POI-3*	N/A	N/A	N/A	N/A </tr					

* CALCULATIONS HAVE NOT BEEN PERFORMED FOR POI AS THE IMPERVIOUS AREA INCREASE WITHIN THE DRAINAGE AREA TO THE POI IS CONSIDERED DE MINIMIS



PROPOSED FACILITIES:

- ① SOUTH HEADWORKS FACILITY
- ② INFLUENT PUMP STATION
- ③ SLUDGE PRESS FACILITY AND TRUCK TURNAROUND
- ④ PAC STORAGE AND METERING FACILITY
- ⑤ MAINTENANCE AND STORAGE FACILITY

LEGEND

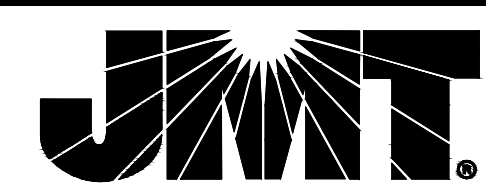
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- LOD — LIMITS OF DISTURBANCE (LOD)
- - - - - ESD FACILITY DRAINAGE AREA BOUNDARY
- ▭ ESD FOOTPRINT
- Tc → TIME OF CONCENTRATION (Tc) PATH
- ✱ POINT OF INVESTIGATION (POI) LOCATION
- - - - - HYDROLOGIC SOIL GROUP BOUNDARY
- ⬡ A ⬡ HYDROLOGIC SOIL GROUP

NOTE: DRAINAGE AREA SHOWN TO SAND FILTER ARE BASED UPON SUBMITTAL S14-0025. REFER TO SHEET SD-11

REV. NO.	DATE	REVISION	BY



PROFESSIONAL CERTIFICATION
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DOCUMENTS WERE PREPARED OR
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A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF
THE STATE OF MARYLAND.
LICENSE NO. _____
EXPIRATION DATE _____



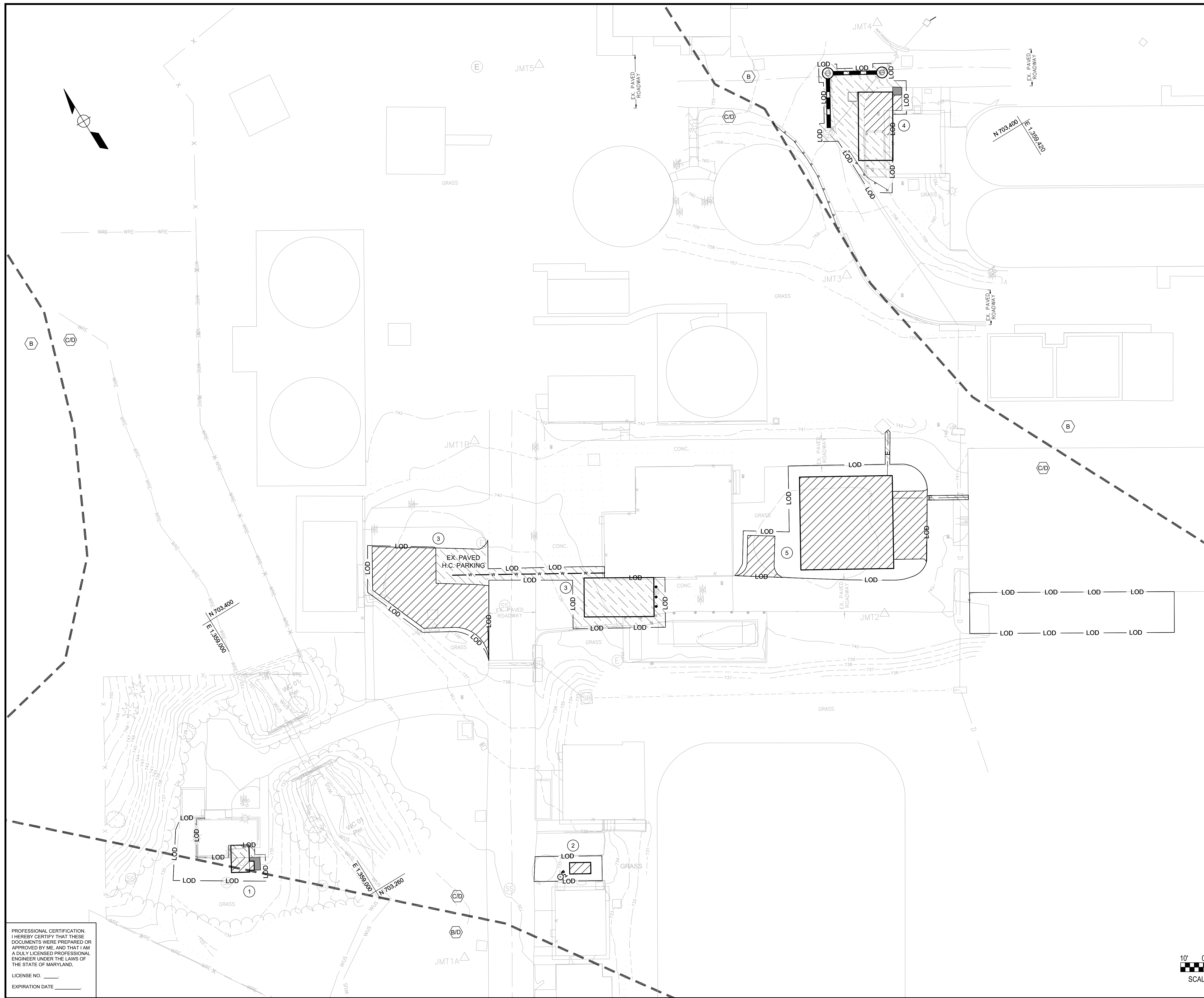
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CONTRACT NO. S-448

HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS

STORMWATER MANAGEMENT
DRAINAGE AREA MAP
PROPOSED CONDITIONS

DESIGNED:	SCALE:	DRAWING:	SHEET NO.:
NJF	AS SHOWN	NO. _____	SD-9
DRAWN: NJF		OF _____	
CHECKED: VRM			

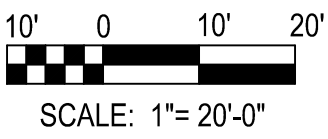


- PROPOSED FACILITIES:**
- ① SOUTH HEADWORKS FACILITY
 - ② INFLUENT PUMP STATION
 - ③ SLUDGE PRESS FACILITY AND TRUCK TURNAROUND
 - ④ PAC STORAGE AND METERING FACILITY
 - ⑤ MAINTENANCE AND STORAGE FACILITY

- LEGEND**
- - - - - EXISTING MAJOR CONTOUR
 - - - - - EXISTING MINOR CONTOUR
 - LOD — LIMITS OF DISTURBANCE (LOD)
 - ▨ NEW IMPERVIOUS WITHIN LOD
 - ▩ RECONSTRUCTED IMPERVIOUS WITHIN LOD
 - - - - - HYDROLOGIC SOIL GROUP BOUNDARY
 - ⬡ A HYDROLOGIC SOIL GROUP

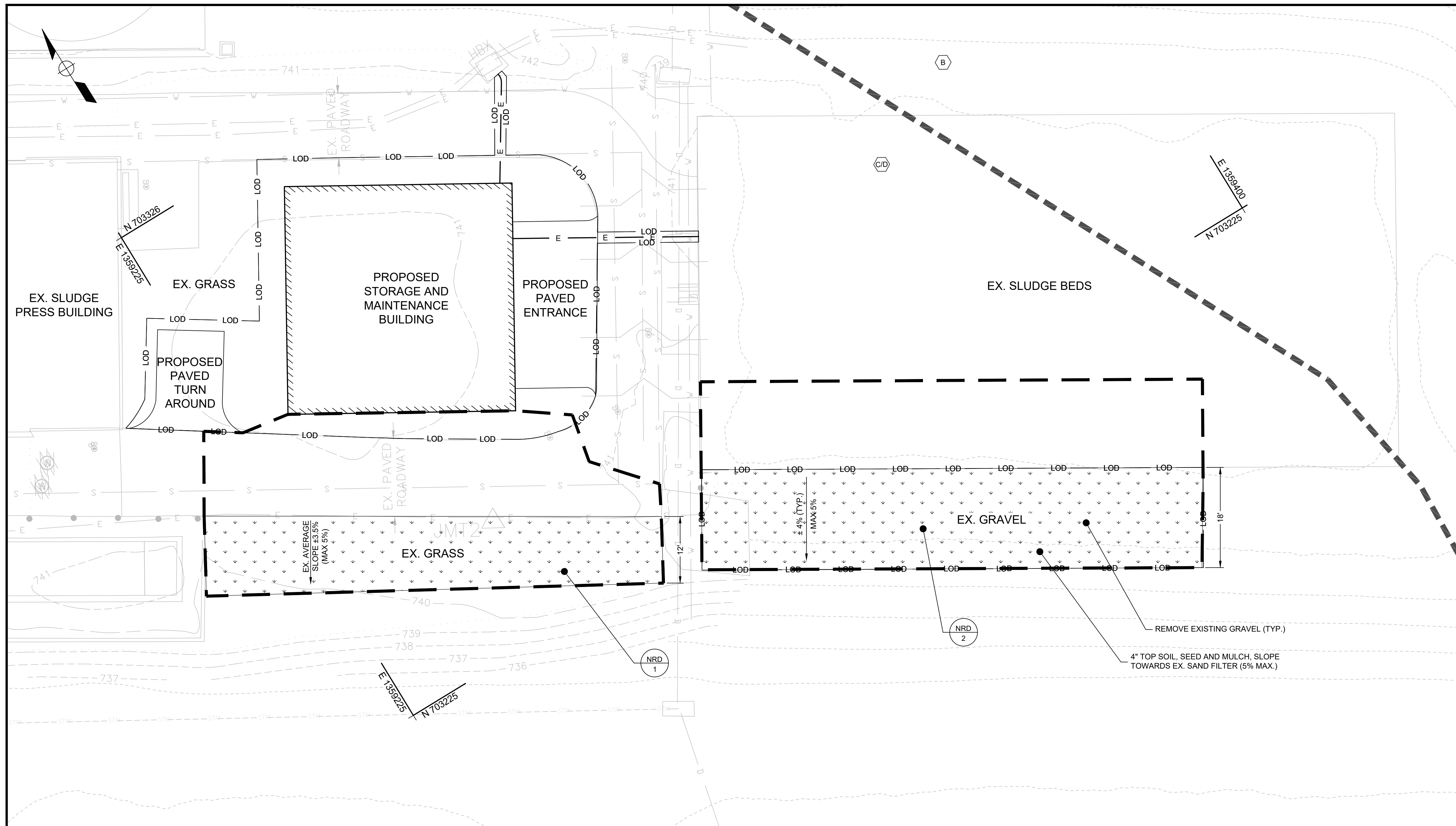
SITE LOCATION	NEW IMPERVIOUS (SF)	LIMIT OF DISTURBANCE (SF)
1	78.6	652.5
2	46.6	327.4
3	1286.2	2999.3
4	245.4	1507.8
5	2380.5	5141.9
TOTAL	4017.3	10628.9

PROFESSIONAL CERTIFICATION
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 LICENSE NO. _____
 EXPIRATION DATE _____



REV. NO.	DATE	REVISION	BY

DESIGNED:	SCALE:	DRAWING:	SHEET NO.:
NJF	AS SHOWN	NO. _____	SD-10
DRAWN: NJF		OF _____	
CHECKED: VRM			



- SITE DATA**
- AREA OF PROPERTY: 1,252,350 SF OR 28.75 AC
SITE DEVELOPABLE AREA: 301,713 SF OR 6.92 AC
 - PROPERTY ADDRESS:
HAMPSTEAD WASTEWATER TREATMENT PLANT
4455 NORTH WOODS TRAIL
HAMPSTEAD 21074
 - OWNER:
THE COUNTY COMMISSIONERS OF CARROLL COUNTY, MARYLAND
225 NORTH CENTER ST, WESTMINSTER, MARYLAND 21157
 - TAX MAP REFERENCES:
T.M. 41, BLOCK 10, PARCEL 0058, TAX ID #08-001790
 - DEED REFERENCE: L.10876, F.05, DATED AUGUST 2022
 - PLAT REFERENCE: N.A.
 - ELECTION DISTRICT: 08
 - EXISTING ZONING: CONSERVATION
 - EXISTING & PROPOSED USE: WASTEWATER TREATMENT PLANT (EXEMPT COMMERCIAL)

STORM WATER MANAGEMENT DESIGN SUMMARY

ESD TARGETS REQUIRED:

CRITERIA I:
ESD PRACTICES SHALL BE USED TO THE MAXIMUM EXTENT PRACTICABLE (MEP) TO REDUCE THE RCN OF THE CONTRIBUTING DRAINAGE AREA TO "WOODS IN GOOD CONDITION". AT A MINIMUM, ENVIRONMENTAL SITE DESIGN (ESD) PRACTICES SHALL BE USED TO TREAT THE RUNOFF FROM 1" OF RAINFALL (PE=1") FROM THE NEW IMPERVIOUS AREA. THE STRUCTURAL BMP MIGHT BE USED TO TREAT THE REMAINING RUNOFF.
CONTRIBUTING DRAINAGE AREA = 4.81AC
TARGET PE = 2.23"
MINIMUM PE = 1.00"
PROPOSED IMPERVIOUS AREA = 3,892 SF OR 0.09 AC
TARGET ESDv REQUIRED: 692 CF OR 0.02 AC-FT
MINIMUM ESDv REQUIRED: 308 CF OR 0.01 AC-FT

CRITERIA II:
ESD PRACTICES SHALL BE USED TO THE MAXIMUM EXTENT PRACTICABLE (MEP) TO RECHARGE SOIL RECHARGE FACTOR OF 0.14" FROM NEW IMPERVIOUS SURFACES WITHIN THE CONTRIBUTING AREA.
REv REQUIRED: 43 CF OR 0.001 AC-FT

ESD TARGETS PROVIDED:

CRITERIA I:
NRD 1, A NON-ROOFTOP DISCONNECT IS PROPOSED ADJACENT TO EXISTING DRIVEWAY.
NRD 1 PROVIDES TREATMENT OF 0.86" OF RUNOFF FROM THE SITE AREA.
ESDv PROVIDED: 78 CF OR 0.002 AC-FT
NRD 2, A NON-ROOFTOP DISCONNECT IS PROPOSED ADJACENT TO THE EXISTING SLUDGE BEDS
NRD 2 PROVIDES TREATMENT OF 1.00" OF RUNOFF FROM THE SITE AREA.
ESDv PROVIDED: 120 CF OR 0.003 AC-FT

*DUE TO SITE CONDITIONS AND LIMITED USABLE AREAS, ESD HAS BEEN PROVIDED TO MEP THE PROPOSED ESD FACILITIES PROVIDE 198 CF OF ESDv. THEREFORE A SHORTFALL OF 494 CF WILL NEED TO BE PROVIDED VIA CPv. THE EXISTING SAND FILTER WILL BE USED TO ACCOUNT FOR THE 494 CF AS IT HAS A SURFACE STORAGE VOLUME OF 71,652 CF (SEE ENR UPGRADE NO.:S14-0025)

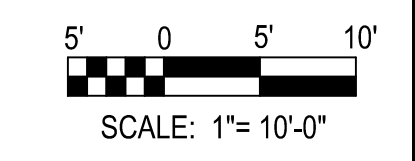
ESD FACILITY DESIGN SUMMARY TABLE		
	NRD 1	NRD 2
FACILITY OWNERSHIP/MAINTAINANCE	PUBLIC	
TOTAL SITE AREA (AC)	28.75	
OWNER NAME	CARROLL CO. GOVERNMENT	
WATERSHED NAME	LOCH RAVEN RESERVOIR	
WATERSHED NUMBER	2130805	
RECEIVING STREAM CLASSIFICATION	III-P	
IART REQUIRED (AC)	0.10	
TARGET ESD VOLUME REQUIRED (CF)	692	
MINIMUM ESD VOLUME REQUIRED (CF)	308	
RECHARGE REQUIRED (CF)	43	
TOTAL FACILITY SURFACE AREA (AC)	0.02	0.04
DRAINAGE AREA TO FACILITY (AC)	0.05	0.07
IMPERVIOUS AREA TO FACILITY (AC)	0.02	0.03
PE (IN)	0.86	1
IMPERVIOUS AREA TREATED (AC)	0.02	0.03
TOTAL ESDv PROVIDED (CF)	78	120
TOTAL RECHARGE PROVIDED (CF)	N/A	N/A

STORMWATER MANAGEMENT MAINTENANCE AGREEMENT SCHEDULE

- THE STORMWATER MANAGEMENT FACILITY/FACILITIES SHOWN ON THESE PLANS SHALL BE CONSTRUCTED BY CARROLL COUNTY.
- THE COUNTY OR ITS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR CONTINUING MAINTENANCE OF THE FACILITY/FACILITIES WHICH SHALL INCLUDE SUCH ITEMS AS MOWING, CLEANING, REMOVING SEDIMENT, TREES, SHRUBS, AND DEBRIS AND REPAIRING ANY STRUCTURAL DAMAGE. REQUIREMENTS AND SCHEDULES FOR SPECIFIC TYPES OF FACILITIES AND PRACTICES AS LISTED ON THE PLANS ARE HEREBY INCLUDED.
- THE COUNTY OR ITS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR ANY STRUCTURAL DAMAGE OR FAILURE WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE. IN THE EVENT OF STRUCTURAL DAMAGE, THE COUNTY OR ITS HEIRS OR ASSIGNS IS RESPONSIBLE TO MAKE REPAIRS AS QUICKLY AS POSSIBLE (30 DAY MAXIMUM).
- AFTER COMPLETION OF THE FACILITY THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT SHALL CERTIFY THAT THE FACILITY IS IN PROPER WORKING CONDITION. "AFTER COMPLETION OF THE FACILITY" IS CONSTRUED TO MEAN THAT ALL CONTRIBUTORY DRAINAGE AREAS ARE PAVED OR SUPPORTING A 2" STAND OF DENSE GRASS AND THAT ALL BUILDINGS ARE CONSTRUCTED AND THAT THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT HAS INSPECTED CONSTRUCTION AND A REGISTERED PROFESSIONAL ENGINEER HAS CERTIFIED THAT THE "AS-BUILT" PLANS MEET THE PLANS AND SPECIFICATIONS FOR CONSTRUCTION.
- IF THIS FACILITY IS EVER TRANSFERRED TO PRIVATE OWNERSHIP, THE COUNTY'S HEIRS OR ASSIGNS ARE RESPONSIBLE FOR THE AGREEMENT. IN SUCH A CASE, IF AFTER NOTICE BY THE COUNTY TO CORRECT A VIOLATION REQUIRING MAINTENANCE WORK, SATISFACTORY CORRECTIONS ARE NOT MADE BY THE OWNER(S) WITHIN (30) DAYS THE COUNTY MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE OWNERS OF THE FACILITY SHALL BE ASSESSED THE COST OF THE WORK AND ANY PENALTIES. THE MONIES MAY BE COLLECTED BY PLACING A LIEN ON THE PROPERTY, OR BY INCLUDING THE COSTS AND PENALTIES IN THE PROPERTY TAX BILL AND COLLECTING THEM AS ORDINARY TAXES BY THE COUNTY.
- OWNER(S) SHALL GRANT RIGHT OF ENTRY TO AUTHORIZED COUNTY/TOWN/CITY PERSONNEL FOR PURPOSES OF INSPECTION MONITORING AND/OR REPAIR. SITE VISITS FOR INSPECTION AND/OR MONITORING SHALL BE CONDUCTED ONLY DURING NORMAL COUNTY WORKING HOURS (8:00 A.M. TO 5:00 P.M. MONDAY - FRIDAY).
- THIS AGREEMENT INCLUDING RIGHT OF ENTRY FOR INSPECTION/MAINTENANCE AND REPAIR SHALL BE RECORDED IN THE LAND RECORDS OF THE COUNTY.

LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- LOD --- LIMITS OF DISTURBANCE (LOD)
- ▭ ESD FOOTPRINT
- HYDROLOGIC SOIL GROUP BOUNDARY
- ⬡ HYDROLOGIC SOIL GROUP
- DRAINAGE AREA BOUNDARY



ENGINEER'S DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED _____ DATE _____
LICENSE NO. _____ EXPIRATION DATE _____

ENGINEER'S "AS-BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY/FACILITIES SHOWN ON THIS/THESE PLAN(S) WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT THIS/THESE FACILITIES WERE INSPECTED IN ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED _____ DATE _____
LICENSE NO. _____ EXPIRATION DATE _____

DEVELOPER'S CERTIFICATION

I HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I ALSO UNDERSTAND THAT IT IS MY RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY/FACILITIES. I ALSO CERTIFY THAT THIS/THESE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY.

SIGNED _____ DATE _____



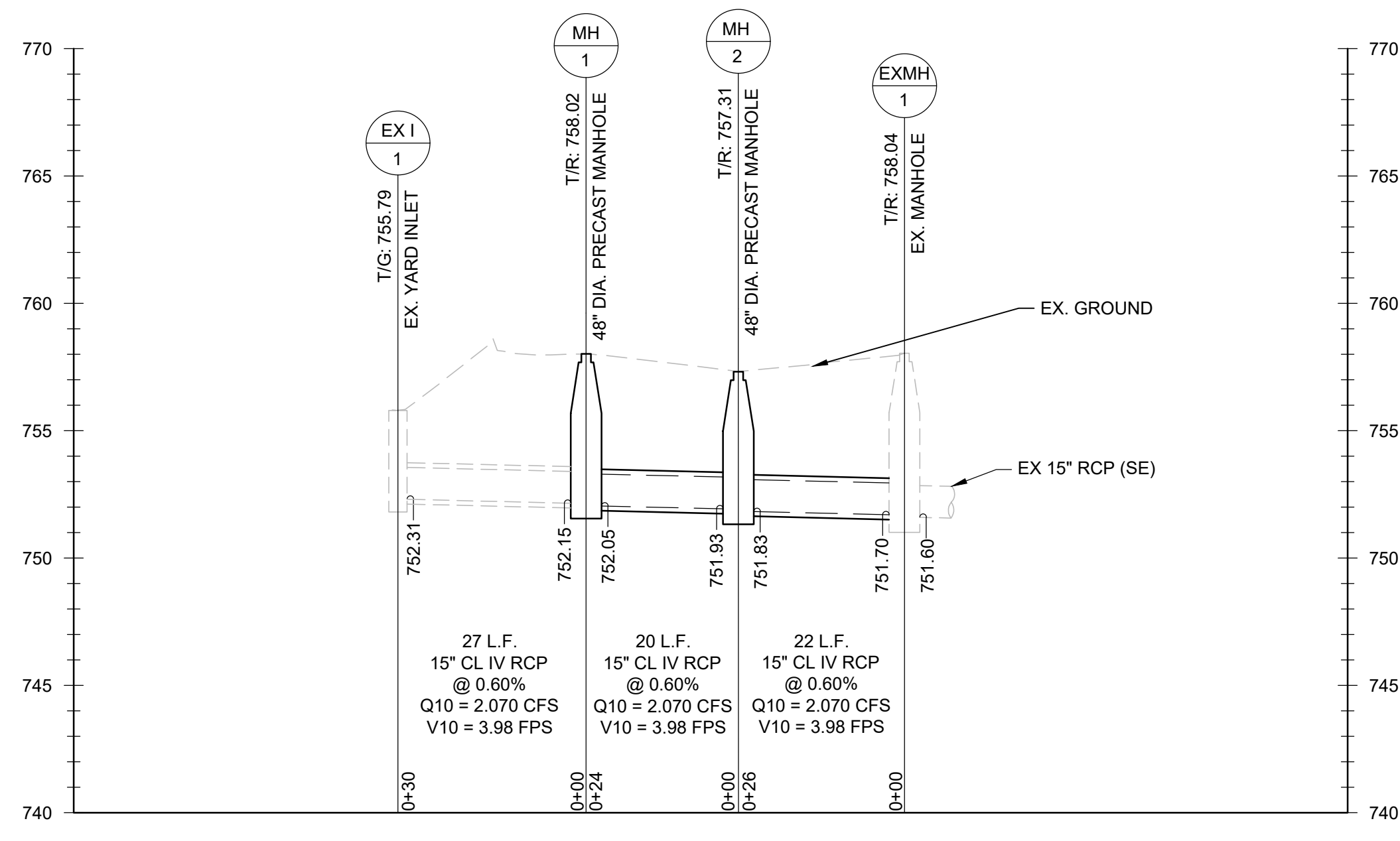
CONTRACT NO. S-448

HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS

STORMWATER MANAGEMENT PLAN

REV. NO.	DATE	REVISION	BY

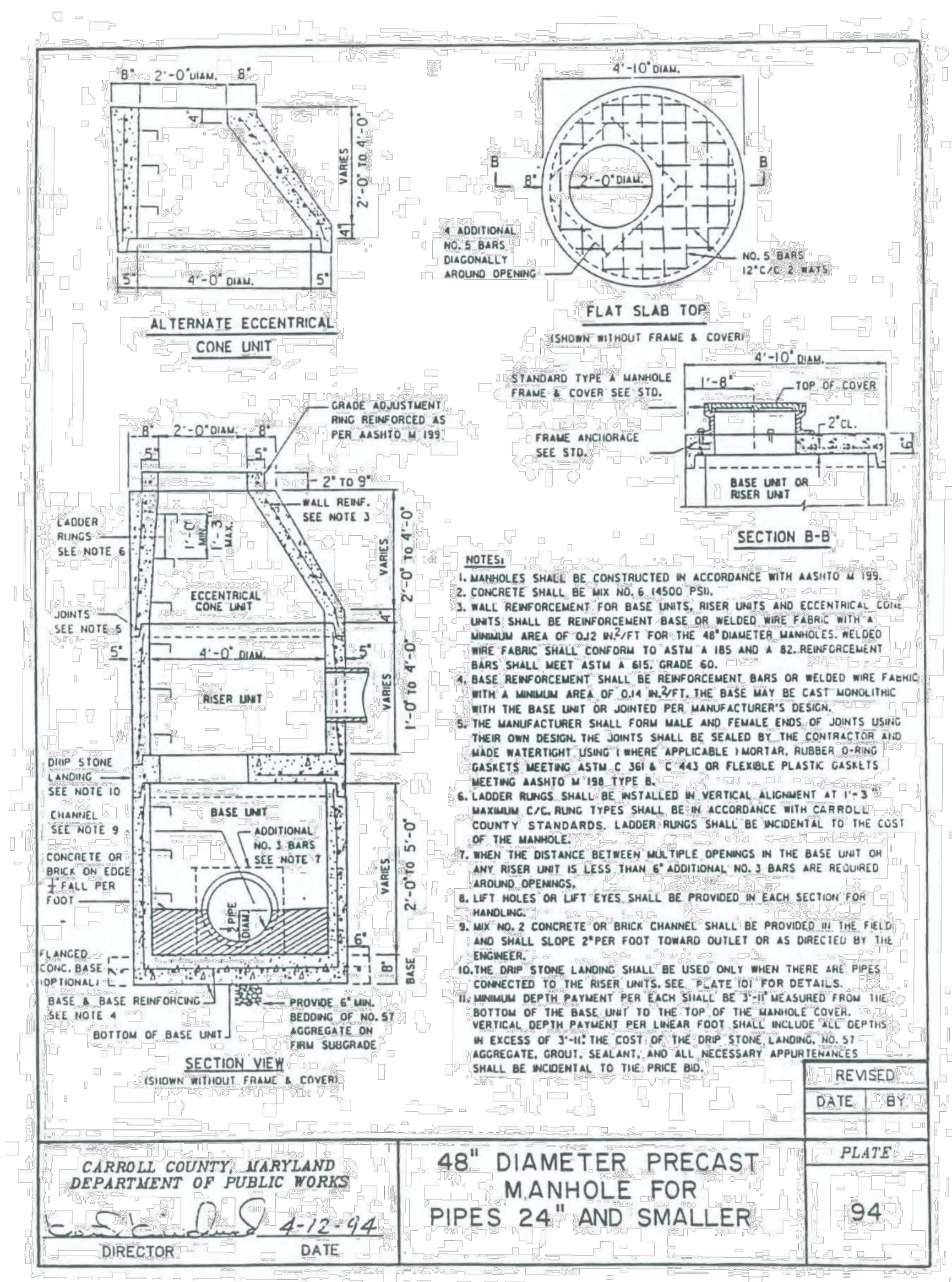
DESIGNED:	SCALE:	DRAWING:	SHEET NO.
NJF	AS SHOWN	NO. _____	SD-11
DRAWN:		OF _____	
NJF			
CHECKED:			
VRM			



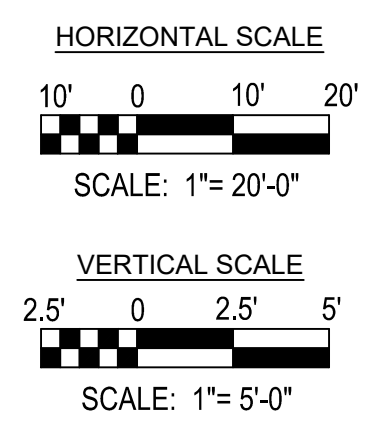
STORM DRAIN PROFILE
 HORIZ. SCALE: 1" = 20'
 VERT. SCALE: 1" = 5'

DRAINAGE STRUCTURE TABLE					
NAME	NORTHING	EASTING	ELEVATION	STRUCTURE TYPE	STRUCTURE DETAIL
MANHOLE NO. 1	703451.58	1359379.1373	758.02	48" DIA. PRECAST MANHOLE	CA. CO. S.D., PLATE 94
MANHOLE NO. 2	703463.76	1359358.5613	757.31	48" DIA. PRECAST MANHOLE	CA. CO. S.D., PLATE 94

STORM DRAIN PIPE TABLE						
FROM	TO	PIPE SIZE	TYPE	LENGTH	U.S. INV.	DS INV.
MANHOLE NO. 1	MANHOLE NO. 2	15"	CL IV RCP	20 L.F.	752.05	751.93
MANHOLE NO. 2	EX MANHOLE NO. 1	15"	CL IV RCP	22 L.F.	751.83	751.70



PROFESSIONAL CERTIFICATION
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 A DULY LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF
 THE STATE OF MARYLAND.
 LICENSE NO. _____
 EXPIRATION DATE _____



REV. NO.	DATE	REVISION	BY

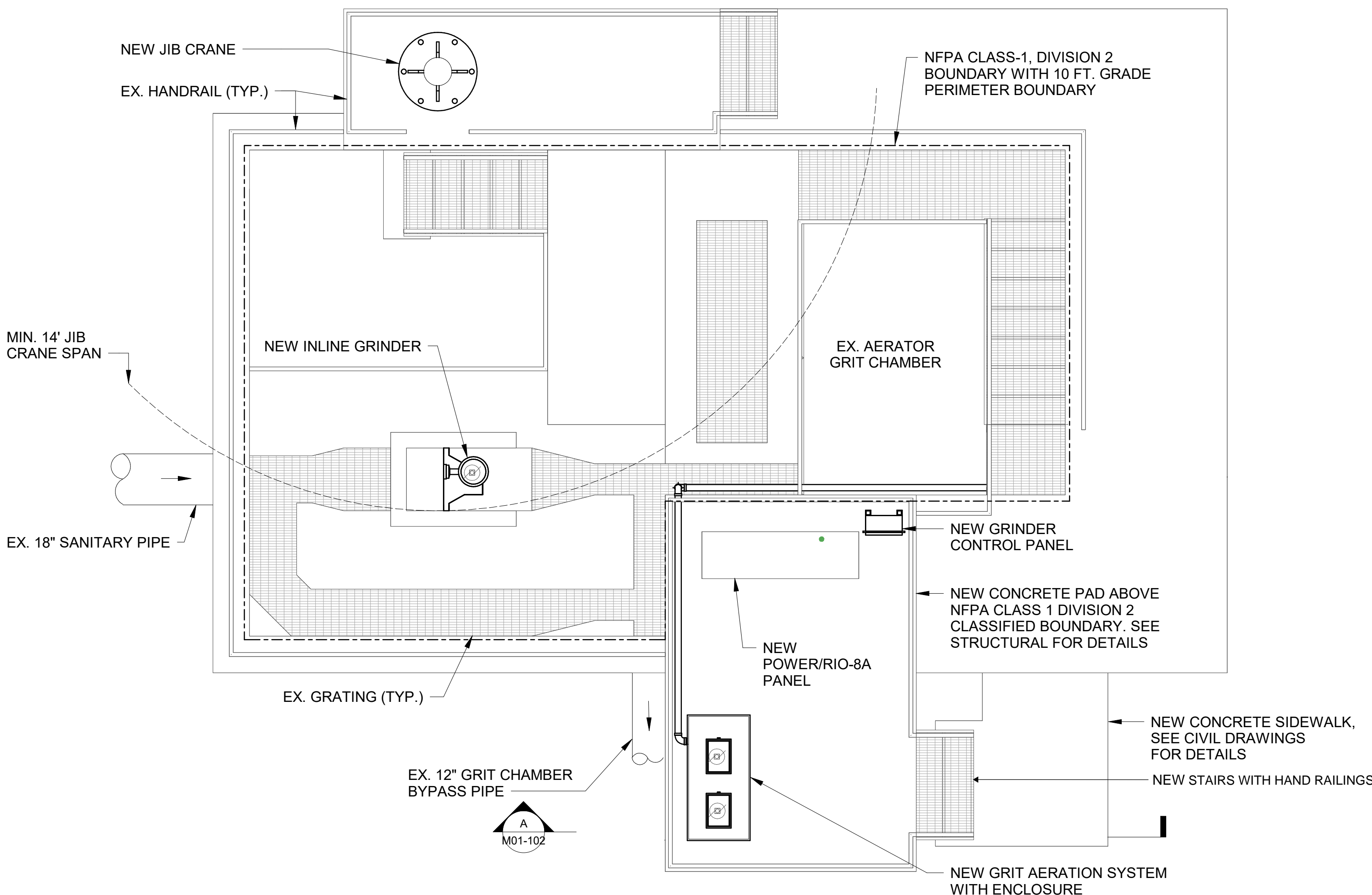
40 WIGHT AVENUE | HUNT VALLEY, MD 21030
 410-329-3100 | www.jmt.com

CONTRACT NO. S-448

HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS

DRAINAGE PROFILE & DETAILS

DESIGNED:	SCALE:	DRAWING:	SHEET NO.:
NJF	AS SHOWN	NO. _____	SD-12
DRAWN:		OF _____	
CHECKED:			



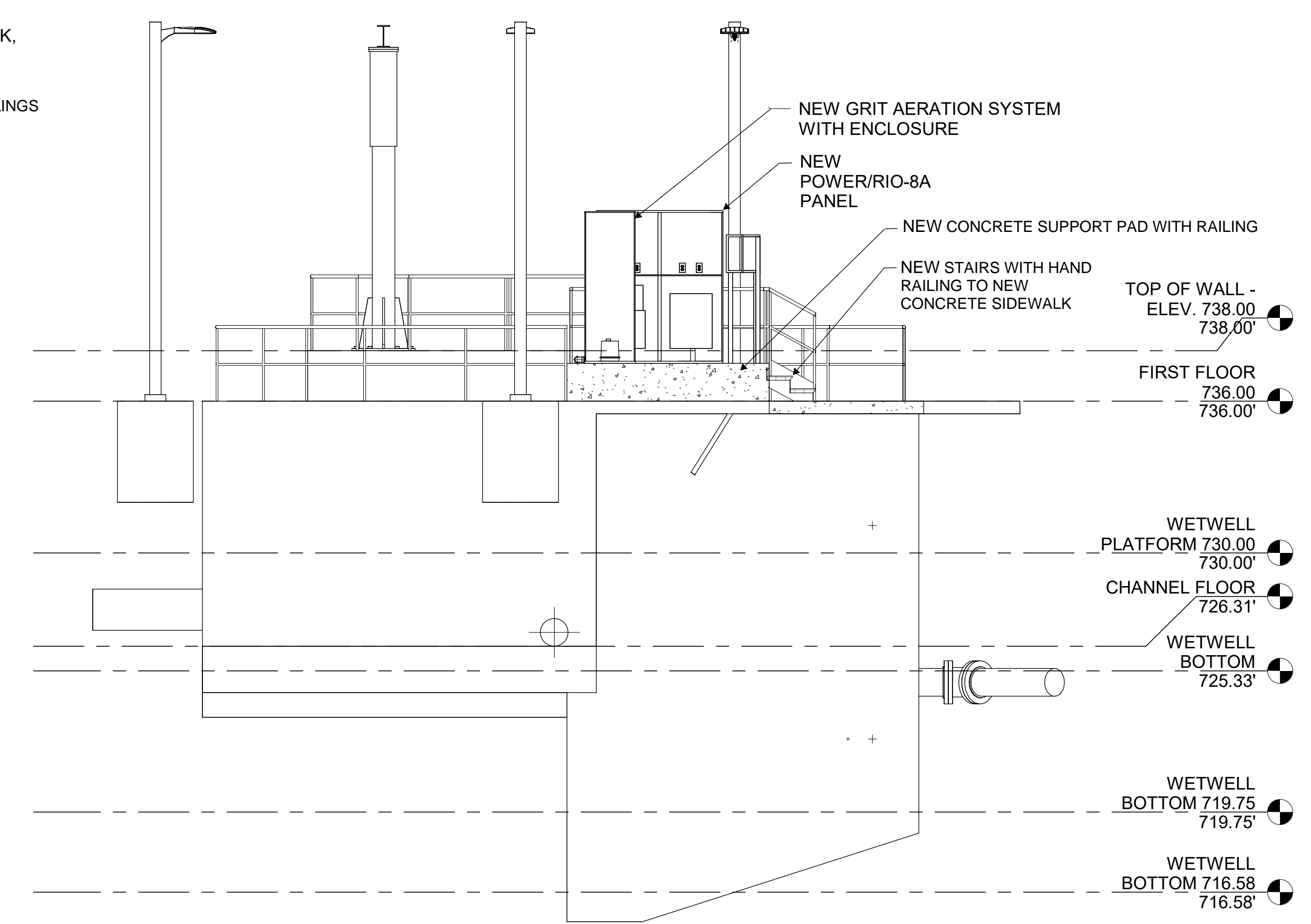
SOUTH HEADWORKS - NEW WORK PLAN AT ELEV. 746.00
3/8" = 1'-0"

GENERAL SHEET NOTES:

1. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE AS-BUILT DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING AND AWAIT DIRECTION BEFORE PROCEEDING WITH THE WORK.
2. UNLESS OTHERWISE NOTED, PROCESS MECHANICAL ITEMS SHOWN HEAVY SOLID (▬) SHALL BE NEW WORK AND PROCESS MECHANICAL ITEMS SHOWN LIGHT SOLID (▬) SHALL BE EXISTING.
3. NO ATTEMPT HAS BEEN MADE TO SHOW ALL NON-PROCESS EQUIPMENT FOR THE FACILITY. THE CONTRACTOR SHALL COORDINATE FACILITY CONSTRUCTION WITH ALL DISCIPLINES TO ENSURE A COMPLETE INSTALLATION. REFER TO SUPPORT DISCIPLINE NEW WORK DRAWINGS FOR ADDITIONAL DETAILS.
4. AERATION SYSTEM PIPING SHALL HAVE WALL SUPPORTS AS RECOMMENDED BY MANUFACTURER.

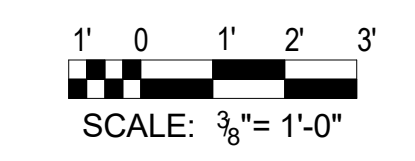
DESIGN CRITERIA

COMPRESSOR PRESSURE: 5.25' / 65" DEPTH
AERATION NEEDED: 8.75 SCFM
MIN. CRANE SPAN: 14'-0"
JIB CRANE CAPACITY: 1/2 TON



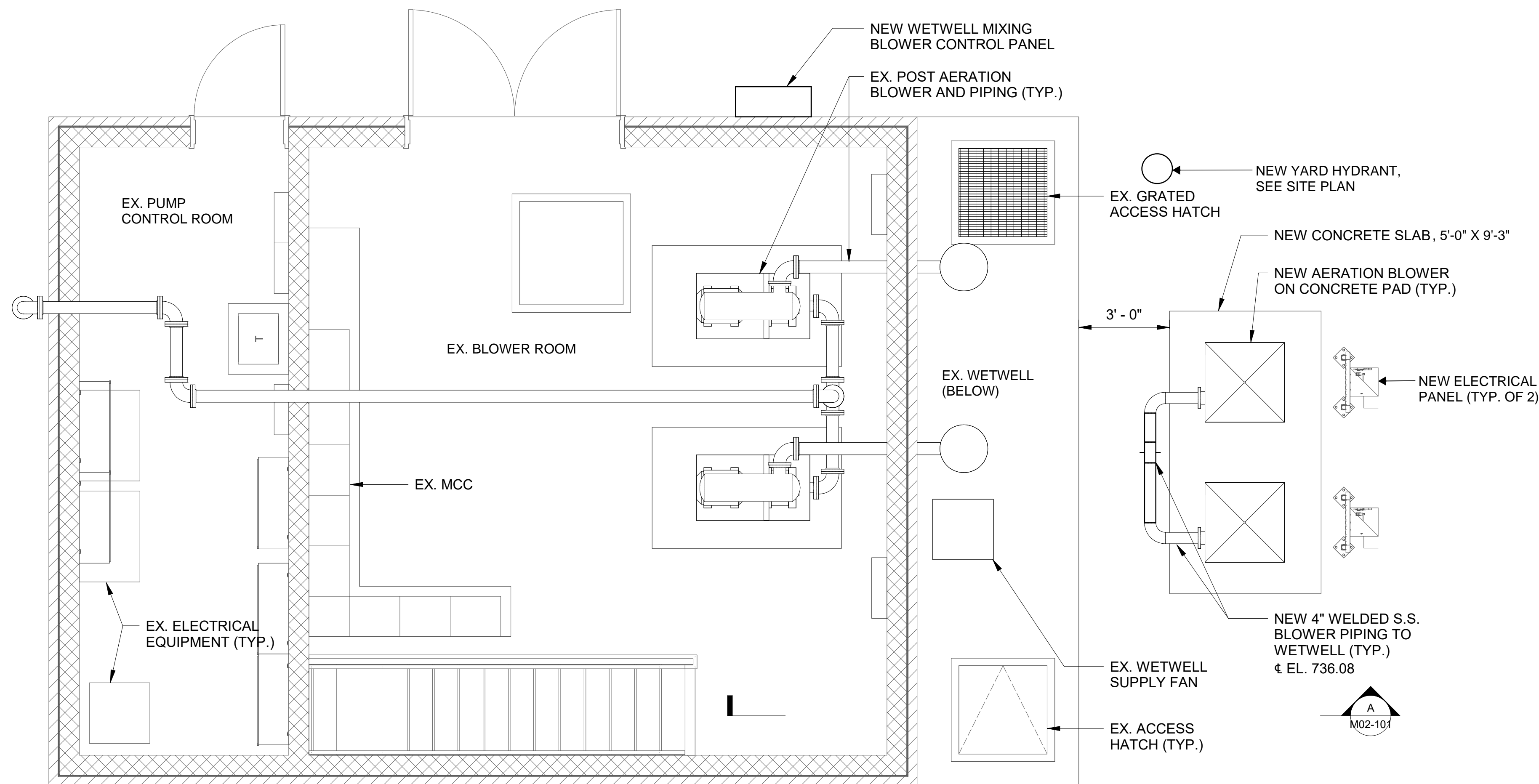
A SOUTH HEADWORKS - NEW WORK SECTION A
3/8" = 1'-0"

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO.
EXPIRATION DATE



REV. NO.	DATE	REVISION	BY

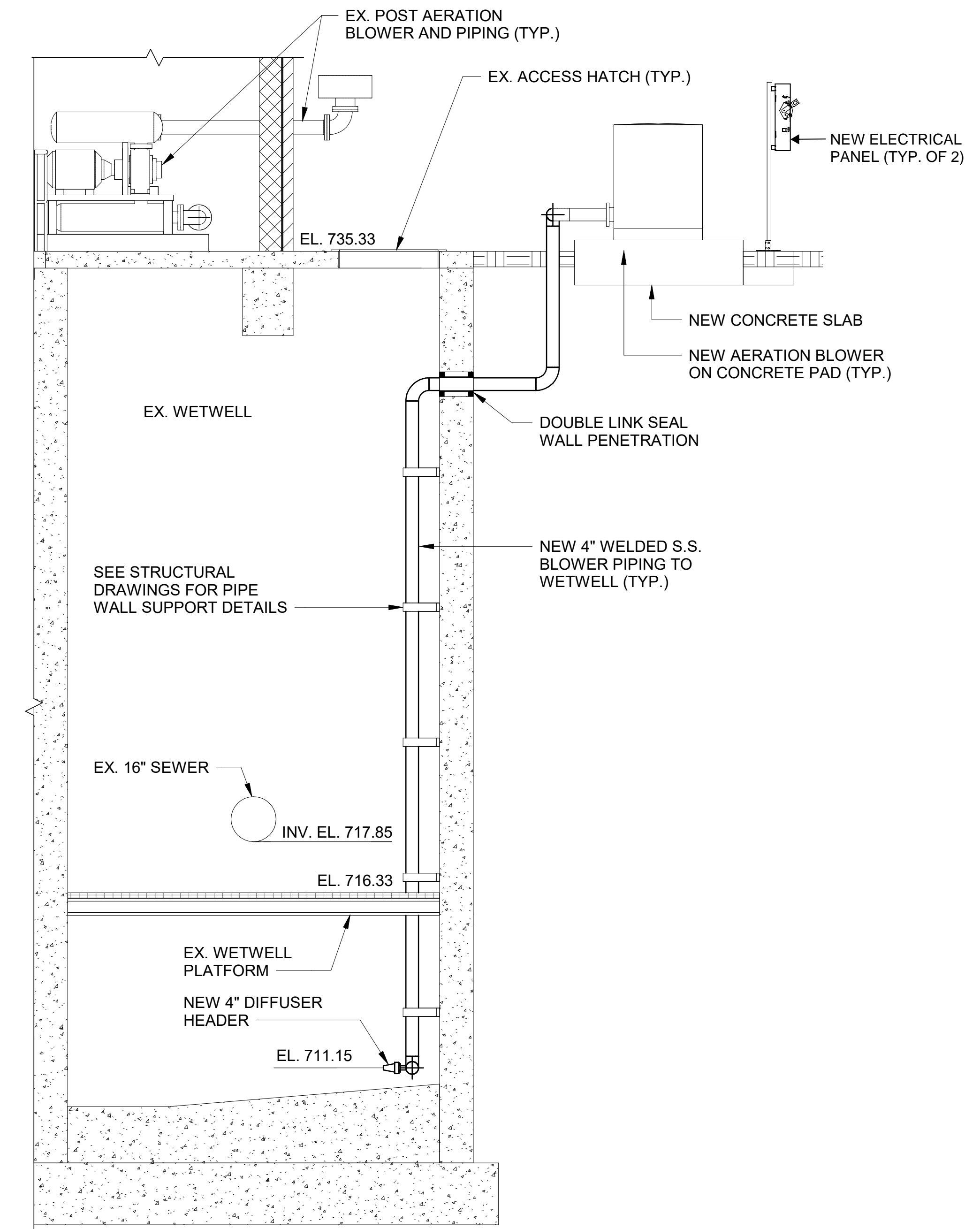
DESIGNED: CEG	SCALE: AS SHOWN	DRAWING NO. _____	SHEET NO. SD-13
DRAWN: GWK		RF: _____	
CHECKED: SEA			



INFLUENT PUMP STATION - NEW WORK PLAN AT ELEV. 735.33
 3/8" = 1'-0"

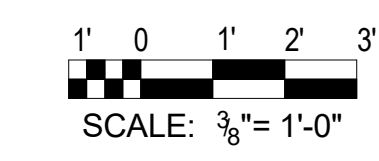
GENERAL SHEET NOTES:

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2. UNLESS OTHERWISE NOTED, PROCESS MECHANICAL ITEMS SHOWN HEAVY SOLID (▬) SHALL BE NEW WORK AND PROCESS MECHANICAL ITEMS SHOWN LIGHT SOLID (▬) SHALL BE EXISTING.
3. NO ATTEMPT HAS BEEN MADE TO SHOW ALL NON-PROCESS EQUIPMENT FOR THE FACILITY. THE CONTRACTOR SHALL COORDINATE FACILITY CONSTRUCTION WITH ALL DISCIPLINES TO ENSURE A COMPLETE INSTALLATION. REFER TO SUPPORT DISCIPLINE NEW WORK DRAWINGS FOR ADDITIONAL DETAILS.



A INFLUENT PUMP STATION - NEW WORK SECTION A
 M02-101/ 3/8" = 1'-0"

PROFESSIONAL CERTIFICATION
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 LICENSE NO. _____
 EXPIRATION DATE _____



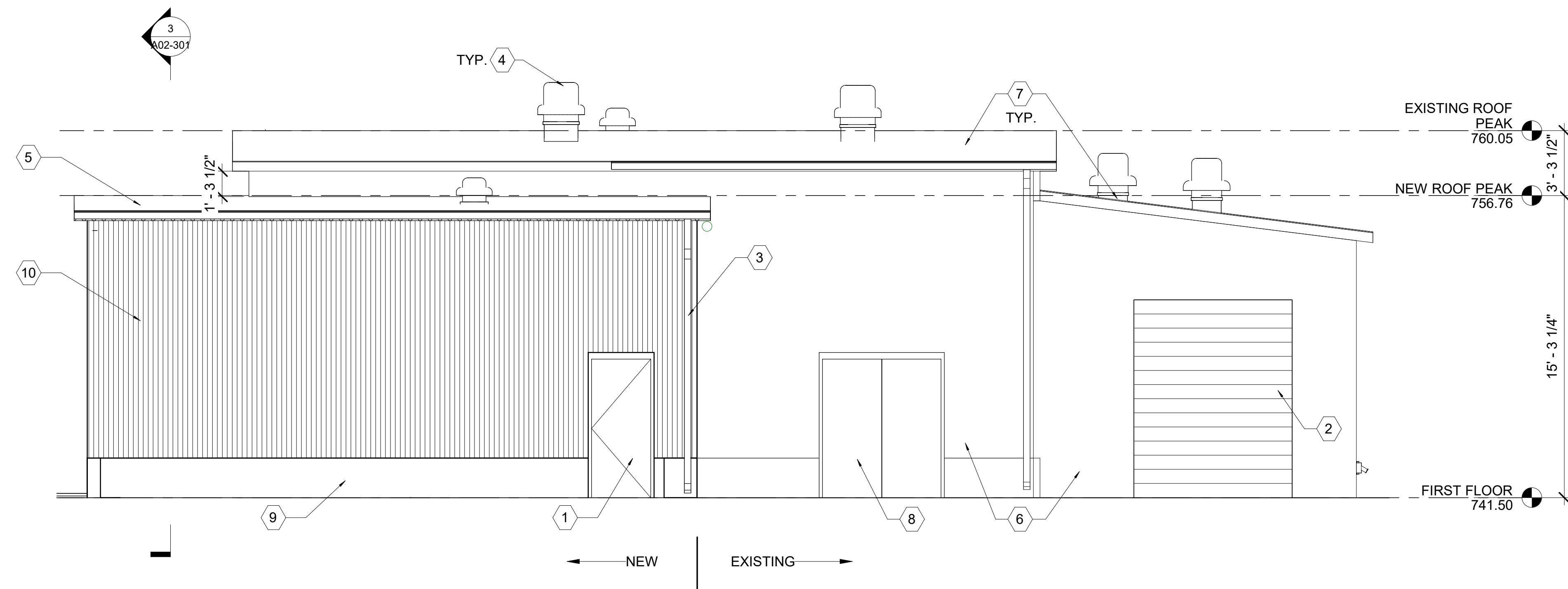
REV. NO.	DATE	REVISION	BY

GENERAL SHEETS NOTES:

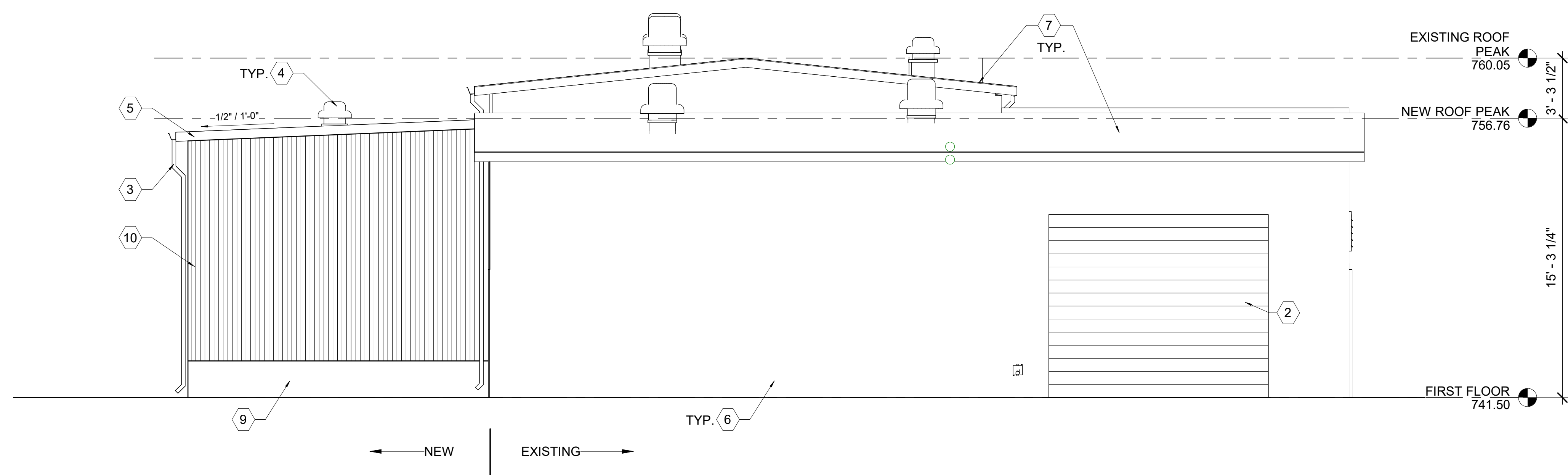
- MATERIALS AND / OR FINISH DAMAGED DUE TO NEW CONSTRUCTION WILL BE REPAIRED TO MATCH ADJOINING MATERIALS AND FINISHES AT NO COST TO THE OWNER.
- OPENINGS IN EXTERIOR WALLS AND /OR ROOF WILL BE PROTECTED TO BE WEATHERTIGHT AT ALL TIMES. NEW ROOF OPENINGS AND /OR PENETRATIONS WILL BE FLASHED INTO THE EXISTING ROOF CONSTRUCTION TO MAINTAIN A WEATHERTIGHT INSTALLATION.
- COORDINATE ALL WORK WITH OTHER TRADES.

KEY PLAN NOTES: (X)

- NEW 3'-0" x 7'-0" HM DOOR AND FRAME.
- EXISTING STEEL COILING ROLL-UP DOOR.
- NEW ALUM. GUTTER AND DOWNSPOUT TO MATCH EXISTING.
- NEW ROOF MOUNTED EXHAUST VENTILATOR. SEE MECH. DWGS.
- NEW STANDING SEAM METAL ROOF.
- EXISTING METAL WALL PANELS TO REMAIN.
- EXISTING STANDING SEAM METAL ROOF TO REMIAN.
- EXISTING HM DOOR(S) AND FRAME(S) TO REMAIN.
- NEW 2'-0" HIGH CONC. CURB - MATCH EXISTING - SEE STRUCTURAL DWGS. FOR DETAILS AND NOTES.
- NEW INSULATED METAL WALL PANELS.



1 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

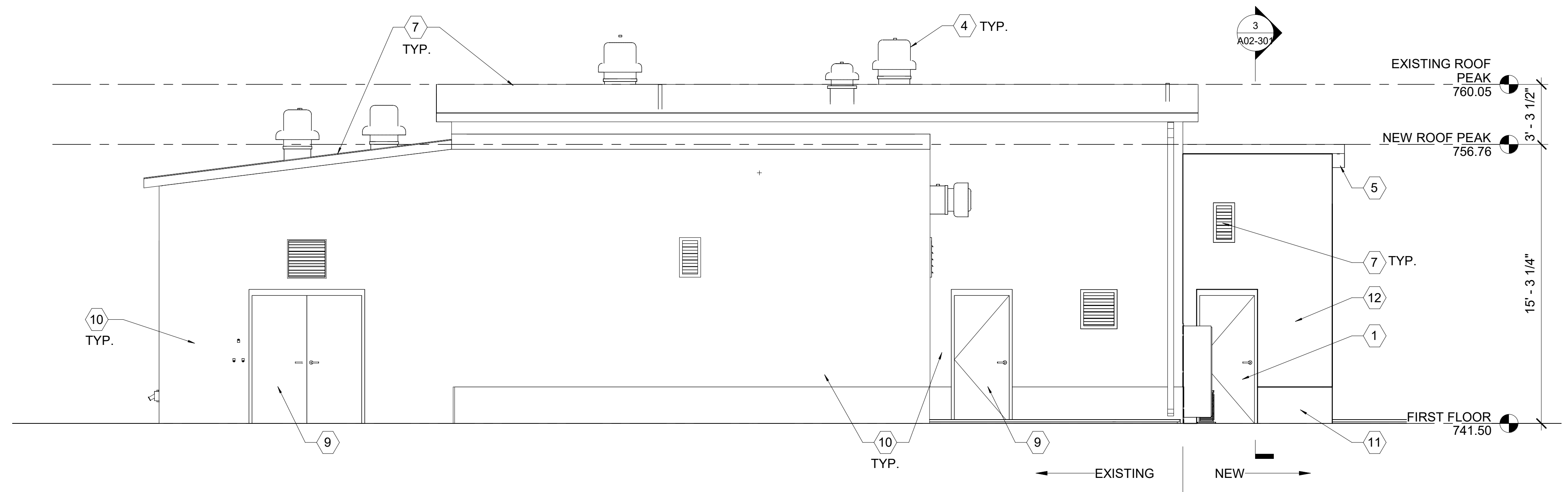
PROFESSIONAL CERTIFICATION
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LICENSE NO. _____
EXPIRATION DATE _____

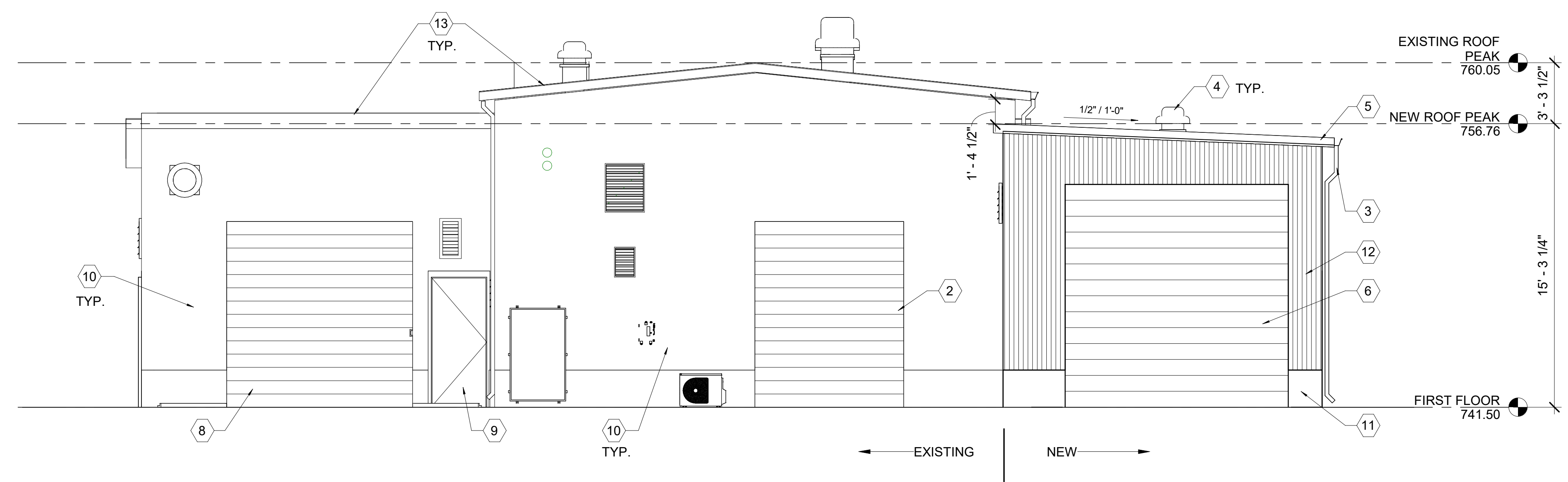
DHILLON ENGINEERING INC.

REV. NO.	DATE	REVISION	BY

 <p>40 WIGHT AVENUE HUNT VALLEY, MD 21030 410-329-3100 www.jmt.com</p>	<p>CONTRACT NO. <u>S-448</u></p>	<p>HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS</p>	<p>SLUDGE PRESS FACILITY - SOUTH & EAST ELEVATIONS</p>	<p>DESIGNED: JCD/GD</p>	SCALE	DRAWING	SHEET NO.
				<p>DRAWN: SS</p>	AS SHOWN	NO. _____	SD-15
				<p>CHECKED: AKM/GD</p>		RF. _____	



1 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

GENERAL SHEETS NOTES:

1. MATERIALS AND / OR FINISH DAMAGED DUE TO NEW CONSTRUCTION WILL BE REPAIRED TO MATCH ADJOINING MATERIALS AND FINISHES AT NO COST TO THE OWNER.
2. OPENINGS IN EXTERIOR WALLS AND /OR ROOF WILL BE PROTECTED TO BE WEATHERTIGHT AT ALL TIMES. NEW ROOF OPENINGS AND /OR PENETRATIONS WILL BE FLASHED INTO THE EXISTING ROOF CONSTRUCTION TO MAINTAIN A WEATHERTIGHT INSTALLATION.
3. COORDINATE ALL WORK WITH OTHER TRADES.

KEY PLAN NOTES: (X)

1. NEW 3'-0" x 7'-0" HM DOOR AND FRAME.
2. EXISTING STEEL COILING ROLL-UP DOOR TO REMAIN.
3. NEW ALUM. GUTTER AND DOWNSPOUT TO MATCH EXISTING.
4. NEW ROOF MOUNTED EXHAUST VENTILATOR. SEE MECH. DWGS.
5. NEW STANDING SEAM METAL ROOF.
6. NEW STEEL COILING ROLL-UP DOOR AND STEEL CHANNEL FRAME.
7. NEW MECH. LOUVERS - SEE MECH DWGS FOR SPECS.
8. NEW OH COILING DOOR - MATCH EXISTING SIZE.
9. EXISTING HM DOOR(S) AND FRAME(S) TO REMAIN.
10. EXISTING METAL WALL PANELS TO REMAIN.
11. NEW 2'-0" HIGH CONC. CURB - MATCH EXISTING - SEE STRUCTURAL DWGS. FOR DETAILS AND NOTES.
12. NEW INSULATED METAL WALL PANELS.
13. EXISTING STANDING SEAM METAL ROOF.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO.
EXPIRATION DATE



REV. NO.	DATE	REVISION	BY

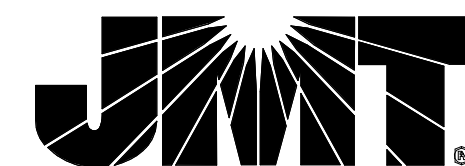


1 3D VIEW 1



2 3D VIEW 2

PROFESSIONAL CERTIFICATION
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ENGINEER UNDER THE LAWS OF
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410-329-3100 | www.jmt.com

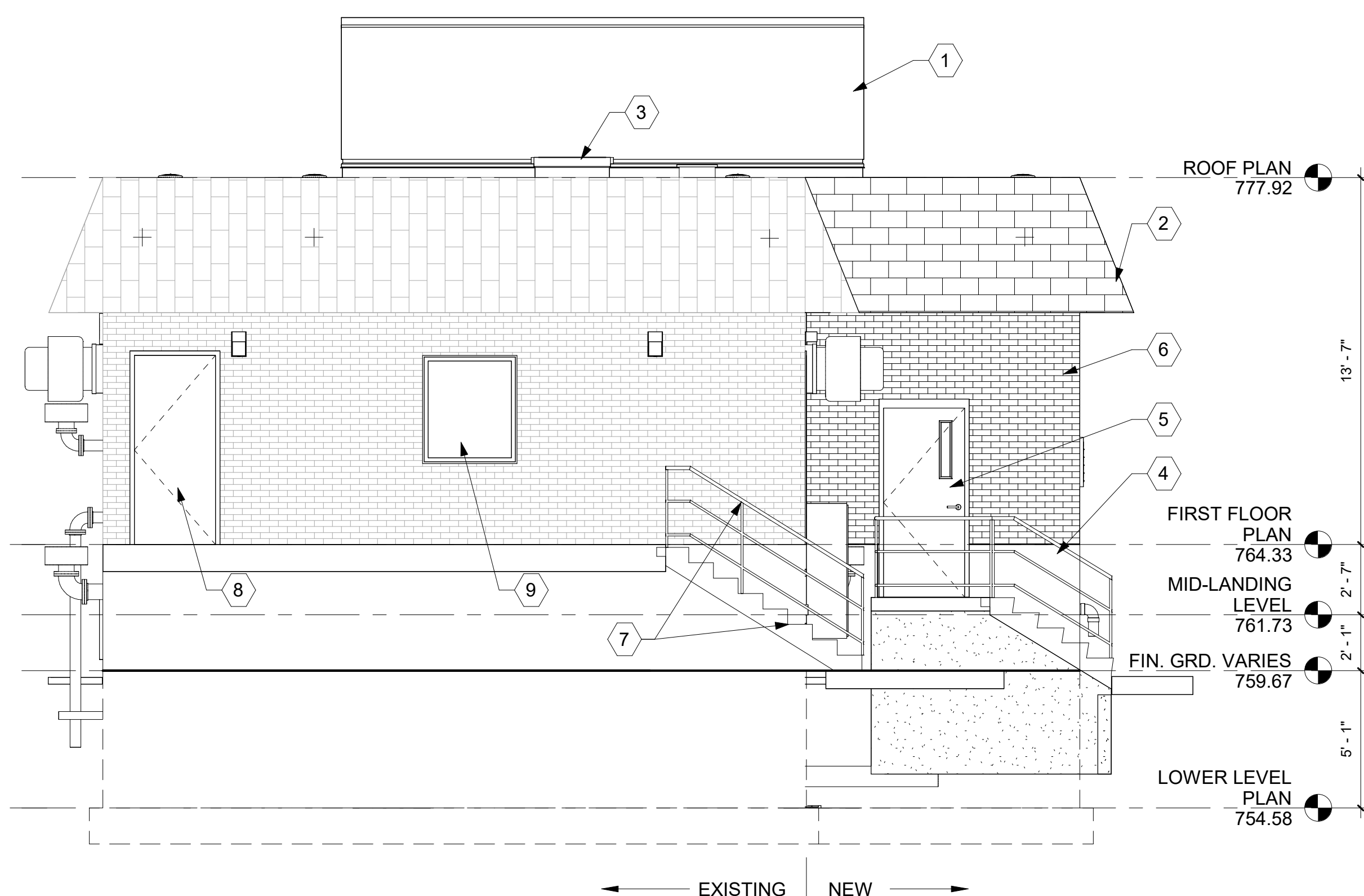
CONTRACT NO. S-448

HAMPSTEAD WASTEWATER TREATMENT
PLANT IMPROVEMENTS

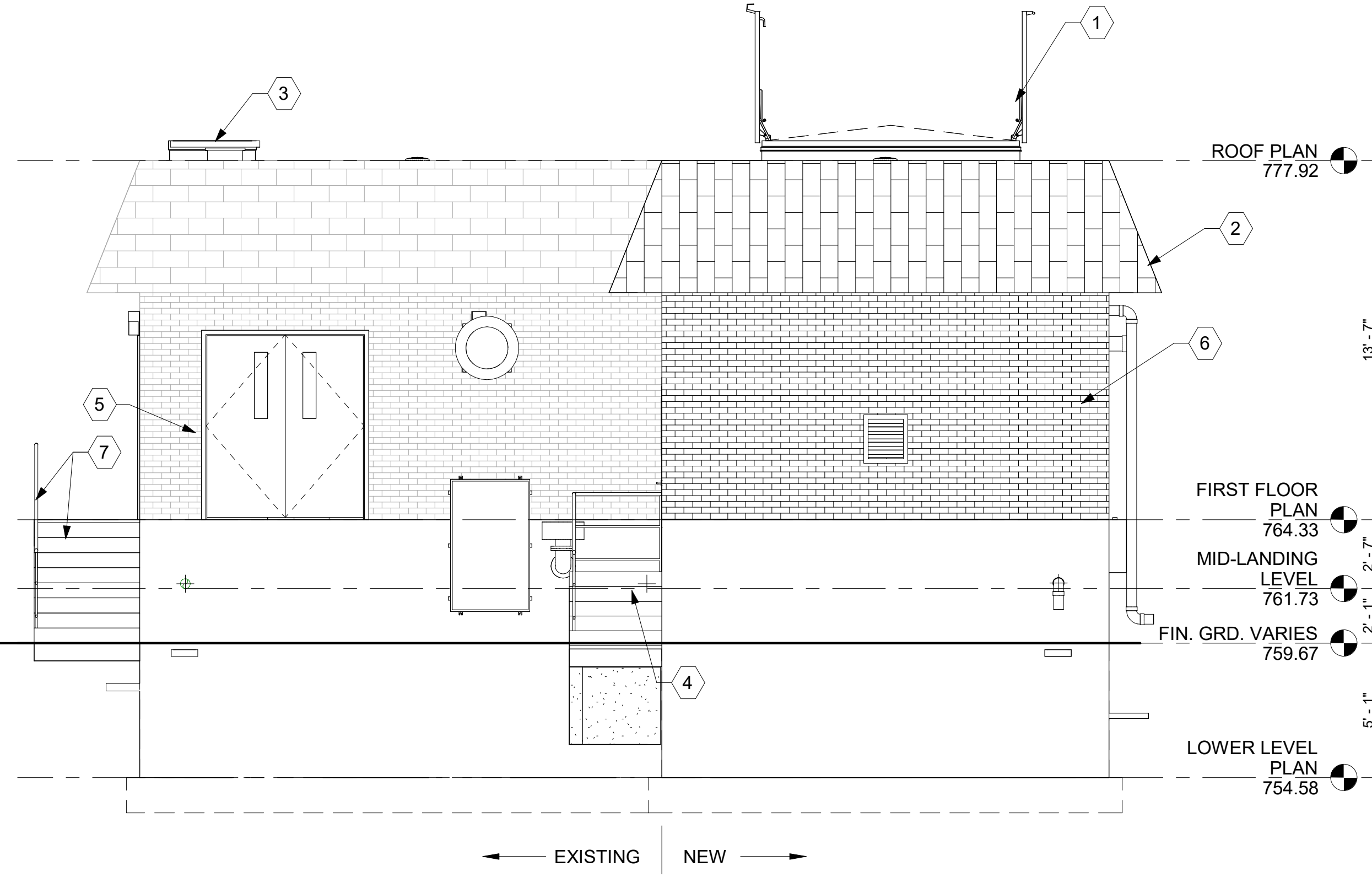
SLUDGE PRESS FACILITY - VIEWS

REV. NO.	DATE	REVISION	BY

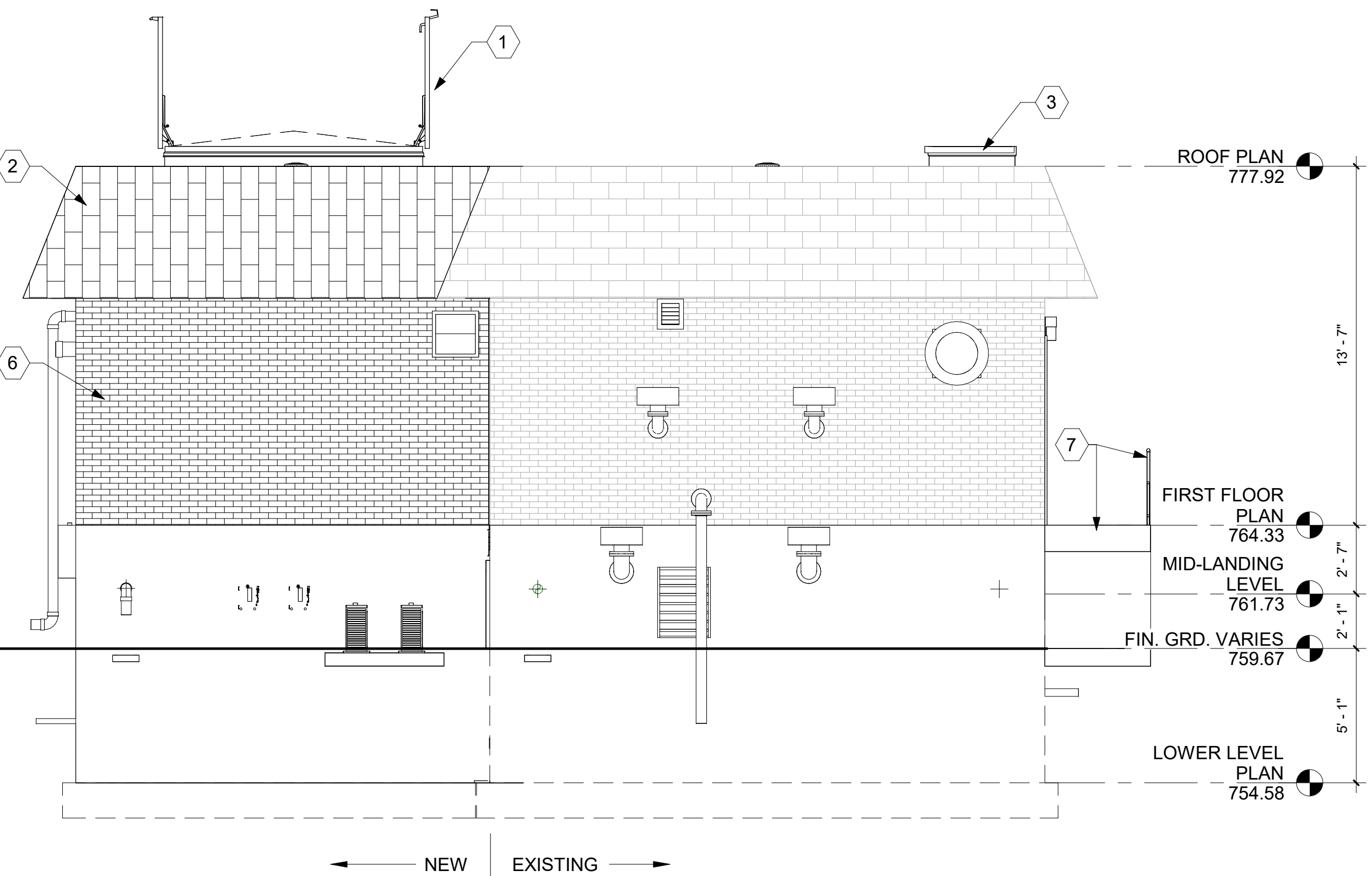
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DRAWN: SS	AS SHOWN	NO. _____	SD-17
CHECKED: AKM/GD		RF. _____	



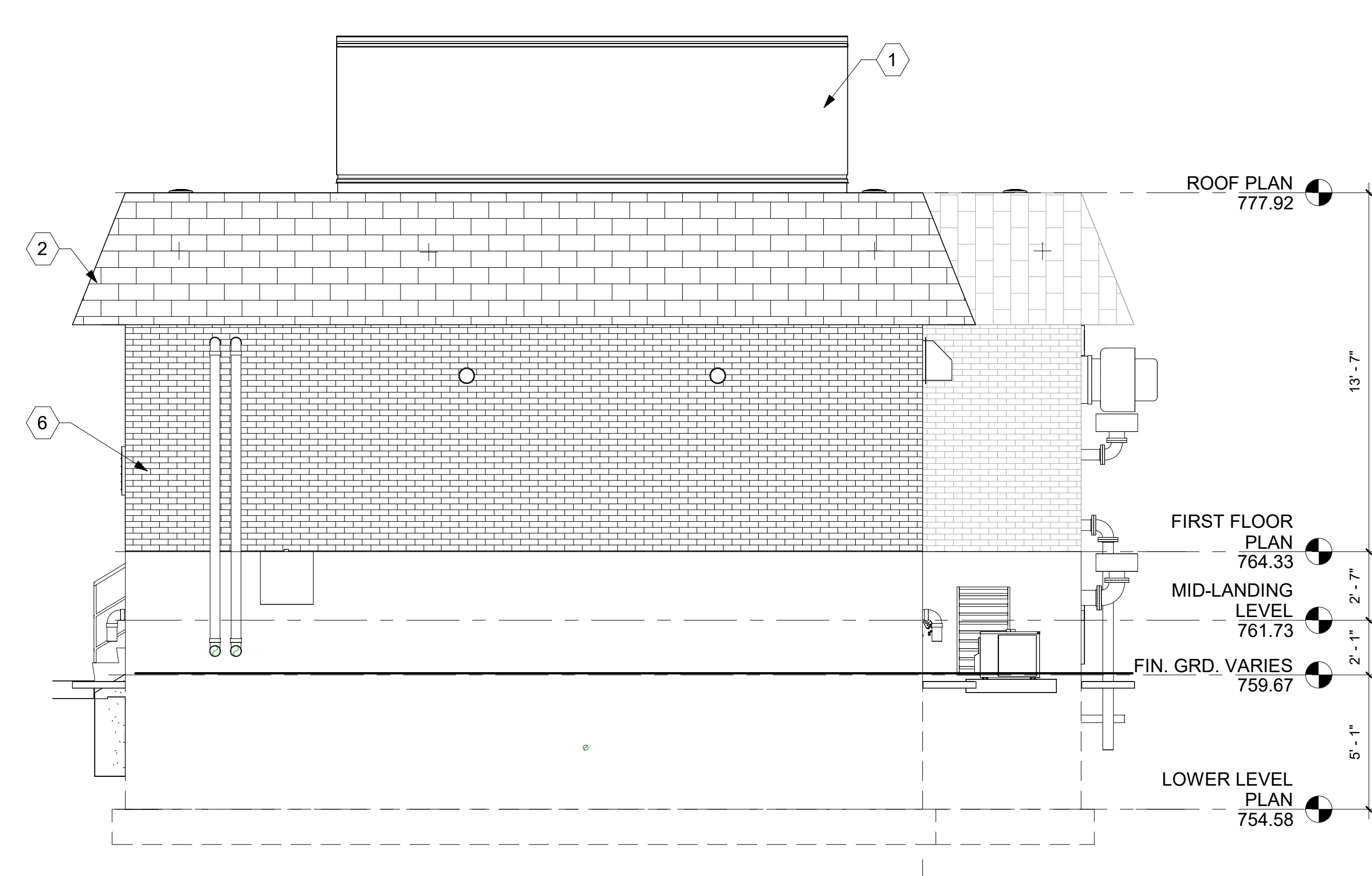
1 EAST ELEVATION
A03-201 1/4" = 1'-0"



2 NORTH ELEVATION
A03-201 1/4" = 1'-0"



3 SOUTH ELEVATION
A03-201 1/4" = 1'-0"



4 WEST ELEVATION
A03-201 1/4" = 1'-0"

GENERAL SHEETS NOTES:

1. MATERIALS AND / OR FINISH DAMAGED DUE TO NEW CONSTRUCTION WILL BE REPAIRED TO MATCH ADJOINING MATERIALS AND FINISHES AT NO ADDITIONAL COST TO THE OWNER.
2. OPENINGS IN EXTERIOR WALLS AND /OR ROOF WILL BE PROTECTED TO BE WEATHERTIGHT AT ALL TIMES. NEW ROOF OPENINGS AND /OR PENETRATIONS WILL BE FLASHED INTO THE EXISTING ROOF CONSTRUCTION TO MAINTAIN A WEATHERTIGHT INSTALLATION.
3. COORDINATE ALL WORK WITH OTHER TRADES.

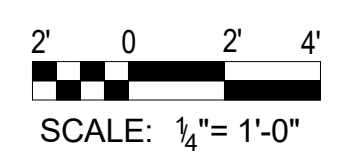
KEY PLAN NOTES: (X)

1. NEW ALUM. ROOF HATCH: 9' 6" X 19' ROUGH OPENING.
2. NEW MANSARD ROOF CONSTRUCTION AND ASPHALT SHINGLES TO MATCH EXISTING.
3. EXISTING ROOF HATCH TO REMAIN.
4. NEW EXTERIOR CONC. STEPS AND ALUM. RAILING SYSTEM TO MATCH EXISTING.
5. NEW HM DOOR, HM FRAME AND HARDWARE - SEE DOOR SCHEDULE
6. NEW 4" BRICK VENEER WITH CMU CAVITY WALL - SEE WALL SECTIONS
7. EXISTING CONC. STEPS AND ALUM. FRAMING TO REMAIN.
8. EXISTING HM DOOR AND FRAME TO REMAIN.
9. EXISTING WINDOW TO REMAIN.

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. _____
EXPIRATION DATE _____

DHILLON ENGINEERING INC.



REV. NO.	DATE	REVISION	BY



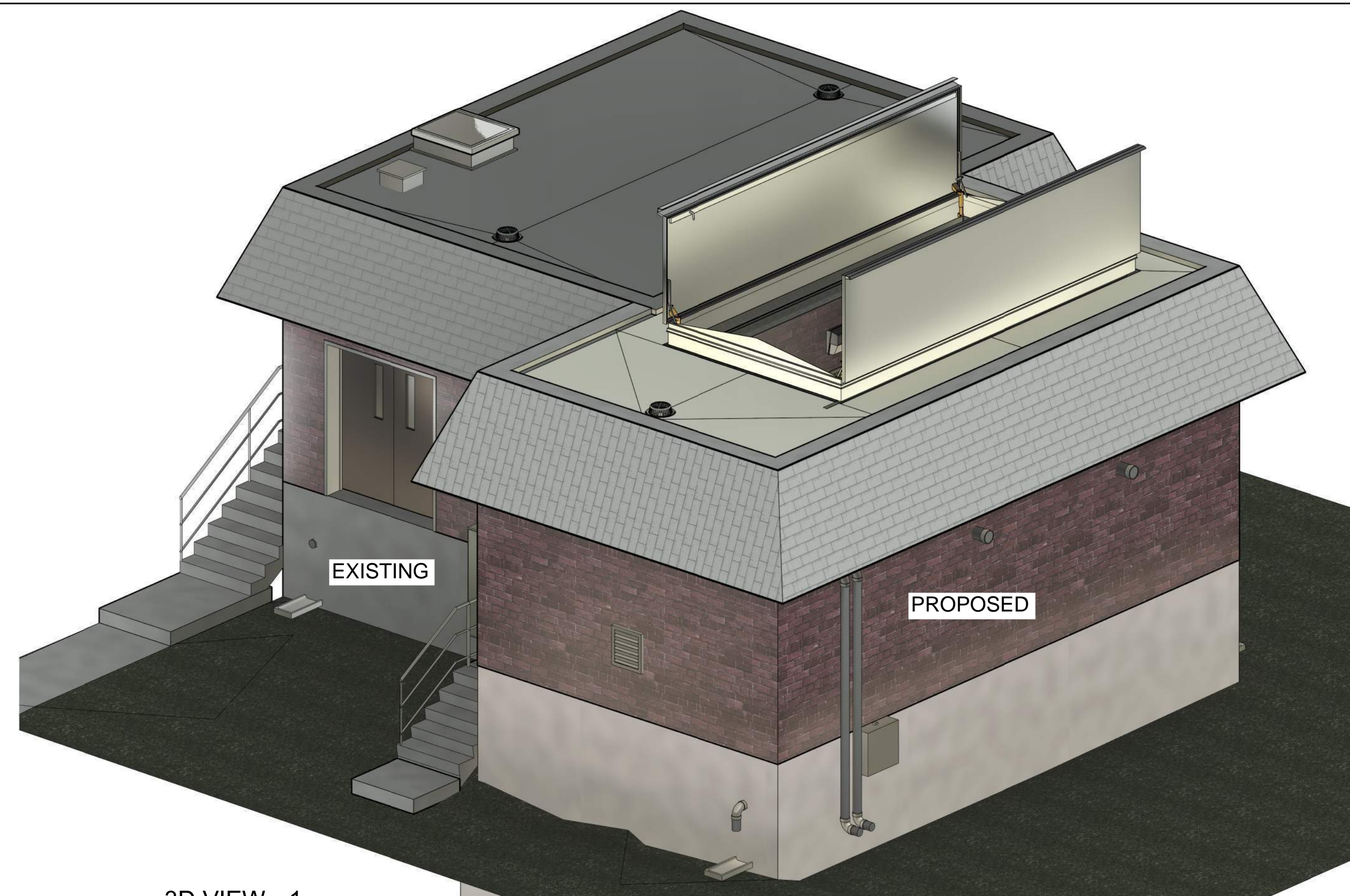
40 WIGHT AVENUE | HUNT VALLEY, MD 21030
410-329-3100 | www.jmt.com

CONTRACT NO. S-448

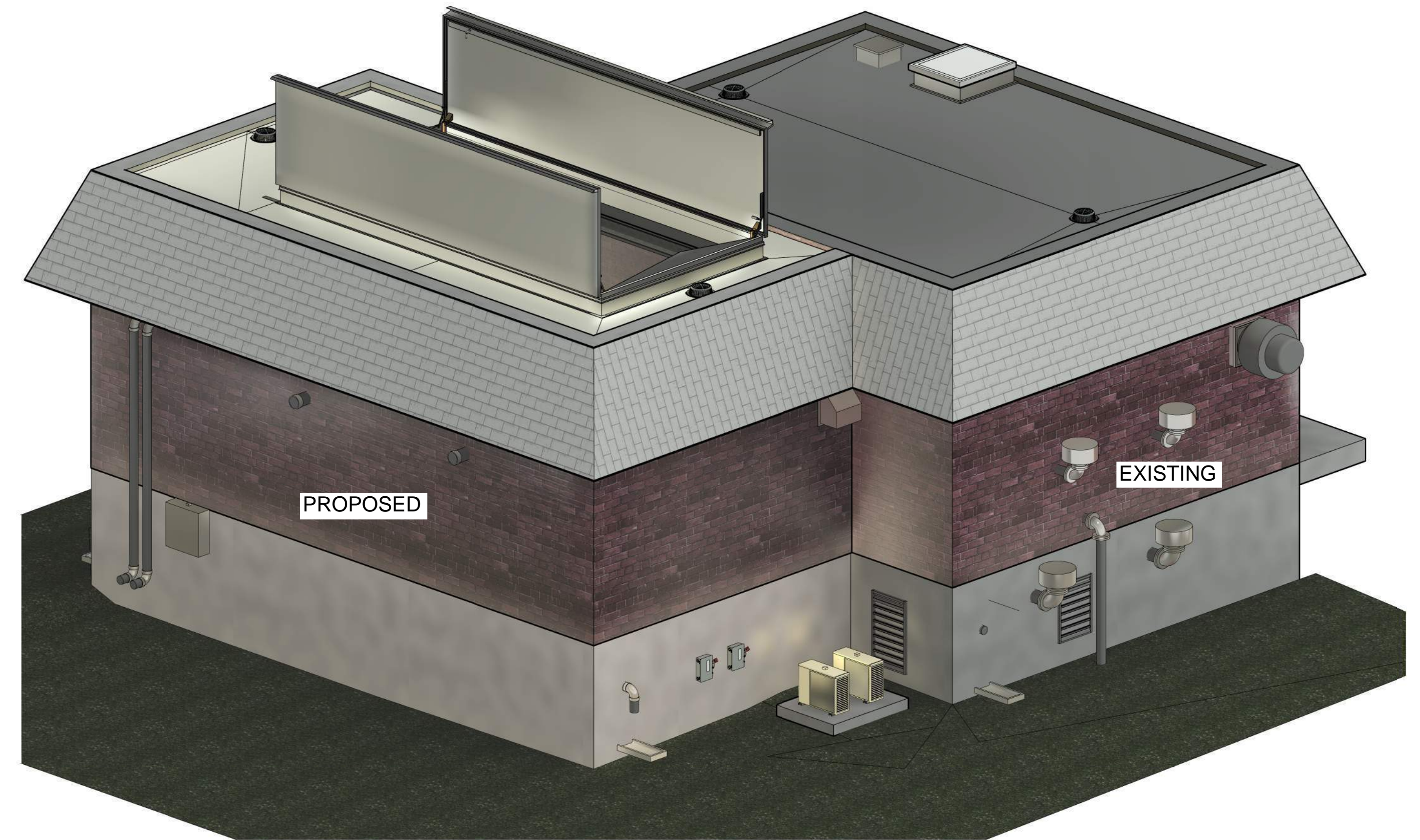
HAMPSTEAD WASTEWATER TREATMENT PLANT IMPROVEMENTS

PAC STORAGE & METERING FACILITY - ELEVATIONS

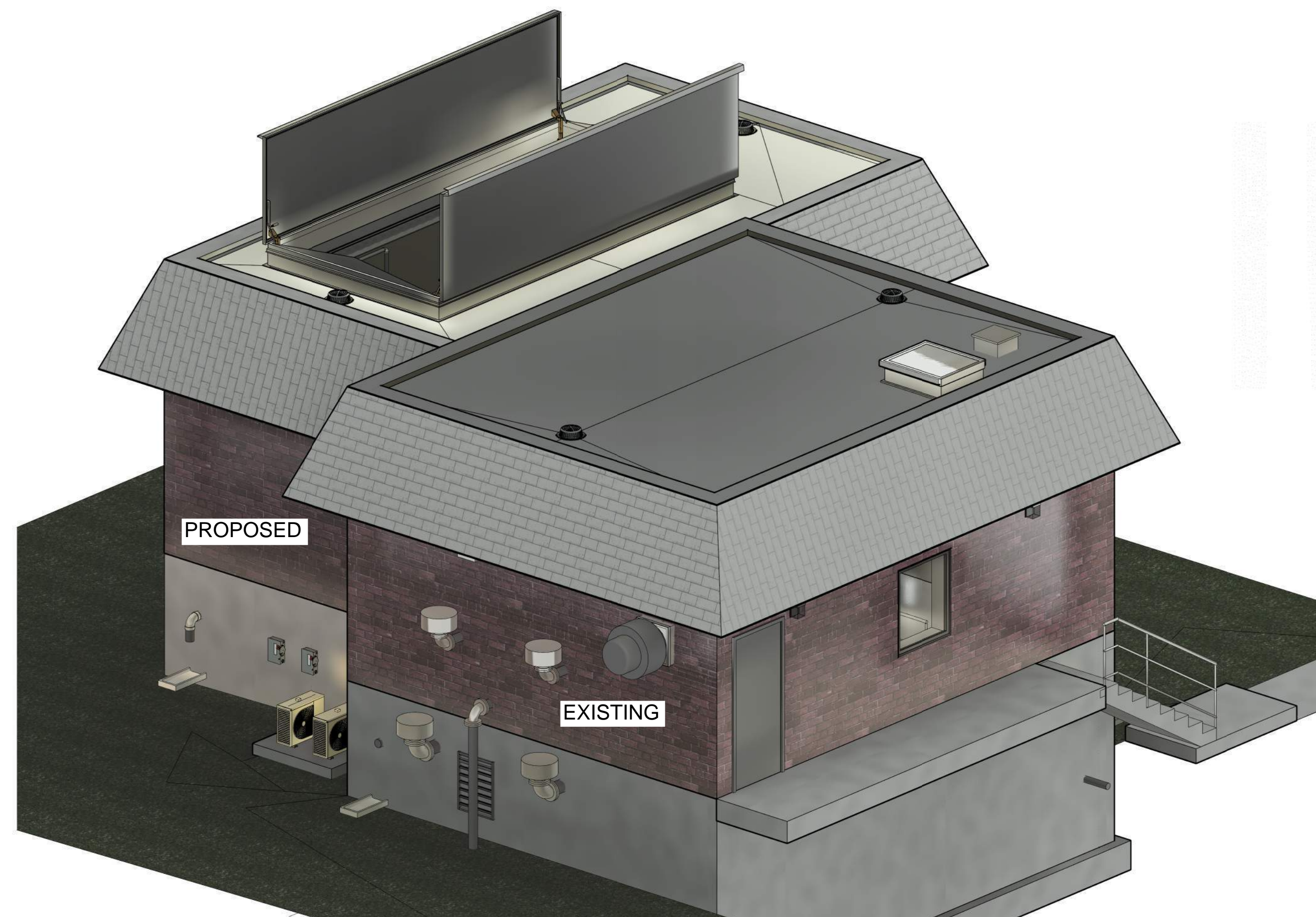
DESIGNED:	SCALE	DRAWING	SHEET NO.
JCD/GD	AS SHOWN	NO. _____ OF _____	SD-18



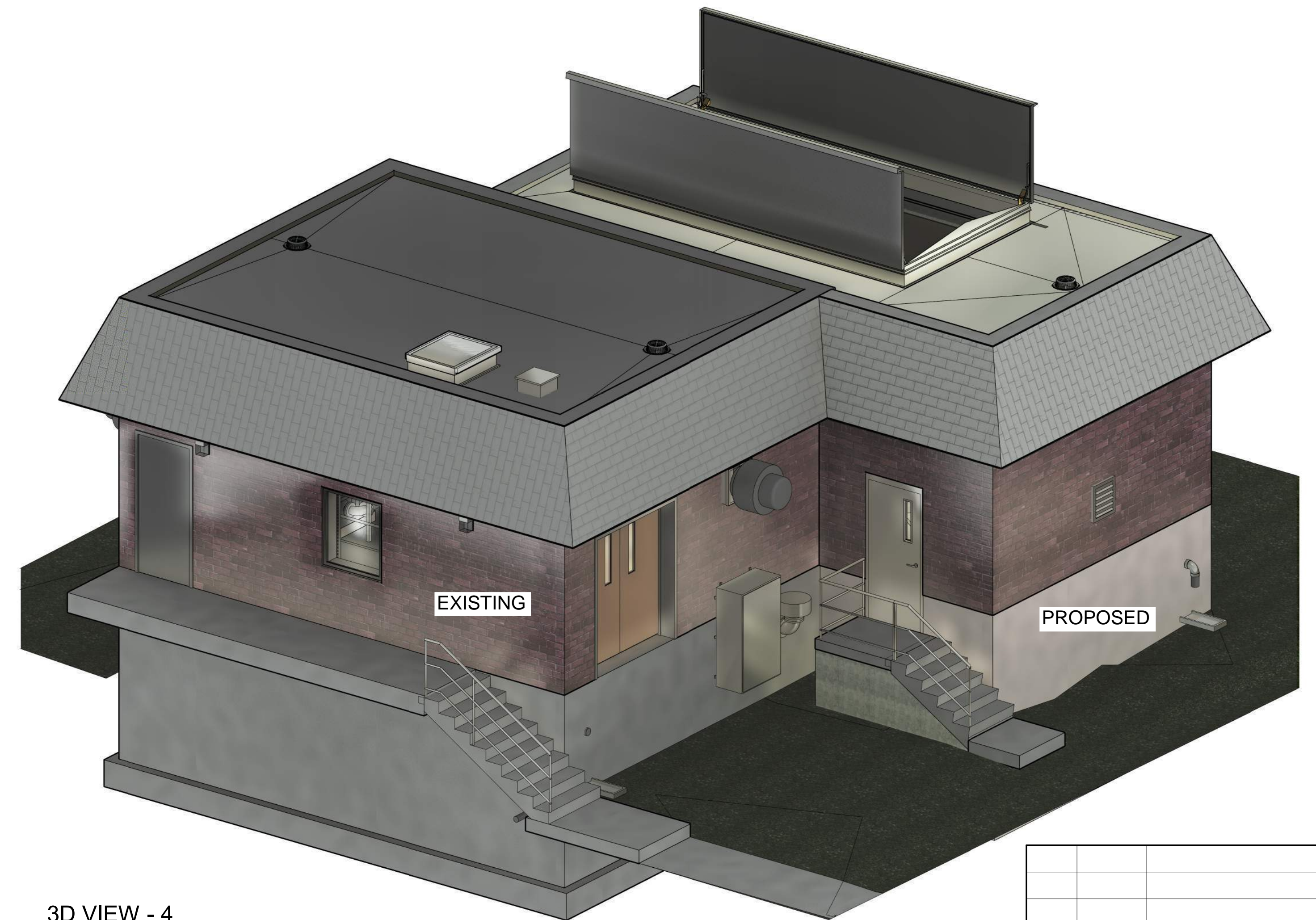
3D VIEW - 1



3D VIEW - 2



3D VIEW - 3

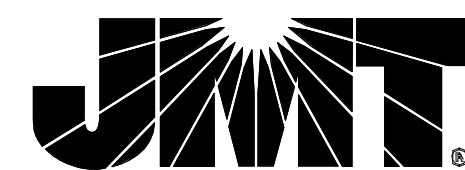


3D VIEW - 4

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF
THE STATE OF MARYLAND.



LICENSE NO.
EXPIRATION DATE



40 WIGHT AVENUE | HUNT VALLEY, MD 21030
410-329-3100 | www.jmt.com

CONTRACT NO. S-448

HAMPSTEAD WASTEWATER TREATMENT
PLANT IMPROVEMENTS

PROPOSED PAC STORAGE & METERING FACILITY - 3D VIEWS

REV. NO.	DATE	REVISION	BY

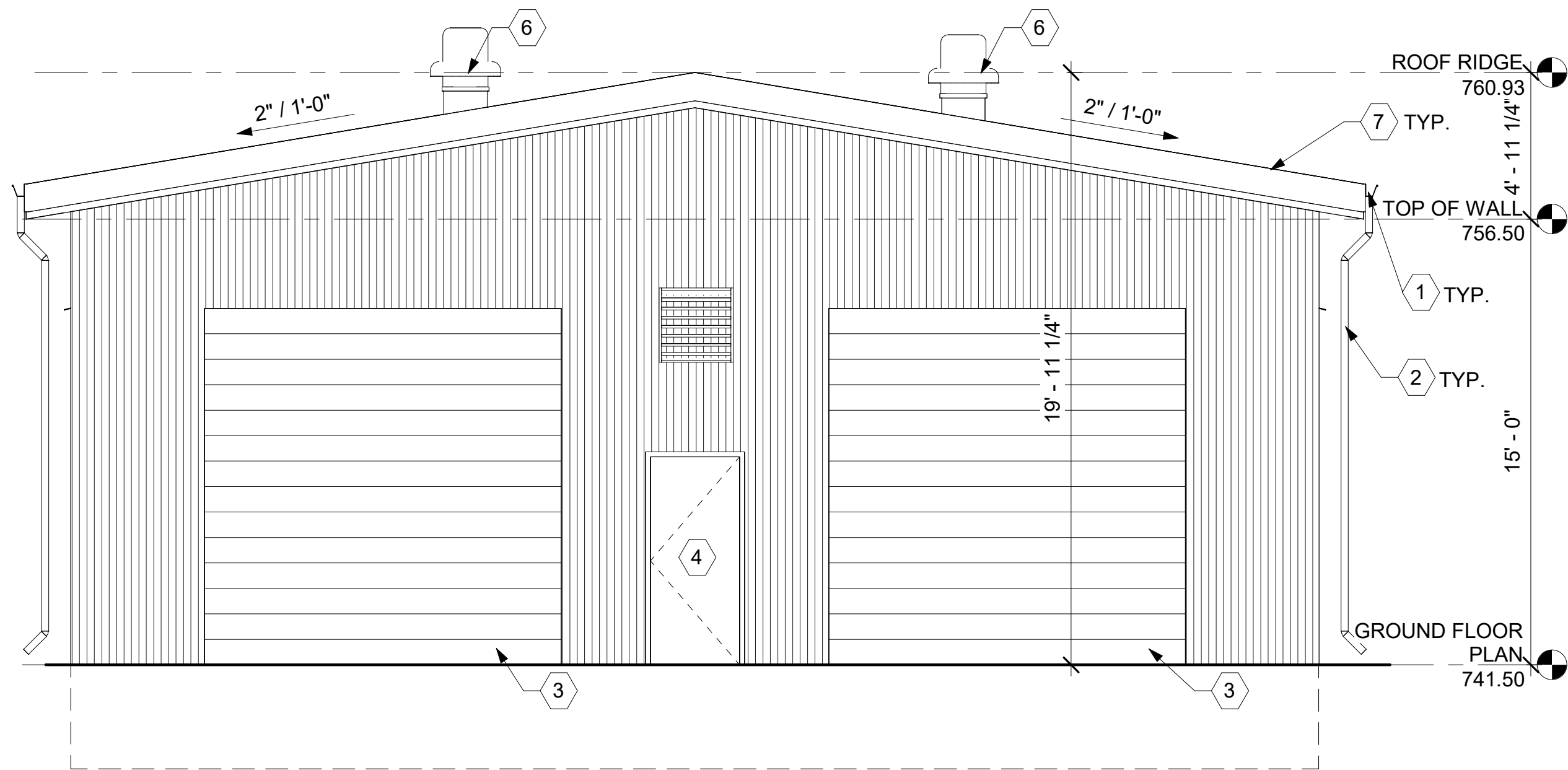
DESIGNED:	SCALE	DRAWING	SHEET NO.
JCD/GD	AS SHOWN	NO. _____	SD-19
DRAWN: SS		OF _____	
CHECKED: AKM/GD			

GENERAL SHEETS NOTES:

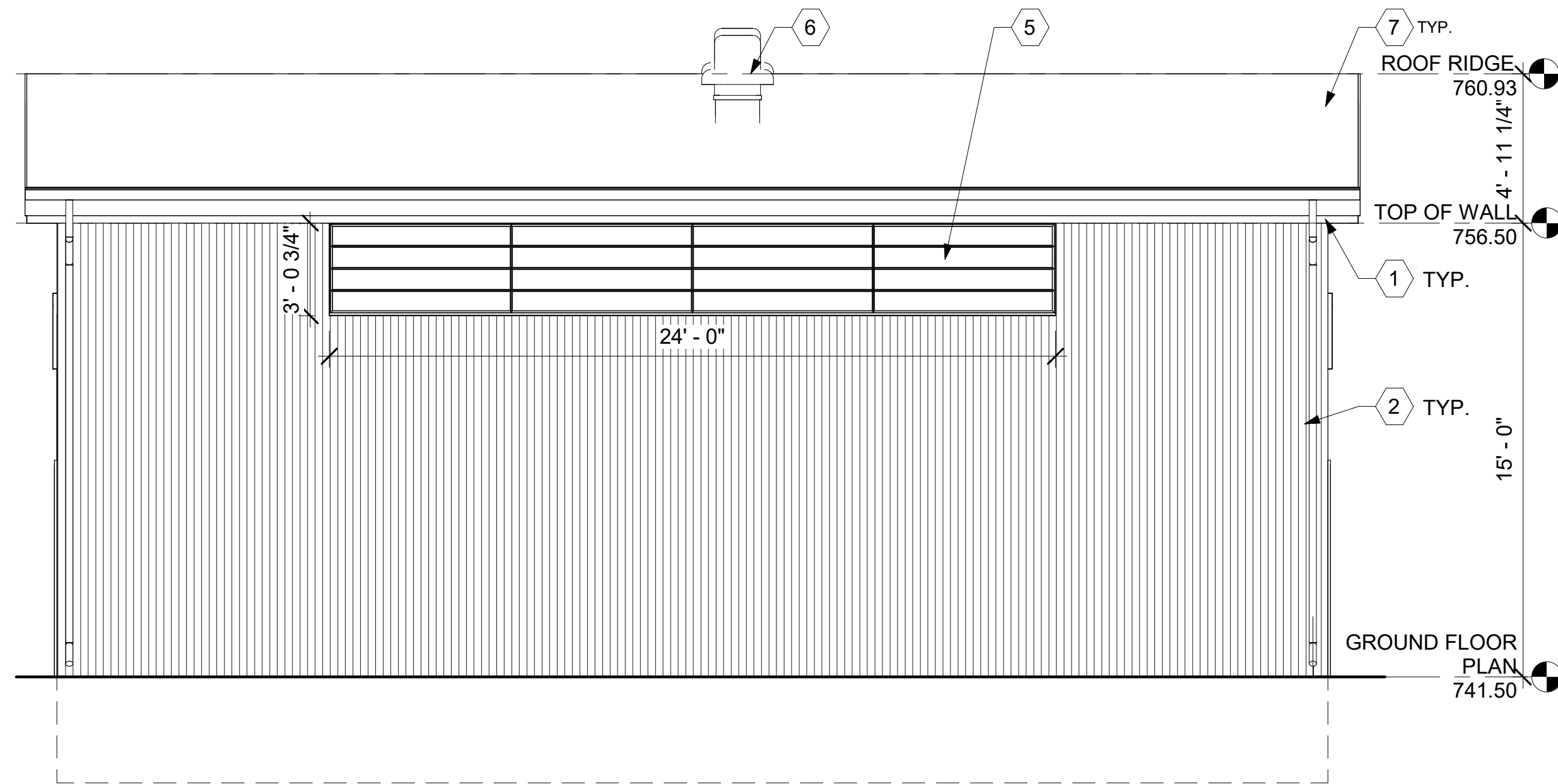
1. MATERIALS AND / OR FINISH DAMAGED DUE TO NEW CONSTRUCTION WILL BE REPAIRED TO MATCH ADJOINING MATERIALS AND FINISHES AT NO COST TO THE OWNER.
2. OPENINGS IN EXTERIOR WALLS AND /OR ROOF WILL BE PROTECTED TO BE WEATHERTIGHT AT ALL TIMES. NEW ROOF OPENINGS AND /OR PENETRATIONS WILL BE FLASHED INTO THE EXISTING ROOF CONSTRUCTION TO MAINTAIN A WEATHERTIGHT INSTALLATION.
3. COORDINATE ALL WORK WITH OTHER TRADES.

KEY PLAN NOTES: (X)

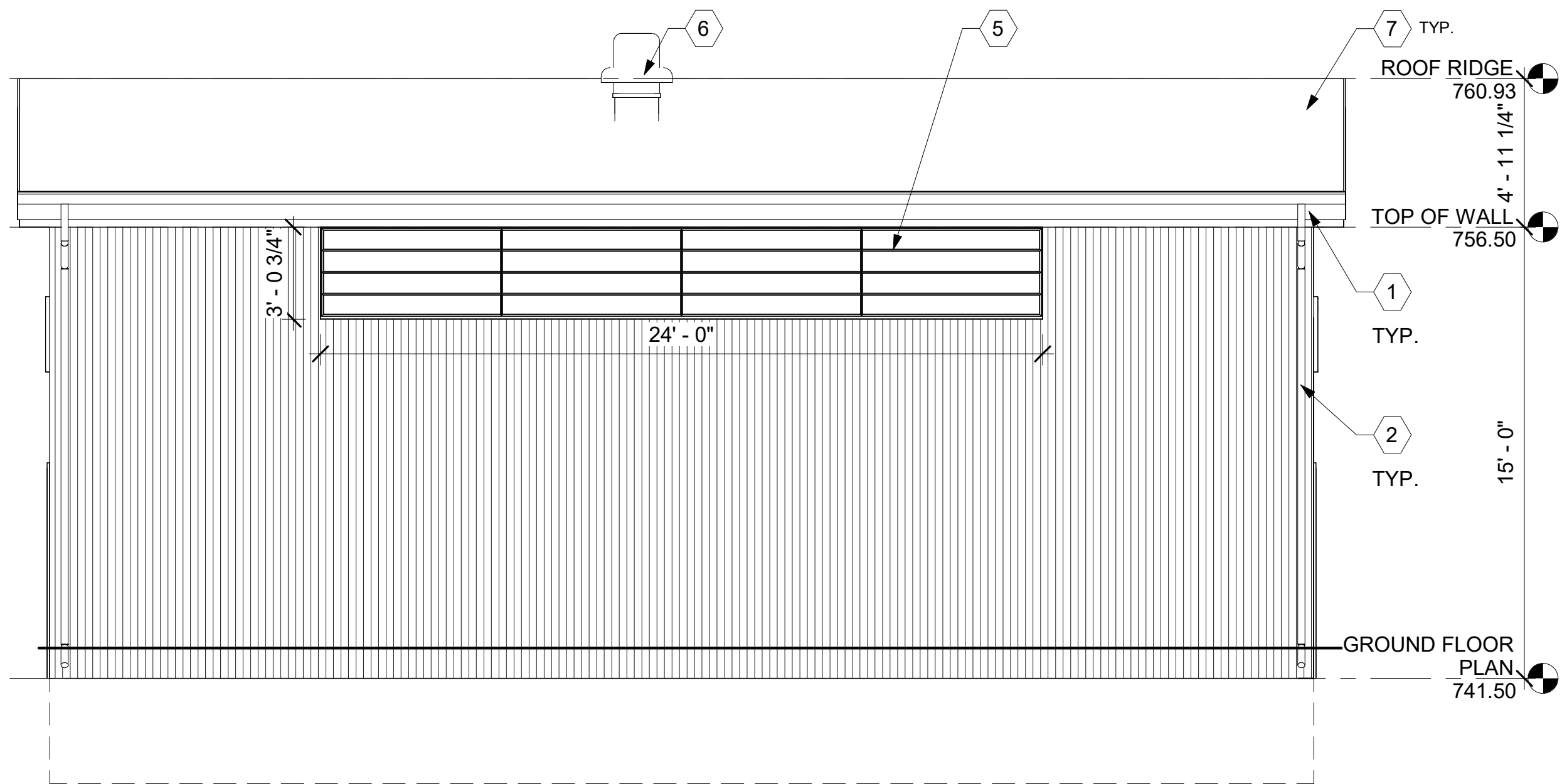
1. NEW ALUM. GUTTER.
2. NEW ALUM. DOWNSPOUT W/ SPLASH GUARD.
3. NEW 12' X 12' STEEL ROLL-UP COING DOOR AND STEEL CHANNEL FRAME.
4. NEW 3'-0" x 7'-0" HM DOOR, FRAME AND HARDWARE.
5. NEW CLERESTORY WINDOWS.
6. NEW ROOF TOP EXHAUST FAN. SEE MECH. DRAWINGS FOR DETAILS.
7. NEW STANDING SEAM METAL ROOF, TYP.



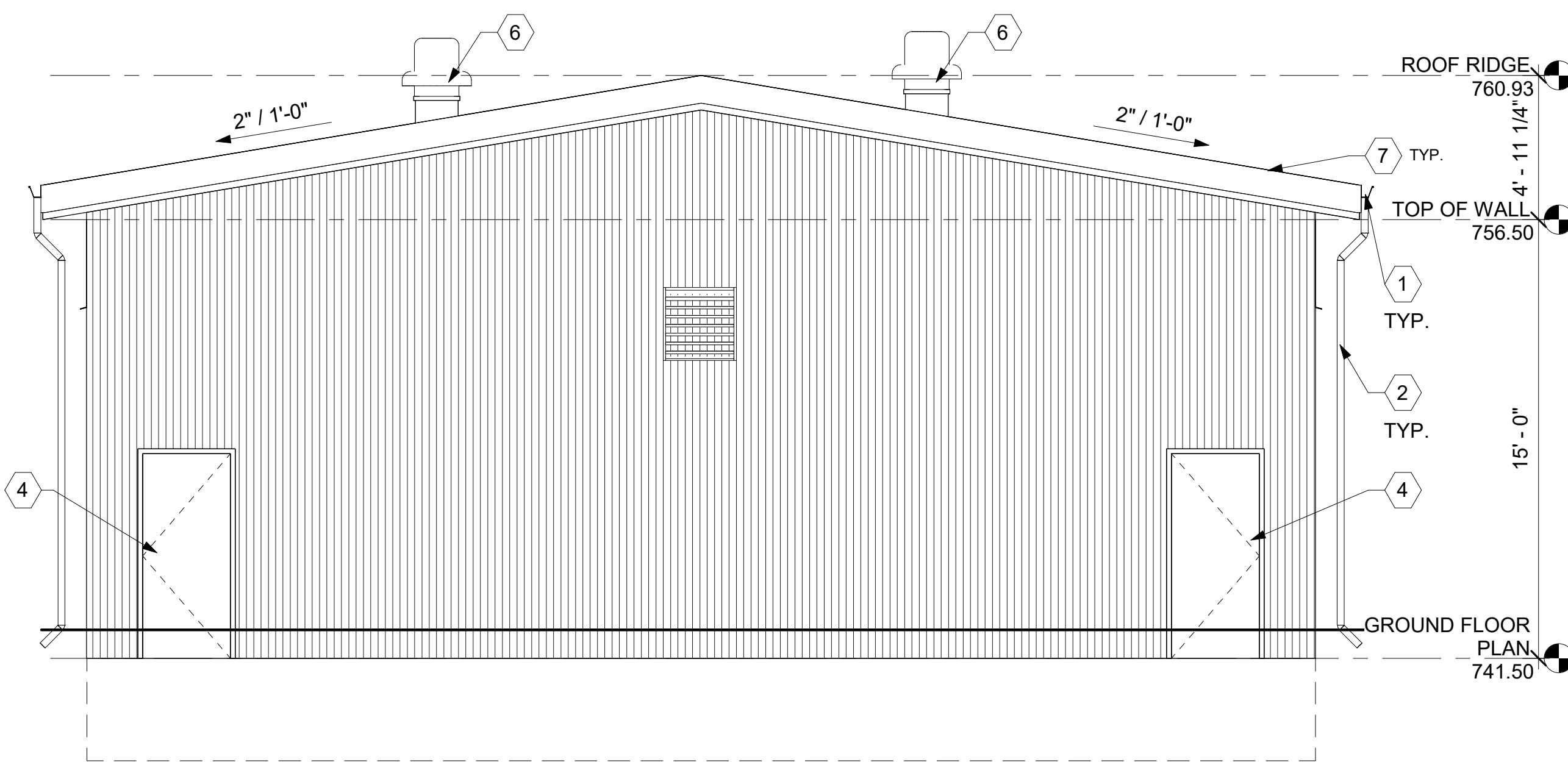
① EAST ELEVATION
1/4" = 1'-0"



② NORTH ELEVATION
1/4" = 1'-0"



③ SOUTH ELEVATION
1/4" = 1'-0"



④ WEST ELEVATION
1/4" = 1'-0"

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HAMPSTEAD WASTEWATER TREATMENT
PLANT IMPROVEMENTS

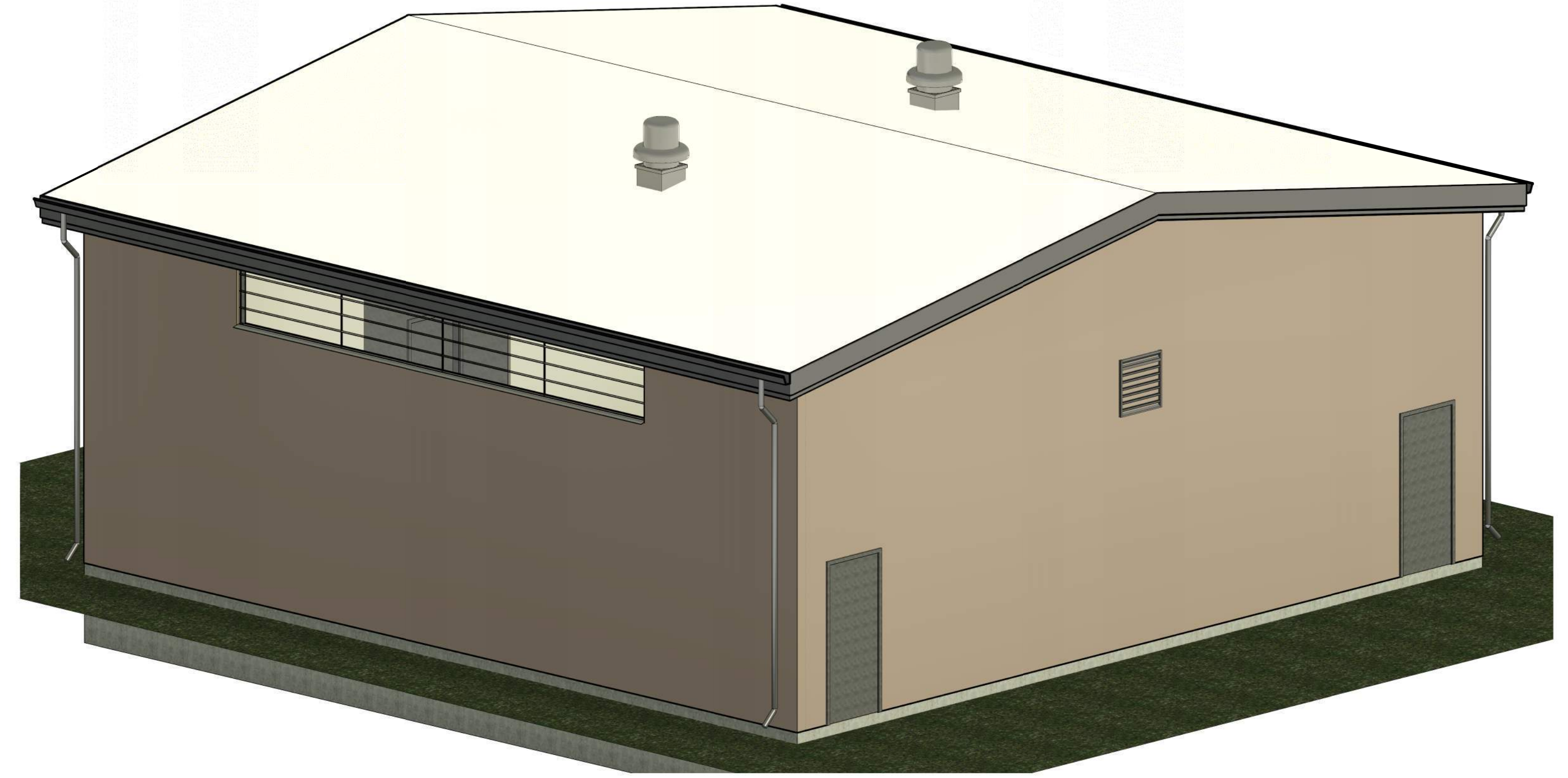
STORAGE / MAINTENANCE BUILDING - ELEVATIONS

REV. NO.	DATE	REVISION	BY

DESIGNED: JCD/GD	SCALE	DRAWING	SHEET NO.
DRAWN: SS	AS SHOWN	NO. _____	SD-20
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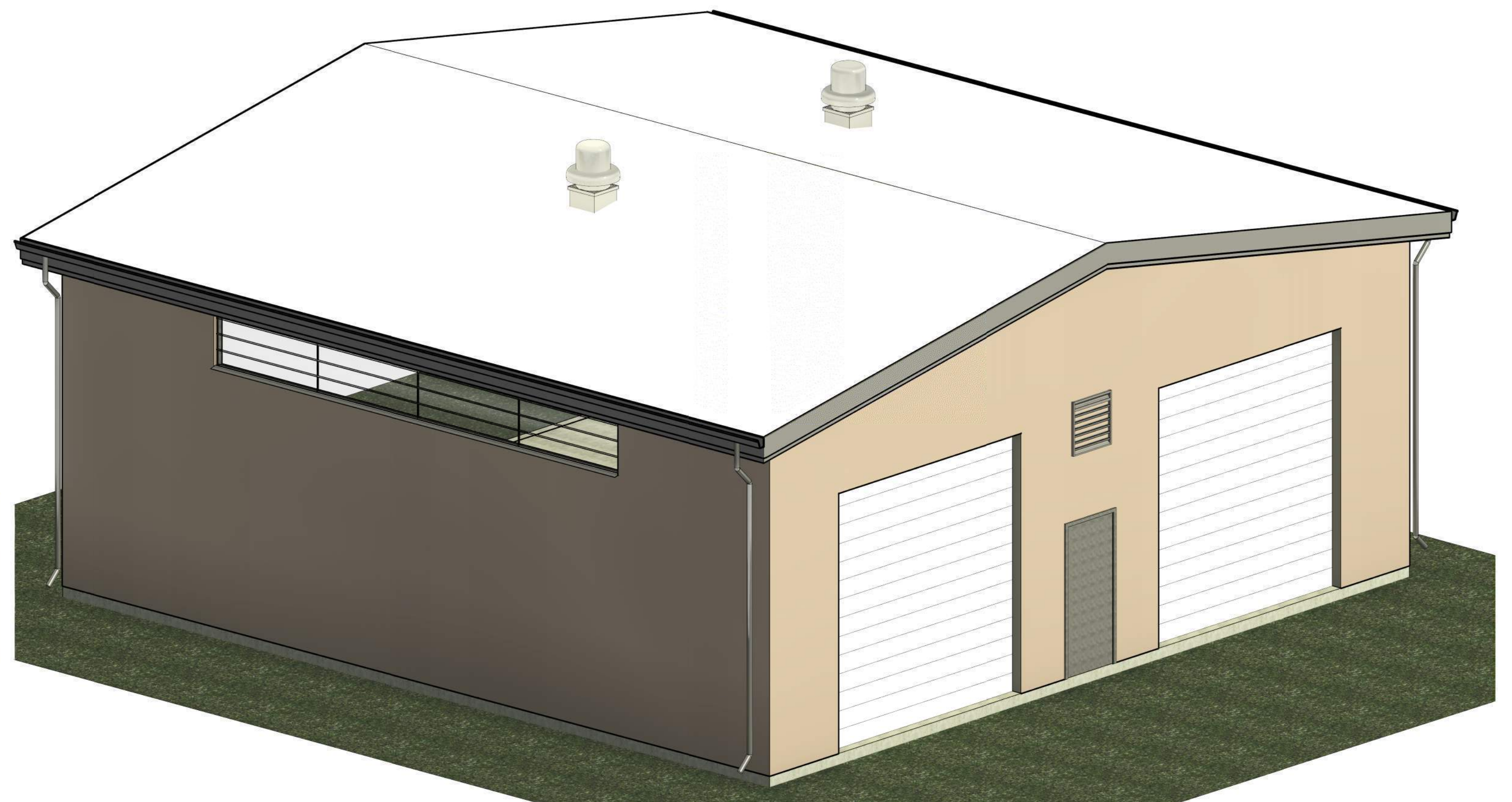
3D VIEW - 1



3D VIEW - 2



3D VIEW - 3



3D VIEW - 4

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REV. NO.	DATE	REVISION	BY

DESIGNED: JCD/GD	SCALE: _____	DRAWING	SHEET NO.
DRAWN: SS	AS SHOWN	NO. _____	SD-21
CHECKED: AM/GD		OF _____	