

GENERAL NOTES

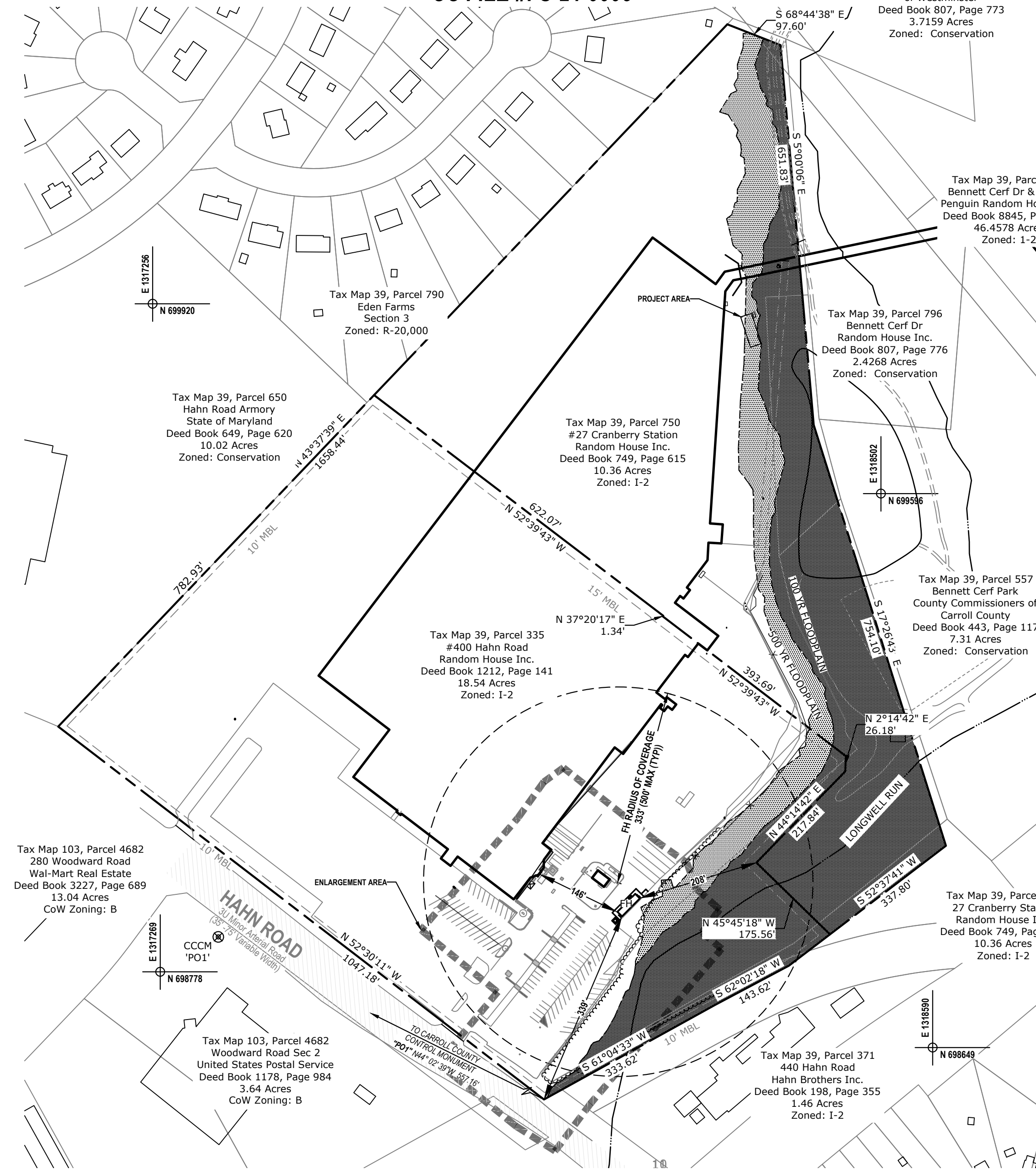
- EXISTING ZONING:** I-2 HEAVY INDUSTRIAL
- TOTAL AREA OF PROPERTY:** 28.9 ACRES
- TOTAL DEVELOPED AREA (LOD):** 9,075 SF (21 ACRES)
- PROPERTY OWNERSHIP:** THE PROPERTY SHOWN HEREON IS OWNED BY RANDOM HOUSE INC., BY DEED DATED MAY 29, 1990, RECORDER AMONG THE LAND RECORDS OF CARROLL COUNTY IN LIBER 1212, FOLIO 141.
RANDOM HOUSE INC.
c/o PENGUIN RANDOM HOUSE LLC - RYNE BARRALL
400 BENNETT CERF DRIVE
WESTMINSTER, MD 21157
410-386-7725
- TAX MAP REFERENCE:** TAX MAP 39 / GRID 20 / PARCEL 335
DEED REFERENCE: LIBER 1212 FOLIO 141
GRANTOR: COUNTY COMMISSIONERS
DATE: MAY 29, 1990
TAX MAP 39 / GRID 20 / PARCEL 750
DEED REFERENCE: LIBER 749 FOLIO 615
- TOPOGRAPHY:** TOPOGRAPHY SHOWN HEREON IS A COMBINATION OF FIELD RUN - DATED AUGUST 2022, PREPARED BY BPR LLC - AND CARROLL COUNTY LIDAR PRODUCTS AND CARROLL COUNTY DOES NOT WARRANT ITS ACCURACY FOR ANY PURPOSES.
- FIRE PROTECTION SOURCE:** LOCATION OF THE NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION IS APPROXIMATELY 30' AWAY, NEAR THE EXISTING (ON-SITE) WATER VALVE METER HOUSE.
- EXISTING UTILITIES:** THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER/SURVEYOR OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- MISS UTILITY:** THE OWNER SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE WORKING DAYS PRIOR TO THE BEGINNING OF WORK IN THE VICINITY OF EXISTING UTILITIES.
- PLAN DIMENSIONS:** THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- CHANGES TO THE PLAN:** ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
- SITE PLAN EXPIRATION:** THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF THE APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING.

SITE DATA

- PROPOSED USE:** NEW FACILITY PUMP HOUSE
- BUILDING HEIGHT:** 12 FT.
- SIGNAGE:** NO PROPOSED SIGNAGE.
- LIGHTING:** NO PROPOSED SITE LIGHTING. THERE WILL BE BUILDING MOUNTED FIXTURES.
- SOILS:** URBAN LAND COMPLEX (U/B) - 0 TO 8 PERCENT SLOPES - HYDROLOGIC SOILD GROUP D BRINKLOW CHANNERY LOAM (BrD) 15 TO 25 PERCENT SLOPES - HYDROLOGIC SOILD GROUP C CODORUS SILT LOAM (CaA) - 0 TO 3 PERCENT SLOPES - HYDROLOGIC SOILD GROUP C MANOR CHANNERY LOAM (MbD) - 15 TO 25 PERCENT SLOPES - HYDROLOGIC SOILD GROUP B
- FIRE PROTECTION:** THE NEW BUILDING WILL BE SPRINKLERED. AN EXISTING FIRE HYDRANT LOCATED AT THE WATER VALVE METER HOUSE WILL BE USED. TO BE IN COMPLIANCE WITH THE FOLLOWING FIRE PROTECTION REQUIREMENTS:
A. PROVIDE A 333 FT RADIUS OF COVERAGE FOR THE ENTIRE BUILDING FOOTPRINT
B. PROVIDE A MAXIMUM 100' DISTANCE TO THE FIRE DEPARTMENT CONNECTION
- PUBLIC WATER & SEWAGE SERVICE:** THIS SITE IS SERVED BY EXISTING CITY OF WESTMINSTER PUBLIC WATER & SEWER SERVICES.
- STORMWATER MANAGEMENT (SWM):** THIS PROJECT IS IN COMPLIANCE WITH CARROL COUNTY SWM CODE. ESD TO THE MEP HAS BEEN ACHIEVED ENTIRELY BY THE IMPLEMENTATION OF MICRO-SCALE ESD PRACTICES, AND THE COUNTY HAS DETERMINED THAT THERE IS NO HISTORICAL FLOODING PROBLEMS OR UNCONTROLLED DEVELOPMENT OCCURRING DOWNSTREAM OF THIS PROJECT.
- SEDIMENT & EROSION CONTROL:** THIS PROJECT IS IN COMPLIANCE WITH CHAPTER 152 OF THE CARROLL COUNTY GRADING AND SEDIMENT CONTROL CODE, UNDER SECTION 152.005 FOR PROJECTS WHICH DISTURB BETWEEN 5,000 TO 30,000 SF. THE PROJECT WILL MEET THE SEDIMENT CONTROL REQUIREMENTS OF THE COUNTY'S "STANDARD SEDIMENT AND EROSION CONTROL PLAN" AS DIRECTED BY THE GRADING PERMIT. A DESIGNED SEDIMENT CONTROL PLAN IS NOT REQUIRED.
- WATER RESOURCE PROTECTION:** DESIGNATED WATER RESOURCE PROTECTION AREA(S): THIS SITE LIES WITHIN THE METAVOLCANIC ROCK-SAPROLITE AQUIFER - WITHIN AN AQUIFER PROTECTION AREA, A SURFACE WATER MANAGEMENT AREA AND A MULTIPLE MANAGEMENT AREA. IT IS NOT WITHIN A CARBONITE ROCK AREA, A WELLHEAD PROTECTION AREA, OR NEAR ANY EXISTING OR POTENTIAL MUNICIPAL WELL SITES OR WELL SITE BUFFERS.
STREAM USE & DRAINAGE BASIN DESIGNATION: THE SITE IS WITHIN THE LIBERTY RESERVOIR DRAINAGE BASIN (02130907). THE ADJACENT STREAM (LONGWELL RUN) HAS A STREAM USE DESIGNATION OF I-P.
TIER II HIGH QUALITY WATERS: THE SUBJECT PROPERTY DOES RESIDE WITHIN A TIER II CATCHMENT W/ NO ASSIMILATIVE CAPACITY REMAINING - AS DESIGNATED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE).
FLOODPLAIN: THERE ARE BOTH 100 YEAR & 500 YEAR FLOODPLAIN AREAS WITHIN THE PROPERTY LIMITS AND DIRECTLY ADJACENT TO THE PROJECT LIMITS OF DISTURBANCE.
TOXIC SUBSTANCES: THE DEVELOPMENT SHOWN BY THIS PLAN DOES NOT INVOLVE THE STORAGE, USE, SALE OR MAINTENANCE OF ANY REGULATED SUBSTANCES, AND NO SUCH ACTIVITIES ARE INTENDED FOR THIS PROPERTY. REGULATED SUBSTANCES ARE PROHIBITED.
- TRAFFIC CONTROL PLAN:** NOT APPLICABLE.
- GARBAGE COLLECTION:** NOT APPLICABLE.
- PARKING TABULATION:** NOT APPLICABLE.

SITE DEVELOPMENT PLAN
FOR
PENGUIN RANDOM HOUSE
3RD AMENDED SITE PLAN
FIRE PUMP UPGRADES

7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP - 39 GRID - 20 PARCEL - 335 & 750
CC FILE #: S-24-0005

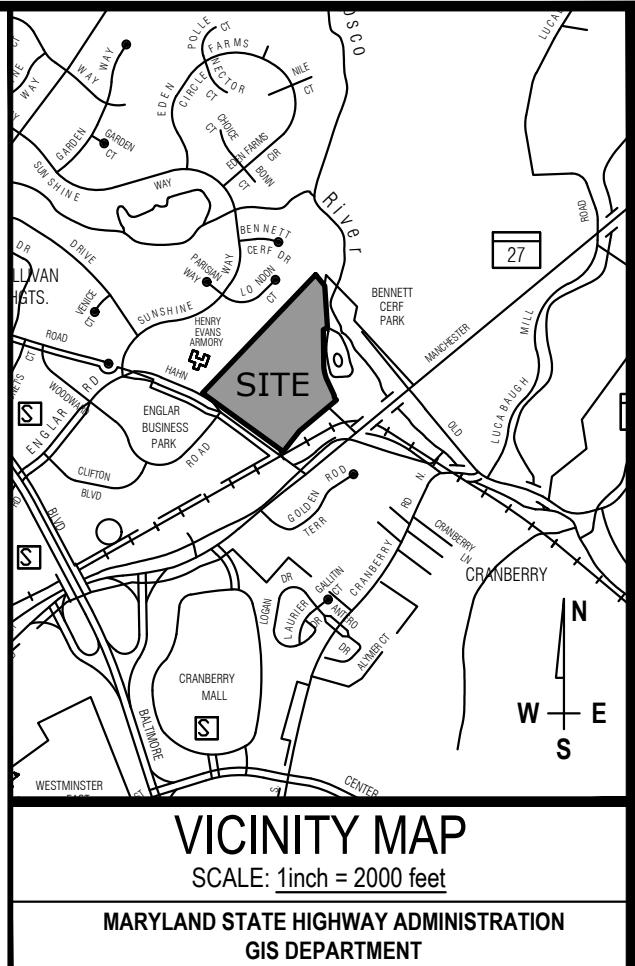


SITE MAP

SCALE: 1"=150'

LIST OF DRAWINGS

- TITLE SHEET
- EXISTING CONDITIONS & DEMOLITION PLAN
- SITE LAYOUT PLAN
- CONSTRUCTION DETAILS
- SWM GRADING PLAN & ESD MAPPING, NOTES & DETAILS
- STORMWATER MANAGEMENT NOTES & DETAILS
- SEDIMENT EROSION CONTROL PLAN
- PUMP HOUSE BUIDLING ELEVATIONS
- VARIABLE WIDTH STREAM BUFFER DETERMINATION



INSPECTION SEQUENCE NOTES

- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED THE FOLLOWING STAGES DURING CONSTRUCTION.
a. PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
b. PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
c. SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
d. COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
e. COMPLETION OF ALL WORK SHOWN ON THESE PLANS.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT (410)-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT (410)-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- STREAM BUFFERS SHALL BE IDENTIFIED AT THE CONSTRUCTION SITE AND PROTECTED THROUGH THE INSTALLATION OF HIGHLY VISIBLE, WELL-ANCHORED FENCING (SHOULD DISTURBANCE BE PROPOSED IN THE VICINITY OF THE BUFFER) PRIOR TO ANY LAND CLEARING OR GRADING. SUITABLE FENCING MEASURES INCLUDE BLAZE-ORANGE, PLASTIC, MESH FENCING, TWO OR THREE-STRAND WIRE FENCE WITH HIGHLY VISIBLE FLAGS, OR SNOW FENCING WITH HIGHLY VISIBLE FLAGS ON ANCHOR POSTS. IF A FOREST CONSERVATION AREA, AS REQUIRED BY CHAPTER 150, FOREST CONSERVATION, OF THE CODE, COMPLETELY INCLUDES THE STREAM BUFFER AREA, THEN NO ADDITIONAL FENCING IS REQUIRED. PROTECTIVE FENCING SHALL BE INSTALLED AND INSPECTED BY THE COUNTY PRIOR TO THE ISSUANCE OF ANY GRADING PERMIT.
AFTER CONSTRUCTION HAS BEEN COMPLETED AND THE SITE IS STABILIZED, ALL STREAM BUFFER PROTECTIVE FENCING SHALL BE REMOVED FROM THE SITE FOR PROPER DISPOSAL; HOWEVER, SIGNS SHALL REMAIN IN PLACE AFTER CONSTRUCTION HAS BEEN COMPLETED.
THE DEVELOPER SHALL PROVIDE PERMANENT SIGNS TO IDENTIFY THE WATER RESOURCE PROTECTION EASEMENT AREA. THESE SIGNS SHALL BE INSTALLED AT 100 FEET INTERVALS AROUND THE PERIMETER OF THE EASEMENT. SIGNS SHALL BE CONSTRUCTED OF NON-BIODEGRADABLE MATERIALS AND AFFIXED TO POSTS OF LASTING MATERIALS (E. G., OAK OR METAL STAKES). POSTS SHALL BE FOUR FEET ABOVE GROUND AND TWO FEET BELOW GROUND.
ALL SIGNS MUST BE INSTALLED AT THE TIME OF DEED OF EASEMENT RECORDATION.
- THE CONTRACTOR SHALL NOT PROCEED TO NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.

CARROLL COUNTY SIGNATURE BLOCKS

CARROLL COUNTY PLANNING AND ZONING COMMISSION
BY: _____ DATE: _____

CARROLL COUNTY HEALTH DEPARTMENT
BY: _____ DATE: _____

COMMUNITY WATER SUPPLY AND/ OR COMMUNITY SEWERAGE SYSTEMS ARE IN CONFORMANCE WITH THE CARROLL COUNTY MASTER PLAN.

CARROLL COUNTY SOIL CONSERVATION DISTRICT
THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT.
BY: _____ DATE: _____

CITY OF WESTMINSTER SIGNATURE BLOCKS

CITY OF WESTMINSTER, DIRECTOR OF PUBLIC WORKS
APPROVED: _____ DATE: _____

DATE	REVISION	BY
8/7/24	ADDRESS COUNTY COMMENTS	MJM
6/6/24	ADDRESS COUNTY COMMENTS	MJM
4/12/24	ADDRESS COUNTY COMMENTS	MJM

TITLE SHEET
PENGUIN RANDOM HOUSE

FIRE PUMP UPGRADES
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP - 39 GRID - 20 PARCEL - 335 & 750

Surveyed By BPR	Drawn By MJM
Computed By BPR	Checked By BPR
Date:	FEBRUARY 22, 2024
Sheet:	1 OF 9
Scale:	1" = 150'
BPR Drawing No.:	22-0614
CC FILE #: S-24-0005	

BPR LLC
SURVEYORS - LAND PLANNERS
150 AIRPORT DRIVE - SUITE 4
WESTMINSTER, MARYLAND 21157
PHONE: (410)-857-9030
OR (410)-876-0333
FAX: (410)-876-1532
WWW.BPRSURVEYING.COM



THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RELEVANT REGULATIONS RELATIVE TO APPROPRIATE. THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

ENGINEERS CERTIFICATION

I hereby certify that these construction drawings and associated computations were prepared by me or under my supervision and comply with all applicable standards and regulations of Carroll County. I have reviewed these documents with the Owner/Developer.

NAME (PRINTED) _____ DATE _____
MD REGISTRATION N^o: _____ EXP DATE: _____
SIGNATURE _____ DATE _____

OWNER / DEVELOPER CERTIFICATION

I/We hereby certify that all proposed work shown on these construction drawing(s) has been reviewed by me/us and that I/We fully understand what is necessary to accomplish this work and that the work will be conducted in strict accordance with these plans. I/We also understand that any changes to these plans will require an amended plan to be reviewed and approved by the Carroll County Planning and Zoning Commission before any change in the work is made.

Name(s) (Printed) _____ Date _____
Signed _____ Date _____

OWNER / DEVELOPER

PENGUIN RANDOM HOUSE LLC
C/O RYNE BARRALL
400 BENNETT CERF DRIVE
WESTMINSTER, MD 21157
410-386-7725

EXISTING

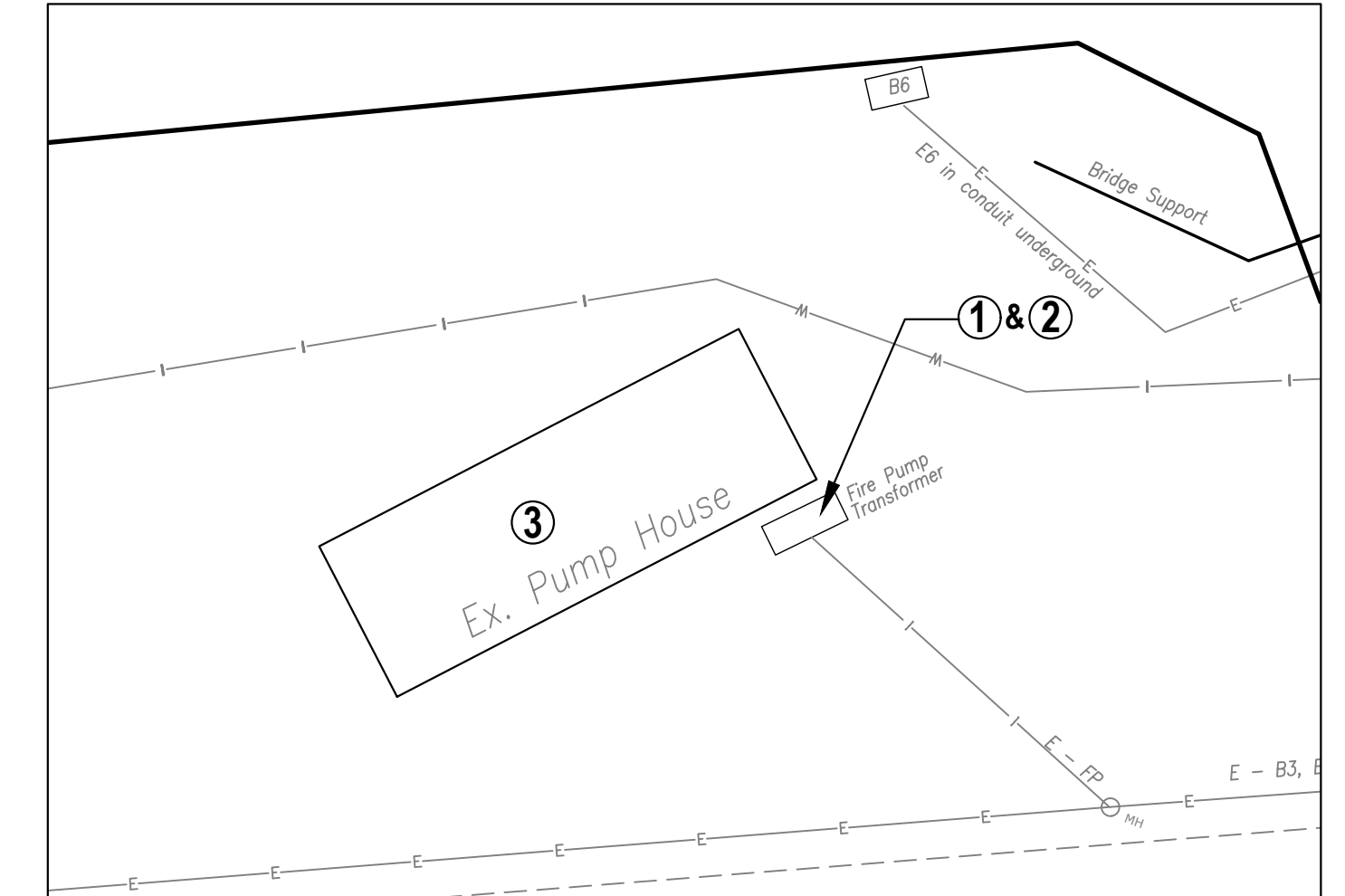
LEGEND

PROPOSED

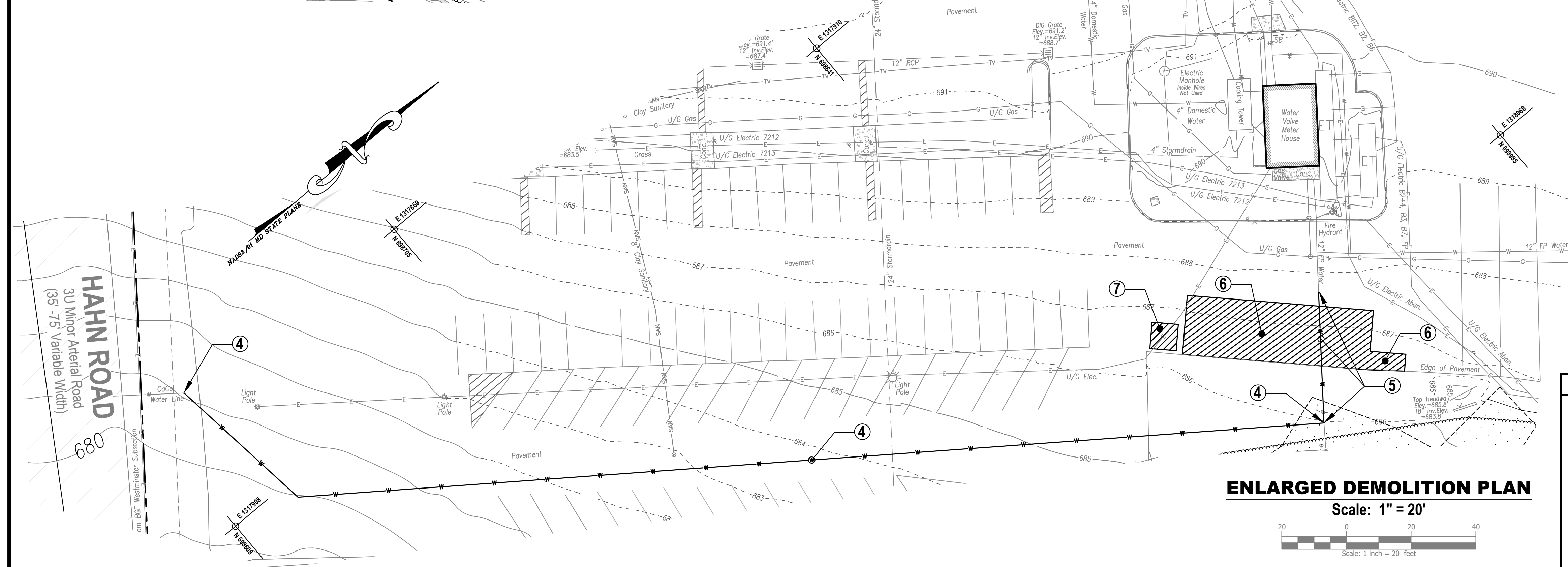
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-----	PROPERTY LINE ADJOINER	-----	DENOTES CONTOURS	-----	PROPERTY LINE ADJOINER	-----	DENOTES CONTOURS
-----	DENOTES EDGE OF ROAD	-----	DENOTES SUPER SILT FENCE	-----	DENOTES EDGE OF ROAD	-----	DENOTES SUPER SILT FENCE
-----	DENOTES CURB	-----	DENOTES SILT FENCE	-----	DENOTES CURB	-----	DENOTES SILT FENCE
-----	CENTER LINE ROAD	-----	LIMITS OF DISTURBANCE	-----	CENTER LINE ROAD	-----	LIMITS OF DISTURBANCE
-----	DENOTES BUILDING	-----	OVERHEAD UTILITIES	-----	DENOTES BUILDING	-----	OVERHEAD UTILITIES
-----	DENOTES WATER LINE	-----	GUARD RAIL	-----	DENOTES WATER LINE	-----	GUARD RAIL
-----	SANITARY SEWER LINE	-----	CONCRETE	-----	SANITARY SEWER LINE	-----	CONCRETE
⊙	STORMDRAIN MANHOLE	-----	PAVEMENT (DRIVEWAYS / ROADS)	⊙	STORMDRAIN MANHOLE	-----	PAVEMENT (DRIVEWAYS / ROADS)
⊙	SANITARY SEWER MANHOLE	-----	WATER VALVE	⊙	SANITARY SEWER MANHOLE	-----	WATER VALVE
⊙	SANITARY SEWER CLEAN OUT	-----	FIRE HYDRANT	⊙	SANITARY SEWER CLEAN OUT	-----	FIRE HYDRANT
-----	25% TO 50% SLOPES	-----	HANDICAP PARKING	-----	50% OR GREATER SLOPES	-----	



OVERALL DEMOLITION PLAN
Scale: 1" = 50'



ENLARGED DEMOLITION PLAN
Scale: 1" = 20'



ENLARGED DEMOLITION PLAN
Scale: 1" = 20'

DEMOLITION NOTES (KEYED)

1. EXISTING PAD MOUNTED 300 KVA 277/480V XFMR TO BE RELOCATED TO NEW CONCRETE PAD ADJACENT TO NEW PUMP HOUSE. SEE BPR, LLC SITE LAYOUT PLAN (SHEET 3) AND TOMASELLI PLATE C-003, NEW WORK SITE PLAN.
2. DEMOLISH & REMOVE EXISTING FIRE PUMP TRANSFORMER PAD.
3. DEMOLISH & REMOVE EXISTING FIRE PUMP HOUSE - ENTIRE STRUCTURE - AND THE ASSOCIATED SLAB.
4. DEMOLISH & REMOVE EXISTING 8" WATER LINE AND ALL APPURTENANCES - FROM CONNECTION POINT WITH EXISTING 12" WATER LINE (ALSO BEING REMOVED - SEE DEMO NOTE #5), BACK TO PROPERTY LINE AT HAHN ROAD.
5. DEMOLISH & REMOVE EXISTING 12" WATER LINE AT POINTS OF CONNECTION FOR NEW ROUTING INTO FIRE PUMP HOUSE.
6. PREP ASPHALT FOR NEW FIRE PUMP HOUSE ENCLOSURE, SUMP, AND PAD MOUNTED XFMR. SEE BPR, LLC SITE LAYOUT PLAN (SHEET 3) AND TOMASELLI PLATE C-003, NEW WORK SITE PLAN.
7. PREP ASPHALT FOR NEW NEW 5TH DUPLEX LIFT STATION & SUMP. SEE BPR, LLC SITE LAYOUT PLAN (SHEET 3) AND TOMASELLI PLATE C-003, NEW WORK SITE PLAN.

6/6/24	ADDRESS COUNTY COMMENTS	MJM
4/12/24	ADDRESS COUNTY COMMENTS	MJM
DATE	REVISION	BY

EXISTING CONDITIONS & DEMOLITION PLAN
PENGUIN RANDOM HOUSE
FIRE PUMP UPGRADES
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP - 39 GRID - 20 PARCEL - 335 & 750

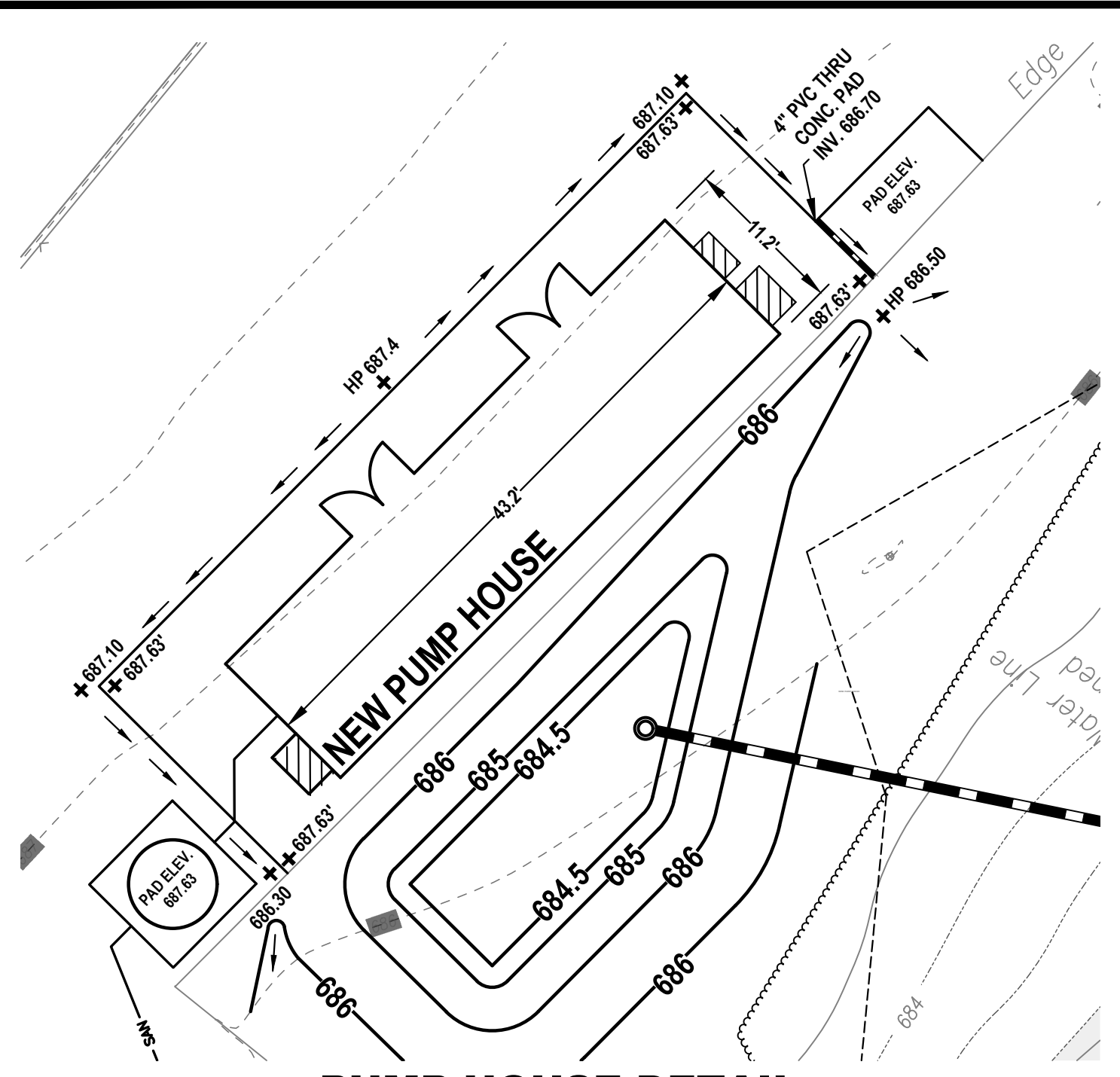
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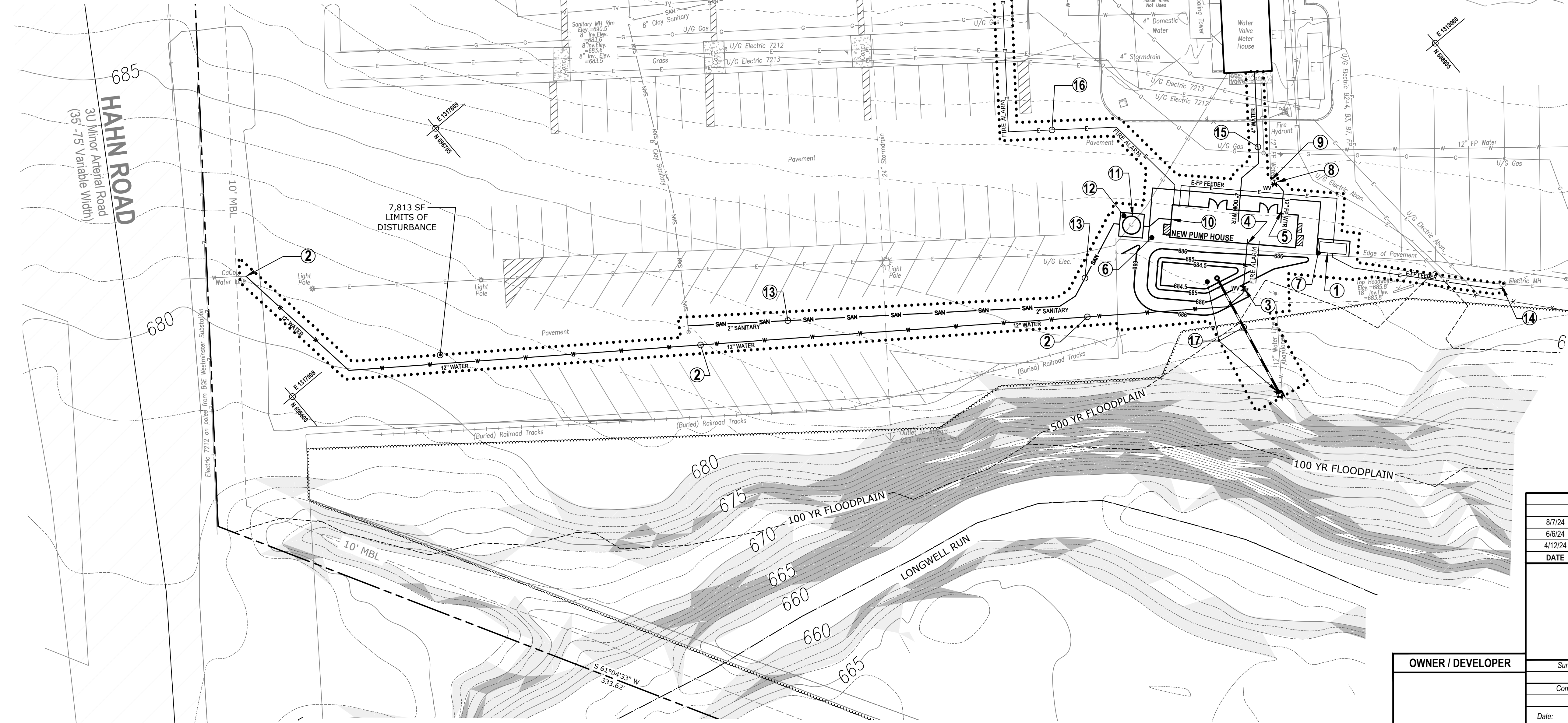
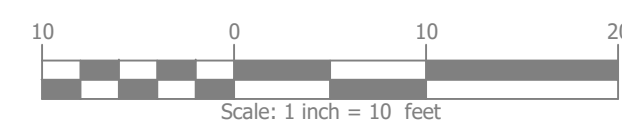
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Computed By	BPR	Checked By	BPR
Date:	FEBRUARY 22, 2024		
Sheet:	2 OF 9		
Scale:	AS SHOWN		
BPR Drawing No.:	22-0614		

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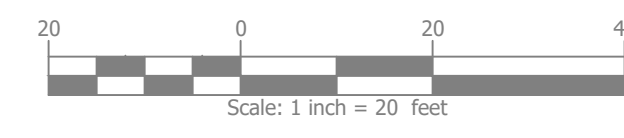
CC FILE #: S-24-0005



PUMP HOUSE DETAIL
Scale: 1" = 10'



SITE PLAN
Scale: 1" = 20'



Tax Map 39, Parcel 335
#400 Hahn Road
Random House Inc.
Deed Book 1212, Page 141
18.54 Acres

GENERAL NOTES

- THE LIMITS OF DISTURBANCE AND THE PAVEMENT SAWCUT/EDGE OF PAVEMENT LINES ARE THE SAME, HOWEVER, FOR GRAPHICAL CLARITY, THE LIMITS OF DISTURBANCE LINE IS SHOWN OFFSET FROM THE PAVEMENT LINE.
 - NEW PUMP HOUSE CONSTRUCTION APPROX. 7,813 SF LOD
 - OLD PUMP HOUSE DEMOLITION APPROX. 1,262 SF LOD
 - 9,075 SF LOD
- PIPE MAY BE INSTALLED BY TRENCHLESS EXCAVATION USING DIRECTIONAL DRILLING OR TRENCHING EXCEPT WHERE NOTED.
- THE UTILITY WORK SHOWN WITHIN THE LIMITS OF DISTURBANCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CARROLL COUNTY'S STANDARDS & SPECIFICATIONS. EXISTING ITEMS THAT MUST BE DISTURBED OR REMOVED AS A RESULT OF THE CONTRACTOR'S NORMAL OPERATIONS, INCLUDING CONCRETE OR BRICK SIDEWALK, CURBING, ROADWAY PAVEMENT, ETC. SHOULD BE RESET OR REPLACED IN-KIND AND INSTALLED BACK TO THE EXISTING LINE & GRADE, OR AS DIRECTED BY THE COUNTY INSPECTOR IN THE FIELD.
- THE EDGES OF ASPHALT PAVEMENT SHALL HAVE A BITUMINOUS SEALANT.
- SANITARY SEWER SHALL HAVE A MINIMUM SLOPE OF 1.0%.
- COORDINATE SANITARY SEWER CONNECTION WITH PUMP HOUSE MANUFACTURER.

CONSTRUCTION NOTES (KEYED)

- RELOCATED 300 KVA, 277/480V XFMR FIRE PUMP TRANSFORMER.
- INSTALL NEW 12" CEMENT LINED DUCTILE IRON UNDERGROUND (AWWA C104) OR AWWA C900 PVC.
- INSTALL NEW 12" POST INDICATOR VALVE WITH INTEGRAL TAMPER SWITCH.
- INSTALL NEW 12" CEMENT LINED DUCTILE IRON (AWWA C104) OR AWWA C900 PVC INTO NEW FIRE PUMP HOUSE. COORDINATE WITH FIRE PUMP VENDOR FOR EXACT LOCATION OF INCOMING AND INSTALLATION REQUIREMENTS.
- INSTALL NEW 12" AWWA C900 PVC FROM FIRE PUMPS DISCHARGE MANIFOLD. COORDINATE WITH FIRE PUMP VENDOR FOR EXACT LOCATION OF DISCHARGE PIPING AND INSTALLATION REQUIREMENTS.
- PROVIDE NEW 18'-0" x 56'-7" CONCRETE PAD FOR NEW FIRE PUMP ENCLOSURE.
- PROVIDE NEW 5' x 11" CONCRETE PAD FOR NEW FIRE PUMP TRANSFORMER.
- NEW 12" UNDERGROUND GATE VALVE WITH EXTENSION STEM & ROADWAY BOX.
- CONNECT TO EXISTING 12" UNDERGROUND.
- INSTALL NEW 4" FROM PUMP HOUSE FLOOR DRAIN TO STH PREFABRICATED DUPLEX LIFT STATION. COORDINATE WITH STH FOR EXACT REQUIREMENTS.
- PROVIDE NEW STH PREFABRICATED FIBERGLASS DUPLEX LIFT STATION, DUPLEX SUMP, NEMA 4X SUMP CONTROLLER, AND ALL REQUIRED APPURTENANCES. COORDINATE POWER WITH STH.
- PROVIDE NEW 8'-2" X 8'-2" CONCRETE PAD FOR LIFT STATION.
- INSTALL NEW 2" SANITARY PIPE FROM SUMP & CONNECT TO EXISTING 8" SANITARY MAIN.
- INTERCEPT & REEED EXISTING "E-FP" FEEDER FROM MANHOLE TO FIRE PUMP ENCLOSURE & TRANSFORMER AS NEEDED.
- PROVIDE NEW 4" DOMESTIC WATER PIPE. TRANSITION UNDERGROUND PVC/POLYETHYLENE TO NEW TYPE K COPPER AND CONNECT TO EXISTING. PROVIDE NEW 4" SHUTOFF VALVE.
- NEW FIRE ALARM CONDUIT FROM MAIN FAC IN BLDG #1 AND TO POST INDICATOR VALVE'S TAMPER SWITCH. COORDINATE WITH PRH & FIRE ALARM CONTRACTOR FOR EXACT LOCATION & SIZE. INSTALL NEW TRANSIENT VOLTAGE SURGE SUPPRESSION.
- NEW SWM MICRO BIORETENTION ESD MEASURE (STD. M-6), PIPING & OUTFALL. SEE SWM GRADING PLAN & ESD MAPPING, NOTES & DETAILS - SHEET 5 OF 6.

8/7/24	ADDRESS COUNTY COMMENTS	MJM
6/6/24	ADDRESS COUNTY COMMENTS	MJM
4/12/24	ADDRESS COUNTY COMMENTS	MJM
DATE	REVISION	BY

SITE LAYOUT PLAN
PENGUIN RANDOM HOUSE
FIRE PUMP UPGRADES
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
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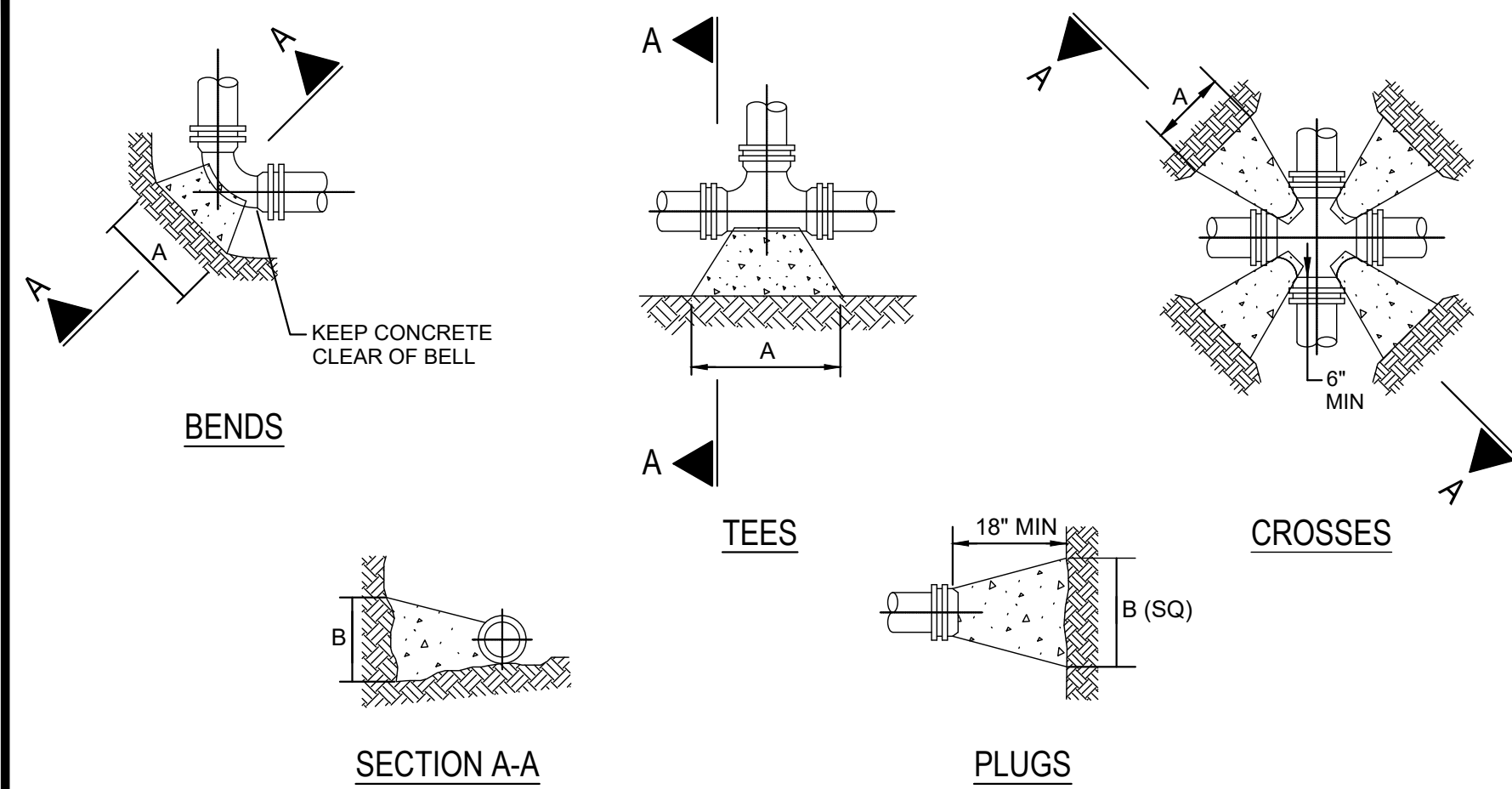
OWNER / DEVELOPER

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REQUIRED BEARING AREA ON UNDISTURBED SOIL AND TYPICAL DIMENSIONS

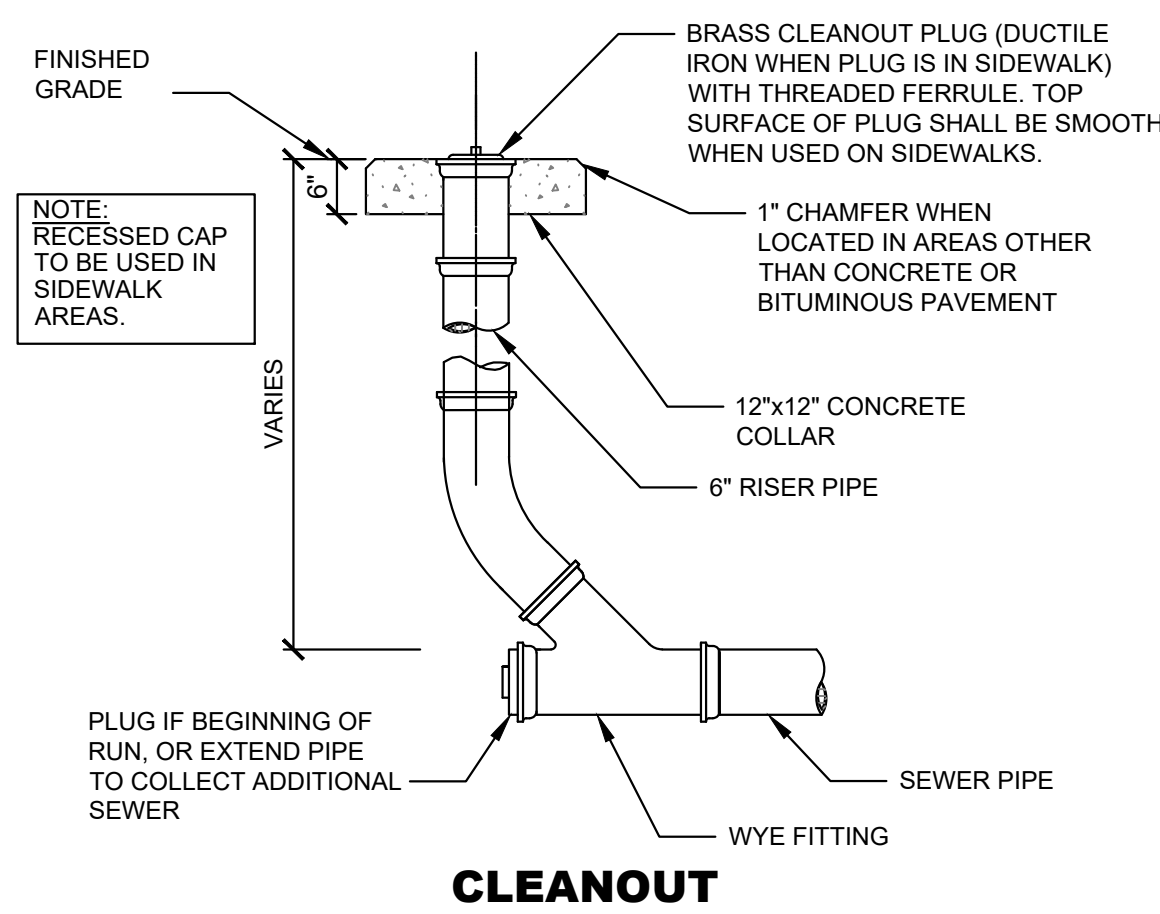
SIZE	CROSSES/90° BENDS		45° BENDS		11-1/4° BENDS		22-1/2° BENDS		TEES & PLUGS	
	AREA SQ. FT.	"A" "B"	AREA SQ. FT.	"A" "B"	AREA SQ. FT.	"A" "B"	AREA SQ. FT.	"A" "B"	AREA SQ. FT.	"A" "B"
6"	4.0	32" 18"	2.2	18" 16"	0.6	5" 18"	1.1	9" 18"	2.8	23" 18"
8"	7.0	42" 24"	3.8	23" 24"	1.0	6" 24"	2.0	12" 24"	5.0	30" 24"
10"	11.0	53" 30"	6.3	30" 30"	1.6	8" 30"	3.1	15" 30"	8.0	38" 30"
12"	16.1	64" 36"	10.0	40" 36"	2.2	9" 36"	4.4	18" 36"	11.3	45" 36"
14"	21.6	74" 42"	12.5	43" 42"	3.0	10" 42"	5.0	21" 42"	15.5	53" 42"
16"	28.3	85" 48"	17.7	53" 48"	4.0	12" 48"	7.7	23" 48"	20.1	60" 48"

* SURFACE AREA OF BEARING SOIL IS PROVIDED FOR 200 PSI MAXIMUM PRESSURE (INCLUDING SURGE) AND 2000 PSF SOI BEARING. IF PRESSURE IS HIGHER OR SOIL BEARING IS POTENTIALLY LOWER, CONSULT THE ENGINEER FOR ADJUSTMENTS.

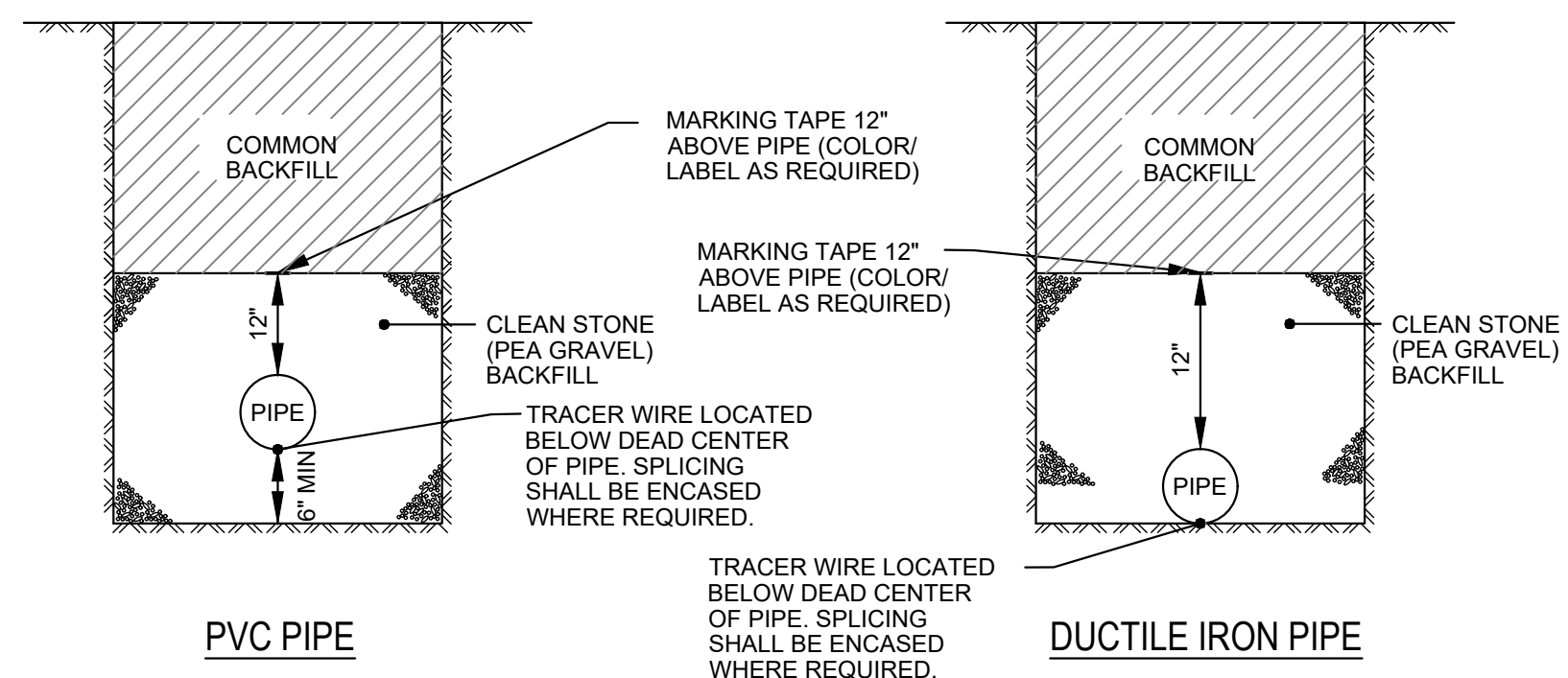
NOTES

- COVER OVER TOP OF PIPE SHALL BE BELOW THE FROST LINE OR 30" MINIMUM, 72" MAXIMUM ACCORDING TO REGULATORY REQUIREMENTS. IF GRADING PLANS RECEIVED BY THE ENGINEER/OWNER WITH THE REQUEST FOR WATER MAIN LAITY INDICATED ADJUSTMENTS TO EXISTING GRADE, THEN PIPE SHALL BE INSTALLED TO MEET MINIMUM AND MAXIMUM COVER FROM PROPOSED GRADES SHOWN ON THE SAID PLANS.
- THRUST BLOCKS SHALL BE BUILT AGAINST UNDISTURBED SOIL WITH ADEQUATE BACKING TO PREVENT MOVEMENT OF FITTINGS.
- NO THRUST BLOCKS TO BE PLACED IN SEWER LATERAL DITCHES.
- THRUST BLOCKING MUST FIT WITHIN THE EASEMENT.
- IN SOME CASES, ADDITIONAL RESTRAINT MAY BE REQUIRED BASE ON 150 PSI STATIC PRESSURE, PLUS 50 PSI WATER HAMMER AND 2000 PSF SOIL BEARING.
- POLYETHYLENE ENCASMENT IS REQUIRED ON ALL DI. PIPE AND FITTINGS.
- THRUST BLOCKING SHALL BE PERFORMED SUCH THAT PIPE JOINS AND BOLTS ARE ACCESSIBLE.
- SUFFICIENT CLEARANCE SHALL BE ALLOWED BETWEEN CONCRETE AND BOLTS FOR FUTURE MAINTENANCE.
- ALL ANCHOR BOLTS SHALL BE STAINLESS STEEL, MINIMUM 3/4" DIAMETER.
- ALL M.J. AND FGL FITTINGS TO RECEIVE THRUST BLOCKS SHALL BE WRAPPED IN POLYWRAP. CONTRACTOR SHALL ENSURE THAT POLYWRAP EXTENDS FAR ENOUGH BEYOND THE FITTING TO ENCLOSE ALL BOLTS WITHIN THE POLYWRAP.
- THRUST BLOCKING DETAILS ARE SHOWN HERE FOR TYPICAL INSTALLATIONS. IN SOME CASES, ADDITIONAL RESTRAINTS MAY BE REQUIRED.
- PORTLAND CEMENT CONCRETE USED FOR THRUST BLOCKS SHALL BE MIN 3000 PSI CONCRETE.
- FOR UNSTABLE SOIL CONDITIONS, CHECK WITH ENGINEER FOR THRUST BLOCK DIMENSIONS.
- FOR MAIN SIZES GREATER THAN 16", SEE ENGINEER FOR THRUST BLOCK DIMENSIONS.

THRUST BLOCK DETAIL



CLEANOUT



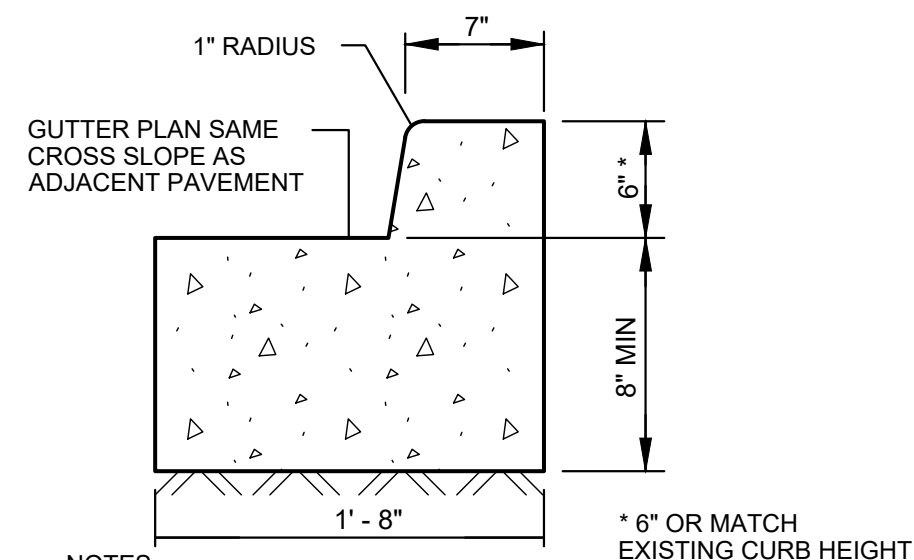
PVC PIPE

DUCTILE IRON PIPE

NOTES

- CAUTION MUST BE EXERCISED TO ENSURE PROPER PLACEMENT OF EMBEDMENT MATERIAL UNDER THE HAUNCHES OF THE PIPE.
- POLYETHYLENE ENCASMENT ON ALL DUCTILE IRON PIPES, FITTINGS, VALVE AND APPURTENANCES.
- IF EDGE OF SAW CUT IS <= 4 LINEAR FEET FROM CURB LINE, REMOVE PAVEMENT TO CURB.
- STONE BACKFILL TO BE MECHANICALLY COMPACTED IN 6"-12" LIFTS.
- REFER TO SPECIFICATIONS FOR DESCRIPTION OF BACKFILL AND BEDDING MATERIAL.
- TYPICAL TRENCH WIDTH SHALL BE PIPE OUTER DIAMETER + 2'.
- RETURN SURFACE CONDITIONS TO EXISTING LINE, GRADE, AND SURFACE (HYDROLOGIC CONDITION).

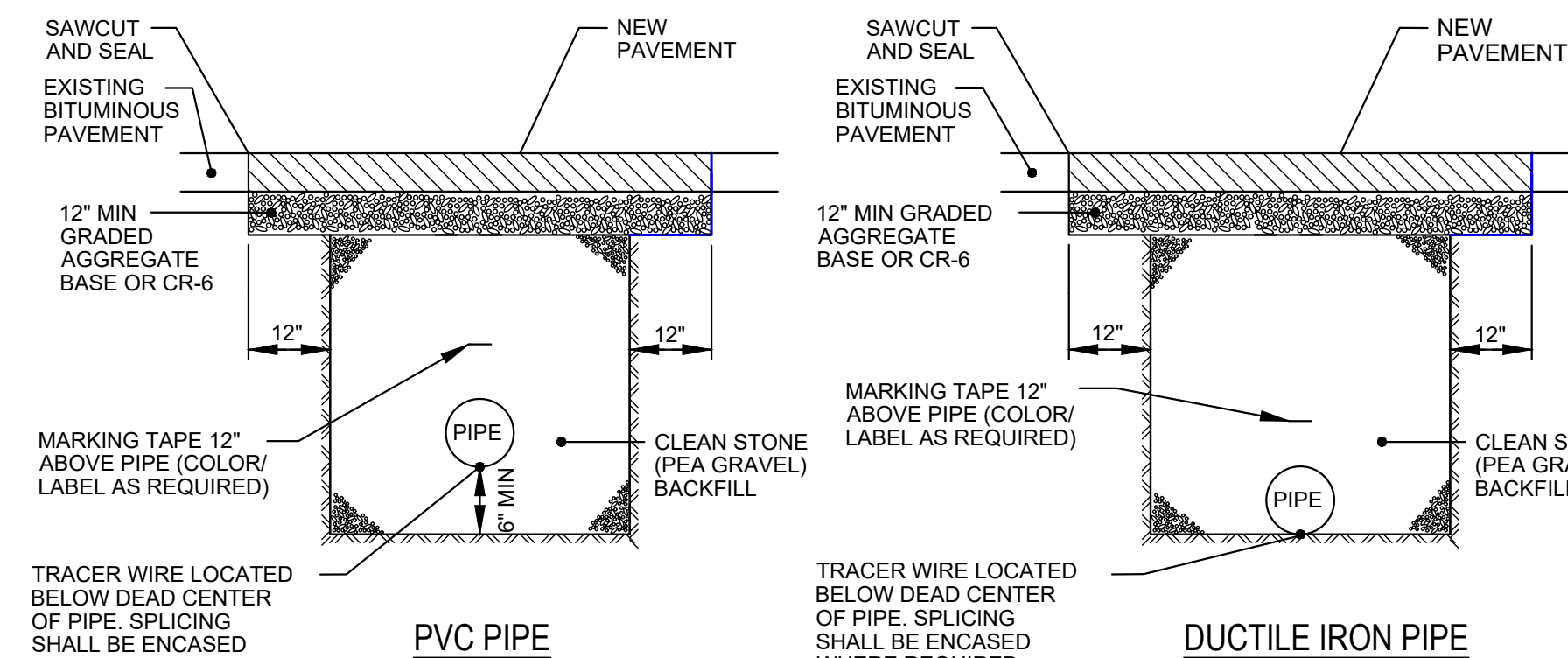
OPEN TRENCH DETAIL UNDER NON PAVED AREAS



NOTES:

- COMBINATION CURB AND GUTTER, TYPE "D" MEETS SHA MD 620.02-01
- CONCRETE 28-DAY STRENGTH SHALL BE A MINIMUM OF 3500 PSI
- PROVIDE EXPANSION JOINTS AT A MAXIMUM OF 20 FEET

CONCRETE CURB & GUTTER



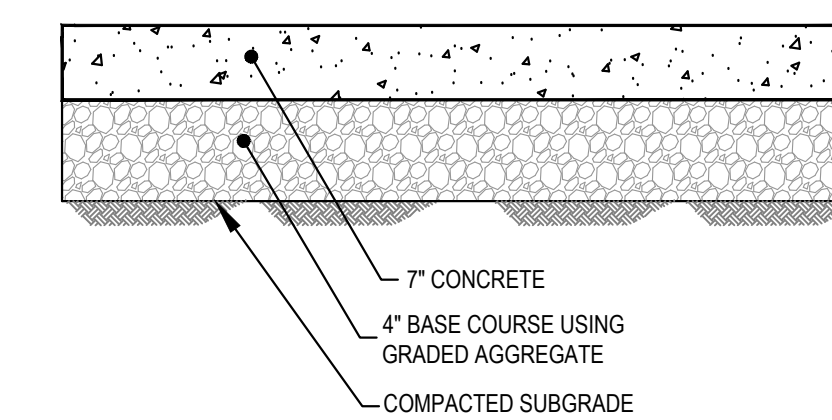
PVC PIPE

DUCTILE IRON PIPE

NOTES

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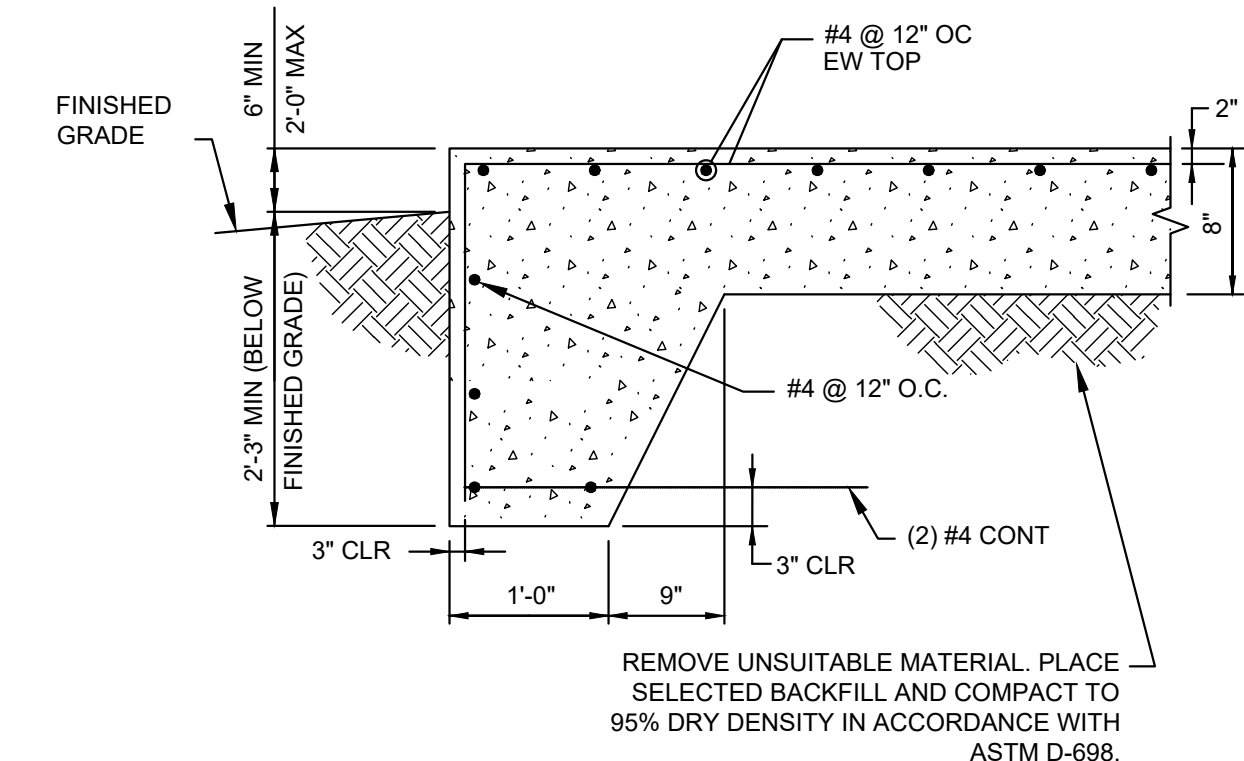
OPEN TRENCH DETAIL UNDER EXISTING PAVEMENT



GENERAL NOTES:

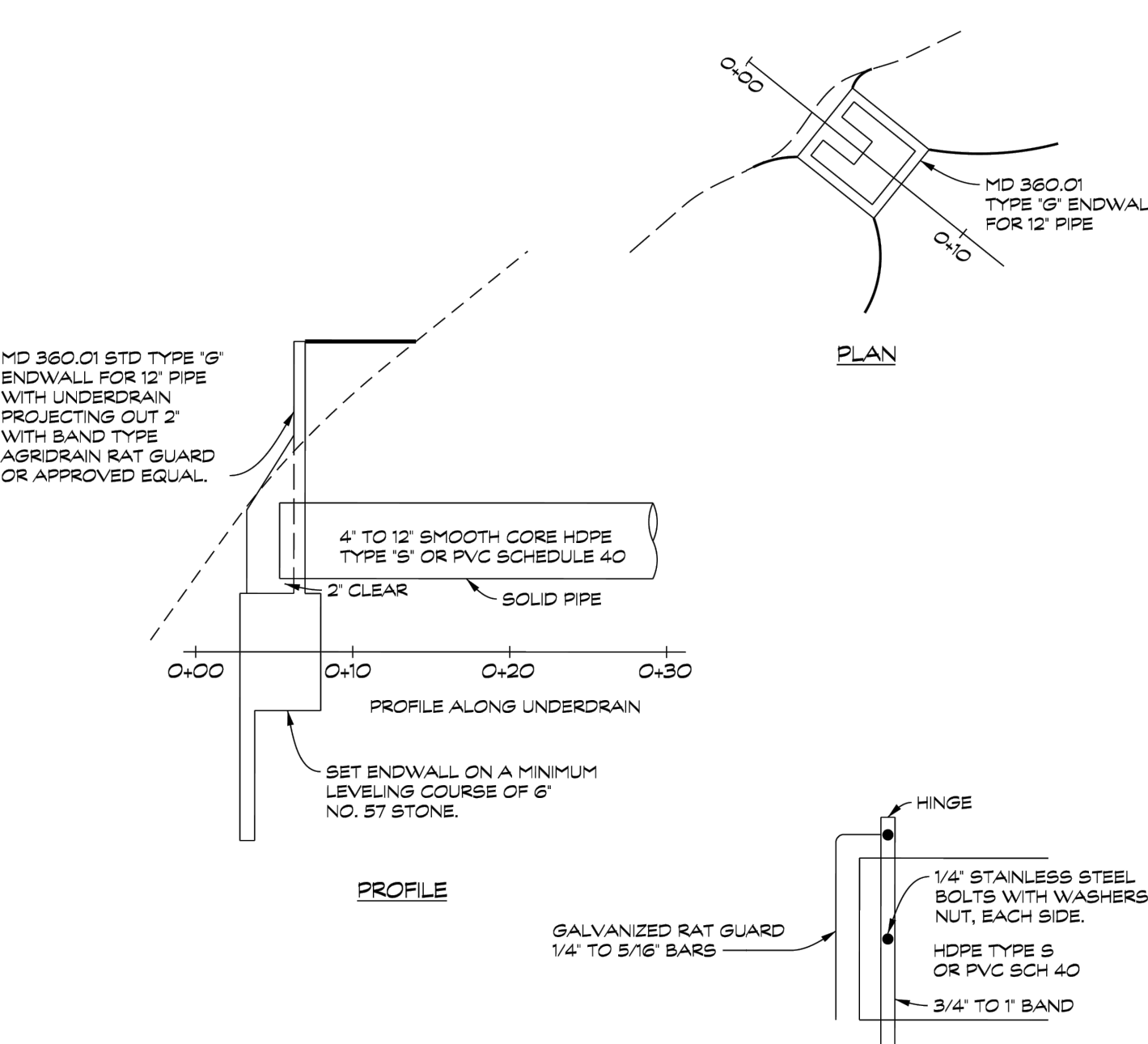
- ALL CONCRETE SHALL BE 3000 PSI.
- EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 20' APART.
- CONTROL JOINTS SHALL BE CONSTRUCTED EVERY 5'-0".
- ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE AND JOINT RADI.

CONCRETE PAVEMENT SECTION



FIRE PUMP ENCLOSURE & TRANSFORMER CONCRETE PAD

CARROLL COUNTY UNDERDRAIN OUTFALL PROTECTION (HEADWALL AND RODENT GUARD)



CARROLL COUNTY SURVEYORS DEPARTMENT OF PUBLIC WORKS

CONCRETE, MIX No. 2 (AIR-ENTRAINED) REINFORCEMENT, DEFORMED STEEL BARS CHAMFER ALL EXPOSED EDGES 1" x 1" AS DIRECTED.

SLOPE 1 1/2 : 1										SLOPE 2 : 1																													
OPENING DIMENSIONS FOR CONCRETE					OPENING DIMENSIONS FOR CONCRETE					OPENING DIMENSIONS FOR CONCRETE					OPENING DIMENSIONS FOR CONCRETE																								
D	L	B	F	H	W	K	K	D	L	B	F	H	W	K	K	D	L	B	F	H	W	K	K	D	L	B	F	H	W	K	K	D	L	B	F	H	W	K	K
12"	0.79	2'-0"	9"	1'-8"	1'-0"	6"	6"	12"	0.79	2'-0"	9"	1'-7"	1'-4"	6"	6"	12"	0.79	2'-0"	9"	1'-7"	1'-4"	6"	6"	12"	0.79	2'-0"	9"	1'-7"	1'-4"	6"	6"								
15"	1.23	2'-3"	9"	2'-0"	1'-5"	6"	6"	15"	1.23	2'-3"	9"	1'-11"	1'-11"	6"	6"	15"	1.23	2'-3"	9"	1'-11"	1'-11"	6"	6"	15"	1.23	2'-3"	9"	1'-11"	1'-11"	6"	6"								
16"	1.39	2'-4"	9"	2'-0"	1'-6"	6"	6"	16"	1.39	2'-4"	9"	1'-11"	2'-0"	6"	6"	16"	1.39	2'-4"	9"	1'-11"	2'-0"	6"	6"	16"	1.39	2'-4"	9"	1'-11"	2'-0"	6"	6"								
18"	1.78	2'-6"	9"	2'-3"	1'-10"	6"	6"	18"	1.78	2'-6"	9"	2'-2"	2'-6"	6"	6"	18"	1.78	2'-6"	9"	2'-2"	2'-6"	6"	6"	18"	1.78	2'-6"	9"	2'-2"	2'-6"	6"	6"								
24"	3.14	3'-6"	12"	2'-11"	2'-8"	9"	9"	24"	3.14	3'-6"	12"	2'-9"	3'-6"	9"	9"	24"	3.14	3'-6"	12"	2'-9"	3'-6"	9"	9"	24"	3.14	3'-6"	12"	2'-9"	3'-6"	9"	9"								
30"	4.91	4'-0"	12"	3'-6"	3'-6"	9"	9"	30"	4.91	4'-0"	12"	3'-4"	4'-7"	9"	9"	30"	4.91	4'-0"	12"	3'-4"	4'-7"	9"	9"	30"	4.91	4'-0"	12"	3'-4"	4'-7"	9"	9"								
36"	7.07	4'-6"	12"	4'-0"	4'-3"	9"	9"	36"	7.07	4'-6"	12"	3'-10"	5'-8"	9"	9"	36"	7.07	4'-6"	12"	3'-10"	5'-8"	9"	9"	36"	7.07	4'-6"	12"	3'-10"	5'-8"	9"	9"								
42"	9.62	5'-6"	12"	4'-7"	5'-1"	9"	12"	42"	9.62	5'-6"	12"	4'-5"	6'-9"	9"	12"	42"	9.62	5'-6"	12"	4'-5"	6'-9"	9"	12"	42"	9.62	5'-6"	12"	4'-5"	6'-9"	9"	12"								
48"	12.57	6'-0"	12"	5'-1"	5'-4"	9"	12"	48"	12.57	6'-0"	12"	4'-11"	7'-10"	9"	12"	48"	12.57	6'-0"	12"	4'-11"	7'-10"	9"	12"	48"	12.57	6'-0"	12"	4'-11"	7'-10"	9"	12"								

OWNER / DEVELOPER
PENGUIN RANDOM HOUSE LLC
 C/O RYNE BARRALL
 400 BENNETT CERF DRIVE
 WESTMINSTER, MD 21157
 410-386-7725

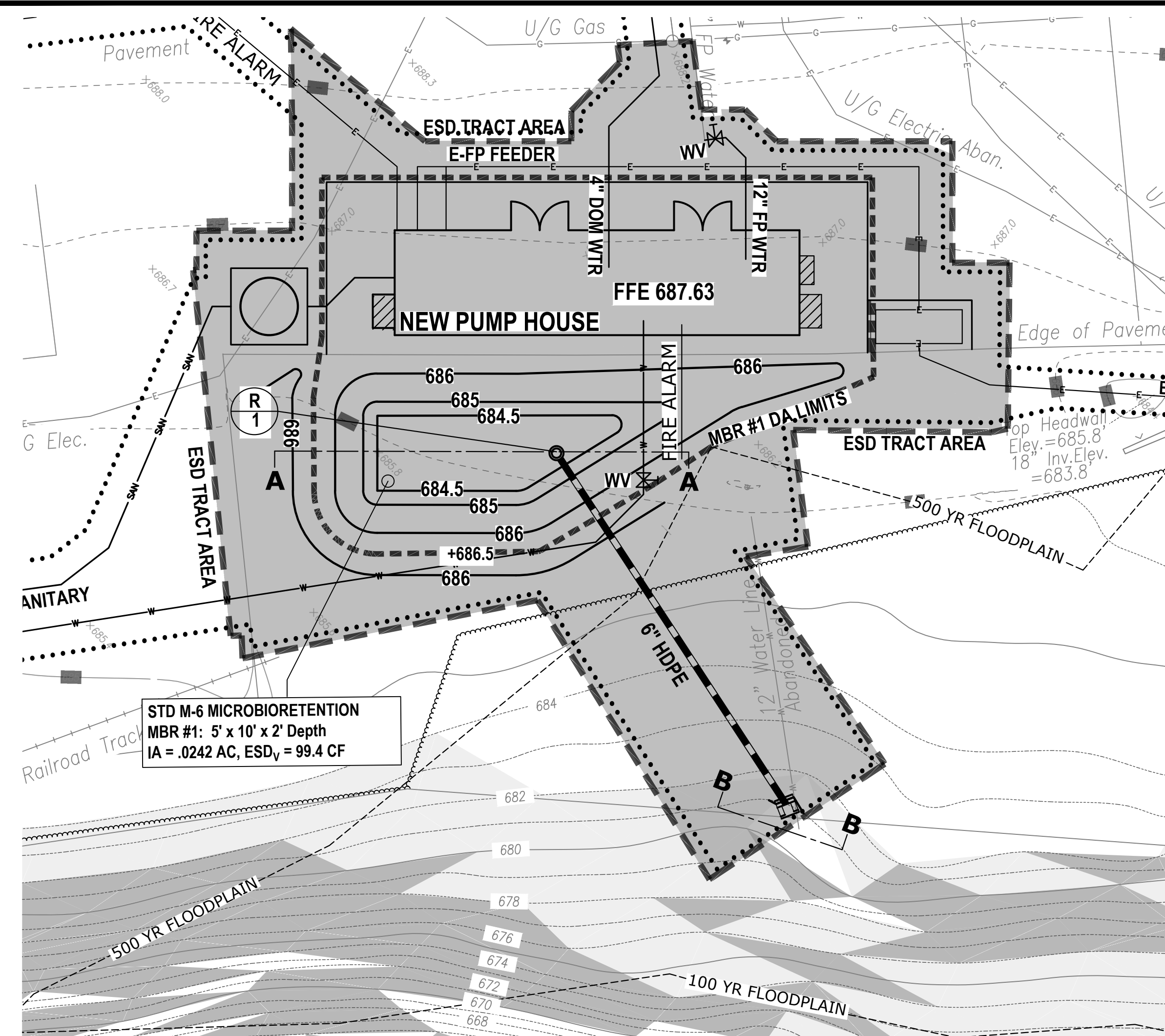
DATE	REVISION	BY
8/7/24	ADDRESS COUNTY COMMENTS	MJM
6/6/24	ADDRESS COUNTY COMMENTS	MJM
4/12/24	ADDRESS COUNTY COMMENTS	MJM

CONSTRUCTION DETAILS
PENGUIN RANDOM HOUSE
 FIRE PUMP UPGRADES
 7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
 TAX MAP - 39 GRID - 20 PARCEL - 335 & 750

Surveyed By	BPR	Drawn By	MJM
Computed By	BPR	Checked By	BPR
Date:	FEBRUARY 22, 2024		
Sheet:	4 OF 9		
Scale:	AS SHOWN		
BPR Drawing No.:	22-0614		

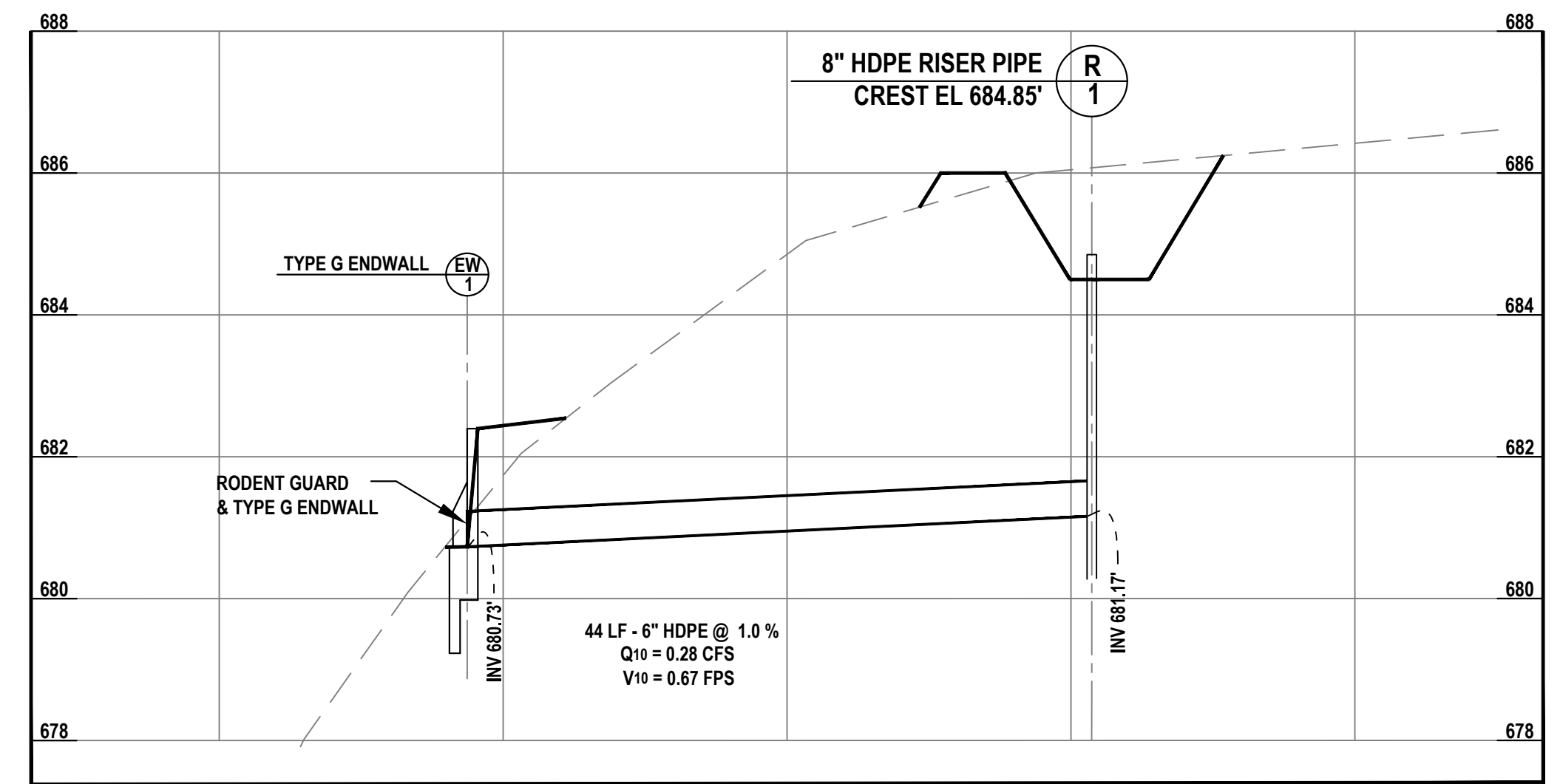
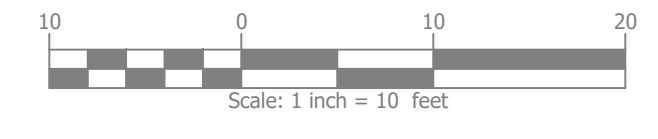
BPR LLC
SURVEYORS - LAND PLANNERS
 150 AIRPORT DRIVE - SUITE 4
 WESTMINSTER, MARYLAND 21157
 PHONE: (410)-857-9030
 OR (410)-876-0333
 FAX: (410)-876-1532
 WWW.BPRSURVEYING.COM

CC FILE #: S-24-0005



PLAN - MICRO-BIORETENTION ESD #1

SCALE: 1" = 10'

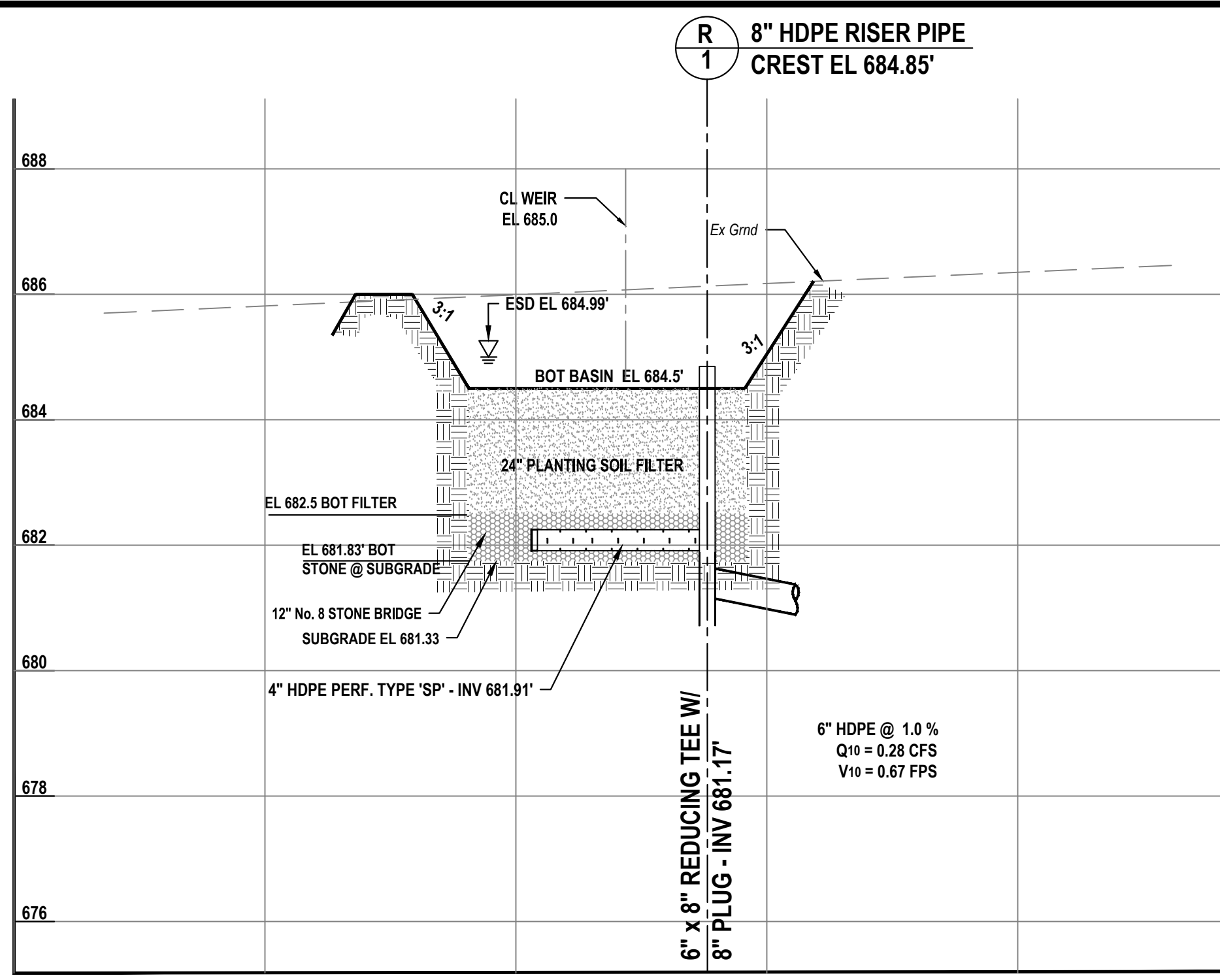


PROFILE R-1 TO EW-1

SCALE: H: 1" = 10' V: 1" = 2'

SEQUENCE OF CONSTRUCTION

- Once the entire contributing drainage area to the MBR's is paved, all buildings constructed, and minimum 2" stand of dense grass is established on all vegetated areas, contact the certifying inspector @ 410-857-9030 at least 48 prior to construction.
- Excavate and grade the micro-bioretenion bottom, side slopes, and embankment to meet plan line & grade. Embankment material and compaction shall be in accordance with the embankment specifications provided in the plans and verified by the geotechnical engineer specified above. Material and compaction test results shall be made readily available.
- Compact / prepare the subgrade with a vibratory plate or smooth drum roller. Place cushion soils or geotextile if required. All aspects of Liner placement shall be in accordance with the plan and manufacturer specification.
- Place the No. 8 stone bedding construct the 4" underdrain piping as the stone placement progresses. Remove the riser temporary plug and complete the riser installation to the weir crest elevation. Connect the 4" underdrain to the riser tee.
- Restore any part of the embankment if disturbed during the riser installation in step 4 above, and complete final grading. Place planting soil over the stone bedding and complete the plantings and mulching. Extend the downsouts into the bio-retention area when shown on the plans and install the splash block end treatment.
- After the remaining disturbed areas have been stabilized with a 2" stand of dense grass, submit a signed and certified as-built plan to the Carroll County Bureau of Resource Management.



SECTION AA - PROFILE

SCALE: H: 1" = 10' V: 1" = 2'

MICRO-BIORETENTION MONTHLY INSPECTION

STORMWATER MAINTENANCE SCHEDULE		
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unblock all openings.
Plant Composition and Health	Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove invasive species and weeds. Replace dead plants in accordance with approved landscaping plan. OR Reseed and Remulch per Filter Bed Mix.
Vegetative Cover	Check for channelizing, erosion, and bare spots. Check for vegetation blocking inlets, weirs, and outlet.	Remove or cut back vegetation around inlet, weirs, and Outlet Structures. Mow side slopes when grass exceeds 12 inches in height, but do not mow filter bed. If using Filter Bed Mix, may mow bed twice per year. Remove Grass Clippings: Re-seed or re-plant in accordance with approved landscaping plans.
Mulch Layer	Check mulch for adequate cover, sediment accumulation or discoloration.	Replace and remove old mulch and excess sediment. Provide adequate mulch cover according to approved design.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Dewatering	Check ponding levels. Surface storage must dewater within 48 hours of rainfall. Noticeable odors, stained water on the filter surface or on the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions and inadequate dewatering of the facility.	Remove and replace top few inches of media. If the facility does not function as intended after the above action, excavate, remove, clean and replace stone, underdrain, media, and plants in accordance with approved plans.
Erosion	Check inlets, filter bed, outlets, and side slopes for erosion, rills, gullies, and runoff channelization.	Re-grading may be required when concentrated flow causes rills or gully through the facility. Grads, vegetation, and/or armor to provide stable conveyance in accordance with approved plans.
Sediment Accumulation	Check for accumulated sediment in conveyance systems and on filter bed. Check for clogged openings (Blockages).	When sediment accumulates to 1 inch depth, remove sediment. Remove sediment from clogged openings. Dispose of all sediment in an acceptable location.
ANNUAL INSPECTION		
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riprap outfalls must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that practice is functioning as designed.	Repair to good condition according to specifications on the approved plans.

DEVELOPER'S CERTIFICATION

I hereby certify that all proposed work shown on these construction drawing(s) will be conducted in strict accordance with these plans. I also understand that it is my responsibility to have the construction supervised and certified, including the submittal of "as-Built" plans certified by a registered Professional Engineer or Professional Land Surveyor, as appropriate, within thirty (30) days of completion of work on the stormwater management facility/facilities. I also certify that this/these stormwater management facility/facilities will be inspected during construction by a registered Professional Engineer or Professional Land Surveyor, as appropriate, in accordance with Sections § 136-22 and § 136-23 of the Charter and Code of the City of Westminster, MD.

Signed: _____ Date: _____

ENGINEER'S DESIGN CERTIFICATION

I hereby certify that these plans have been designed according to Chapter 136 of the Charter and Code of the City of Westminster, MD and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Engineer or Professional Land Surveyor, as appropriate, under the laws of the State of Maryland.

Signed: _____ Date: _____

License No.: _____ Expiration Date: _____

ENGINEER'S "AS-BUILT" CERTIFICATION

I hereby certify that the facility/facilities shown on this/these plan(s) was/were constructed as shown on the "As-Built" plans and meets the approved plans and specifications. I also certify that this/these facilities were inspected in accordance with Sections § 136-22 and § 136-23 of the Charter and Code of the City of Westminster, MD and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Engineer or Professional Land Surveyor, as appropriate, under the laws of the State of Maryland.

Signed: _____ Date: _____

License No.: _____ Expiration Date: _____

MICRO-BIORETENTION (MBR) ESD INSPECTION CHART

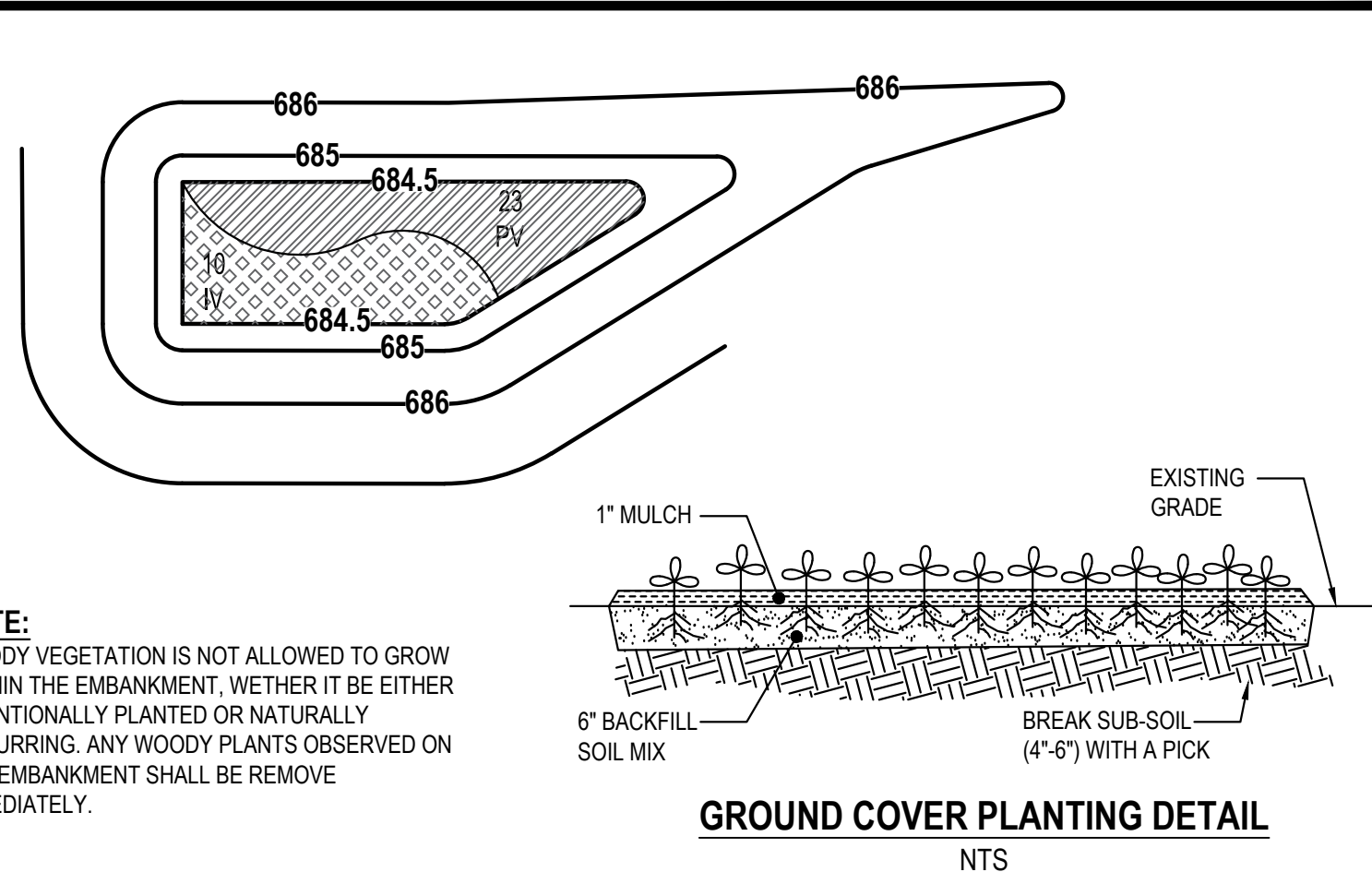
STAGE	MBR #1 INSPECTOR'S APPR.	
	INITIALS	DATE
1 ENTIRE CONTRIBUTING DRAINAGE AREA TO THE MBR'S IS PAVED. ALL BUILDINGS CONSTRUCTED, AND MINIMUM 2" STAND OF DENSE GRASS IS ESTABLISHED ON ALL VEGETATED AREAS.		
2 BOTTOM, SIDE SLOPES, AND EMBANKMENT EXCAVATED AND FINE GRADED TO PLAN LINE AND GRADE.		
3 EMBANKMENT MATERIAL & COMPACTION IS AS SPECIFIED IN THE PLANS AND VERIFIED BY INSPECTION & TESTING FROM A GEOTECHNICAL ENGINEER.		
4 4" UNDERDRAIN PIPING AND NO. 8 STONE BEDDING PLACED. RISER PIPE EXTENDED TO WEIR ELEVATION AND UNDERDRAIN PIPE CONNECTED TO RISER AND ANTI-FLOAT ANCHOR INSTALLED.		
5 EMBANKMENT RESTORED AND FINAL GRADING COMPLETED. PLANTING SOIL PLACED AND BIO-RETENTION PLANTINGS COMPLETED AND MULCHED. DOWNSPOUTS LEADER PIPES ENTER ON LEVEL SLOPE & SPLASH BLOCK PLACED.		
6 ENDWALL PLACED AND CONNECTED TO DRAIN PIPE. RODENT GUARD INSTALLED ON ENDWALL.		
7 ALL REMAINING DISTURBED VEGETATED AREAS STABILIZED WITH A 2" STAND OF DENSE GRASS.		
8 A SIGNED AND CERTIFIED AS-BUILT PLAN SUBMITTED TO THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT.		

***NOTIFY CERTIFYING ENGINEER'S 48 HRS PRIOR TO COMMENCING CONSTRUCTION**
 CERTIFYING ENGINEER'S NAME: BPR, LLC
 PHONE #: (410) 857-9030
 GEOTECHNICAL ENGINEER'S NAME: _____
 PHONE #: _____

UTILITY TRENCHING INSPECTION CHART

STAGE	MBR #1 INSPECTOR'S APPR.	
	INITIALS	DATE
1 ENTIRE CONTRIBUTING DRAINAGE AREA TO THE MBR'S IS PAVED. ALL BUILDINGS CONSTRUCTED, AND MINIMUM 2" STAND OF DENSE GRASS IS ESTABLISHED ON ALL VEGETATED AREAS.		
2 BOTTOM, SIDE SLOPES, AND EMBANKMENT EXCAVATED AND FINE GRADED TO PLAN LINE AND GRADE.		
3 EMBANKMENT MATERIAL & COMPACTION IS AS SPECIFIED IN THE PLANS AND VERIFIED BY INSPECTION & TESTING FROM A GEOTECHNICAL ENGINEER.		
4 4" UNDERDRAIN PIPING AND NO. 8 STONE BEDDING PLACED. RISER PIPE EXTENDED TO WEIR ELEVATION AND UNDERDRAIN PIPE CONNECTED TO RISER.		
5 EMBANKMENT RESTORED AND FINAL GRADING COMPLETED. PLANTING SOIL PLACED AND BIO-RETENTION PLANTINGS COMPLETED AND MULCHED. DOWNSPOUTS LEADER PIPES ENTER ON LEVEL SLOPE & SPLASH BLOCK PLACED.		
6 ALL REMAINING DISTURBED VEGETATED AREAS STABILIZED WITH A 2" STAND OF DENSE GRASS.		
7 A SIGNED AND CERTIFIED AS-BUILT PLAN SUBMITTED TO THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT.		

***NOTIFY CERTIFYING ENGINEER'S 48 HRS PRIOR TO COMMENCING CONSTRUCTION**
 CERTIFYING ENGINEER'S NAME: BPR, LLC
 PHONE #: (410) 857-9030
 GEOTECHNICAL ENGINEER'S NAME: _____
 PHONE #: _____



PLANTING LIST

QUANTITY	ID / SYMBOL	BOTANICAL NAME / COMMON NAME	PLANT SPECIFICATION
10	IV	ITEA VIRGINICA / ITEA	1 Gallon Pot, 4" o.c.
23	PV	PANICUM VIRGATUM / SWITCHGRASS	3" Pot, 2' o.c.

MICRO BIO #1 PLANTING PLAN

SCALE: 1" = 10'

CARROLL COUNTY SUPPLEMENTAL MATERIALS SPECIFICATIONS FOR BIO-SWALE, BIORETENTION, MICRO-BIORETENTION & RAIN GARDENS

MATERIAL	SPECIFICATION	SIZE	NOTES
Plantings	See Landscape Plan	N/A	Plantings are Site Specific and per Approved Landscape Plan
Seed Mix	Filter Bed Mix - Use Wet Meadow Mix per MD Standards and Specifications 707. See Table 3 (lb. min / micro-bioretenion)	N/A	Used with Straw Mulch in Place of Shredded Hardwood Mulch.
Mulch	Shredded Hardwood	N/A	Aged 6 Months, Minimum.
Straw Mulch	MD Standards and Specifications 707. (200 lb. min / micro-bioretenion)	N/A	Straw Mulch over seed bed.
Geotextile	Class "C" - Apparent Opening Size (ASTM-D-4751), Grab Tensile Strength (ASTM-D-4632), Puncture Resistance (ASTM-D-4833)	N/A	Sides Only. Not on Bottom Unless Specified on the Plans.
Underdrain Gravel	AASHTO M-43 No. 8 Stone	3/4" - 1 1/2"	Stone must be clean and washed
Underdrain Piping Riser Pipes	Slotted PVC or Slotted HDPE Type "SP" Pipes. Solid: Schedule 40 PVC or HDPE Type "S".	See Plan	Refer to Carroll County SWM Supplement Pg 87. All pipes must be double walled (smooth core) and slotted (no circular holes).
Sand	ASTM C-33 (3 Parts to 6 within Filter Media)	0.02" - 0.04"	Sand Substitutes such as Diabase and Graystone #10 are not Acceptable. No Calcium Carbonate & Dolomitic Sands Substitutions are Acceptable. No "Rock Dust" can be used for Sand. Manufactured Sand from approved sources may be used for filters. Manufactured sand may not be used in Dams.
Soil	Engineer Approved Loam with 20% or less Clay (1 Part to 6 within Filter Media)	N/A	
Wood Chips	Untreated "Green" (2 Part to 6 within Filter Media)	N/A	Untreated "Green" Wood Chips
Filter/Planting Media	Comprised of 3 Parts Sand, 2 Parts Wood Chips, 1 Part Soil	N/A	See Individual Materials Specifications.
Embankments & Trench Backfill (non-378)	Soils used for embankments and trench backfill shall be uniform and in accordance with MD 378 Code, except that fill material shall conform to Unified Soil Classification, GC, SC, SM, MH, ML, CH, or CL and be compacted to a density of not less than 95% of maximum dry density. Woody vegetation is prohibited on embankments.	N/A	See Earth Fill and Structure Backfill, Carroll County Construction Specifications Carroll County SWM Supplement, Page 130
Principal Spillway Pipe (non-378)	Shall be in accordance with MD 378 Code, except that all pipe joints are to be gasketed and completely watertight. Pipes connected to risers (inlets) shall be a single piece 20-foot long with no joints.	N/A	See Pipe Conduits, Carroll County Construction Specifications Carroll County SWM Supplement, Page 131

DATE	REVISION	BY
8/7/24	ADDRESS COUNTY COMMENTS	MJM
6/6/24	ADDRESS COUNTY COMMENTS	MJM
4/12/24	ADDRESS COUNTY COMMENTS	MJM

SWM GRADING PLAN & ESD MAPPING, NOTES & DETAILS PENGUIN RANDOM HOUSE

FIRE PUMP UPGRADES
 7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
 TAX MAP - 39 GRID - 20 PARCEL - 335 & 750

OWNER / DEVELOPER

PENGUIN RANDOM HOUSE LLC
 C/O RYNE BARRALL
 400 BENNETT CERF DRIVE
 WESTMINSTER, MD 21157
 410-386-7725

Surveyed By: BPR Drawn By: MJM
 Computed By: BPR Checked By: BPR

Date: FEBRUARY 22, 2024

Sheet: 5 OF 9

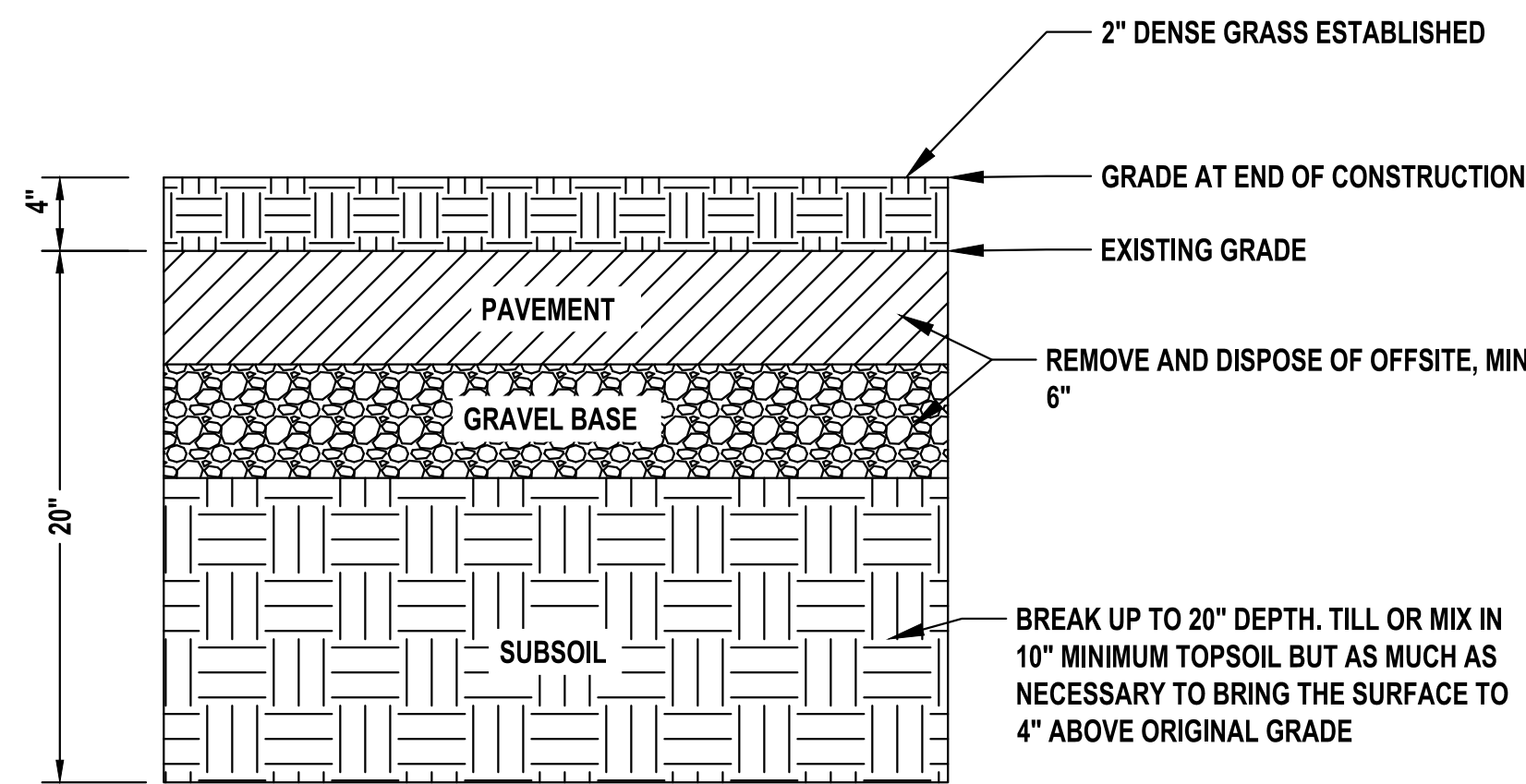
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BPR Drawing No.: 22-0614

CC FILE #: S-24-0005

BPR LLC
SURVEYORS - LAND PLANNERS
 150 AIRPORT DRIVE - SUITE 4
 WESTMINSTER, MARYLAND 21157
 PHONE: (410)-857-9030
 OR (410)-876-0333
 FAX: (410)-876-1532
 WWW.BPRSURVEYING.COM

STORMWATER MAINTENANCE SCHEDULE - PAVEMENT REMOVAL		
MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Vegetative Cover and Erosion	Check for vegetation over 4" in height. Check the Soil Restoration area for channelizing and bare spots.	Mow grass/remove trees and shrubs. re-grade if the concentrated flow is causing rills or gullying on the surface. re-seed as necessary.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inflow	Ensure sheet flow from pavement to grass area.	Remove debris and vegetation, regrade and re-seed as necessary to ensure sheet flow from pavement.
Dewatering	Check for soft areas and/or soil saturated to the surface.	If necessary, excavate, remove, and replace the soil and re-seed.
ANNUAL INSPECTION		
Overall Function	Check that grass areas remain and have not been compacted or paved.	Repair to good condition according to specifications on the approved plans.



PAVEMENT REMOVAL "URBAN SOIL RESTORATION" DETAIL
EXISTING FIRE PUMP HOUSE
NTS

PAVEMENT REMOVAL INSPECTION CHART		
STAGE	INSPECTOR'S APPR.	
	INITIALS	DATE
1 PAVEMENT AND GRAVEL BASE REMOVED AND DISPOSED OF OFFSITE. MINIMUM 6"		
2 SUBSOIL BROKEN UP TO 20" IN DEPTH. TILL OR MIX IN 10" MINIMUM TOPSOIL BUT AS MUCH AS NECESSARY TO BRING THE SURFACE TO 4" ABOVE ORIGINAL GRADE.		
3 SOIL RESTORED AND FINAL GRADING COMPLETED. PLANTING SOIL PLACED AND SEEDED AND MULCHED.		
4 A SIGNED AND CERTIFIED AS-BUILT PLAN SUBMITTED TO THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT.		

*NOTIFY CERTIFYING ENGINEER'S 48 HRS PRIOR TO COMMENCING CONSTRUCTION
CERTIFYING ENGINEER'S NAME: BPR, LLC
PHONE #: (410) 857-9030
GEOTECHNICAL ENGINEER'S NAME: _____
PHONE #: _____

UTILITY TRENCHING INSPECTION CHART		
STAGE	INSPECTOR'S APPR.	
	INITIALS	DATE
1 EXISTING BITUMINOUS PAVING SAWCUT 12" BEYOND EDGE OF TRENCH IN PAVED AREAS.		
2 TRENCH EXCAVATED TO A WIDTH OF PIPE OUTER DIAMETER +2."		
3 PVC PIPE INSTALLED ON MINIMUM 6" CLEAN STONE BACKFILL. DUCTILE IRON PIPE INSTALLED ON TRENCH SUBGRADE. TRACER WIRE LOCATED BELOW DEAD CENTER OF PIPE. SPLICING SHALL BE ENCASED WHERE REQUIRED.		
4 TRENCH BACKFILLED WITH CLEAN STONE BACKFILL. MARKING TAPE PLACED 12" ABOVE PIPE.		
5 UTILITY TRENCHING RETURNED EXISTING LINE, GRADE, AND HYDROLOGIC CONDITIONS.		
6 A SIGNED AND CERTIFIED AS-BUILT PLAN SUBMITTED TO THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT.		

*NOTIFY CERTIFYING ENGINEER'S 48 HRS PRIOR TO COMMENCING CONSTRUCTION
CERTIFYING ENGINEER'S NAME: BPR, LLC
PHONE #: (410) 857-9030
GEOTECHNICAL ENGINEER'S NAME: _____
PHONE #: _____

Manufactured by:
Agri Drain CORPORATION

PO Box 458 · 1462 340th Street · Adair, Iowa 50002
Phone: 1-800-232-4742 · Fax: 1-800-282-3353
www.agridrain.com · email: info@agridrain.com

Heavy Duty Bar Guards

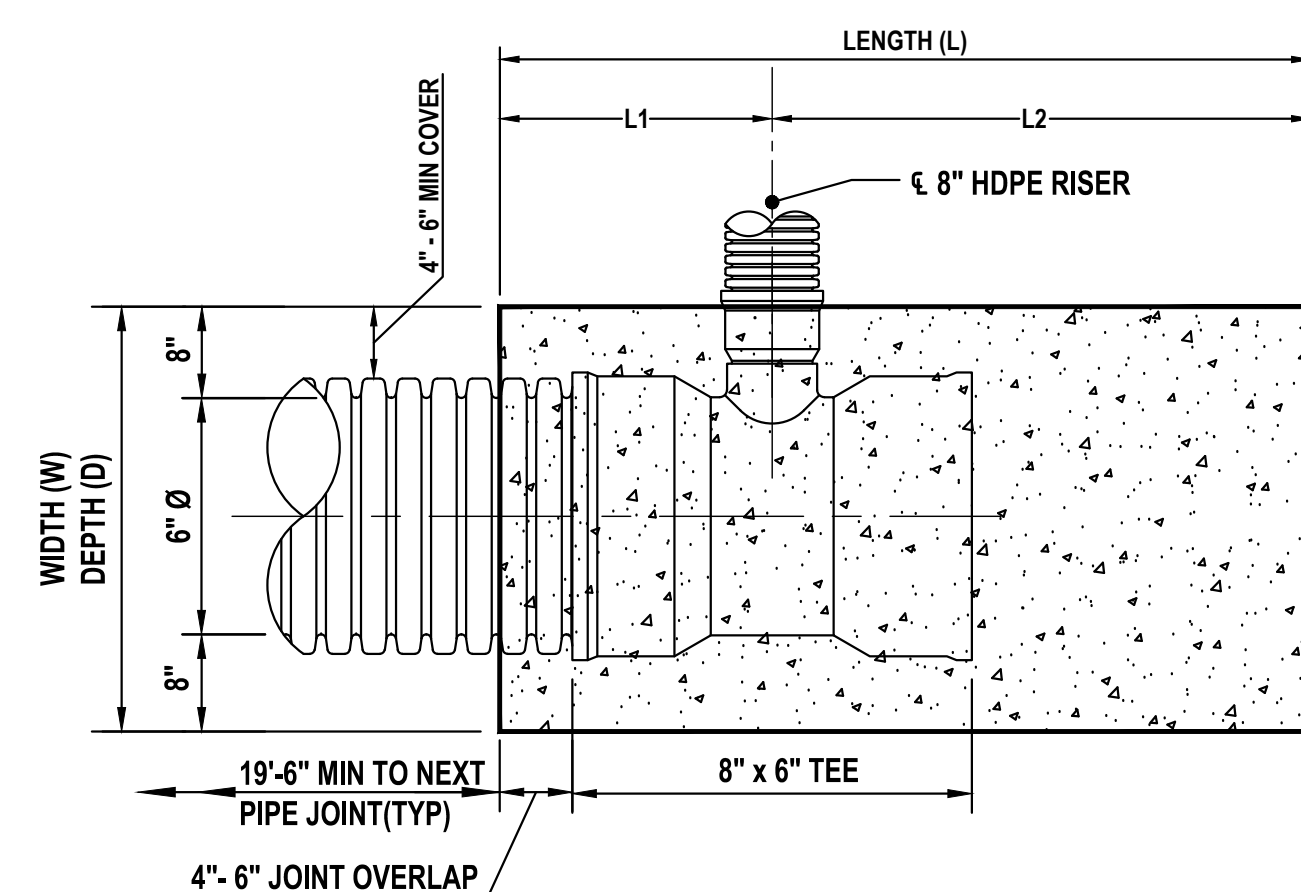
Keeps out the big chunks.

- Provides maximum flow rates.
- Allows small trash to pass.
- An excellent choice in any situation where a low-profile, high-capacity intake is required.
- Constructed of 1/4" rod on 4" and 6", 5/16" rod on 8", 3/8" rod on 10", and 1/2" rod on 12" through 36".
- Available in durable black or yellow powder coat finish for years of service. Please specify color when ordering.
- All intakes require periodic maintenance.

5% discount when purchased in case quantity. Cases available on 4"-9" per case, 6"-5" per case, 8"-6" per case, and 8" H-5 per case.

Size	Bar Diameter	Number Of Bars	Approx. Bar Spacing	Bar O.D. Below Ring	Bar Depth Below Ring	Over-all O.D.	Over-all Height
4"	1/4"	6	1 1/8"	3 7/8"	2 7/8"	5 3/8"	5 7/8"
6"	1/4"	8	1 7/8"	5 1/4"	2 7/8"	7"	6 5/8"
8"	5/16"	9	2 1/4"	7 3/4"	4"	9"	8 3/4"

8" BAR GUARD FOR MICRO-BIORETENTION RISER PIPE R-1



MBR #	RISER ID	OUTLET PIPE Dia	REDUCER Dia	CONCRETE ENCASUREMENT DIMENSIONS
	(in)	(in)	(in)	Width Depth Length
				W (in) D (in) L (ft)
MBR #1	R-1	8"	6"	18 18 3.0 1.50 1.50

NOTES
1. DETAIL SHOWN IS FOR A RISER TEE W/ REDUCER TYPICAL LOCATION. AT TEE ONLY LOCATIONS, CONCRETE SHALL EXTEND 4"-6" PAST TEE JOINTS.
2. FITTING DIMENSIONS ARE FROM "ADVANCED DRAINAGE SYSTEMS", AND ARE FOR THE PURPOSES OF ESTIMATING CONCRETE ENCASUREMENT SIZE ONLY. ACTUAL DIMENSIONS MAY VARY SLIGHTLY.
3. MINIMUM PIPE LENGTH TO NEXT JOINT FROM EITHER SIDE OF FITTING JOINTS IS 2'-0".

CONCRETE ENCASMENT FOR ANTI-FLOATATION DETAIL
(@ 8" HDPE RISER FOR MICROBIORRETENTION #1)
NTS

8/7/24	ADDRESS COUNTY COMMENTS	MJM
DATE	REVISION	BY

STORMWATER MANAGEMENT NOTES & DETAILS
PENGUIN RANDOM HOUSE

FIRE PUMP UPGRADES
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP - 39 GRID - 20 PARCEL - 335 & 750

OWNER / DEVELOPER

PENGUIN RANDOM HOUSE LLC
C/O RYNE BARRALL
400 BENNETT CERF DRIVE
WESTMINSTER, MD 21157
410-386-7725

Surveyed By	Drawn By
BPR	MJM
Computed By	Checked By
BPR	BPR
Date:	FEBRUARY 22, 2024
Sheet:	6 OF 9
Scale:	AS SHOWN
BPR Drawing No.:	22-0614

CC FILE #: S-24-0005

BPR LLC
SURVEYORS - LAND PLANNERS
150 AIRPORT DRIVE - SUITE 4
WESTMINSTER, MARYLAND 21157
PHONE: (410)-857-9030
OR (410)-876-0333
FAX: (410)-876-1532
WWW.BPRSURVEYING.COM

PERMANENT SEEDING NOTES

- SCOPE:** Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 6 months.
- STANDARDS:** The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.
- SEEDBED PREPARATION:**
 - The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.
 - For sites over 5 ac. soil tests will be performed. Soil tests will be conducted by the University of Maryland or a recognized commercial laboratory. Minimum soil conditions shall meet the requirements of section B-4-2-A-2-a, otherwise soil amendments or topsoil will need to be applied. Topsoiling may occur when soil conditions meet the minimum requirements as stated in section B-4-2-B. Soil amendments must meet the requirements as set forth in section B-4-2-C and must be applied as indicated by the soil tests.
 - For sites of 5 ac. or less of disturbance, the following fertilizer and lime rates shall apply. Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates:
 - N = 45 lb. per acre (1 lb. per 1000 sq ft.) P205 = 90 lb. per acre (2 lb. per 1000 sq ft.)
 - K2O = 90 lb. per acre (2 lb. per 1000 sq ft.)
 - Lime shall be applied at a rate of 2 tons per acre (90 lb. per 1000 sq ft.)
 - Seed type, turfgrass or sod application shall meet the requirements in section B-4-5. Seed tags shall be made available to the inspector to verify the type and application rate of seed used. Multiple types and its application will meet the requirements in section B-4-3 a, b and c, and will be applied along with seed or immediately after seeding.
- SEEDING MIXTURES:** Seeding mixtures shall be selected from or will be equal to those on Table B-3. The seeding chart below will need to be placed on and filled in on the sediment control plan.

TEMPORARY SEEDING NOTES

- SCOPE:** Planting short term (no more than 6 months) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.
- STANDARDS:** The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.
- SEEDBED PREPARATION:**
 - The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.
 - For temporary stabilization, fertilizer shall consist of a mixture of 10-20-20 and be applied at a rate of 436 lb. per acre (10 lb. per 1000 sq ft.) and will meet the requirements in section B-4-2. Lime shall be applied at a rate of 2 tons per acre (900 lb. per 1000 sq ft.) and shall meet the requirements in section B-4-2-A-2-a and B-4-4.
 - Seed type and application shall meet the requirements in section B-4-3. Seed tags shall be made available to the inspector to verify the type and rate of seed used.
 - Multiple types and its application will meet the requirements in section B-4-3 a, b and c and will be applied along with the seed or immediately after seeding.
- SEEDING MIXTURES:** Seeding mixtures shall be selected from or will be equal to those on Table B.20.

TEMPORARY SEEDING SUMMARY

SEED MIXTURE (FOR HARDNESS ZONE 4-B) (FROM TABLE 20)				FERTILIZER RATE (10-10-10)	LIME RATE
SPECIES	APPLICATION RATE (lb/acre)	SEEDING DATES	SEEDING DEPTHS		
BARLEY OR RYE	150	13/1/2025 8/15/2025		600 lbs/ac (15 lb/1000 sq ft)	2 TONS/ac (90 lb/1000 sq ft)

PERMANENT SEEDING SUMMARY

SEED MIXTURE (FOR HARDNESS ZONE 4-B) (FROM TABLE 20)				FERTILIZER RATE (10-10-10)	LIME RATE
SPECIES	APPLICATION RATE (lb/acre)	SEEDING DATES	SEEDING DEPTHS		
TALL FESCUE	120	3/1 - 5/15		80 lbs/ac (20 lb/1000 sq ft)	2 TONS/ac (90 lb/1000 sq ft)
TALL FESCUE	3	8/15 - 11/15		170 lbs/ac (42 lb/1000 sq ft)	2 TONS/ac (90 lb/1000 sq ft)

SOILS

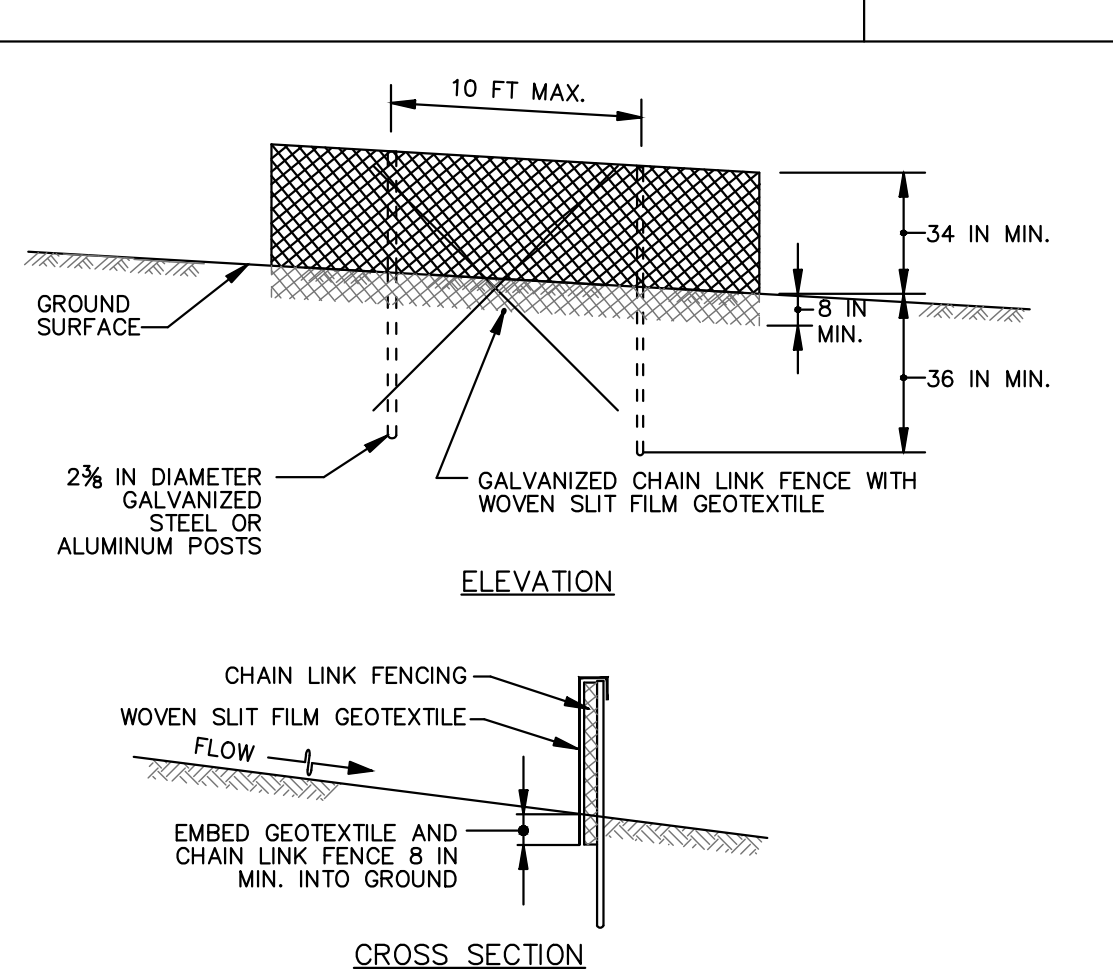
URBAN LAND COMPLEX (UfB) - 0 TO 8 PERCENT SLOPES - HYDROLOGIC SOILD GROUP D
BRINKLOW CHANNERY LOAM (Bd) 15 TO 25 PERCENT SLOPES - HYDROLOGIC SOILD GROUP C
CODORUS SILT LOAM (CdA) - 0 TO 3 PERCENT SLOPES - HYDROLOGIC SOILD GROUP C
MANOR CHANNERY LOAM (Mbd) - 15 TO 25 PERCENT SLOPES - HYDROLOGIC SOILD GROUP B

SITE ANALYSIS

- TOTAL AREA OF SITE: 28.9 AC
- TOTAL DISTURBED AREA: 9,075 SF (0.21 AC)
- TOTAL CUT: 15 CU. YD.
- TOTAL FILL: N/A

Tax Map 39, Parcel 335
#400 Hahn Road
Random House Inc.
Deed Book 1212, Page 141
18.54 Acres

DETAIL E-3 SUPER SILT FENCE



CONSTRUCTION SPECIFICATIONS

- INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
- FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

OWNER / DEVELOPER

I CERTIFY THAT THIS PLAN OF SOIL EROSION AND SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES.

Owner / Developer _____ Date _____

SOIL CONSERVATION DISTRICT

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT.

Approved: _____ Date _____
Carroll SCD

ENGINEER

I CERTIFY THAT THIS PLAN OF SOIL EROSION AND SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL SOIL CONSERVATION DISTRICT.

Consultant _____ Date _____
Randall A. Petkus, P.E.
MD PE #15820 Expiration Date: 12/02/25



GENERAL NOTES

- EXISTING ZONING:** I-2 HEAVY INDUSTRIAL
- TOTAL AREA OF PROPERTY:** 28.9 ACRES
- TOTAL DEVELOPED AREA (LOD):** 9,075 SF (0.21 ACRES)
- PROPERTY OWNERSHIP:** THE PROPERTY SHOWN HEREON IS OWNED BY RANDOM HOUSE INC., BY DEED DATED MAY 29, 1990, RECORDER AMONG THE LAND RECORDS OF CARROLL COUNTY IN LIBER 1212, FOLIO 141.

RANDOM HOUSE INC.
c/o PENGUIN RANDOM HOUSE LLC - RYNE BARRALL
400 BENNETT CERF DRIVE
WESTMINSTER, MD 21157
410-386-7725
- TAX MAP REFERENCE:** TAX MAP 39 / GRID 20 / PARCEL 335
DEED REFERENCE: LIBER 1212 FOLIO 141
GRANTOR: COUNTY COMMISSIONERS
DATE: MAY 29, 1990

TAX MAP 39 / GRID 20 / PARCEL 750
DEED REFERENCE: LIBER 749 FOLIO 615
- TOPOGRAPHY:** TOPOGRAPHY SHOWN HEREON IS FIELD RUN, DATED AUGUST 2022, PREPARED BY BPR LLC.

REQUIRED SEQUENCE OF CONSTRUCTION FOR SEDIMENT CONTROL

- CONTACT THE SEDIMENT CONTROL INSPECTOR 24 HOURS PRIOR TO ANY WORK BEING DONE (410-848-8200). ALL PROTECTION FENCING AND SIGNAGE REQUIRED UNDER CARROLL COUNTY CODE CHAPTER 150 FOREST CONSERVATION MUST BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR.
- INSTALL WORK ZONE TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH MUTCD, PART VI.
- INSTALL SUPER SILT FENCE.
- GRADE SITE, GRADE BIO-RETENTION TO SUBGRADE.
- BEGIN BUILDING CONSTRUCTION.
- INSTALL ASSOCIATED UTILITIES.
- PAVE SITE AS REQUIRED FOR UTILITY TRENCH REPAIR.
- INSTALL M-6 MICRO BIO-RETENTION SEE SEQUENCE OF CONSTRUCTION SHEET 5.
- INSTALL LANDSCAPING.
- UPON APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE ALL TEMPORARY SEDIMENT CONTROL MEASURES & PERMANENTLY STABILIZE ALL REMAINING DISTURBED AREAS.
- PERMANENTLY STABILIZE ALL DISTURBED AREAS.

SEDIMENT AND EROSION CONTROL NOTES

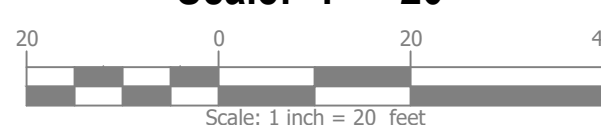
- All erosion/sediment control measures shall comply with the "Maryland Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of the Environment, Water Management Administration in association with the Natural Resources Conservation Service and the Maryland Association of Soil Conservation Districts (referred to as the 2011 Standards and Specs).
- Areas that have been cleared and/or graded, but will not be constructed on or permanently vegetated for more than 5 days (3 days for sediment control measures and steep slopes) must be stabilized with mulch or temporary stabilization. Any areas that are in temporary vegetation for over 6 months will need to be permanently vegetated.
- For specifications on permanent or temporary stabilization, see B-4-4 and B-4-5.
- Mulching only is restricted to use on disturbed areas as a temporary cover where vegetation is not feasible or where seeding germination cannot be completed because of weather conditions. For specifications see B-4-3, A.1 B.
- For specifications on the stabilization of cut and fill slopes steeper than 3 horizontal to 1 vertical, see Incremental Stabilization B-4-1.
- The required topsoil from on or off site that is used must meet the minimum specification in B-4-2.
- The required sequence of construction must be followed during site development. Any changes in the sequence of construction must be approved by the Soil Conservation District.
- Any revisions to the Sediment Control plan, not covered under the list of plan modifications that can be approved by the Sediment Control Inspector, need to be submitted to the Soil Conservation District for approval.
- No proposed slope that is required to be seeded and/or mulched shall be steeper than 2:1. Slopes steeper than 2:1 shall require an engineered design for stabilization.
- All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 2011 Standards and Specs.
- The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.
- The District Approval for this Sediment Control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be resubmitted to the Soil Conservation District for review and re-approval. Any plans that are currently under construction after 2 years may be required to be resubmitted to the Soil Conservation District by the Sediment Control Inspector.
- All disturbance of slopes 2:1 or greater shall be stabilized with permanent slope matting NAG SC 250 or equal.

DUST CONTROL NOTES

- Following initial soil disturbance or redistribution, contractor is to stabilize those areas according to Sediment Control Note #3.
- If initial soil disturbance occurs during June 1 thru October 30 and in those areas where stabilization cannot be accomplished after five (5) working days without rainfall, contractor is to water those areas three times daily until stabilization of those areas have been accomplished.

SEC PLAN

Scale: 1" = 20'



LEGEND

- SSF DENOTES SILT FENCE (162 LF)
- DENOTES LIMITS OF DISTURBANCE

OWNER / DEVELOPER

PENGUIN RANDOM HOUSE LLC
C/O RYNE BARRALL
400 BENNETT CERF DRIVE
WESTMINSTER, MD 21157
410-386-7725

8/7/24	ADDRESS COUNTY COMMENTS	MJM
6/6/24	ADDRESS COUNTY COMMENTS	MJM
4/12/24	ADDRESS COUNTY COMMENTS	MJM
DATE	REVISION	BY

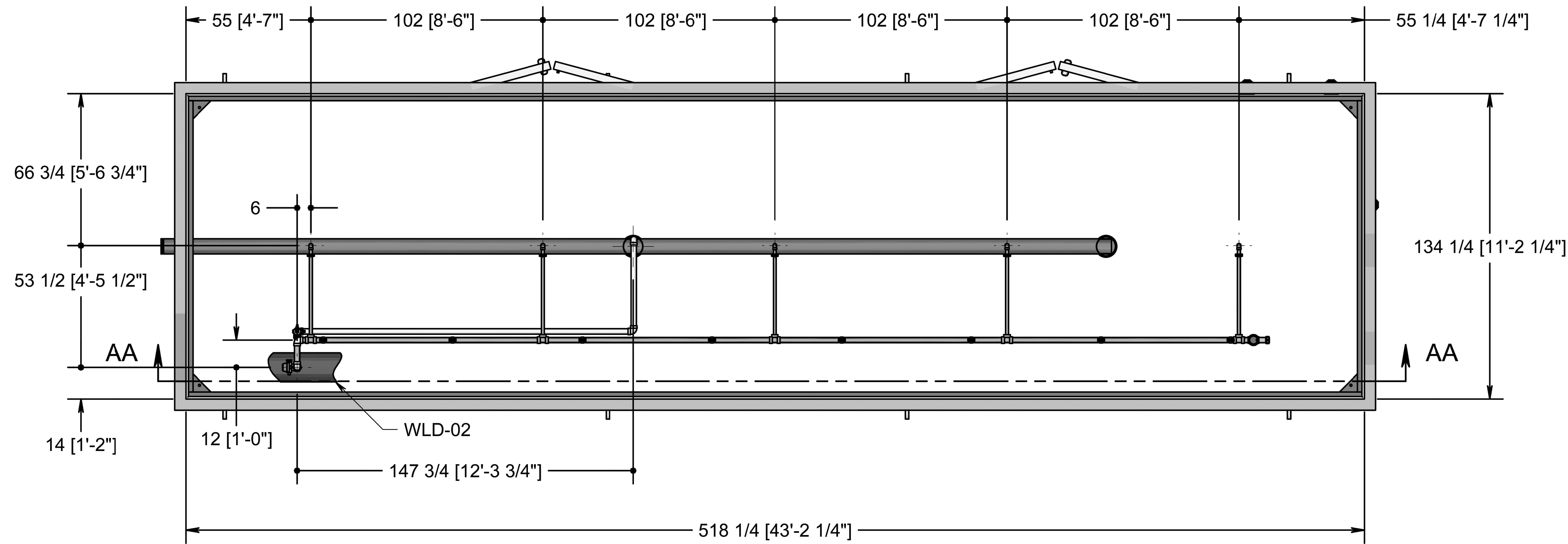
**SEDIMENT EROSION CONTROL PLAN
PENGUIN RANDOM HOUSE**

FIRE PUMP UPGRADES
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP - 39 GRID - 20 PARCEL - 335 & 750

Surveyed By	BPR	Drawn By	MJM
Computed By	BPR	Checked By	BPR
Date:	FEBRUARY 22, 2024		
Sheet:	7 OF 9		
Scale:	1" = 20'		
BPR Drawing No.:	22-0614		

BPR LLC
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WESTMINSTER, MARYLAND 21157
PHONE: (410)-857-9030
OR (410)-876-0333
FAX: (410)-876-1532
WWW.BPRSURVEYING.COM

CC FILE #: S-24-0005



DATE	REVISION	BY
6/6/24	ADDRESS COUNTY COMMENTS	MJM
4/12/24	ADDRESS COUNTY COMMENTS	MJM

**PUMP HOUSE BUILDING ELEVATIONS
PENGUIN RANDOM HOUSE**

FIRE PUMP UPGRADES
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP - 39 GRID - 20 PARCEL - 335 & 750

OWNER / DEVELOPER

**PENGUIN RANDOM
HOUSE LLC**
C/O RYNE BARRALL
400 BENNETT CERF DRIVE
WESTMINSTER, MD 21157
410-386-7725

Surveyed By	BPR	Drawn By	MJM
Computed By	BPR	Checked By	BPR
Date:	FEBRUARY 22, 2024		
Sheet:	8 OF 9		
Scale:	NOT TO SCALE		
BPR Drawing No.:	22-0614		

CC FILE #: S-24-0005

BPR LLC

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STREAM BUFFER TRANSECT WIDTH CALCULATION									
Transect #	ELEV @ STREAM BANK (FT)	ELEV @ 100 FT OFFSET (FT)	% Stream Valley Slope (%)	Buffer Extension (2x slope) (FT)	Min. Buffer (FT)	Wetlands (FT)	> 25% SLOPE (FT)	Buffer Exclusion (FT)	Total Buffer (FT)
T-1	663.7	676.5	12.8%	26	50.0	0	20	0	96
T-2	662.0	680.5	18.5%	37	50.0	0	37	25	99
T-3	659.5	684.3	24.8%	50	50.0	0	36	86	50
T-4	657.9	686.7	28.8%	58	50.0	0	39	74	73
T-5	657.5	685.5	28.0%	56	50.0	0	57	53	110
T-6	657.2	681.0	23.8%	48	50.0	0	49	24	123
T-7	655.7	672.5	16.8%	34	50.0	0	14	0	98
T-8	655.7	670.7	15.0%	30	50.0	0	21	0	101
T-9	655.5	661.8	6.3%	13	50.0	0	6	0	69
T-11	655.6	662.1	6.5%	13	50.0	0	12	0	75
T-12	662.2	664.4	2.2%	4	50.0	0	2	0	56
T-13	661.7	665.6	3.9%	8	50.0	0	8	0	66
T-14	662.9	672.1	9.2%	18	50.0	0	5	20	73
T-15	661.6	678.0	16.4%	33	50.0	0	22	20	105
T-16	664.9	677.5	12.6%	25	50.0	0	12	20	87
T-17	664.9	682.0	17.1%	34	50.0	0	24	20	108
T-18	629.0	673.0	44.0%	88	50.0	0	7	0	145

WATER RESOURCE PROTECTION AREA
 This area is being maintained to protect and enhance water quality.
Clean Water For Your Future
 Carroll County Government

PLACED APPROXIMATELY EVERY 100 FT.

STYLE 59
 THE TREE COMPANY
 CATONSVILLE, MD
 (410) 788-7277
 www.threetreecompany.com

WATER RESOURCE PROTECTION SIGN

WATER RESOURCE PROTECTION SIGNS
 WATER RESOURCE PROTECTION SIGNS SHALL BE PLACED PRIOR TO CONSTRUCTION. SIGNS SHALL BE PLACED EVERY 100 FEET APART.
 TOTAL NUMBER OF SIGNS = 13

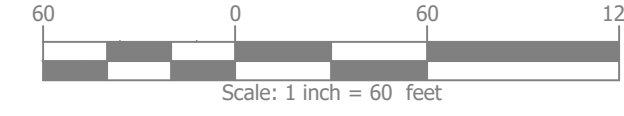
LEGEND

- SB — Denotes limit of Calculated Stream Buffer
- Denotes > 25% Slopes
- Denotes 12% - 25% Slopes
- GaC BaB — Soils Type
- Existing Woods
- FWRPE — Forested Water Resource Protection Easment
- Exclusions from Forested Water Resource Protection Easment

Tax Map 39, Parcel 335
 #400 Hahn Road
 Random House Inc.
 Deed Book 1212, Page 141
 18.54 Acres



VWSB PLAN
 Scale: 1" = 60'



DATE	REVISION	BY
8/7/24	ADDRESS COUNTY COMMENTS	MJM
6/6/24	ADDRESS COUNTY COMMENTS	MJM
4/12/24	ADDRESS COUNTY COMMENTS	MJM

VARIABLE WIDTH STREAM BUFFER DETERMINATION
PENGUIN RANDOM HOUSE
 FIRE PUMP UPGRADES
 7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
 TAX MAP - 39 GRID - 20 PARCEL - 335 & 750

OWNER / DEVELOPER

PENGUIN RANDOM HOUSE LLC
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