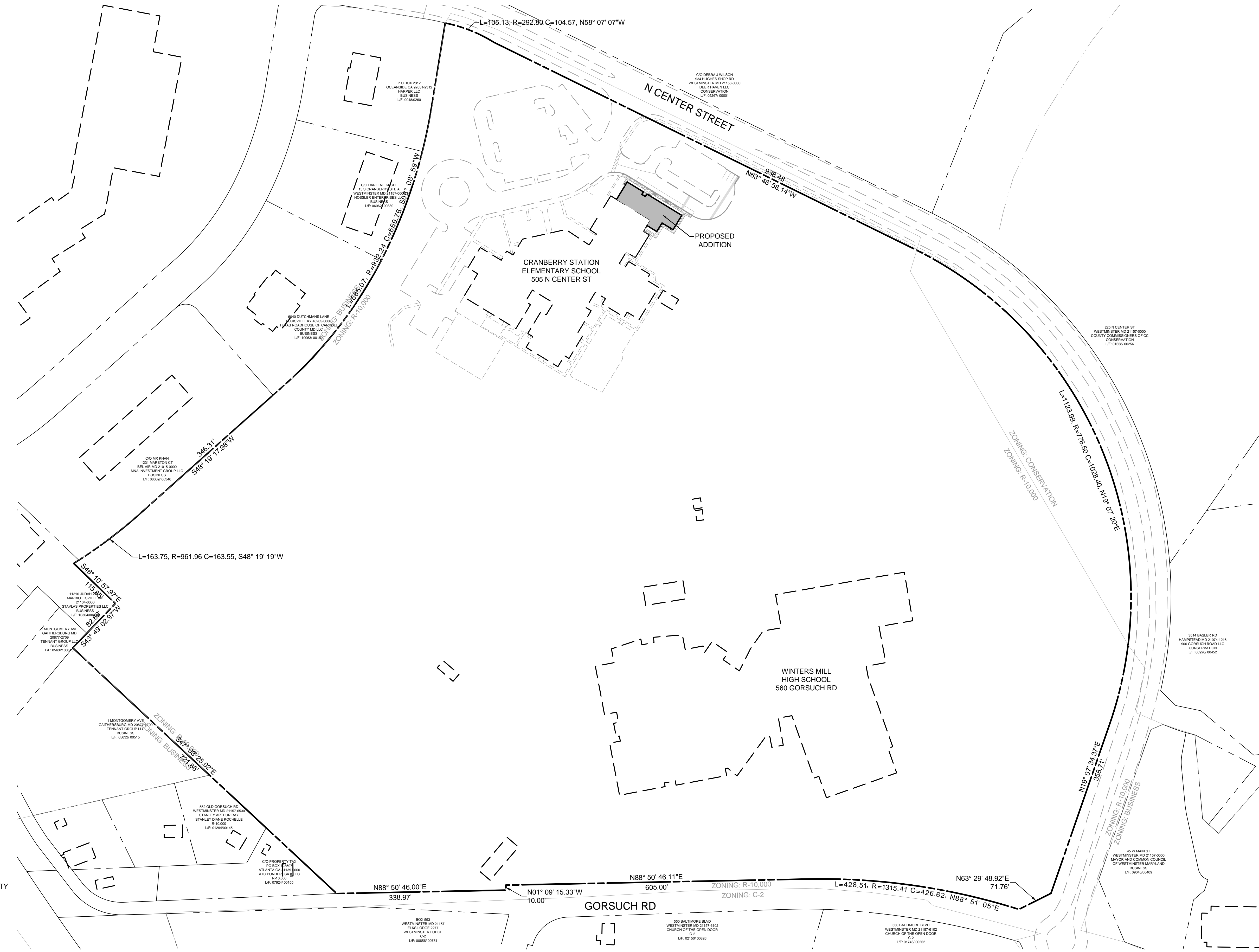
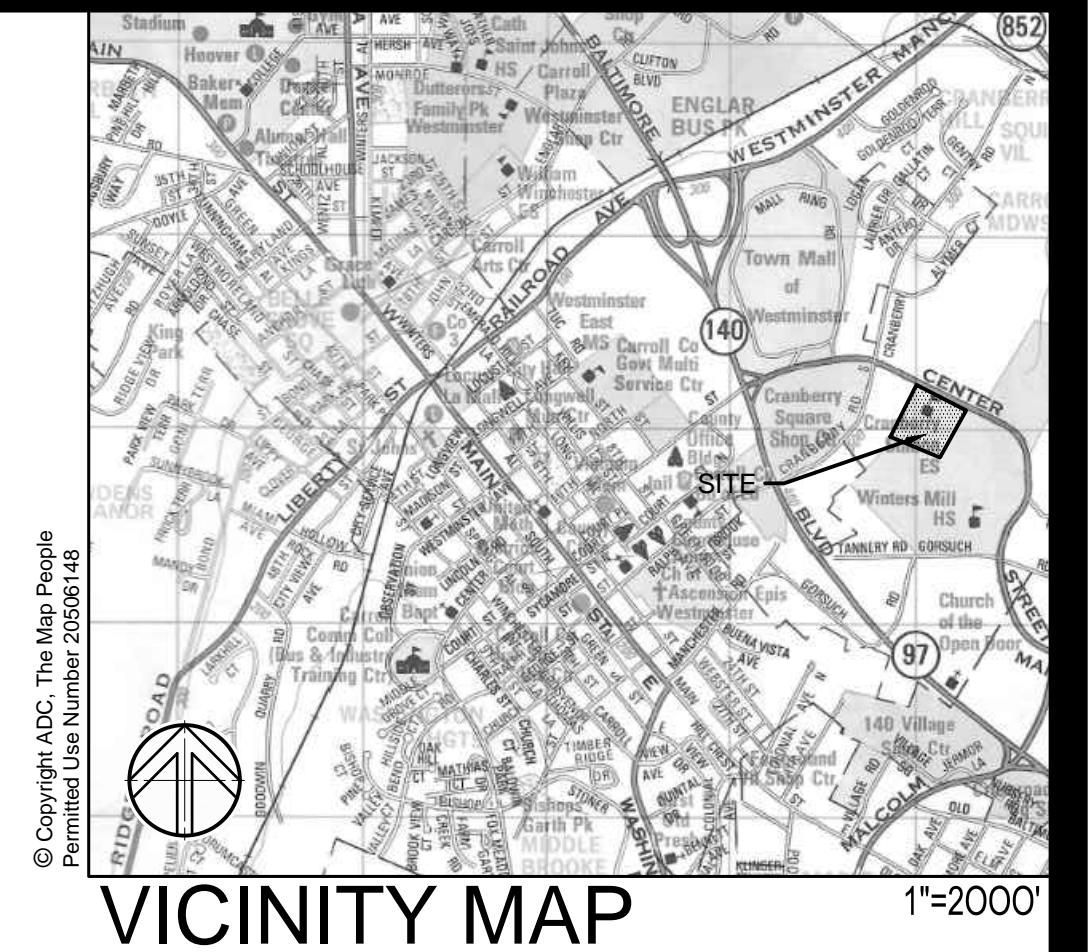


CONCEPT SITE DEVELOPMENT PLAN FOR CRANBERRY STATION ELEMENTARY SCHOOL 505 N CENTER STREET, WESTMINSTER, MD 21157



SITE DATA:

SITE ADDRESS: 505 N CENTER STREET
WESTMINSTER, MD 21157

OWNER/DEVELOPER: BOARD OF EDUCATION OF CARROLL COUNTY
125 NORTH COURT STREET
WESTMINSTER, MD 21157
WILLIAM CAINE
410-366-1817

PROPERTY REFERENCE: TAX MAP: 46
GRID: 03
PARCEL: 1583
ELECTION DISTRICT: 07-004

PROPERTY LAND AREA: 56.03 ACRES

TOTAL DEVELOPED AREA: 2,440,666.80 SF OR 56.03 ACRES

TOTAL DISTURBED AREA: 13,750 SF

EXISTING/PROPOSED USE: ELEMENTARY SCHOOL/ELEMENTARY SCHOOL

ZONING: R-10,000 (RESIDENCE, URBAN DISTRICT)

SETBACKS: FRONT: 150 FT
SIDE: 100 FT
REAR: 50 FT

PARKING LOT TABULATION: EXISTING: 135
PROPOSED: 135

TRIP GENERATION: ADDITIONS ARE NOT INCREASING ENROLLMENT. NO ADDITIONAL TRIPS OR BUSES ARE PLANNED.

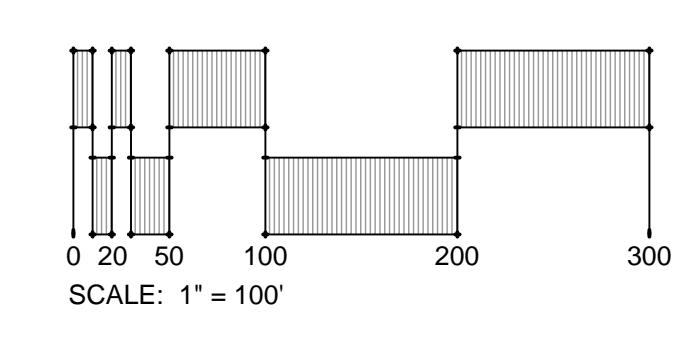
FLOODPLAIN INFO: THE SITE IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN AS DELINEATED ON FEMA FLOOD INSURANCE RATE MAP 24013C0043D. THE SITE IS LOCATED IN ZONE 'X' WHICH MEANS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION: THERE ARE THREE HYDRANTS ALONG THE EXISTING 8" WATER LINE BETWEEN THE ROUNDABOUT AND THE WEST SIDE OF THE SCHOOL, NEAR THE NORTH SIDE OF THE SCHOOL, AND THE SOUTHERNMOST CORNER OF THE SCHOOL. THE HYDRANT ON THE NORTH SIDE OF THE SCHOOL WILL BE RELOCATED TO ACCOUNT FOR THE BUILDING ADDITION.

THE SITE IS IN COMPLIANCE WITH THE CODE OF PUBLIC LOCAL LAWS & ORDINANCES OF CARROLL COUNTY, MARYLAND PER CHAPTER 150 OF THE FOREST CONSERVATION ORDINANCE.

SHEET LIST TABLE

Sheet Number	Sheet Title
1	C001 Cover Sheet
2	C002 General Notes
3	C101 Existing Conditions and Demolition Plan
4	C111 Proposed Site Plan
5	C201 Site Details
6	C501 Existing Conditions and Resource Mapping SWM Plan
7	C511 Proposed Conditions SWM Plan
8	C512 SWM ESD DA Map
9	C521 SWM Test Pits
10	L101 Landscape Plan



ENGINEER'S CERTIFICATION

I hereby certify that these construction drawings and associated computations were prepared by me or under my supervision and comply with all applicable standards and regulations of The City of Westminister. I have reviewed these documents with the Owner/Developer.

NAME(S) (PRINTED) _____ DATE _____

MARYLAND REGISTRATION NUMBER No. _____

SIGNED _____ DATE _____

OWNER/DEVELOPER CERTIFICATION

I/We certify that all proposed work shown on these construction drawing(s) has been reviewed by me/us and that I/We fully understand what is necessary to accomplish this work and that the work will be conducted in strict accordance with these plans. I/We also understand that any changes to these plans will require an amended plan to be reviewed and approved by the City of Westminister Planning and Zoning Commission before any change in the work is made.

NAME(S) (PRINTED) _____ DATE _____

SIGNED _____ DATE _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING

BY _____ DATE _____

CARROLL COUNTY SOIL CONSERVATION DISTRICT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL COUNTY SOIL CONSERVATION DISTRICT

APPROVED _____ CARROLL S.C.D. / DATE _____

CARROLL COUNTY HEALTH DEPARTMENT

BY _____ DATE _____

Community Water and/or sewerage systems are in conformance with the Carroll County Master Plan for Water and Sewer.

**CITY OF WESTMINSTER
MAYOR**

APPROVED _____ DATE _____

**CITY OF WESTMINSTER
PLANNING AND ZONING COMMISSION**

BY _____ DATE _____

**CITY OF WESTMINSTER
DIRECTOR OF COMMUNITY PLANNING
AND DEVELOPMENT**

APPROVED _____ DATE _____

**CITY OF WESTMINSTER
DIRECTOR OF PUBLIC WORKS**

APPROVED _____ DATE _____

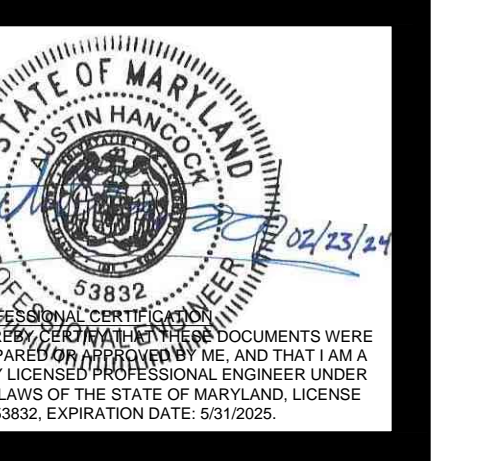
COUNTY FILE NUMBER:
S-23-0029

C001
SHEET 1 OF 10

© SITE RESOURCES, INC. 2/23/2024-CPFS-CRANBERRY STATION ES04-DWG001 COVER SHEET.DWG 2/22/2024 8:40 AM .doc

MOSELEY ARCHITECTS
1414 KEY HIGHWAY, SECOND FLOOR, BALTIMORE, MD 21202
PHONE (410) 538-4300 FAX (410) 538-0660
MOSELEYARCHITECTS.COM

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**CRANBERRY STATION ELEMENTARY SCHOOL PRE-K &
KINDERGARTEN ADDITION**
CARROLL COUNTY PUBLIC SCHOOLS
505 N CENTER ST, WESTMINSTER, MD 21157

PROJECT NO: 631358
DATE: _____
REVISIONS
DATE DESCRIPTION

COVER SHEET

GENERAL NOTES (THESE NOTES PERTAIN TO ALL CIVIL DRAWINGS)

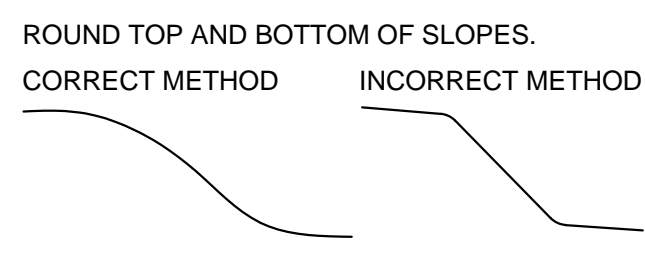
- EXISTING INFORMATION AND CONDITIONS NOT GUARANTEED. VERIFY AND TEST PIT EXISTING UTILITIES. THE CORRECTNESS AND COMPLETENESS OF THE INFORMATION SHOWING EXISTING CONDITIONS IS NOT GUARANTEED. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL PERFORM THE FOLLOWING TASKS:
 - NOTIFY MISS UTILITY AT 1-800-257-7777, AND MAKE SURE THEY COMPLETE THE MARKING OF UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AT LEAST 48 HOURS PRIOR TO INSTALLING SEDIMENT CONTROL MEASURES. MAINTAIN ALL MARKINGS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL ALSO INCLUDE IN HIS BID PRICE MARKING OF ON-SITE UTILITIES THAT MIGHT NOT BE MARKED BY MISS UTILITY. THE CONTRACTOR SHALL EITHER MARK THESE ON-SITE UTILITIES HIMSELF OR BY SUBCONTRACTING WITH A PRIVATE ON-SITE UTILITY LOCATION COMPANY.
 - VERIFY THE GENERAL ACCURACY OF THE EXISTING CONDITIONS SHOWN ON THE SITE DRAWINGS BY VISUAL INSPECTION OF THE SURFACE OF THE SITE AND ALL EXISTING STRUCTURES, PAVING AND UTILITY APPURTENANCES VISIBLE THEREON;
 - WITH REGARD TO THE STRUCTURES & APPURTENANCES OBSERVED AS REQUIRED PER ITEM (B) ABOVE, DETERMINE THE TYPE, SIZE, LOCATION AND ELEVATION OF ALL THOSE EXISTING UTILITIES (INCLUDING BUT NOT LIMITED TO ALL STORM DRAINS, SANITARY LINES, WATER LINES, GAS LINES, STEAM LINES, ELECTRIC LINES, TELEPHONE LINES, AND COMMUNICATION DUCTS, AND ALL MANHOLES, INLETS, CLEANOUTS, VALVES, HANDHOLES, ETC. RELATED THERETO) WITHIN THE LIMITS OF CONSTRUCTION IN ORDER TO: (i) AVOID DAMAGING OR DISRUPTING SERVICE, AND (ii) TO COORDINATE AND FACILITATE CONSTRUCTION OF PROPOSED UTILITIES AND OTHER IMPROVEMENTS. IN ADDITION TO THE CONTRACTOR'S VISUAL OBSERVATION AND THE UTILITY MARKING (AS REQUIRED ABOVE), THE CONTRACTOR SHALL SCHEDULE AND COMPLETE TEST PITTING OF ALL EXISTING UTILITIES (FOR THE PURPOSES SET FORTH ABOVE) AND SHALL DO SO IN A TIMELY MANNER IN ORDER TO ALLOW TIME FOR ANALYSIS AND REDESIGN BY SITE RESOURCES AND/OR OTHER CONSULTANTS, WITHOUT DELAYING THE PROJECT SCHEDULE.
 - IMMEDIATELY REPORT TO SITE RESOURCES, INC. THE RESULTS OF STEPS (A), (B) AND (C) WHICH MIGHT INDICATE ANY DISCREPANCY BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE PLAN, AND ANY POTENTIAL CONFLICTS BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONDITION.

TEST PITTING DEFINED: FOR THE PURPOSES OF THIS CONTRACT, EXCAVATION OF UTILITY TRENCHES DOES NOT CONSTITUTE TEST PITTING. TEST PITTING IS A SEPARATE OPERATION COMPLETED AT LEAST SEVEN DAYS BEFORE UTILITY INSTALLATION IS SCHEDULED TO BEGIN. TEST PITTING MEANS EXCAVATION TO EXPOSE EXISTING UTILITIES IN TWO SITUATIONS: (i) WHERE PROPOSED IMPROVEMENTS CROSS EXISTING UTILITIES (PIPES, LINES, STRUCTURES, APPURTENANCES); AND, (ii) WHERE PROPOSED UTILITIES ARE DESIGNED TO CONNECT TO EXISTING UTILITIES. TEST PITTING INCLUDES RECORDING THE TYPE, SIZE, LOCATION AND ELEVATION OF THE EXPOSED UTILITIES, AND FAXING AND MAILING THE RECORD TO SITE RESOURCES, INC. AND THE OWNER. THE RECORD MAY BE A LEGIBLE HAND-WRITTEN FIELD SKETCH.
- EXISTING AND PROPOSED GAS LINES, ELECTRIC LINES, TELEPHONE LINES, COMMUNICATION LINES AND OTHER UTILITIES. THESE DRAWINGS INCLUDE INFORMATION AND DEPICTIONS OF BALTIMORE GAS & ELECTRIC COMPANY'S (BGE) ELECTRIC AND/OR GAS UTILITIES LOCATED WITHIN THE GENERAL PROJECT AREA. LOCATIONS, DIMENSIONS, DEPTHS, AND OTHER DETAILS OF ANY SUCH UTILITIES MAY NOT BE AS ACTUALLY CONSTRUCTED, AND THE INFORMATION SHALL NOT BE RELIED UPON WITHOUT FIELD VERIFICATION BY TEST PITTING AS DEFINED ABOVE. EXCAVATORS MUST EMPLOY SAFE DIGGING PRACTICES WHEN APPROACHING BGE ELECTRIC AND/OR GAS UTILITIES AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS INCLUDING, BUT NOT LIMITED TO, THE LAW GOVERNING NOTIFICATION OF MISS UTILITY, NO REPRESENTATION, GUARANTEES, OR WARRANTIES EXPRESSED OR IMPLIED ARE MADE BY BGE OR SITE RESOURCES, INC. AS TO THE QUALITY, COMPLETENESS, OR ACCURACY OF THE BGE UTILITY INFORMATION, AND IN ACCEPTING THESE DRAWINGS, THE RECIPIENT EXPRESSLY AGREES THAT IT IS NOT RELYING ON THE ACCURACY OF THE SAME.

EXISTING AND PROPOSED GAS LINES, STEAM LINES, ELECTRIC LINES, TELEPHONE LINES, COMMUNICATION DUCTS AND OTHER UTILITIES NOT PART OF THE SCOPE OF WORK SHOWN ON THESE SITE PLANS AND SITE RESOURCES, INC. HAS NO RESPONSIBILITY FOR DESIGN, SPECIFICATION OR INSTALLATION OF SAID UTILITIES. TO THE EXTENT THAT SOME OR ALL OF SUCH UTILITIES (WHETHER EXISTING OR PROPOSED) APPEAR ON THE SITE DRAWINGS, IT IS PRESENTED ONLY FOR THE CONVENIENCE OF THE CONTRACTOR AND THE CORRECTNESS AND COMPLETENESS OF THE INFORMATION SHOWING THESE UTILITIES IS NOT GUARANTEED.

- COORDINATION BETWEEN PROPOSED UTILITIES: THE CONTRACTOR SHALL ADJUST THE LOCATION AND ELEVATION OF PROPOSED GAS LINES, ELECTRIC LINES, TELEPHONE LINES, COMMUNICATION LINES, AND WATER LINES AS NEEDED TO CONSTRUCT THE PROPOSED STORM DRAINS AND SANITARY SEWER WITH MINIMUM CLEARANCES. COORDINATE WITH THE MECHANICAL/ELECTRICAL DRAWINGS AND SPECIFICATIONS AND APPROPRIATE UTILITY COMPANY.
- RELOCATION OF EXISTING UTILITIES: IN THE EVENT THAT THE LOCATION OR ELEVATION OF EXISTING MINOR UNDERGROUND ELECTRIC LINES AND PHONE LINES CONFLICT WITH PROPOSED STORM DRAINS, SANITARY SEWER LINES OR WATER LINES, THE CONTRACTOR SHALL, WITH THE PERMISSION OF THE OWNER AND WITHOUT AN EXTRA COST TO THE PROJECT, ADJUST THESE LINES TO PERMIT INSTALLATION OF THE NEW UTILITIES. IN THE EVENT THAT ANY OTHER UTILITY IS RELOCATED TO ACCOMMODATE A NEW UTILITY, SAID RELOCATION SHALL BE AN EXTRA COST TO THE PROJECT, SUBJECT TO THE TERMS AND CONDITIONS OF THE CONSTRUCTION CONTRACT.
- UTILITIES TO REMAIN OPERATIONAL: ADJUSTMENT FOR FINAL GRADE: ALL EXISTING UTILITIES SHALL BE RETAINED UNLESS MARKED OTHERWISE. EXISTING UTILITIES NOT TO BE REMOVED ARE TO REMAIN OPERATIONAL AT ALL TIMES. EXISTING UTILITIES TO BE REPLACED OR RELOCATED SHALL REMAIN IN SERVICE UNTIL REPLACED OR RELOCATED UTILITIES ARE OPERATIONAL. ALL EXISTING UTILITY APPURTENANCES SHALL BE ADJUSTED FOR FINAL GRADE.
- UTILITY TRENCHING, BACKFILL AND COMPACTION: ALL TRENCHING FOR SANITARY SEWER, STORM DRAINS AND WATER MAINS SHALL BE DONE IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION PUBLISHED BY CARROLL COUNTY AS AMENDED TO DATE.
- UTILITY CERTIFICATION: THE CONTRACTOR SHALL HAVE A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND CERTIFY, ON A FORM PROVIDED BY THE OWNER, THAT ALL PROPOSED STORM DRAINS, SANITARY SEWERS AND WATER LINES SHOWN HEREON WERE INSTALLED IN ACCORDANCE WITH THESE PLANS AND CARROLL COUNTY SPECIFICATIONS. IF SAID CERTIFICATION IS NOT POSSIBLE BECAUSE THE UTILITIES WERE NOT INSTALLED IN ACCORDANCE WITH THESE PLANS AND CARROLL COUNTY SPECIFICATIONS, THEN THE OWNER HAS THE OPTION OF WAIVING, IN WRITING, THIS CERTIFICATION, IN WHOLE OR PART. IF THE OWNER DOES NOT ELECT TO WAIVE THE CERTIFICATION, THE CONTRACTOR SHALL ADJUST AND, IF NECESSARY, RECONSTRUCT THE UTILITIES TO BRING THEM IN CONFORMANCE WITH THESE PLANS AND CARROLL COUNTY SPECIFICATIONS.
- UTILITY CAPPING AND PROTECTION: ALL BUILDING CONNECTIONS SHALL BE CAPPED AT UPSTREAM END, 5 FEET FROM PROPOSED BUILDINGS, CAISSONS OR COLUMN FOOTINGS OR AS NOTED, AND SHALL BE PROTECTED BY PROVIDING THREE STAKES THE HEIGHT BEING A MINIMUM OF 18 INCHES ABOVE PROPOSED GRADE) WITH HIGH VISIBILITY FLAGGING AROUND THE CAPPED END OF THE UTILITY.
- PROPOSED WATER LINES: PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 4'-0" COVER FROM FINISHED GRADE, 1'-0" CLEARANCE FROM STORM DRAINS AND 1'-0" CLEARANCE FROM SANITARY SEWERS, UNLESS INDICATED OTHERWISE ON THESE CONSTRUCTION DRAWINGS. ALL WATER MAINS 3" OR LARGER SHALL BE CLASS 54 DIP MEETING AWWA C110/C163. ALL WATER LINES 2" AND SMALLER SHALL BE TYPE K COPPER TUBING MEETING THE MATERIAL, CHEMICAL, AND MECHANICAL REQUIREMENTS OF ASTM B-88.
- PROPOSED STORM DRAINS: ALL STORM DRAINS 12 INCHES AND LARGER SHALL BE CLASS IV REINFORCED CONCRETE CULVERT PIPE (RCCP) UNLESS INDICATED OTHERWISE ON THESE CONSTRUCTION DRAWINGS.
- PROPOSED SANITARY SEWERS: ALL PIPE AND FITTINGS FOR SANITARY HOUSE CONNECTION SHALL BE POLYVINYL CHLORIDE (PVC) MEETING MATERIAL REQUIREMENTS OF ASTM D3034, (SDR-35 OR SDR-26 AS APPROPRIATE FOR DEPTH OF BURY) UNLESS INDICATED OTHERWISE ON THESE CONSTRUCTION DRAWINGS. JOINTS SHALL BE ELASTOMERIC GASKETED.
- STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS: UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS, ALL CONSTRUCTION SHALL FOLLOW THE LATEST STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION PUBLISHED BY CARROLL COUNTY AS AMENDED TO DATE.
- SEDIMENT CONTROL: THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UTILITIES TO AVOID CONSTRUCTION PROBLEMS/CONFLICTS WITH SEDIMENT AND EROSION CONTROL MEASURES. ANY DISTURBANCE TO SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REPAIRED AT THE END OF EACH WORKING DAY. CONTRACTOR SHALL, WITHOUT EXTRA COST TO THE PROJECT, REPAIR AND MAINTAIN EXISTING SEDIMENT CONTROL DEVICES UNTIL ALL AREAS WITHIN LIMITS OF CONSTRUCTION ARE STABILIZED. WITH THE APPROVAL OF SEDIMENT CONTROL INSPECTOR, ALL SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND AREAS RESTORED AND STABILIZED. ALL SEDIMENT CONTROL MEASURES REFERRED TO ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE PUBLICATION ENTITLED 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- DISTURBED AREAS: ALL AREAS DISTURBED BY THE CONTRACTOR DURING OR PRIOR TO CONSTRUCTION, NOT DESIGNATED TO RECEIVE PAVING, MULCH OR SOLID SOD SHALL BE FINE GRADED, SEEDED AND MULCHED IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES AND SPECIFICATIONS SHOWN ON THE SEDIMENT CONTROL DRAWINGS.
- REPAIR AND REPLACEMENT OF DAMAGE CAUSED BY CONTRACTOR AND SUBCONTRACTORS: IN THE EVENT THAT THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS DAMAGE ANY EXISTING CURB, GUTTER, PAVING, UTILITIES, SIDEWALKS, TREES, SHRUBS, LAWNS, OR ANY OTHER EXISTING CONDITIONS (NOT INDICATED TO BE DEMOLISHED), OR ANY NEWLY INSTALLED PROPOSED IMPROVEMENT, THE GENERAL CONTRACTOR SHALL REPAIR AND REPLACE SAID DAMAGE TO OWNER'S SATISFACTION, AT GENERAL CONTRACTOR'S SOLE COST AND EXPENSE.

- BENCHMARKS: SEE EXISTING CONDITIONS AND DEMOLITION PLAN.
- ELEVATION AND LABELING: ALL SPOT GRADE ELEVATIONS IN ROADWAYS AND PARKING LOTS ARE FOR BOTTOM OF CURB UNLESS OTHERWISE NOTED. ELEVATIONS ON HARD SURFACES (ROADS, WALKS, WALLS, STEPS, MANHOLES, INLETS, ETC.) ARE LABELED TO THE HUNDRETH OF A FOOT (E.G. 245.45). ELEVATIONS ON PROPOSED LAWN AND PLANTING AREAS ARE LABELED TO THE TENTH OF A FOOT (E.G. 245.5).
- DIMENSIONS: UNLESS OTHERWISE NOTED ON THE DRAWING, ALL DIMENSIONS SHOWN ON THE SITE DRAWINGS FOLLOW THESE CONVENTIONS:
 - DIMENSIONS TO A BUILDING OR RETAINING WALL ARE TO THE FACE OF THE WALL;
 - DIMENSIONS TO A CURB ARE TO THE FACE (NOT THE BACK) OF THE CURB;
 - DIMENSIONS TO A FENCE ARE TO THE CENTERLINE OF THE FENCE;
 - DIMENSIONS FOR SIDEWALKS ABUTTING A CURB ARE FROM THE FACE OF CURB TO THE BACK EDGE OF THE WALK;
 - DIMENSIONS FOR OTHER SIDEWALKS OR OPEN PAVING SECTIONS ARE MEASURED TO THE EDGE OF PAVING;
 - DIMENSIONS TO A MANHOLE, INLET, CLEANOUT, PIPE BEND, VALVE, FIRE HYDRANT OR OTHER UTILITY APPURTENANCE ARE TO THE CENTER OF THE STRUCTURE;
 - DIMENSIONS FOR STEPS ARE TO THE OUTER EDGE OF THE STAIRCASE AND THE NOSE OF THE TOP OR BOTTOM STEP;
 - LAYOUT OF SEDIMENT CONTROL MEASURES AND PLANT MATERIAL SHALL BE SCALED.
- GRADING: IT IS THE INTENT OF THE GRADING DESIGN TO ACHIEVE POSITIVE DRAINAGE AND AESTHETICALLY PLEASING VERTICAL CURVES AND LINES. TRANSITIONS BETWEEN EXISTING AND PROPOSED PAVEMENT SHALL BE SMOOTH AND JOINTS FLUSH, UNLESS OTHERWISE EXPRESSLY NOTED ON THE PLAN (BY ARROW WITH THE PERCENT SLOKE LABELED). ALL PROPOSED BITUMINOUS PAVING SHALL HAVE A SLOPE OF AT LEAST 2 PERCENT AND ALL CONCRETE SHALL HAVE A MINIMUM SLOPE OF 1.5 PERCENT IN THE DIRECTION INDICATED BY PROPOSED CONTOURS. UNPAVED AREAS SHALL HAVE A MINIMUM SLOPE OF 2 PERCENT AND A MAXIMUM SLOPE OF 2:1. FINAL GRADING SHALL ACHIEVE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS AND TOWARD DRAINAGE FACILITIES (SWALES, GUTTERS, INLETS, ETC.).
- COMPACTION: ALL EARTH FILL MATERIAL UNDER SLABS, FOOTINGS AND PAVED AREAS SHALL BE PLACED IN 8" LOOSE LAYERS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D 698. ALL OTHER FILL SHALL BE COMPACTED TO 90%.
- HEADINGS: THE HEADINGS CONTAINED IN THESE GENERAL NOTES ARE FOR THE CONVENIENCE OF THE READER ONLY AND SHALL NOT LIMIT THE RESPONSIBILITY OF THE CONTRACTOR. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETING SUCH WORK.



PROP	PROPOSED*	DIP	DUCTILE IRON PIPE
EX	EXISTING	PVC	POLYVINYL CHLORIDE PIPE
ASPH	ASPHALT	HDPE	HIGH DENSITY POLYETHYLENE PIPE
CONC	CONCRETE	CMP	CORRUGATED METAL PIPE
M OR MH	MANHOLE	RCCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN	C&G	CONCRETE CURB & GUTTER
	INLET	INV	INVERT ELEVATION
SAN	SANITARY SEWER	FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION	FH	FIRE HYDRANT
BF	BASEMENT FLOOR ELEVATION		
TC	TOP OF CURB	BC	BOTTOM OF CURB
TS	TOP OF STEP	BS	BOTTOM OF STEP
TW	TOP OF WALL	BW	BOTTOM OF WALL
PC	POINT OF CURVATURE	NSP	NO SIGNIFICANT POINT
PT	POINT OF TANGENCY	HC	HANDICAPPED PARKING SPACE
PI	POINT OF INTERSECTION	TYP	TYPICAL
AGIP	AT-GRADE INLET PROTECTION	CIP	CURB INLET PROTECTION
COIP	COMBINATION INLET PROTECTION	EIP	EARTH DIP
FB	FILTER BAG	IB	INLET BLOCKING
RPS	REMOVABLE PUMPING STATION	SCE	STABILIZED CONSTRUCTION ENTRANCE
SFD	SUPER FENCE DIVERSION	SIP	STANDARD INLET PROTECTION
SFP	SUMP PIT	SIF	SUPER SILT FENCE
TS	TEMPORARY SWALE	TSOS	TEMPORARY STONE OUTLET STRUCTURE

*PROPOSED MEANS WORK INCLUDED IN THE BASE CONTRACT UNLESS ACCOMPANIED BY THE PHRASES "N.I.C." OR "BY OTHERS."

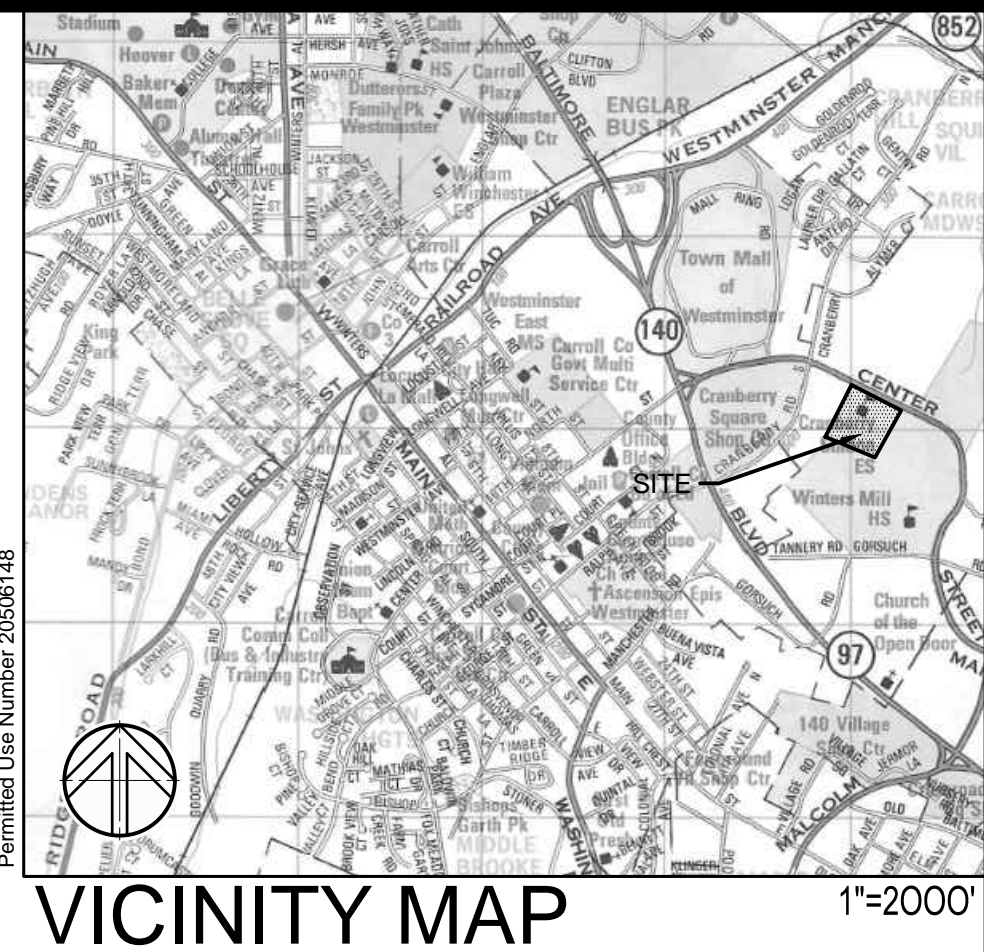
- NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES): IF REQUIRED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ALL THE PROVISIONS AND REQUIREMENTS OF THE NPDES PERMIT. THE PERMIT HAS BEEN APPLIED FOR BY THE OWNER, BUT NO LAND DISTURBANCE IS PERMITTED UNTIL THE NPDES PERMIT HAS BEEN ISSUED.
- ALL SIDEWALKS, PATHS AND OTHER PAVED AREAS SHALL BE FINISH GRADED WITH A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20) AND A MAXIMUM CROSS SLOPE OF 2% (1:50) UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL SITE ELEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH THE ADA 2010 STANDARDS FOR ACCESSIBLE DESIGN OR MOST CURRENT.
- TO THE EXTENT THAT QUANTITIES MAY BE LISTED ON THESE PLANS, THEY ARE FOR PERMITTING PURPOSES ONLY AND NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL FORM HIS OWN CONCLUSIONS ABOUT THE QUANTITIES OF ALL MATERIALS AND OPERATIONS NECESSARY TO COMPLETE THE PROJECT.
- SWM AS-BUILT NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY, ON BEHALF OF THE OWNER, TO ENGAGE A LICENSED PROFESSIONAL ENGINEER TO CERTIFY THE STORMWATER MANAGEMENT FACILITIES AND TO PREPARE, SUBMIT AND PROCESS AS-BUILT DRAWINGS WITH THE AUTHORITIES HAVING JURISDICTION.

CITY OF WESTMINSTER STANDARD GENERAL NOTES:

- THE CONSTRUCTION SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS FOR THE CITY OF WESTMINSTER. THIS WORK IS SUBJECT TO INSPECTION AND ACCEPTANCE BY THE CITY OF WESTMINSTER.
- THE CONTRACTOR SHALL HAVE A CURRENT COPY OF THE CITY OF WESTMINSTER STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITY SYSTEMS, ROADS AND STORM DRAINS AVAILABLE TO HIM AT ALL TIMES DURING HIS OPERATIONS. 3. THE CONTRACTOR SHALL NOTIFY THE CITY OF WESTMINSTER DEPARTMENT OF PUBLIC WORKS AT 410-8482592 AT LEAST 5 DAYS IN ADVANCE OF STARTING CONSTRUCTION AND SHALL NOT INTERRUPT EXISTING WATER OR SEWER SERVICE WITHOUT FIRST OBTAINING PERMISSION FROM THE DEPARTMENT.
- THE CONTRACTOR SHALL NOTIFY HIS ENGINEER WHEN PROPOSING FIELD ADJUSTMENTS TO THE TYPE, SIZE, OR LOCATION OF THE INSTALLATIONS SPECIFICALLY SHOWN ON THE PLAN. THE CONTRACTOR SHALL OBTAIN FINAL APPROVAL FROM THE CITY INSPECTOR PRIOR TO COMMENCING WORK ON ALL FIELD CHANGES. 5. THE CONTRACTOR SHALL PROVIDE A CERTIFIED SOILS COMPACTION TECHNICIAN ON SITE AT ALL TIMES DURING FILLING AND BACK FILLING OPERATIONS TO CONTINUOUSLY MONITOR SOIL COMPACTION. TEST RESULTS SHALL BE PROVIDED TO THE CITY INSPECTOR UPON REQUEST.
- THE CONTRACTOR SHALL CONTACT "MISS UTILITY" AT 1-800-257-7777 IN ADVANCE OF HIS CONSTRUCTION OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL UTILITY OWNERS HAVE EXISTING LINES IN THE AREA ARE PROPERLY NOTIFIED.
- THE LOCATIONS OF EXISTING UTILITY LINES SHOWN IN THESE PLANS IS APPROXIMATE ONLY, AND THE CONTRACTOR MUST VERIFY THE LOCATIONS TO HIS OWN SATISFACTION. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT AGAINST DAMAGE TO EXISTING LINES, AND SHALL BE SOLELY RESPONSIBLE FOR THE COST OF REPAIRS INCURRED BY HIS OPERATIONS.
- THE CONSTRUCTION LAYOUT DATUMS USED HEREIN ARE: HORIZONTAL - MARYLAND STATE GRID SYSTEM (NAD 83) VERTICAL - U.S.G.S. DATUM
- FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.

INSPECTION SEQUENCE NOTES

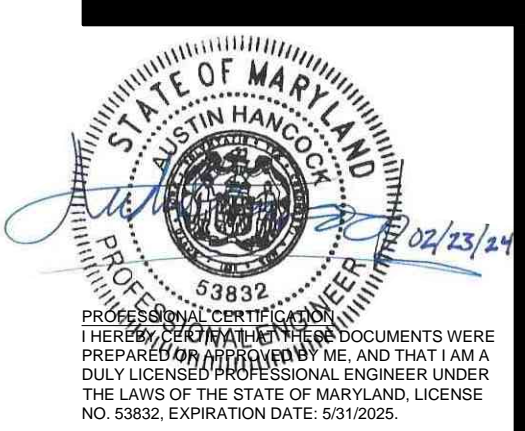
- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE PLANS.
 - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE PLANS.
 - SUB-GRADE ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL WORKS SHOWN ON PLANS.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST BUREAU OF RESOURCE MANAGEMENT MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS FOR MODIFICATIONS IN THE PLANT MATERIALS.
- THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.



VICINITY MAP 1"=2000'

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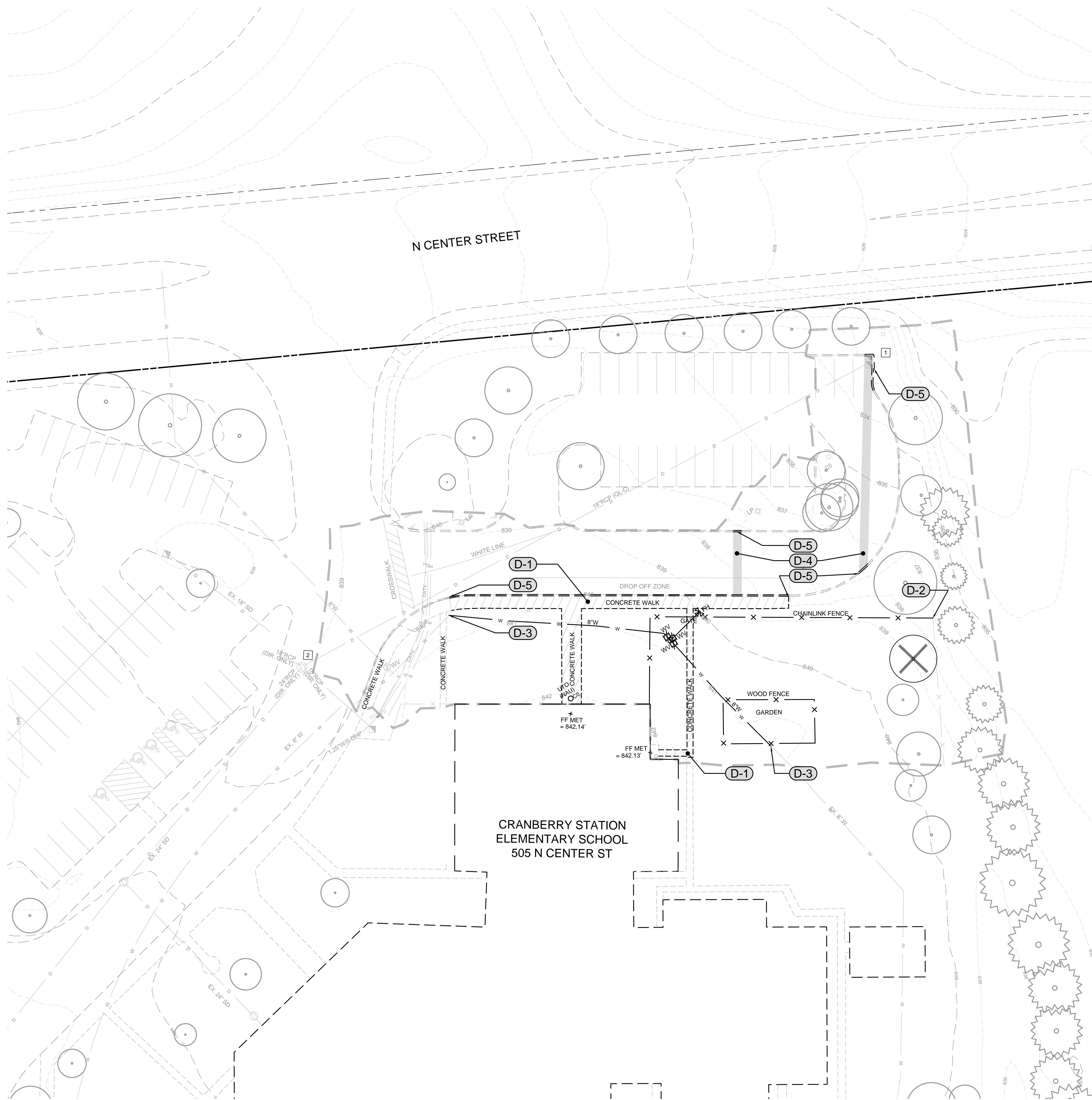
CRANBERRY STATION ELEMENTARY SCHOOL PRE-K & KINDERGARTEN ADDITION
CARROLL COUNTY PUBLIC SCHOOLS
 505 N CENTER ST., WESTMINSTER, MD 21157

PROJECT NO:	631358
DATE:	
REVISIONS:	
DATE:	DESCRIPTION:

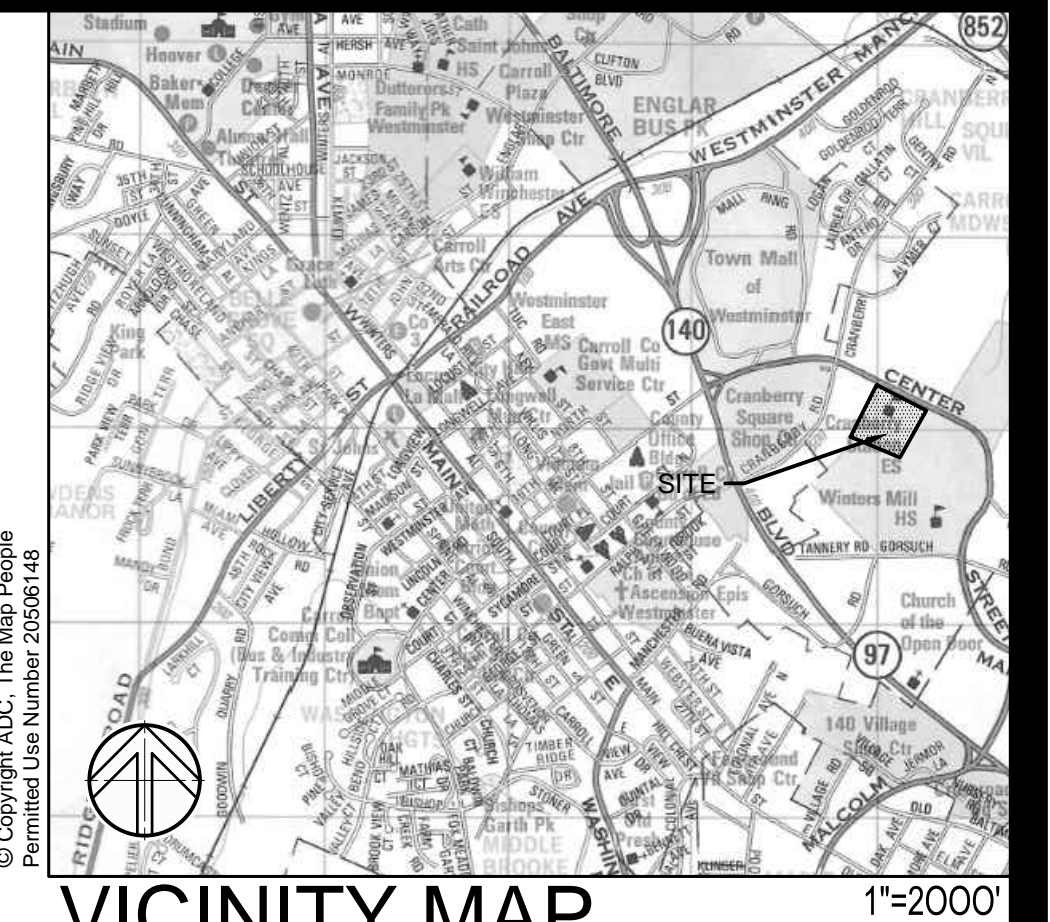
GENERAL NOTES

COUNTY FILE NUMBER:
S-23-0029

C002
SHEET 2 OF 10



CRANBERRY STATION
ELEMENTARY SCHOOL
505 N CENTER ST



LEGEND

	PROPERTY LINE
	TOPO SURVEY LIMITS
	EXISTING BUILDING TO REMAIN
	EXISTING WALK TO BE REMOVED
	EXISTING WALK TO REMAIN
	EXISTING ROAD TO REMAIN
	EXISTING CURB TO REMAIN
	EXISTING CURB TO BE REMOVED
	EXISTING ASPHALT PAVING TO BE REMOVED
	EXISTING CONCRETE PAVING TO BE REMOVED
	EXISTING FENCE TO REMAIN
	EXISTING FENCE TO BE REMOVED
	EXISTING SIGN TO REMAIN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	EX 15" SD TO REMAIN
	EX 6" W TO REMAIN
	EX 6" W TO BE REMOVED
	EX 2" GAS TO REMAIN
	EX TELE TO REMAIN
	EX ELEC TO REMAIN
	EXISTING LIGHTING TO REMAIN
	EX CATV TO REMAIN
	EXISTING CONTOURS

SURVEY NOTES

COORDINATES SHOWN HEREON ARE BASED ON THE MARYLAND COORDINATE SYSTEM, NAD 83-2011, AS ESTABLISHED BY GPS OBSERVATION. THE COMBINED FACTOR IS 0.99997699.

ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED ON THE NAVD-88 VERTICAL DATUM.

ALL VISIBLE UTILITIES HAVE BEEN LOCATED. NO COMPARISON TO ANY PLANS HAS BEEN MADE. PIPE SIZE, TYPE AND DIRECTION MUST BE VERIFIED BEFORE CONSTRUCTION.

SITE CONTROL COORDINATE TABLE

PT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	694770.0800	1318376.6920	842.71	TR B+C
2	694835.6780	1318596.2780	839.15	TR B+C SET
3	694946.6670	1318475.8160	842.74	TR B+C SET
10	694634.6940	1318788.7530	840.11	TR NS

PHASING NOTE

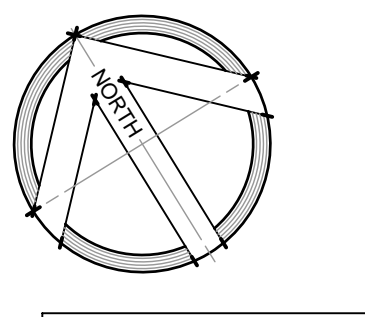
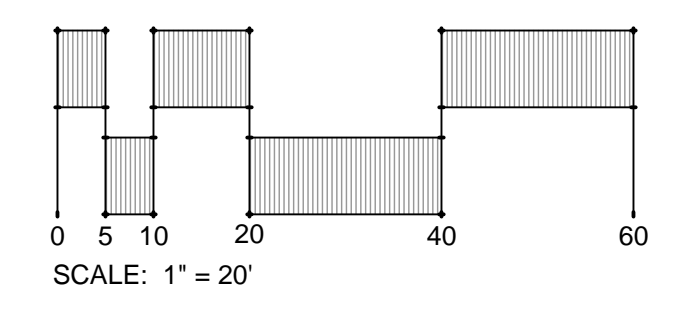
ALL WORK AND PHASING SHALL BE COORDINATED WITH CCPS TO ENSURE THAT CONSTRUCTION DOES NOT DISRUPT NORMAL OPERATIONS OF EXISTING ELEMENTARY SCHOOL.

DEMOLITION NOTES

- D-1** REMOVE EXISTING CONCRETE SIDEWALK TO THE NEAREST JOINT. SAW CUT CLEARLY AT LIMIT OF REMOVAL.
- D-2** LIMIT OF FENCE REMOVAL.
- D-3** LIMIT OF WATER REMOVAL.
- D-4** SAW CUT AT LIMITS SHOWN AND REMOVE ASPHALT PAVING AND BASE MATERIAL.
- D-5** SAW CUT AT LIMITS SHOWN AND REMOVE CURB AND BASE MATERIAL.

STORM DRAIN STRUCTURE DATA:

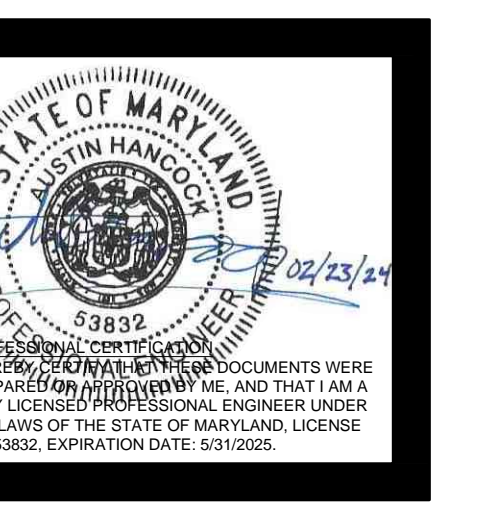
NO.	STRUCTURE	INVERT	ELEVATION	DIAMETER	LENGTH	REMARKS
1	SD INLET	TOP	833.19			
	18" RCP	INVERT OUT	829.69		W	
2	SD MANHOLE	TOP	839.17			
	18" RCP	INVERT IN	832.20		NW	
	18" RCP	INVERT IN	828.02		E	
	18" RCP	INVERT IN	832.33		S	
	24" RCP	INVERT OUT	826.90		SW	



COUNTY FILE NUMBER:
S-23-0029

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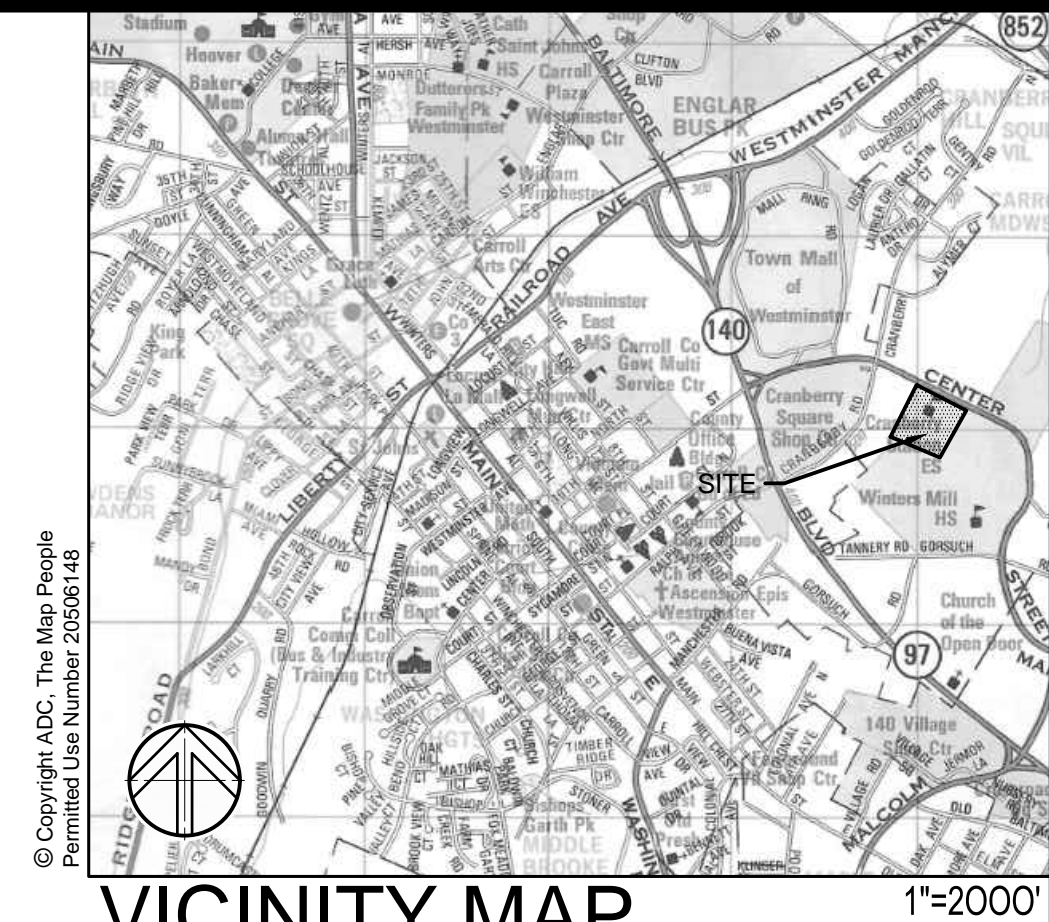
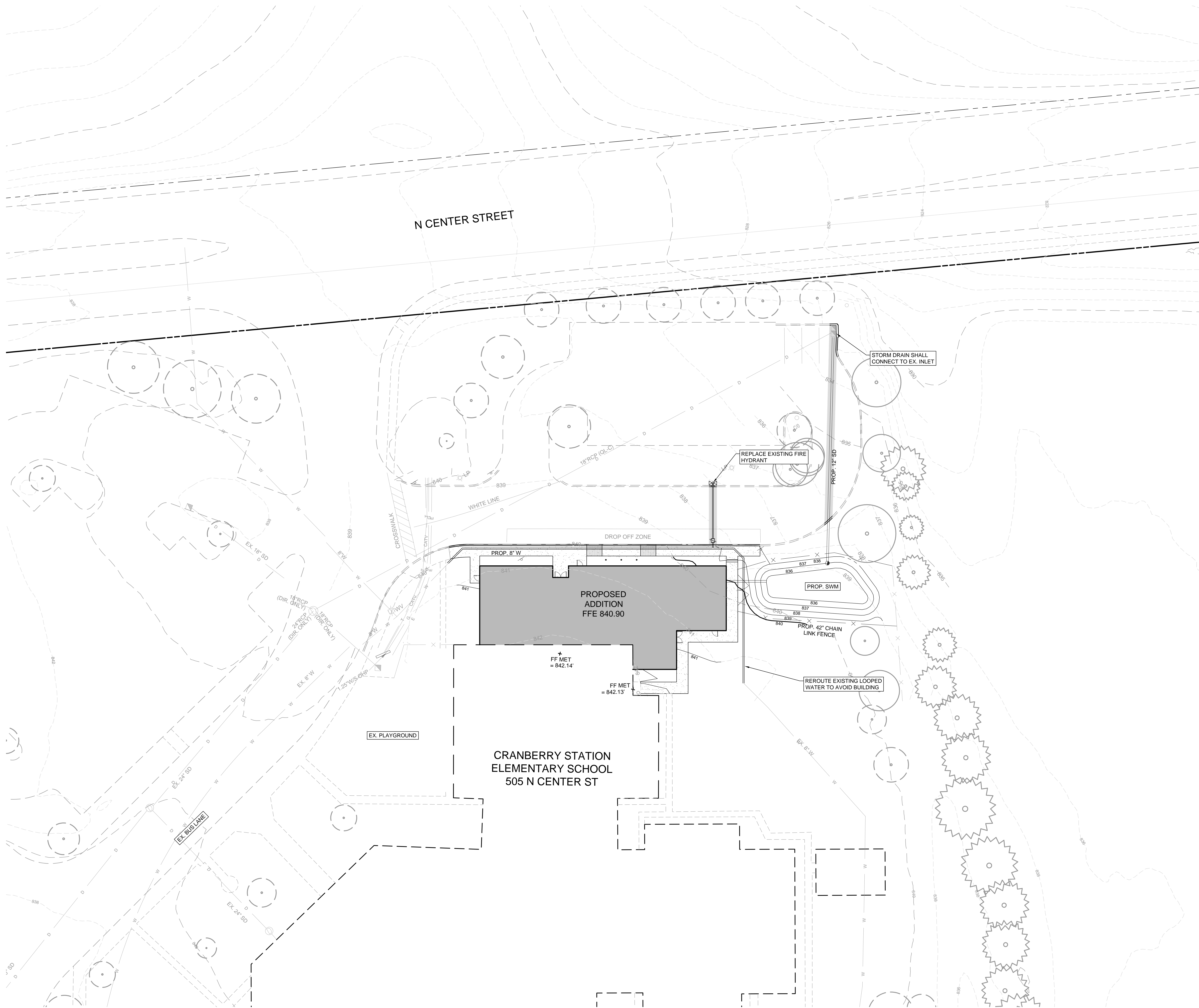
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**CRANBERRY STATION ELEMENTARY SCHOOL PRE-K &
KINDERGARTEN ADDITION**
CARROLL COUNTY PUBLIC SCHOOLS
505 N CENTER ST, WESTMINSTER, MD 21157

PROJECT NO: 631358
DATE: _____

DATE	REVISIONS DESCRIPTION

**EXISTING
CONDITIONS &
DEMOLITION
PLAN
C101**
SHEET 3 OF 10



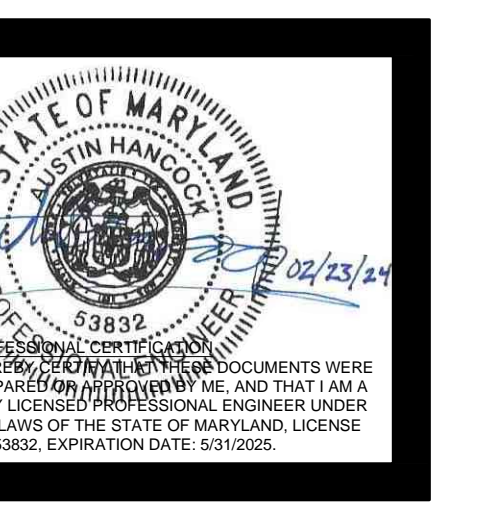
VICINITY MAP 1"=200'

LEGEND

	PROPERTY LINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING TREES
	EXISTING SHRUBS
	EX. 15" SD
	EX. 6" W
	EX. 8" SAN
	EX. TELE
	EX. ELEC
	EX. ELEC OHV
	EXISTING LIGHTING
	EXISTING CONTOURS
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	PROPOSED CONCRETE WALK
	PROPOSED BITUMINOUS PAVING
	PROPOSED CURB
	PROPOSED FENCE
	PROPOSED SIGN
	PROP. 15" SD
	PROP. 6" WATER
	PROPOSED CONTOURS

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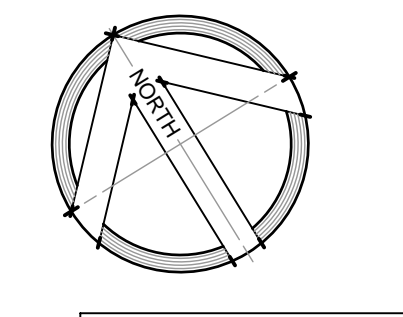
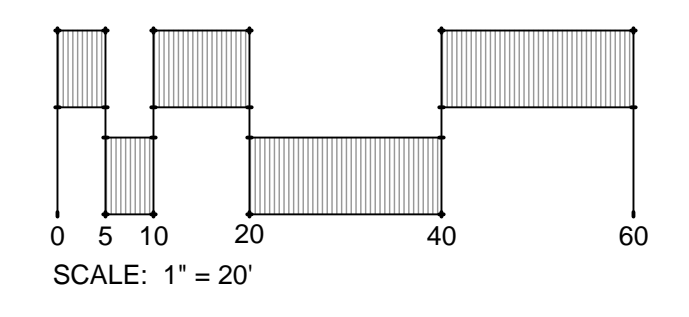


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**CRANBERRY STATION ELEMENTARY SCHOOL PRE-K &
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 CARROLL COUNTY PUBLIC SCHOOLS
 505 N CENTER ST, WESTMINSTER, MD 21157

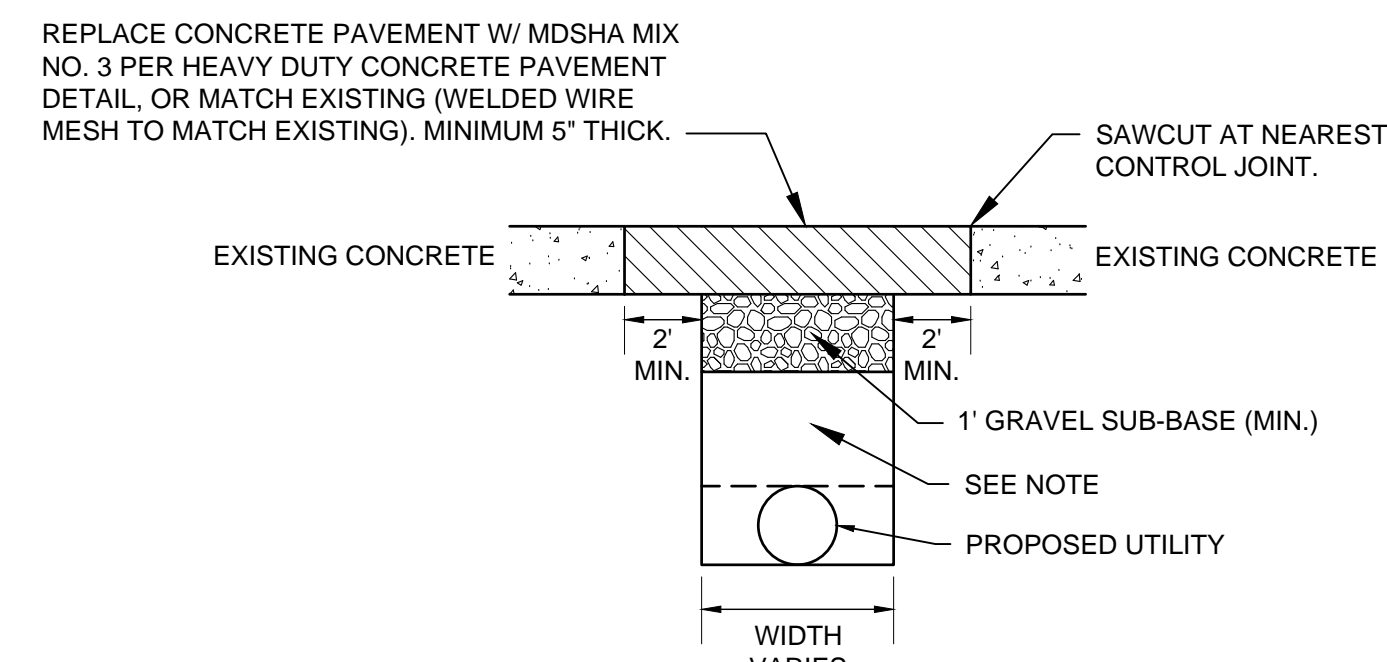
PROJECT NO:	631358
DATE:	
REVISIONS	
DATE	DESCRIPTION

**PROPOSED SITE
 PLAN**

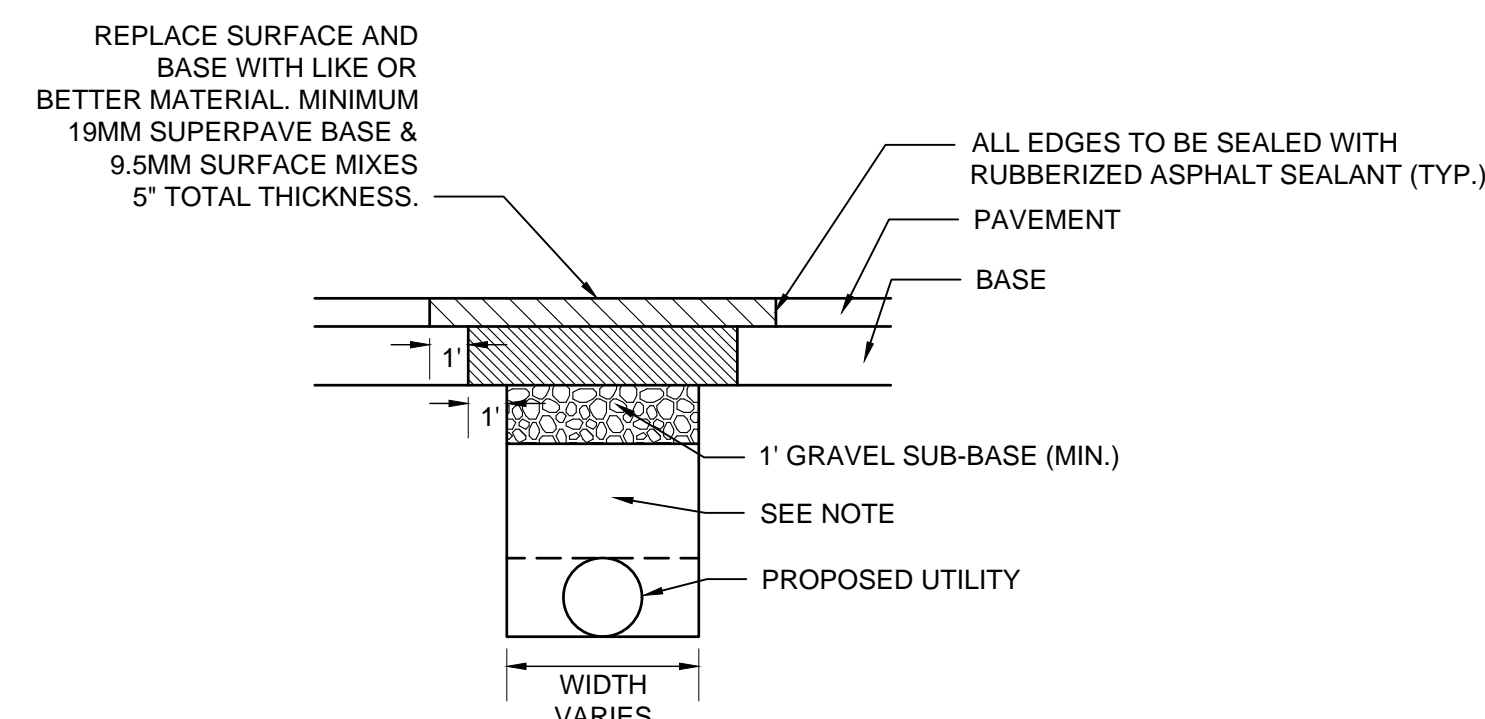


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 S-23-0029

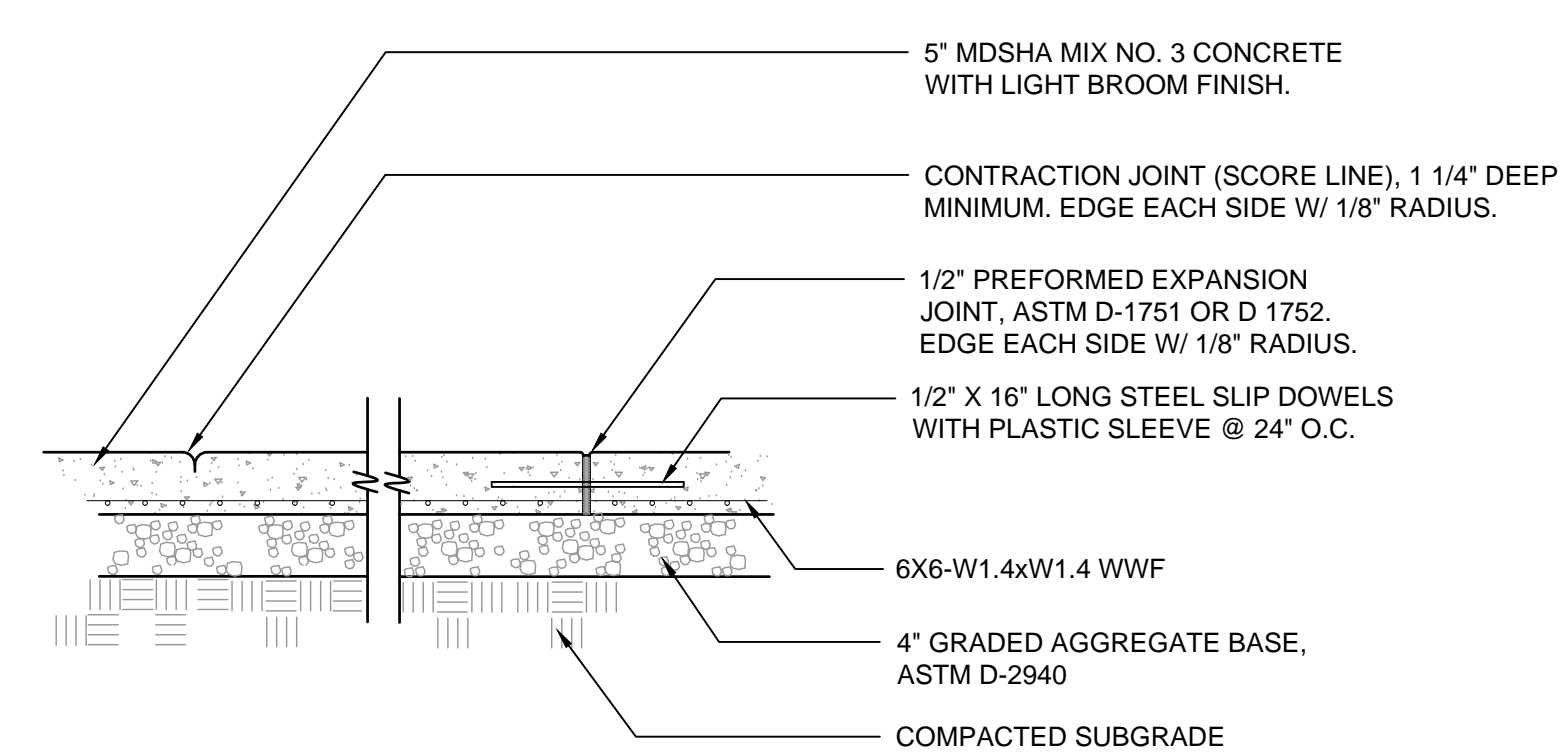
C111
 SHEET 4 OF 10



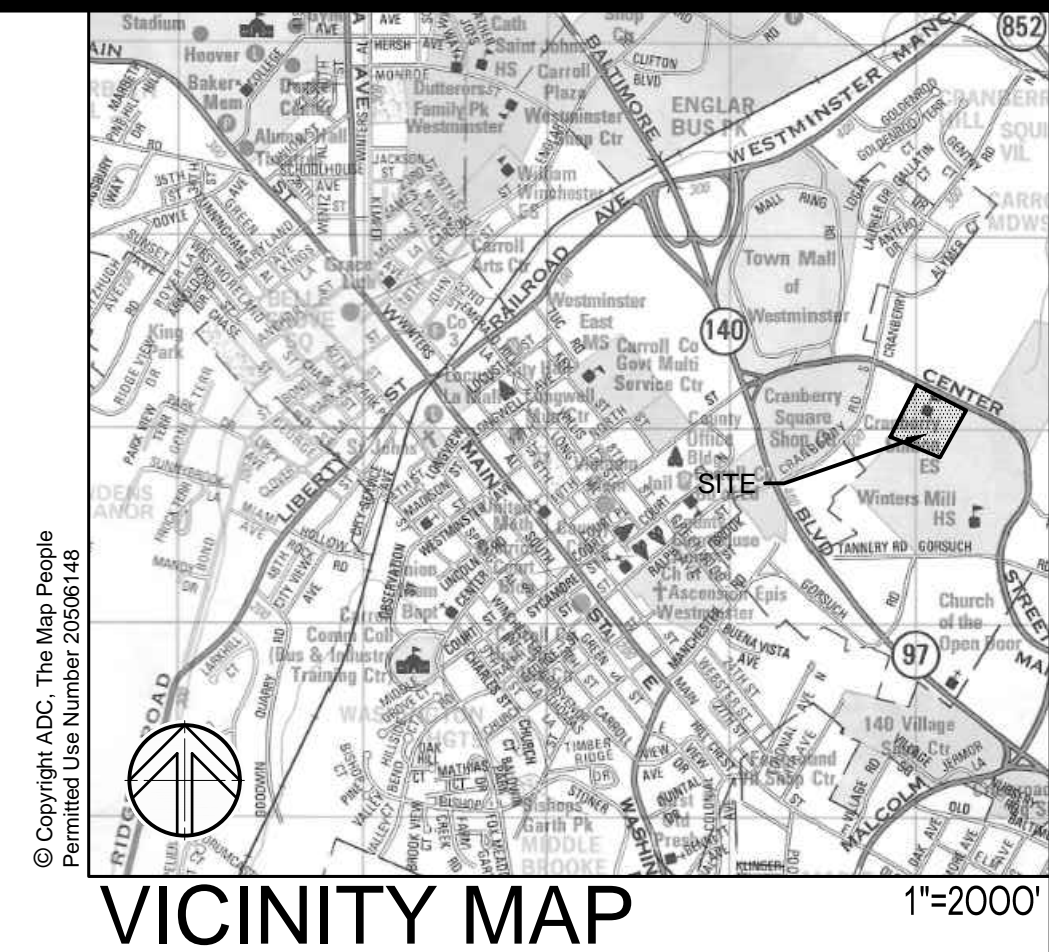
NOTE:
BACKFILL IN TRENCHES SHALL BE IN ACCORDANCE WITH MSHA SPECIFICATIONS AND SHALL BE THOROUGHLY COMPACTED IN 6" LAYERS FOR THE FULL DEPTH OF THE TRENCHES BY TAMPING OR BY SOME OTHER APPROVED METHOD TO WITHIN 1" OF THE TOP OF SUBGRADE. THE REMAINING DEPTH OF THE TRENCH SHALL BE FILLED WITH THOROUGHLY COMPACTED CRUSHED STONE, SLAG OR GRAVEL. WHENEVER SHEETING OR SHORING IS REQUIRED TO PREVENT CAVE-INS OR BELLING DUE TO THE DEPTH OF THE TRENCH OR TYPE OF MATERIAL ENCOUNTERED, THE SHEETING, WHEREVER FOUND NECESSARY, SHALL REMAIN IN PLACE BUT CUT OFF 1' BELOW THE BOTTOM OF THE REPLACED SURFACING. ALL BACKFILL REPLACED SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH MSHA SPECIFICATIONS AND CERTIFIED BY AN APPROVED GEOTECHNICAL TESTING CONTRACTOR. IN LIEU OF CONTROLLED FILL, FLOWABLE FILL IN ACCORDANCE WITH MSHA SPECIFICATIONS MAY BE UTILIZED.



NOTE:
BACKFILL IN TRENCHES SHALL BE IN ACCORDANCE WITH MSHA SPECIFICATIONS AND SHALL BE THOROUGHLY COMPACTED IN 6" LOOSE LAYERS FOR THE FULL DEPTH OF THE TRENCHES BY TAMPING OR OTHER APPROVED METHOD TO WITHIN 1" OF THE TOP OF SUBGRADE. THE REMAINING DEPTH OF THE TRENCH SHALL BE FILLED WITH THOROUGHLY COMPACTED CRUSHED STONE, SLAG OR GRAVEL. WHENEVER SHEETING OR SHORING IS REQUIRED TO PREVENT CAVE-INS OR BELLING DUE TO THE DEPTH OF THE TRENCH OR TYPE OF MATERIAL ENCOUNTERED, THE SHEETING SHALL REMAIN IN PLACE AND BE CUT OFF 1' BELOW THE BOTTOM OF THE REPLACEMENT PAVEMENT. ALL BACKFILL REPLACED SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH MSHA SPECIFICATIONS AND CERTIFIED BY THE APPROVED GEOTECHNICAL TESTING AGENCY. IN LIEU OF ENGINEERED FILL, FLOWABLE FILL MAY BE UTILIZED IN ACCORDANCE WITH ALL MSHA SPECIFICATIONS.

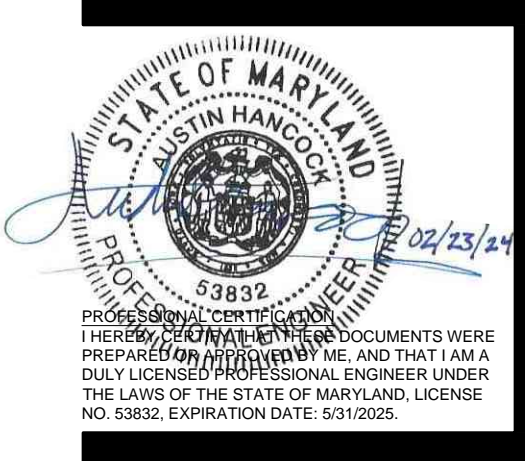


NOTES:
1. PLACE EXPANSION JOINTS NOT MORE THAN 20'-25' APART AND AT THE END OF EACH CONTIGUOUS POUR.
2. PLACE CONTRACTION JOINTS AT INTERVAL MATCHING WIDTH OF SIDEWALK BUT NOT MORE THAN 6' APART.
3. PROVIDE EXPANSION JOINTS WHERE POUR MEETS EXISTING CONCRETE PAVING OR CURB.
4. EXPANSION JOINTS TO BE RECESSED 1/4" BELOW SURFACE OF SIDEWALK.
5. WHEN SIDEWALK ABUTS BACK OF STREET CURB, WALK SHALL BE 1/4" ABOVE TOP OF CURB.
6. WHEN SIDEWALK ABUTS EXISTING CONCRETE WALK, CORE DRILL AND INSTALL DOWELS PER DETAIL.
7. MATCH SCORE PATTERN OF ADJACENT SIDEWALK WHERE PRACTICAL.
8. REFER TO MATERIALS PLAN FOR INTENDED SIDEWALK SCORING LAYOUT.



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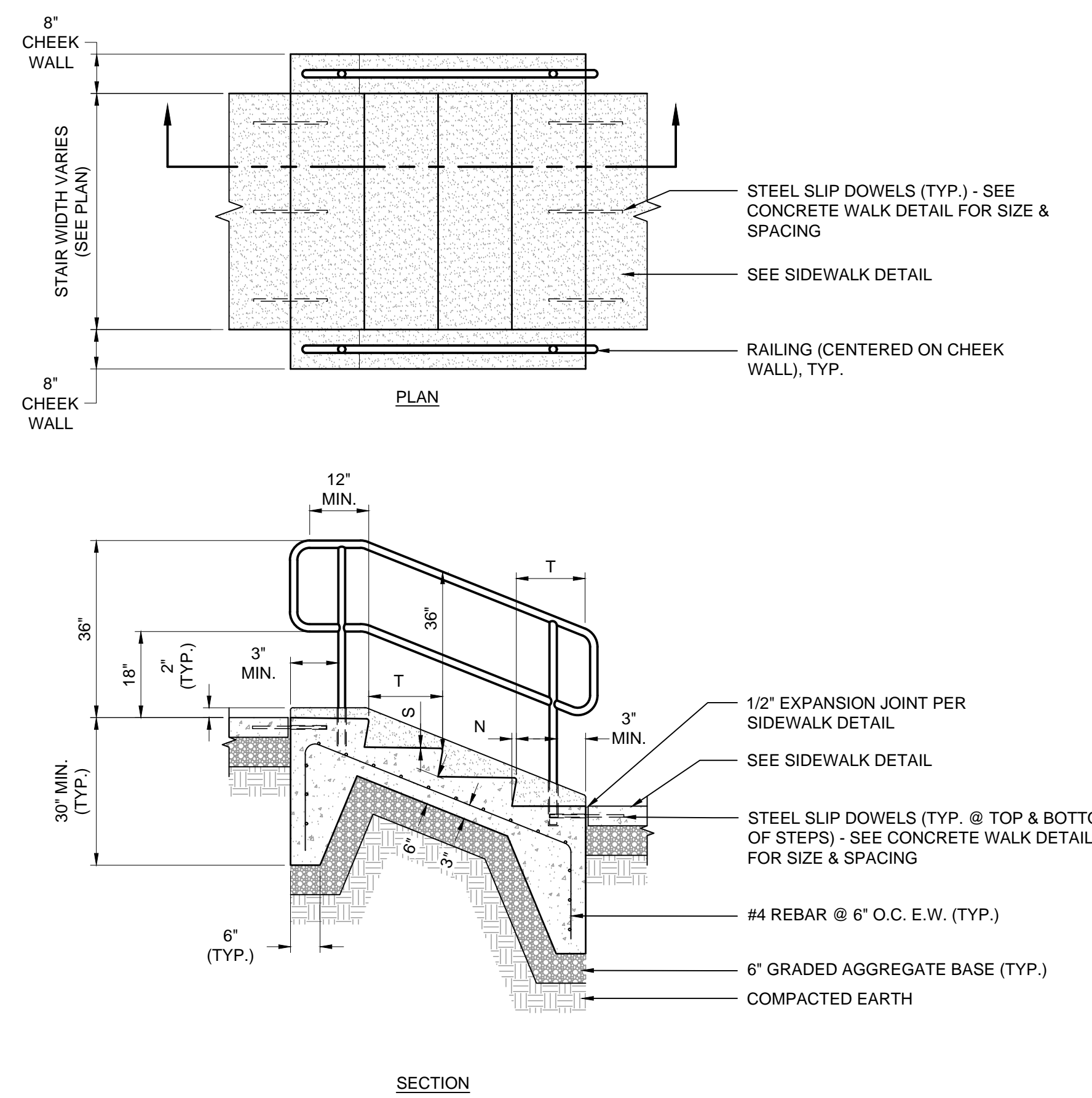
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505 N CENTER ST., WESTMINSTER, MD 21157

1 CONCRETE PAVING RESTORATION DETAIL NOT TO SCALE

2 HOT MIX ASPHALT PAVING RESTORATION DETAIL NOT TO SCALE

3 CONCRETE SIDEWALK NOT TO SCALE



RISER (R)	TREAD (T)	SLOPE (S)	OVERHANG (N)
6	15	1/4	1

ALL DIMENSIONS IN INCHES

NOTES:
1. RAILINGS & POST TO BE SHOP FABRICATED OF 1-1/2" O.D. STEEL TUBING WITH ALL JOINTS CONTINUOUSLY WELDED AND GROUND SMOOTH. ASSEMBLY SHALL BE ELECTROCHEMICALLY GALVANIZED AFTER FABRICATION.
2. TOP OF RAILING TO BE 36" ABOVE WALKING SURFACE AND STAIR NOSE.
3. STRAIGHT PORTION OF RAILING TO EXTEND A MINIMUM OF 12" HORIZONTALLY BEYOND NOSE OF TOP RISER AND A TREAD WIDTH BEYOND BOTTOM RISER BEFORE TURNING DOWN.
4. ALL CONCRETE TO BE MDSA MIX NO. 3.
5. ALL CHEEK WALL & STAIR NOSE RADI SHALL BE 1/2".
6. CHEEK WALL SHALL BE 2" ABOVE STAIR NOSE & WALKING SURFACE.
7. ALL RAILING EXTERIOR RADI SHALL BE 4".
8. RAILING POSTS SHALL BE INSTALLED AT A DEPTH OF 8" INTO CONCRETE. WHERE INTERMEDIATE POSTS ARE NECESSARY, INSTALL IN CENTER OF STAIR TREAD. CONCRETE SHALL BE CORE DRILLED AND POST SET WITH NON-SHRINK GROUT. GROUT TO BE FLUSH WITH ADJACENT CONCRETE.
9. STAIR TREADS TO RECEIVE LIGHT BROOM FINISH. (SEE SPECS)
10. UNLESS OTHERWISE SHOWN ON PLAN, ALL REBAR SHALL HAVE A CLEARANCE OF 3" FROM SURFACE.

Calpipe Security Bollards
12140 WOODRUFF AVE.
DOWNEY, CA 90241
TOLL FREE: 1-877-283-8518
PHONE: (562) 803-4388
FAX: (562) 803-9883
www.calpipebollards.com

SELECT DESIRED BOLLARD MATERIAL (6" NOMINAL SIZE):
 SSP0600 SCH 10 STAINLESS STEEL
 SSP0600 SCH 40 STAINLESS STEEL
 SSP0600 SCH 80 STAINLESS STEEL
 BIP0600 SCH 40 ASTM A-53 CARBON STEEL
 BIP0600 SCH 80 ASTM A-53 CARBON STEEL

SELECT DESIRED CARBON STEEL BOLLARD FINISH:
 POLYMER COAT # _____
 AS SPECIFIED _____

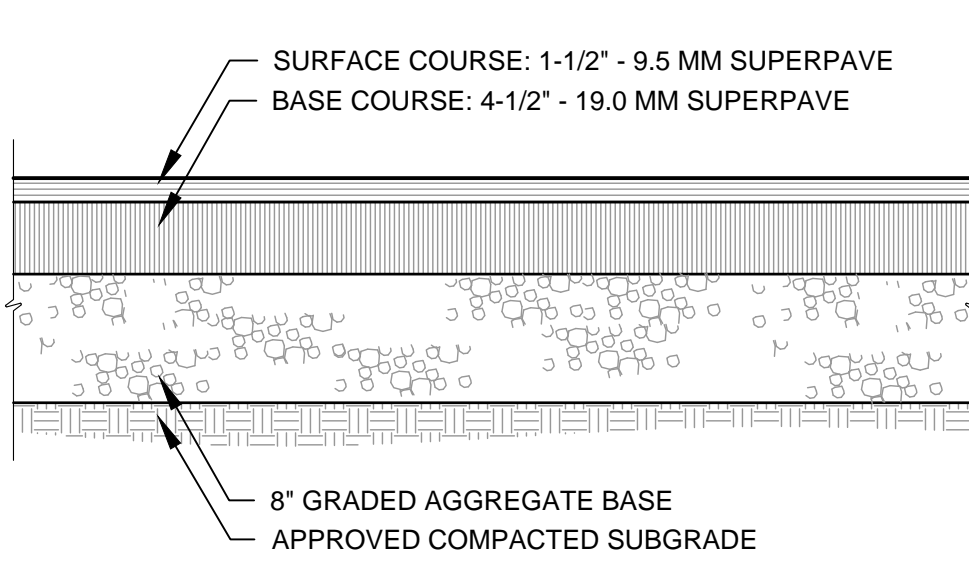
SELECT DESIRED BOLLARD CAP STYLE:
 DOME
 STANDARD FLAT
 WING
 KNIGHT

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADbollards.com/Info AND ENTER REFERENCE NUMBER 2905-021.

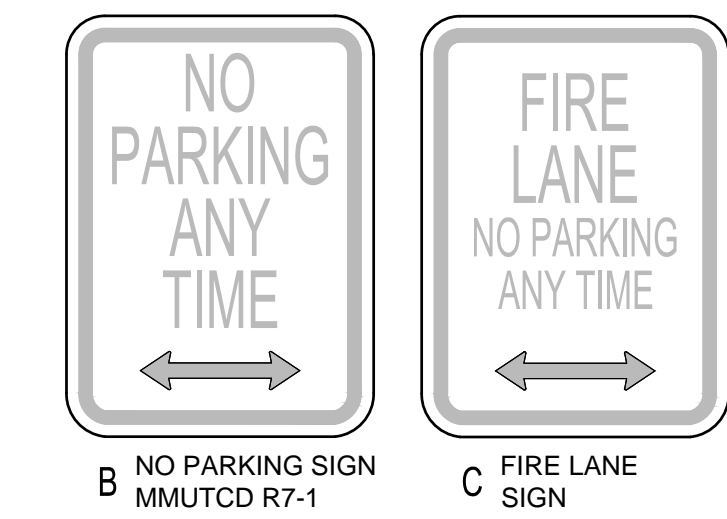
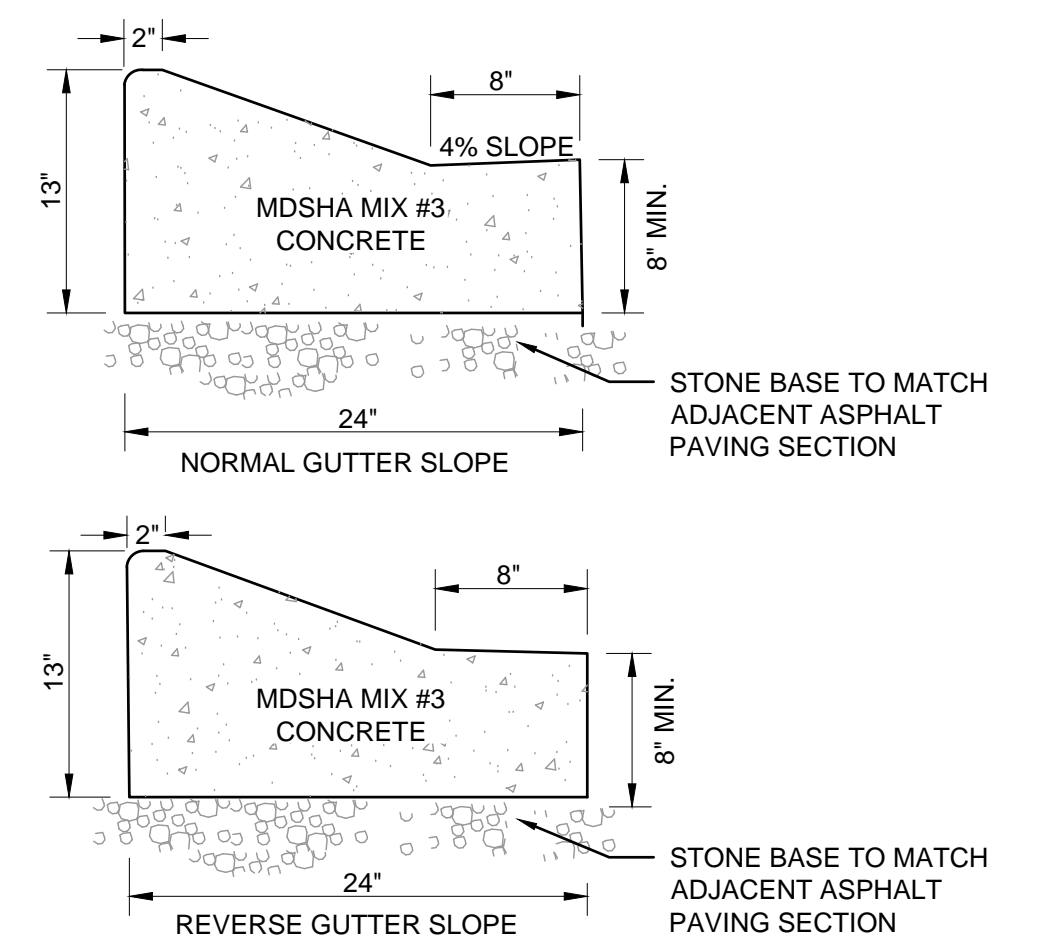
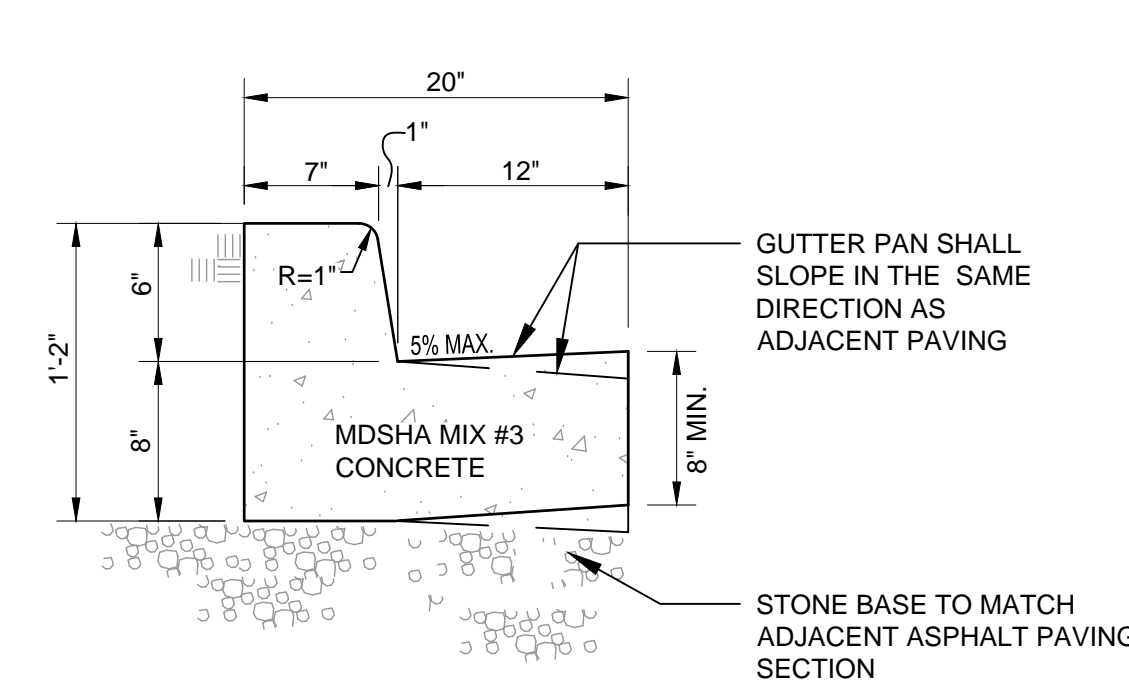
4 CONCRETE STAIRS NOT TO SCALE

5 REMOVABLE STEEL BOLLARD DETAIL NOT TO SCALE

6 ACCESSIBLE FLUSH CURB & GUTTER NOT TO SCALE



NOTES:
1. A REPRESENTATIVE FROM THE ON-SITE GEO-TECHNICAL ENGINEER SHALL OBSERVE AND TEST ANY COMPACTED FILL TO BE USED FOR PAVEMENT SUPPORT, AND OBSERVE ANY PROOFROLLING OPERATIONS OF PAVEMENT SUBGRADES.



NOTES:
1. SIGNS SHALL COMPLY WITH APPLICABLE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES GUIDELINES.
2. PROVIDE SHOP DRAWINGS OF SIGN LAYOUTS. FINAL SIGN LAYOUT TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO ORDERING AND INSTALLATION.

7 HEAVY-DUTY HOT MIX ASPHALT PAVING NOT TO SCALE

8 CONCRETE CURB NOT TO SCALE

9 MOUNTABLE CONCRETE CURB DETAIL NOT TO SCALE

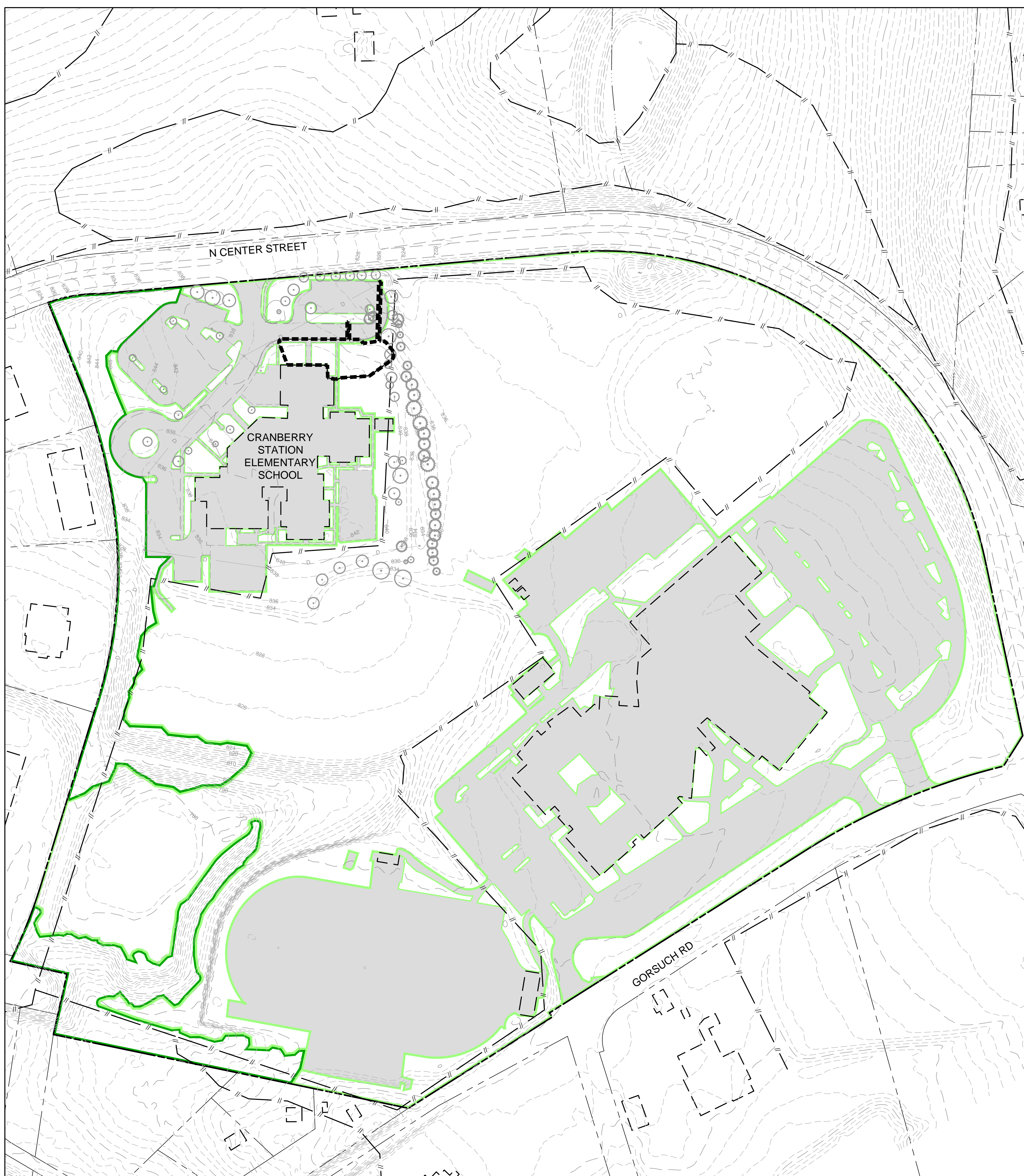
10 TRAFFIC SIGNAGE NOT TO SCALE

COUNTY FILE NUMBER: S-23-0029

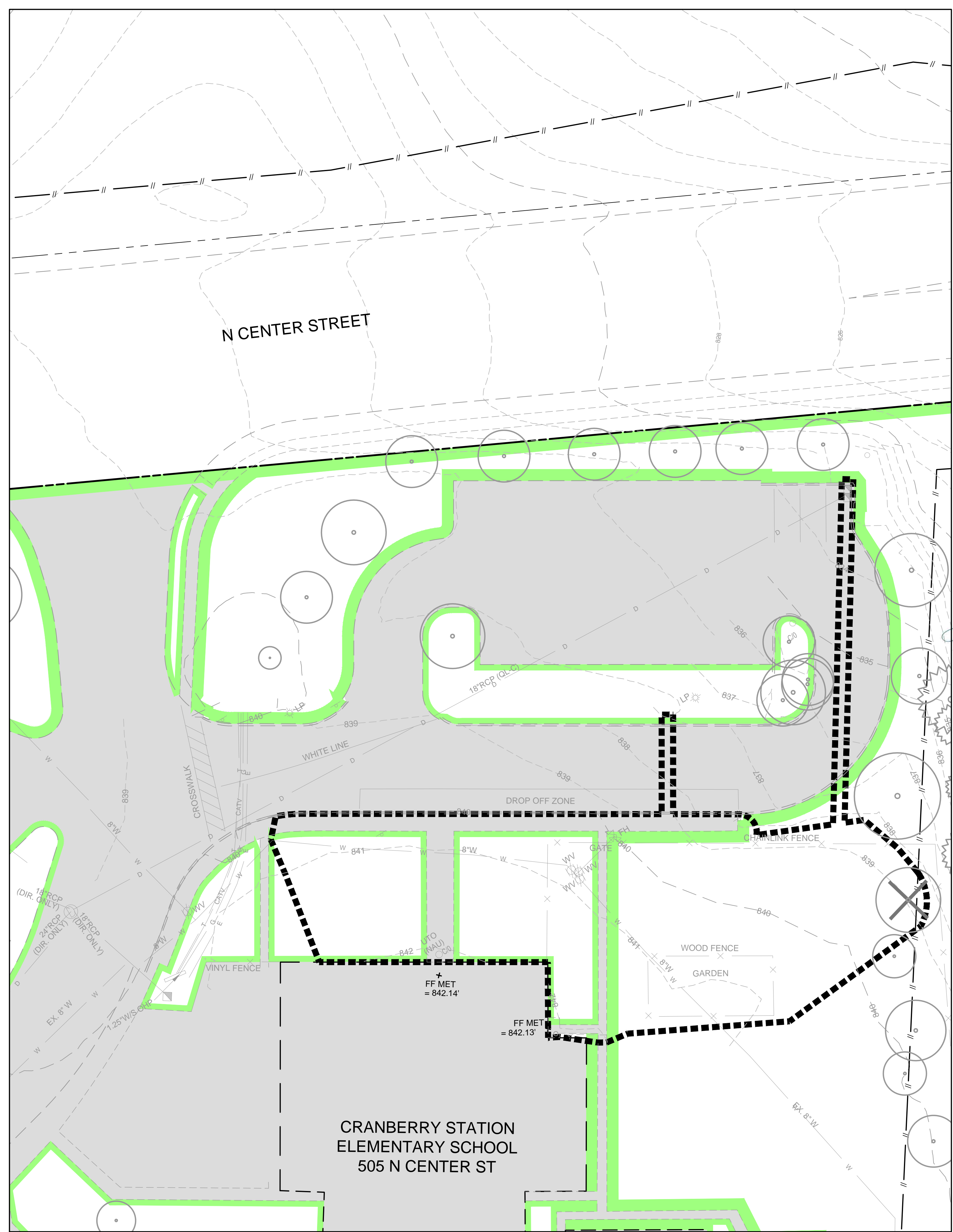
C201
SHEET 5 OF 10

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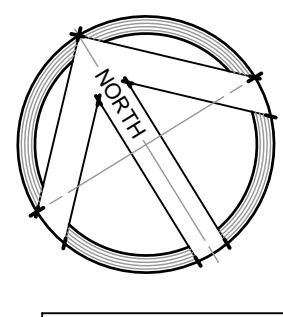
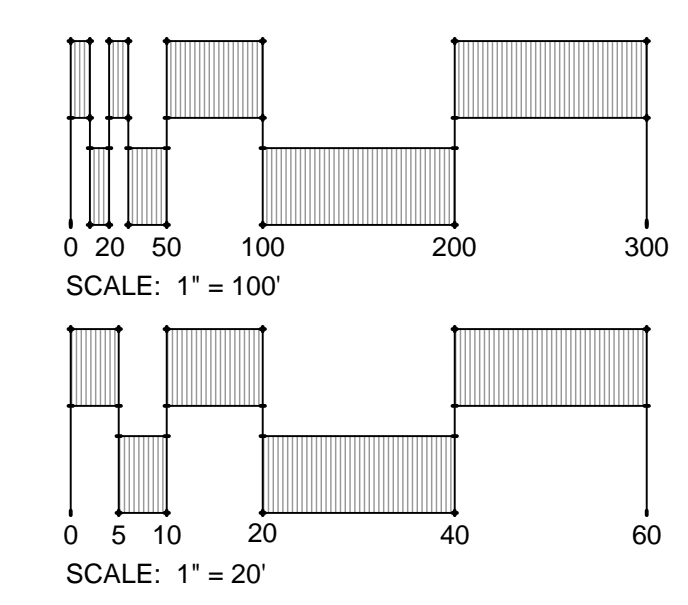
1 TOTAL PARCEL CONTEXT



2 EXISTING CONDITIONS ENLARGEMENT

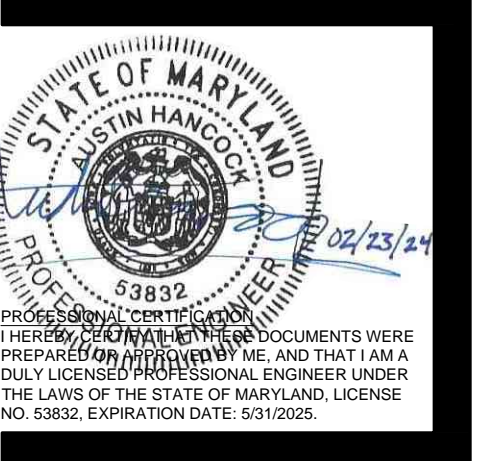
LEGEND

	PROPERTY LINE		EX. 8" SAN S		EXISTING SANITARY SEWER
	EXISTING BUILDING		EX. TELE		EXISTING TELEPHONE
	EXISTING WALK		EX. ELEC		EXISTING ELECTRIC
	EXISTING ROAD		EX. ELEC OHW		EXISTING OVERHEAD ELECTRIC
	EXISTING CURB				EXISTING LIGHTING
	EXISTING FENCE				EXISTING CONTOURS
	EXISTING TREES				EXISTING SOIL GROUP DELINEATION
	EXISTING SHRUBS				ESD TRACT AREA
	EXISTING STORM DRAIN				IMPERVIOUS AREA
	EXISTING WATER				MEADOW
					WOODS



COUNTY FILE NUMBER: S-23-0029

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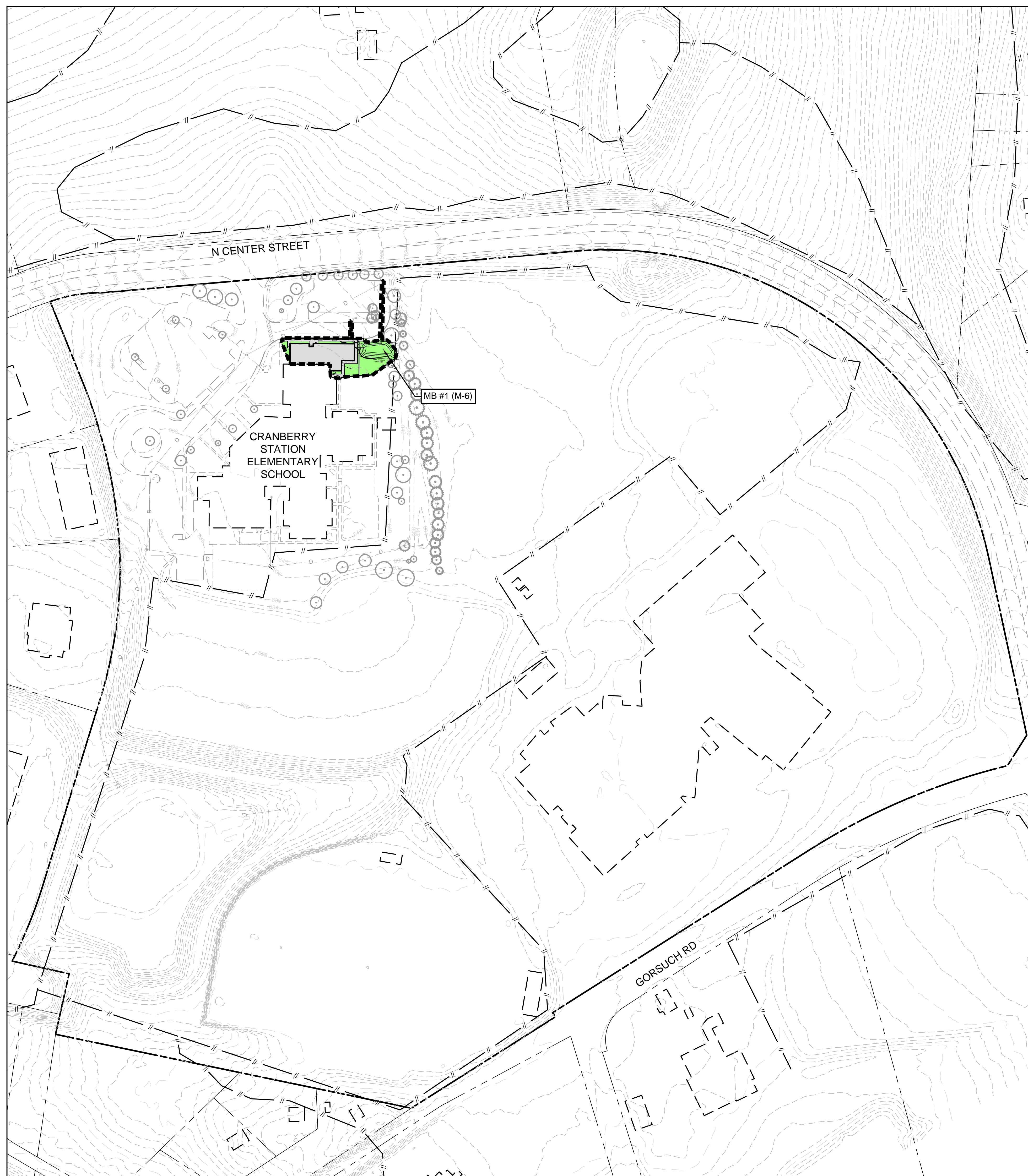
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 CARROLL COUNTY PUBLIC SCHOOLS
 505 N CENTER ST, WESTMINSTER, MD 21157

PROJECT NO:	631388
DATE:	
REVISIONS	
DATE	DESCRIPTION

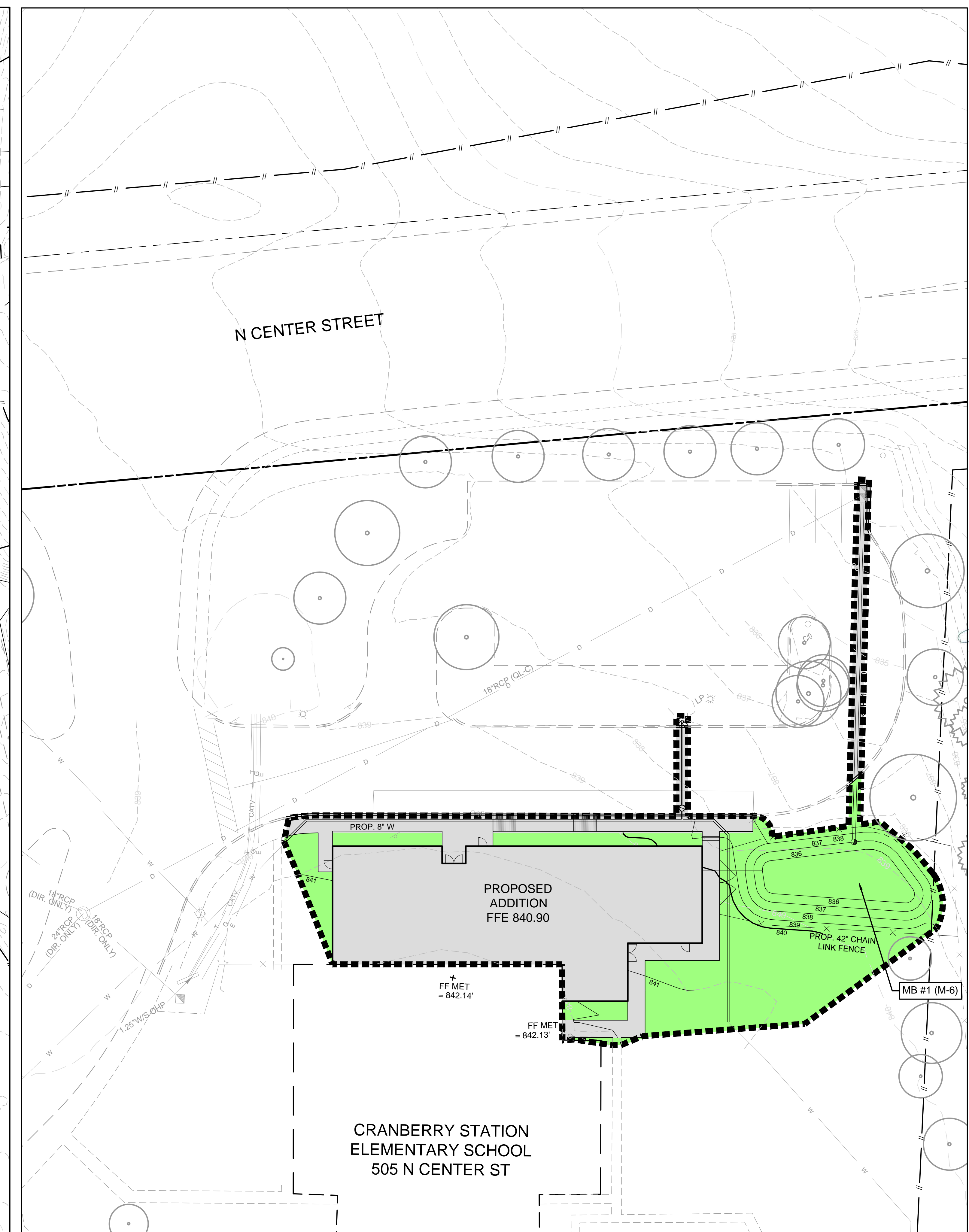
EXISTING CONDITIONS & RESOURCE MAPPING SWM PLAN

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1 TOTAL PARCEL CONTEXT

1" = 100'

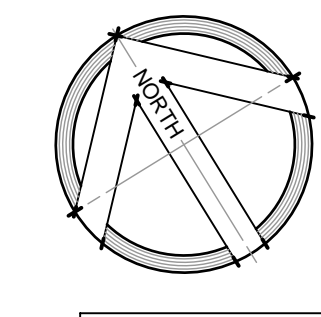
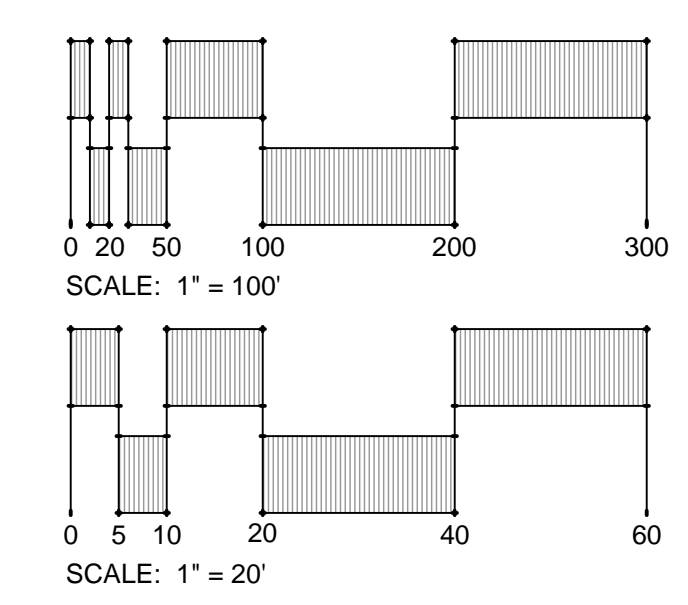


2 EXISTING CONDITIONS ENLARGEMENT

1" = 20'

LEGEND

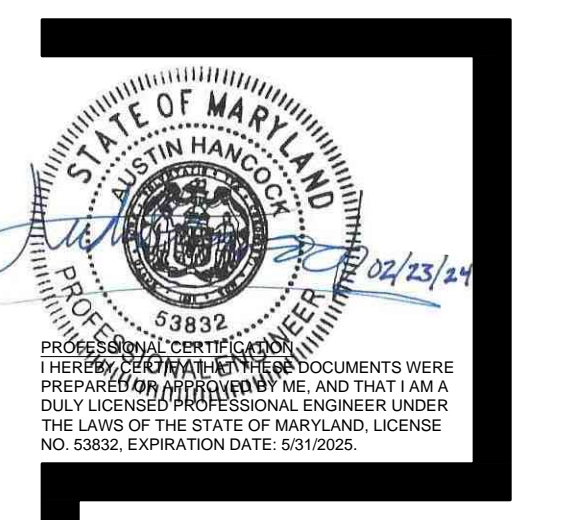
---	PROPERTY LINE	EX. 8" SAN S	EXISTING SANITARY SEWER
---	EXISTING BUILDING	T	EXISTING TELEPHONE
---	EXISTING WALK	E	EXISTING ELECTRIC
---	EXISTING ROAD	OHW	EXISTING OVERHEAD ELECTRIC
---	EXISTING CURB	---	EXISTING LIGHTING
---	EXISTING FENCE	---	EXISTING CONTOURS
○	EXISTING TREES	---	EXISTING SOIL GROUP DELINEATION
○	EXISTING SHRUBS	---	ESD TRACT AREA
---	EXISTING STORM DRAIN	---	IMPERVIOUS AREA
---	EXISTING WATER	---	GRASS



COUNTY FILE NUMBER: S-23-0029

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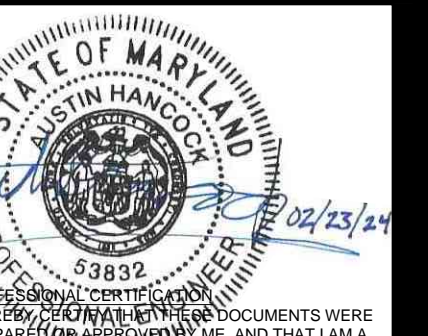
CRANBERRY STATION ELEMENTARY SCHOOL PRE-K & KINDERGARTEN ADDITION
 CARROLL COUNTY PUBLIC SCHOOLS
 505 N CENTER ST, WESTMINSTER, MD 21157

PROJECT NO:	631358
DATE:	
REVISIONS	
DATE	DESCRIPTION

PROPOSED CONDITIONS SWM PLAN

C511
 SHEET 7 OF 10

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PROFESSIONAL ENGINEER STATEMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 12222424. EXPIRES 04/30/2025.



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CARROLL COUNTY PUBLIC SCHOOLS
505 N CENTER ST., WESTMINSTER, MD 21157

PROJECT NO: 631358
DATE:

REVISIONS

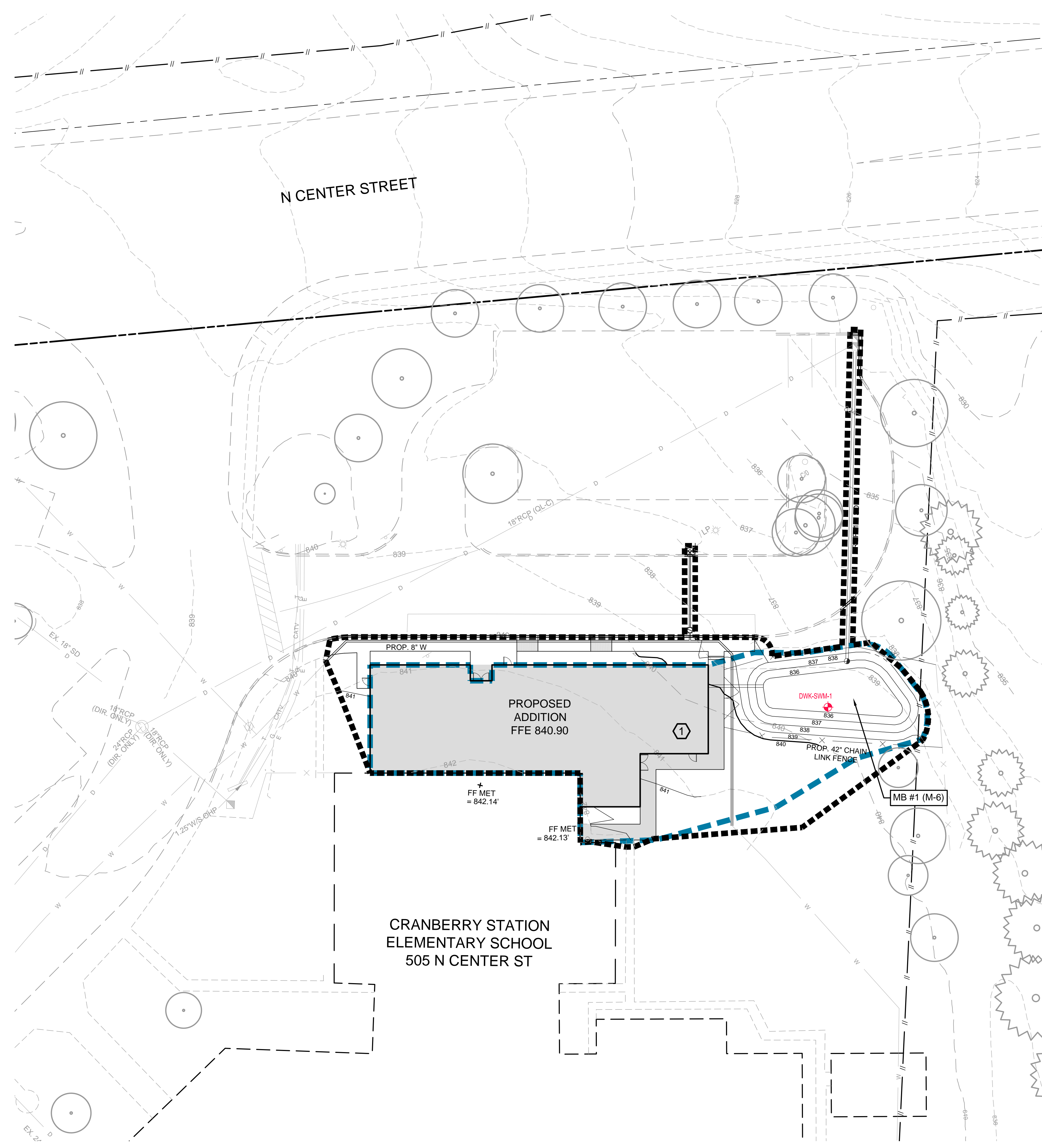
DATE DESCRIPTION

SWM ESD DA MAP

C512
SHEET 8 OF 10

LEGEND

	PROPERTY LINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING TREES
	EXISTING SHRUBS
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING TELEPHONE
	EXISTING ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING LIGHTING
	EXISTING CONTOURS
	EXISTING SOIL GROUP DELINEATION
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	PROPOSED SIDEWALK
	PROPOSED CURB
	PROPOSED FENCE
	PROPOSED SIGN
	PROPOSED STORM DRAIN
	PROPOSED WATER
	PROPOSED CONTOURS
	ESD TRACT AREA
	IMPERVIOUS AREA
	DRAINAGE AREA

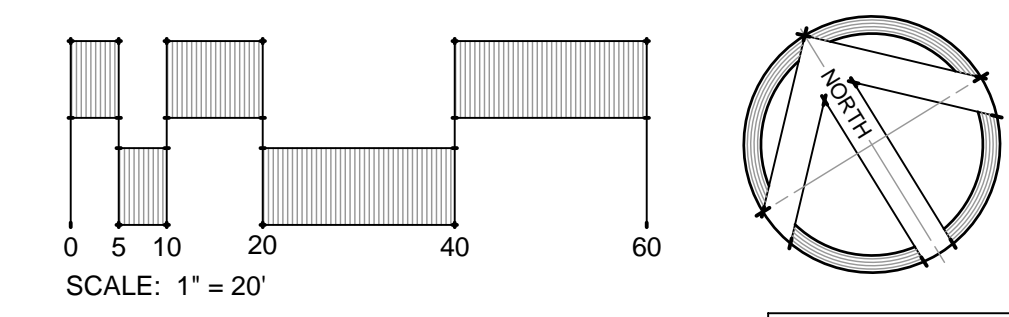


DRAINAGE AREA DATA

DRAINAGE AREA	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	ESDV PROVIDED (CUFT)	TC (HOURS)
1 (MB #1)	0.24	0.14	1,224	0.1

DESIGN SUMMARY TABLE

ESD TRACT AREA	0.32 AC
PROPOSED IMPERVIOUS AREA WITHIN ESD TRACT AREA	0.18 AC
ESDV / PE REQUIRED	1,134 CUFT / 1.80"
ESDV / PE PROVIDED	1,224 CUFT / 1.94"



COUNTY FILE NUMBER:
S-23-0029

SWM AS-BUILT NOTES

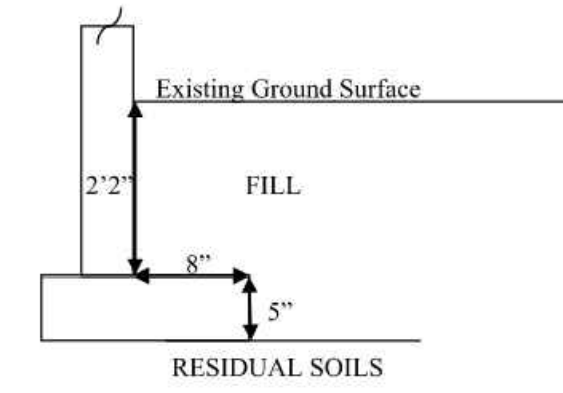
- IT IS THE CONTRACTOR'S RESPONSIBILITY, ON BEHALF OF THE OWNER, TO ENGAGE A LICENSED PROFESSIONAL ENGINEER TO CERTIFY THE STORMWATER MANAGEMENT FACILITIES AND TO PREPARE, SUBMIT, AND PROCESS AS-BUILT DRAWINGS WITH THE AUTHORITIES HAVING JURISDICTION. "CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED ON SUFFICIENT AND APPROPRIATE ONSITE OBSERVATIONS AND/OR INSPECTIONS AT CRUCIAL MILESTONES DURING CONSTRUCTION OF THE FACILITY, MATERIAL TESTS CONDUCTED DURING CONSTRUCTION, AND POST-CONSTRUCTION SURVEYING AND VERIFICATION. VERIFICATION SHALL INCLUDE PHOTODOCUMENTATION CONSISTING OF AT LEAST TEN (10) PHOTOS AT EACH STAGE OF CONSTRUCTION PROGRESS.
- CRUCIAL MILESTONES INCLUDE, AT A MINIMUM, REGULAR INSPECTIONS MADE AND DOCUMENTED DURING AND AT COMPLETION OF THE FOLLOWING STAGES OF CONSTRUCTION:
 - EXCAVATION TO SUBGRADE
 - INSTALLATION OF GEOTEXTILE FABRIC
 - INSTALLATION OF UNDERDRAIN SYSTEM WITH DRAINAGE STRUCTURE AND OUTFALL PIPE
 - INSTALLATION ON WETLAND SOIL, PEA GRAVEL AND GRAVEL MEDIA
 - UPON COMPLETION OF FINAL GRADING, MULCH INSTALLATION, AND ESTABLISHMENT OF PERMANENT STABILIZATION
- THE FOLLOWING INFORMATION SHALL BE INCLUDED IN THE SWM AS-BUILT DOCUMENTATION:
 - COMPLY WITH INSPECTION REQUIREMENTS DURING CONSTRUCTION FOR AS-BUILT CERTIFICATION AS DESCRIBED IN THE MDE STORMWATER MANUAL AND AMENDED TO DATE.
 - NOTE CHANGES AND DEVIATIONS FROM THE ORIGINAL APPROVED SWM PLANS BY MARKING IN RED OR GREEN ON TOP OF THE ASSOCIATED APPROVED ITEM.
 - NOTE CONSTRUCTED DATA FOR GRADING CONTOURS, SPOT ELEVATIONS, HORIZONTAL AND VERTICAL DIMENSIONS, INVERTS, PLAN VIEWS, CROSS-SECTIONS, AND DETAILS.
 - IF CONSTRUCTED VALUES ARE THE SAME AS DESIGN VALUES, PLACE A CHECK MARK NEXT TO THE ASSOCIATED DATA TO INDICATE THE VALUE HAS BEEN VERIFIED.
 - COMPLETE AS-BUILT TABLES INCLUDED ON DRAWINGS AND SIGN AND SEAL CERTIFICATIONS.

PROVIDE ADDITIONAL DOCUMENTS SUCH AS PROGRESS AND FINAL PHOTOGRAPHS, INSPECTION REPORTS AND OTHER RELEVANT INFORMATION IN SUPPORT OF THE AS-BUILT DRAWINGS AND DATA TABLES.
- SUBMIT SWM AS-BUILTS TO THE AUTHORITIES HAVING JURISDICTION AND PROCESS FOR FINAL APPROVAL AND CLOSEOUT OF ASSOCIATED PERMIT(S).

TEST PIT LOG

Contract No.: 23209.1D Date: January 2, 2024
 Project: Cranberry Station CCES DWK Representative: N. Honegger
 Location: Westminster, Maryland
 Test Pit No.: DWK-TP-1 Groundwater EL: Dry
 Surface Elevation: 840.0 Excavation Equipment: Mini Excavator

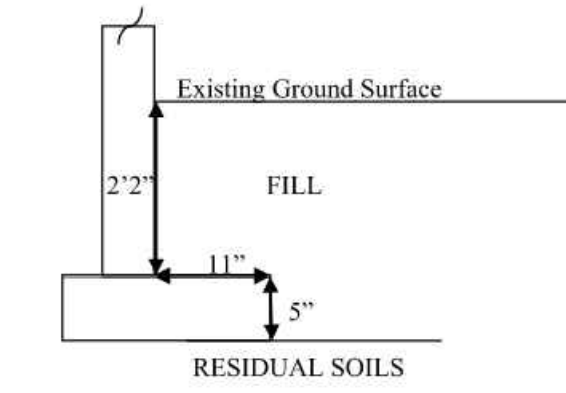
DEPTH (FT.)	ELEV.	SOIL DESCRIPTION AND OBSERVATIONS	STRATUM	REMARKS
0	840.0	Topsoil 6"		
0.5	839.5	FILL, sandy lean clay, moist, brown	A	FILL
1.0	839.0			
1.5	838.5			
2.0	838.0			
2.5	837.5			
		Top of Footing @ 2' 2"		
		Bottom of Footing @ 2' 7"		
		SANDY SILT, with rock fragments, moist, tan	B	Residual
3.0	837.0	Bottom of Test Pit @ 3.0 feet		



TEST PIT LOG

Contract No.: 23209.1D Date: January 2, 2024
 Project: Cranberry Station CCES DWK Representative: N. Honegger
 Location: Westminster, Maryland
 Test Pit No.: DWK-TP-2 Groundwater EL: Dry
 Surface Elevation: 840.0 Excavation Equipment: Mini Excavator

DEPTH (FT.)	ELEV.	SOIL DESCRIPTION AND OBSERVATIONS	STRATUM	REMARKS
0	840.0	Topsoil 6"		
0.5	839.5	FILL, silty sand, with rock fragments, moist, reddish brown	A	FILL
1.0	839.0			
1.5	838.5			
2.0	838.0			
2.5	837.5			
		Top of Footing @ 2' 2"		
		Bottom of Footing @ 2' 7"		
		SILTY SAND, with rock and rock fragments, moist, tan	B	Residual
3.0	837.0	Bottom of Test Pit @ 3.0 feet		



TEST PIT LOG

Contract No.: 23209.1D Date: January 2, 2024
 Project: Cranberry Station CCES DWK Representative: N. Honegger
 Location: Westminster, Maryland
 Test Pit No.: DWK-SWM-1 Groundwater EL: Dry
 Surface Elevation: 840.0 Excavation Equipment: Mini Excavator

DEPTH (FT.)	ELEV.	SOIL DESCRIPTION AND OBSERVATIONS	STRATUM	REMARKS
0	840.0	Topsoil 6"		
0.5	839.5	FILL, sandy lean clay, with roots, sub-angular, blocky, moist, brown	A	FILL
1.0	839.0			
1.5	838.5			
1.5	838.5	SANDY SILT, with rock fragments, angular, plate-like, moist, tan	B	Residual
2.0	838.0			
2.5	837.5			
3.0	837.0			
3.5	836.5			
4.0	836.0			
4.5	835.5			
5.0	835.0			
5.5	834.5			
6.0	834.0			
6.5	833.5	Infiltration Test Depth		
7.0	833.0			
7.5	832.5			

8.0	832.0			
8.5	831.5			
9.0	831.0			
9.5	830.5			
10.0	830.0	Bottom of Test Pit @ 10.0 feet		

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STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 No. 51832
 02/23/24

THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51832, EXPIRATION DATE: 03/31/25.

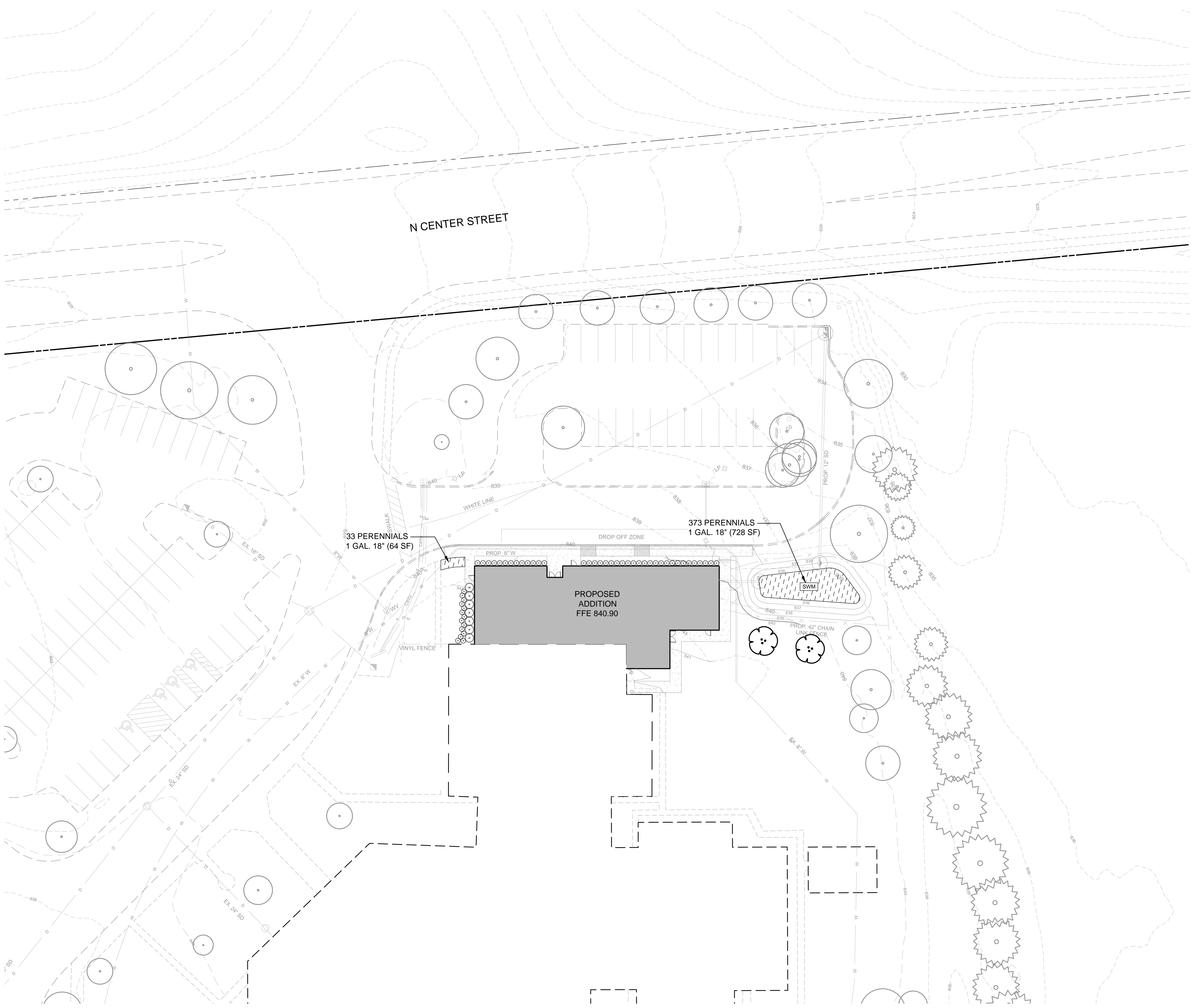
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CARROLL COUNTY PUBLIC SCHOOLS
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PROJECT NO:	631388
DATE:	
REVISIONS	
DATE	DESCRIPTION

SWM TEST PITS

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LEGEND

- PROPERTY LINE
- EXISTING BUILDING
- EXISTING WALK
- EXISTING ROAD
- EXISTING CURB
- EXISTING FENCE
- EXISTING TREES
- EXISTING SHRUBS
- EXISTING STORM DRAIN
- EX. 6" W
- EX. 8" SAN
- EX. TELE
- EX. ELEC
- EX. ELEC OHW
- EXISTING LIGHTING
- EXISTING CONTOURS
- EXISTING SOIL GROUP DELINEATION
- PROPOSED BUILDING
- PROPOSED BUILDING OVERHANG
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED FENCE
- PROPOSED SIGN
- PROPOSED CONTOURS
- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS

CONCEPT PLANT SCHEDULE

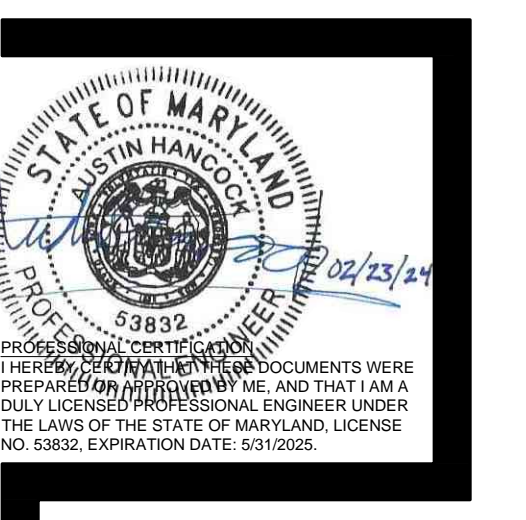
PLANT TYPE	QUANTITY
ORNAMENTAL	2
3' SHRB	52
5' SHRB	7
PERENNIALS	406

SCALE: 1" = 20'

COUNTY FILE NUMBER:
S-23-0029

MOSELEYARCHITECTS
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PROJECT NO:	631358
DATE:	
REVISIONS	
DATE	DESCRIPTION

LANDSCAPE PLAN

L101
 SHEET 10 OF 10