#### GENERAL NOTES

- EXISTING ZONING: LIGHT INDUSTRIAL (I-I)
  EXISTING USE: BUSINESS/INDUSTRIAL PARK PROPOSED USE: BUSINESS/INDUSTRIAL PARK

- 1. EXISTING ZONING: LIGHT INDUSTRIAL (I-I)
  2. EXISTING JOSE: BUSINESS/INDUSTRIAL PARK
  3. TOTAL AREA OF SITE LOT I 1.68± AC.
  LOT 3. 1.68± AC.
  LOT 3. 1.68± AC.
  LOT 3. 1.68± AC.
  LOT 3. 1.68± AC.
  4. TOTAL AREA OF DISTURRANCE 16, 78± 50FT. 3, 41± AC.
  4. TOTAL AREA OF DISTURRANCE 16, 78± 50FT. 3, 41± AC.
  4. TOTAL AREA OF DISTURRANCE 16, 78± 50FT. 3, 41± AC.
  5. THE PROPERTY SHOWN HEREON IS OF CARROLL COUNTY IN LIBER 1081 FOLIO 65. THE TAX ACCOUNT NUMBERS FOR THIS PROPERTY ARE 14-057617, 14-057625, 14-057633 № 14-057641.
  6. TAX MAP 73, GRID 2, PARCEL 461, PLAT 52/002.
  7. PROPERTY BOUNDARY IS SHOWN PER ELECTRONIC TRANSFER OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, INC. EXISTING FORGAPHY SHOWN PER ELECTRONIC TRANSFER OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, INC. DATED ON OR ABOUT JUNE 2, 2008 AND SUPPLEMENTED BY A FIELD SURVEY BY SHANABERGER AND LANE IN AUGUST, 2023.
  8. LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION IS AN EXISTING FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR "LOT I" AS WELL AS SEVERAL FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR "LOT I" AS WELL AS SEVERAL FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR "LOT I" AS WELL AS SEVERAL FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR "LOT I" AS WELL AS SEVERAL FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR "LOT I" AS WELL AS SEVERAL FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR "LOT I" AS WELL AS SEVERAL FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR "LOT I" AS WELL AS SEVERAL FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR "LOT I" AS WELL AS SEVERAL FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR "LOT I" AS WELL AS SEVERAL FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR "LOT I" AS WELL AS SEVERAL FIRE HYDRANT ON THE EXCITATION AND INSTRUMENT AND SHALL OFFICE AND SHALL OFFICE THE ADDITION SHALL OFFICE THE AND SHALL OFFICE AND SHALL OFFICE THE ADDITION SHALL OFFICE THE ADDITION SHALL OFFICE AND SHALL OFFIC

- SUBSTANCE STORAGE AND USE.

  18. THE SITE IS APPROXIMATELY 9067' FROM THE NEAREST PRODUCTION WELL.

  19. NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY.

  20. UNDER THE ORIGINAL SITE PLAN, A VARIANCE (NO. V-WR-09-001) WAS GRANTED IN A LETTER DATED JUNE 24, 2009. IT ALLOWS THE EXTENSION OF A STORMWATER AND SANITARY SEWER OUTFALL THROUGH THE CARROLL COUNTY WATER RESOURCE PROTECTION EASEMENT AND TEMPORARY GRADING DISTURBANCE WITHIN THE WATER RESOURCE PROTECTION EASEMENT. CONDITIONS OF APPROVAL INCLUDE THE VERIFICATION THAT THE 15% SLOPE REQUIREMENT FOR SWM OUTFALLS CANNOT BE REASONABLY ACHIEVED AND THAT AN EASEMENT FOR SEWER OUTFALL TO GERA WAY CANNOT BE SECURED FROM THE ADJACENT PROPERTY OWNER.

  21. UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES.

#### SITE COMPLIANCE CHECKLIST

- SITE COMPLIANCE CHECKLIST

  1. CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY WORK.

  2. SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:

  a. PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.

  b. PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.

  c. SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.

  d. COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.

  e. COMPLETION OF ALL WORK SHOWN ON PLAN.

  IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.

  3. CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.

  4. FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH THE BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPE REVIEW OF FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.

  5. THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASE.

### PARKING TABULATION

PARKING REQUIRED PER BUSINESS/INDUSTRIAL PARK STANDARDS:

224,709 S.F. @ 3.5 SPACES PER 1000 S.F. RESULTS IN A REQUIREMENT OF 787 PARKING SPACES

### TOTAL PARKING SPACES REQUIRED: 787 PARKING SPACES

TOTAL PARKING SPACES PROVIDED: 938 PARKING SPACES

### DRAWING LEGEND

EXISTING MINOR CONTOUR (2' INTERVAL)
EXISTING MAJOR CONTOUR (10' INTERVAL)
- ADJACENT PROPERTY LINE
- EXISTING PROPERTY BOUNDARY EX. ROAD / EDGE OF PAVING
- EXISTING SEWER
- EXISTING WATER
EX. OVERHEAD ELECTRIC & UTILITY POLES
PROPOSED MINOR CONTOUR (2' INTERVAL)
- PROPOSED MAJOR CONTOUR (10' INTERVAL) : PROP. STANDARD CURB & GUTTER
- PROPOSED PRIVATE ROAD/DRIVE CENTERLIN
EX. BUILDING
PROPOSED BUILDING

EXISTING TREES

FIRE DEPARTMENT CONNECTION

...... EXISTING TREELINE

CARROLL COUNTY PLANNING AND ZONING COMMISSION

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES

CARROLL COUNTY HEALTH DEPARTMENT

CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY ERSONAL KNOWLEDGE OF THE SITE CONDITION AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL COUNTY

THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING

ENGINEER

AGENCIES.

OWNER / DEVELOPER

### SOIL CONSERVATION DISTRICT. SOIL CONSERVATION DISTRICT THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE SOIL CONSERVATION DISTRICT.

DATE

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE JLLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THIS PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY

WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE

OWNER'S CERTIFICATION

SIGNATURE

APPROVED CARROLL S.C.D

FIRST AMENDED SITE PLAN FOR

# LIBERTY EXCHANGE

# TAX MAP# 73, ELECTION DISTRICT: 14

### GRID# 2, PARCEL # 461 CARROLL COUNTY, MD.

5.315± ACRES

4.775± ACRES

pproved Trips from TIS dated October 2007 (included 34,150 sf specialty retail, 6,000 sf high turnover sit-

wn restaurant, drive-in bank with 3 drive-in lanes; 3,000 sf convenience market with gas, 48,960 sf office,

19,160 sf flex office) - Please note that these volumes are total trips generated including pass-by trips

ES TAKEN FROM APPROVED TIS FOR RETAIL (per ksf):

10.049 Retail building (includes outdoor patio area)

10.145 Retail Building (includes outdoor patio area)

\*See pages 25 and 26 of the approved TIS for peak hour rates.

ildings E & F (Constructed 33.290 Retail Buildings

nk Building (Planned)

48.960 General Office

Idings D & D2 (Constructed

119.480 Flex Office/Business Par

3 Drive-In Bank with 3 lane:

TES TAKEN FROM APPROVED TIS FOR DRIVE-IN BANK (per drive-thru lane)

TES TAKEN FROM APPROVED TIS FOR FLEX OFFICE/BUSINESS PARK (per ksf)\*

ail Building (Planned - replaced previously planned convenience store with gas sales)

REMAINING TRIPS AVAILABLE

ail (Planned - replaced previously planned high turnover sit-down restaurant

TES TAKEN FROM APPROVED TIS FOR GENERAL OFFICE (per ksf)\*

Transportation Draw Down Table Prepared November 12, 2024

AM PEAK HOUR TRIPS PM PEAK HOUR TRIPS SATURDAY PEAK HOUR TRIPS

66.84

0.26

#### OWNER ADDRESS

LST INC. C/O ST. JOHN PROPERTIES INC. 2560 LORD BALTIMORE DR. BALTIMORE, MD 21244 (410) 788-0100

**DEVELOPER:** 

2560 Lord Baltimore Drive - Baltimore, MD 21244

Ph: 410-788-0100 Fax: 410-788-0851 - www.sjpi.com

STJOHN

PROPERTIES

DEVELOPER ADDRESS ST. JOHN PROPERTIES 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 788-0100

15.939± ACRES

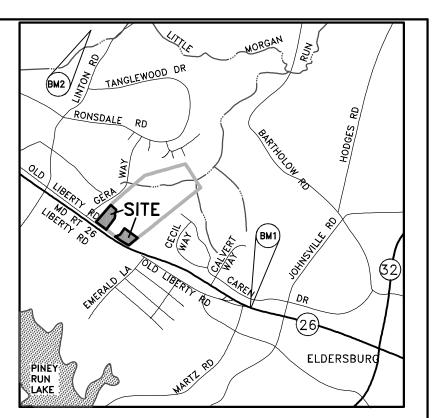
EX. BUILDING D2

EX BUILDING B

LOT 7 4.283± ACRES

SITE ADDRESS 5954 \$ 5955 EXCHANGE DR. ELDERSBURG, MD 21784

ADDRE	ADDRESS CHART							
LOT/BLDG	ADDRESS							
LOT 1	5954 EXCHANGE DRIVE							
LOT 2	5953 EXCHANGE DRIVE							
LOT 3	5955 EXCHANGE DRIVE							
LOT 4, BLDG. E	5959 EXCHANGE DRIVE							
LOT 4, BLDG. F	5957 EXCHANGE DRIVE							
LOT 5, BLDG. A	5961 EXCHANGE DRIVE							
LOT 5, BDLG. B	5963 EXCHANGE DRIVE							
LOT 6, BLDG. C	5965 EXCHANGE DRIVE							
LOT 6, BLDG. D	5975 EXCHANGE DRIVE							



VICINITY MAP SCALE : 1" = 2000"

NO.	DRAWING TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SITE LAYOUT PLAN
4	SITE GRADING \$ SEC PLAN
5	SEDIMENT & EROSION CONTROL NOTES
6	SEDIMENT & EROSION CONTROL DETAILS
7	WATER & STORM DRAIN PLAN & PROFILES
8	SITE DETAILS
9	SITE DETAILS
10	LANDSCAPE PLAN
11	LANDSCAPE PLAN DETAILS
12	SITE LIGHTING PLAN
13	SITE LIGHTING PLAN DETAILS
14	ARCHITECTURAL ELEVATIONS BUILDING G
15	ARCHITECTURAL ELEVATIONS BUILDING I
16	RETAINING WALL PROFILE
17	RETAINING WALL PROFILE

DATA SOURCES: EX. TOPOGRAPHIC, BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS WARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, PROVIDED DATE OF COMPLETION WAS JUNE 2, 2008, SUPPLEMENTED BY FEILD RUN TOPO OF LOTS I AND 3 PERFORMED IN AUGUST, 2024.



Westminster, MD 21157 110.386.0564 (Fax)

www.DDCinc.us

ST. JOHN PROPERTIES

BALTIMORE, MD 21244

2560 LORD BALTIMORE DRIVE

DEVELOPER:

(410) 788-0100

2560 LORD BALTIMORE DR. BALTIMORE, MD 21244 410-549-2555

SITE ADDRESS: **EXCHANGE DRIVE** ELDERSBURG, MD 21784

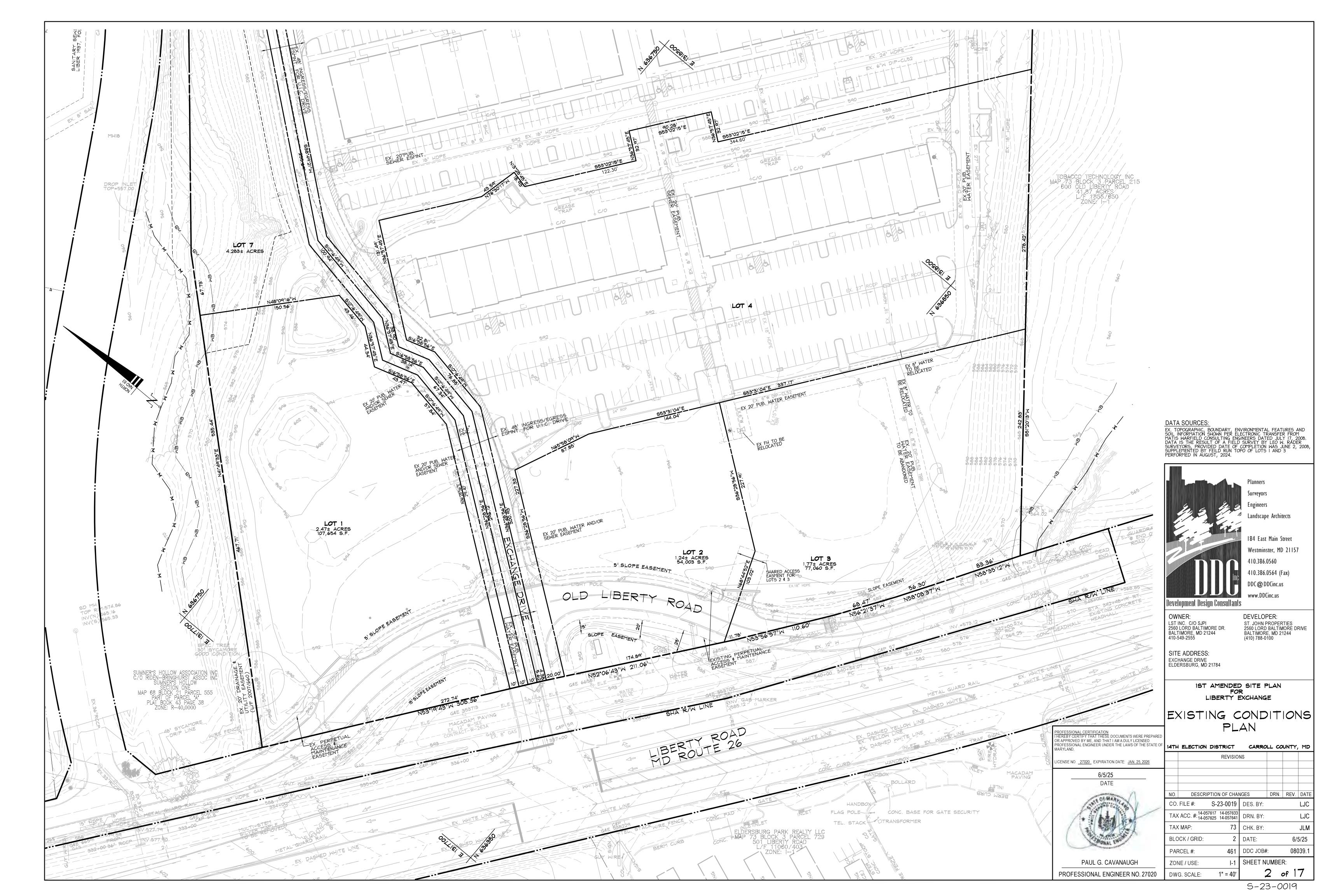
> IST AMENDED SITE PLAN LIBERTY EXCHANGE

PROFESSIONAL ENGINEER NO. 27020

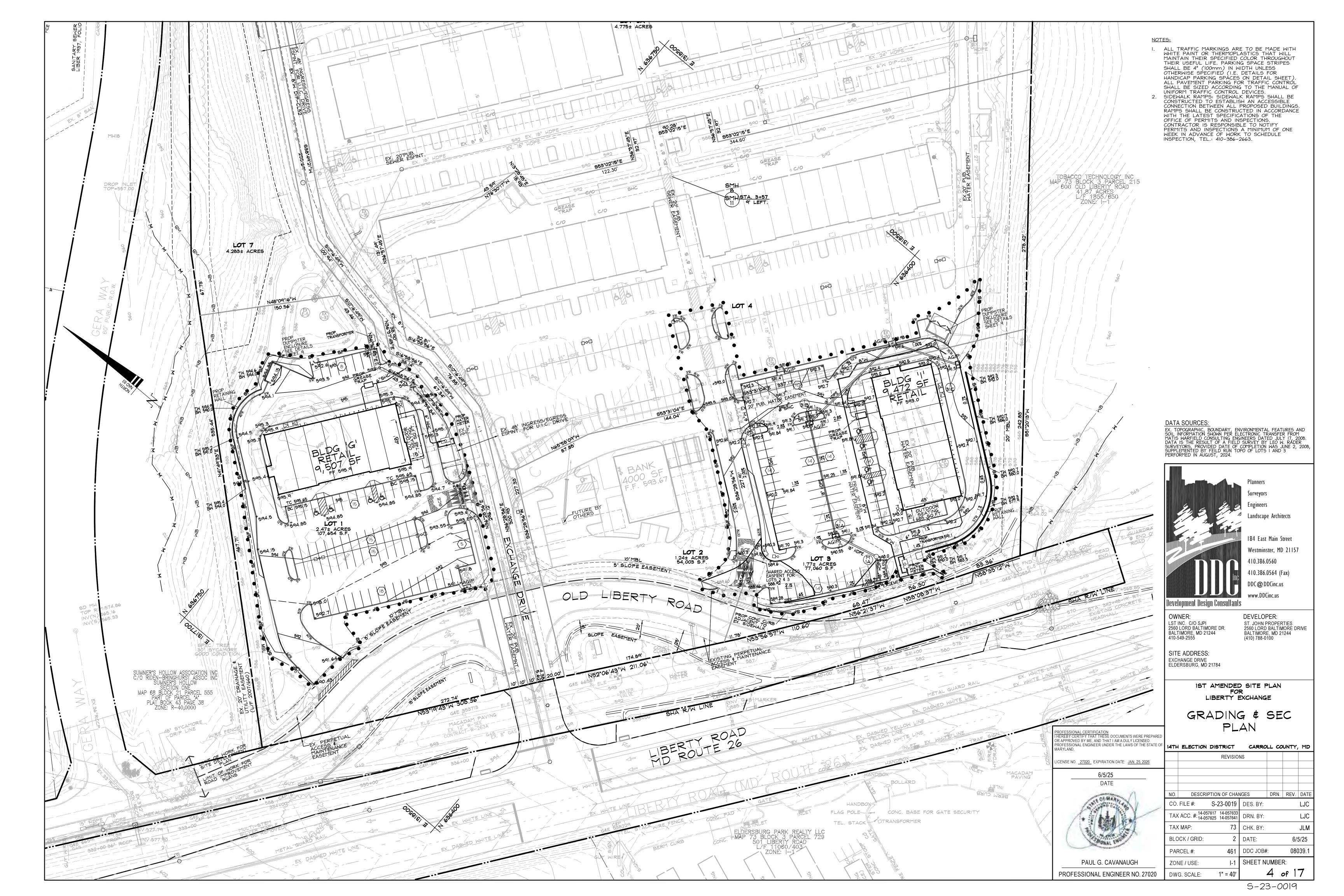
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	(	COV SHF	/ER FFT				
14TH		·		LL CO	UNTY,	MD	
		REVISIO	VS				
NO.	DESCRIPTIO	N OF CHAI	NGES	DRN.	REV.	DATE	
CO.	FILE #: S-	23-0019	DES. BY:			LJC	
TAX	TAX ACC. #: 14-057617 14-057633		DRN. BY:			LJC	
TAX MAP: 73			CHK. BY:			JLM	
BLO	CK / GRID:	2	DATE:		6/	5/25	
PARCEL #:			DDC JOB#	:	080	39.1	
ZON	IE / USE:	I-1	SHEET N	UMBE	₹:		
	NO. CO. TAX TAX BLO	NO. DESCRIPTION CO. FILE #: S-TAX ACC. #: 14-057625 TAX MAP: BLOCK / GRID:	NO. DESCRIPTION OF CHANCO. FILE #: S-23-0019  TAX ACC. #: 14-057625 14-057641  TAX MAP: 73  BLOCK / GRID: 2  PARCEL #: 461	REVISIONS         REVISIONS         NO. DESCRIPTION OF CHANGES         CO. FILE #: S-23-0019 DES. BY:         TAX ACC. #: 14-057617 14-057633 14-057641 DRN. BY:         TAX MAP: 73 CHK. BY:         BLOCK / GRID: 2 DATE:         PARCEL #: 461 DDC JOB#	### SHEET    14TH   ELECTION   DISTRICT   CARROLL   CO   REVISIONS	## SHEET    14TH   ELECTION DISTRICT   CARROLL COUNTY,	

REVISIONS DESCRIPTION OF CHANGES DRN. REV. DAT ILE #: S-23-0019 DES. BY: ACC. #: 14-057617 14-057633 DRN. BY: CHK. BY: K / GRID: 2 | DATE: 6/5/25 461 DDC JOB#: 08039.1 CEL #: SHEET NUMBER DWG. SCALE: AS NOTED

# 5-23-0019







STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION Section I - Vegetative Stabilization Methods and Materials

- i. Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins. ii. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
- iii. Schedule required soil test to determine soil amendment composition and application rates for sites having disturbed area over 5 acres.
- B. Soil Amendments (Fertilizer and Lime Specifications)
- i. Soil test must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
- ii. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable state fertilizer laws and shall bear the name, trade name or trademark and warrantee of the producer.
- iii. Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 98 100% will pass through a #20 mesh sieve.
- iv. Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means
- C. Seedbed Preparation i. Temporary Seeding
  - a. Seedbed preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth but left in the roughened condition. Sloped areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the counter of the slope.
  - b. Apply fertilizer and lime as prescribed on the plans.
  - c. Incorporate lime and fertilizer into the top 3 5" of soil by disking or other suitable

#### ii. Permanent Seeding

- a. Minimum soil conditions required for permanent vegetative establishment:
- 1. Soil pH shall be between 6.0 and 7.0
- 2. Soluble salts shall be less than 500 parts per million (ppm).
- 3. The soil shall contain less than 40% clay but enough fine grained material (> 30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exceptión is if lovegrass or serecia lespedeza is to be planted, then a sandy soil ( < 30% silt plus clay) would be acceptable.
- 4. Soil shall contain 1.5% minimum organic matter by weight.
- 5. Soil must contain sufficient pore space to permit adequate root penetration.
- 6. If these conditions cannot be met by the soils on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil.
- b. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3 - 5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
- c. Apply soil amendments as per soil test or as included on the plans.
- d. Mix soil amendments into the top 3 5" of topsoil by disking or other suitable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Where site conditions will not permit normal seedbed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1 - 3" of soil should be loose and friable. Seedbed loosening may not necessary on newly disturbed areas.

i. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on this job. Note: Seed tags shall be made available to the inspector to verify type and rate of seed used. ii. INNOCULANT – The INNOCULANT for treating legume seed in the seed mixtures shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. INNOCULANTs shall not be used later than the date indicated on the container. Add fresh INNOCULANT as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep INNOCULANT as cool as possible until used. Temperatures above 75-80 F. can weaken bacteria and make the innoculant less effective.

- . <u>Hydroseeding:</u> Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeder, or a cultipacker seeder.
- a. If fertilizer is being applied at the time of seeding, the application rates amounts will nitrogen; P205 (phosphorous): 200 lbs/ac.; K20 (potassium): 200 lbs/ac.
- b. Lime use only ground agricultural limestone, (Up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding. c. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and
- ii. Dry Seeding: This includes use of conventional drop or broadcast spreaders. a. Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed soil contact.
- b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction. iii. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
- a. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting. b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each directions
- F. Mulch Specifications (In order of preference)
- Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonably bright in color, and shall not be musty, moldy, caked, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
- ii. Wood Cellulose Fiber Mulch (WCFM) a. WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous
- b. WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry. c. WCFM, including dye, shall contain no germination or growth inhibiting factors.
- d. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a blotter-like ground cover, on application, having moisture absorption and percolation properties shall cover and hold grass seed in contact with the soil without inhibiting the ground of the cover and hold. without inhibiting the growth of the grass seedings.
- e. WCFM material shall contain no elements or compounds at concentration levels that will
- f. MCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1 mm., pH range of 4.0 to 8.5, ash content of 1.6% maximum and water holding capacity of 90% minimum.
- Note: Only sterile straw much should be used in areas where one species of grass is desired. G. Mulching Seeded Areas – Mulch shall be applied to all seeded areas immediately after seeding i. If grading is completed outside of the seeding season, mulch alone shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
- ii. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre. iii. Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.
- H. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon size of area and erosion hazard: i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should be used on the contour if possible.
- ii. Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of
- iii. Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys or on crest of banks. The remainder of area should appear uniform after binder application. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used at rates recommended by the
- iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.
- Incremental Stabilization -- Cut Slopes -- See G-20-6

J. Incremental Stabilization -- Fill Slopes -- See G-20-7

#### TABLE 25: PERMANENT SEEDING FOR LOW MAINTENANCE AREAS

					LICDA								
	SEED MIX	PLAN	ITING	SITE	USDA HARDI—								
MIX	USE CERTIFIED MATERIAL	LBS/AC.	LBS/	CONDITIONS	NESS	3/1-	3/15	5/16-	6/2-	8/1-	8/15-	8/15-	
	IF AVAILABLE	LBS/ AC.	1000 SF		ZONES	5/15	-5/15	8/14	7/31	10/1	10/15	11/15	
	TALL FESCUE (75%)	150	3.4	MOIST TO	5b		$\geq$			$\geq$			
	CANADA BLUEGRASS (10%)	100	0.1	DRY	6a		$\geq$			$\geq$			
1	KENTUCKY BLUEGRASS (10%)				6b	><					$>\!\!<$		Α
	REDTOP (5%)				7a	$\supset$						$\supset$	
	KEDIOP (3%)				7b	$\supset$						$\supset$	
	KENTUCKY BLUEGRASS (50%)	150	3.4	MOIST TO	5b					$\overline{}$			
2	CREEPING RED FESCUE OR A			MODERATELY			$\Longrightarrow$			$\longleftrightarrow$			в
	HARD FESCUE (40%)			DRY TO	6b					$\sim$			
	REDTOP (10%)			DRY	5b								
	TALL FESCUE (85%)	125	2.9	MOIST TO			$\langle  \rangle$			$\longleftrightarrow$			
7	PERENNIAL RYEGRASS (10%	15	.34	DRY	6a		$\geq$			$\sim$			
3	KENTUCKY BLUEGRASS (5%)	10	.23		6b	$\bowtie$					$\times$		C
	2202011100111		,		7a	$\geq$						$\geq$	
					7b	$\geq$						$\geq$	
	RED FESCUE OR	60	.92	MOIST TO	5b		> <			$\times$			
4	CHEWING FESCUE (80%)	60	.92	DRY	6a		$\supset$			$\supset$			D
	PERENNIAL RYEGRASS (20%)	15	.34		6b	$\times$					$\times$		
					5b					$\overline{}$			
	TALL FESCUE (85%) OR,	110	2.5	MOIST TO	6a		$\Longrightarrow$			$\longleftrightarrow$			
5	PERENNIAL RYEGRASS (50%)	20	.46	DRY -	6b					$\sim$			E
J	PLUS CROWNVETCH OR`	20	.46		7a	$\longleftrightarrow$							
	FLATPEA	20	.46			$\longleftrightarrow$						$\longleftrightarrow$	
					7b	$\bowtie$						$\sim$	
	WEEPING LOVEGRASS (17%) SERECIA LESPEDEZA (83%)	4	.09 .46	DRY TO VERY DRY	5b	$\bowtie$		$\sim$					_
6		20			7a	$\geq$		$\geq$					F
	32 (30 / 22 d)				7b	$\geq$		$\geq$					
	TALL FECOLIE (0.7%)	110	2.5	DRY TO	5b		><		><	$\times$			
	TALL FESCUE (83%)	110	2.5	VERY DRY	6a		$\supset$		$\times$	$\times$			
7	WEEPING LOVEGRASS (2%)	3	.07		6b	$\times$		$\times$			$\times$		G
,	SERECIA LESPEDEZA(15%)	20	.46		7a	$\triangleright$		>				$\overline{}$	
					7b	$\bowtie$		$ \Leftrightarrow$				$\Longrightarrow$	
					5b							$\frown$	
	DEEDY CANADYODACC (75%)	40	.92	WET TO	6a		$\Longrightarrow$			$\longleftrightarrow$			
	REEDY CANARYGRASS (75%)	40 3		MODERATELY						$\triangle$			i , , <b>l</b>
8	REDTOP (6%) PLUS BIRDSFOOT TREEFOIL (19%)	10	.07	DRY	6b	$\longleftrightarrow$							Н
	BIRDSFOOT TREEFOIL (19%)	10	.23		7a	$\langle \rangle$							
					7b	$\geq$							
	TALL FESCUE (86%)	125	2.9	WET TO	5b		$\geq$			$\bowtie$			
9	POA TRIVIALIZE (7%)	10	.23	MODERATELY DRY	6a		$\geq$			$\geq$			
	BIRDSFOOT TREEFOIL (7%)	10	.23		6b	> <					$\times$		
					5b		$\supset$			$\times$			
					6a		$\supset$			$\bigvee$			
10	TALL FESCUE (80%)	120	3.4	WET TO	6b	$\supset$					$\overline{}$		J
	HARD FESCUE (20%)	30	.69	DRY	7a	$\Longrightarrow$							Ĭ
					7b	$\Longrightarrow$						$\Longrightarrow$	
					5b								$\square$
							$\Longrightarrow$			$\iff$			
11	HARD FESCUE (100%)	.75	3.4	MOIST TO	6a	<b>-</b>				$\sim$			К
				DRY	6b	$\bowtie$					$\geq$		
					7a	$\boxtimes$						$\geq$	
	NOTES:												

- A/ USED BY SHA ON SLOPED AREAS. ADD A LEGUME FOR SLOPES > THAN 3:1
- B/ USED IN MEDIAN AREAS BY SHA. SHADE TOLERANT
- C/ POPULAR MIX PRODUCES PERMANENT GROUNDCOVER QUICKLY. BLUEGRASS QUICKENS STAND. D/ BEST USE ON SHADY SLOPES NOT ON POORLY DRAINED CLAYS. E/ USE ON LOW MAINTENANCE, STEEP SLOPES. USE TALL FESCUE IN DRAUGHTY CONDITIONS. CROWN
- VETCH BEST FOR 5b, 6a, 6b. F/ SUITABLE FOR SEEDING IN MIDSUMMER.
- G/ WEEPING LOVEGRASS MAY BE SEEDED WITH TALL FESCUE IN MID-SUMMER. SERECIA LESPEDEZA IS BEST SUITED FOR ZONES 7a & 7b.
- H/ USE ON POORLY DRAINED SOILS DITCHES OR WATERWAYS. BIRDSFOOT TREEFOIL IS BEST FOR ZONES
- I/ USE IN AREAS OF MOIST SHADE. POA TRIVIALIS THRIVES IN WET SHADY AREAS. J/ TALL FESCUE MAY BE SEEDED ALONE. THE HARD FESCUE PROVIDES BETTER SHADE TOLERANCE AND
- PRODUCES A BETTER STAND K/ LOW FERTILITY GRASS. REQUIRES INFREQUENT MOWING. GOOD COMPANION FOR WILDFLOWERS.

	TABLE 26	TEMPOR	RARY SEE	EDING	RATE	S, DE	PTHS,	AND	DATE	S		
SPECIES	MINIMUM S RATE		PLANTING DEPTH									5b
31 LOILS	PER ACRE	LBS/1000 SQ.FT.	INCHES	2/1- 4/30		8/15- 11/30	. ,		8/15- 11/15	3/15- 5/31	,	8/1– 10/3
CHOOSE ONE: BARLEY OATS RYE	122 lbs 96 lbs 140 lbs	2.80 2.21 3.22	1-2 1-2 1-2	X X X	- - -	BY 10/15 - X	X X X	- - -	BY 10/15 - X	X	- - -	BY 10/1 - X
BARLEY OR RYE PLUS FOXTAIL MILLET	150 lbs	3.45	1	X	X	10/15 X	X X	X	10/15 X	X	X X	10/1 X
WEEPING LOVEGRASS	4 lbs	.09	1/4-1/2	-	Х	_	_	Х	_	_	X	_
ANNUAL RYEGRASS	50 lbs	1.15	1/4-1/2	X	_	11/1	X	_	11/1	Х	-	8/15
MILLET	50 lbs	1.15	1/2	_	Х	_	_	Х	_	_	X	_

Note: Select one or more of the species or mixtures listed on Table 26 for the appropriate plant hardiness zone.

Note: Select one or more of the species or mixtures listed in Table 25 and enter in the Permanent Seeding Summary Below, along with application rates and dates. For special lawn maintenance areas, see Sections IV, Sod and V, Turfgrass.

Ş	SEED MIXTURE F	(HARDINESS ZONE) ROM TABLE 26			FERTILIZER RATE	LIME RATE		
NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS				
1								
2								

#### 21.0 STANDARDS & SPECIFICATIONS FOR TOPSOIL

Definition - Placement of topsoil over a prepared subsoil prior to establishment permanent vegetation.

Purpose - To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation. Conditions Where Practice Applies

- 1. This practice is limited to areas having 2:1 or flatter slopes where:
- a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
- b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant
- c. The original soil to be vegetated contains material toxic to plant growth.
- d. The soil is so acidic that treatment with limestone is not feasible
- II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

#### Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

- II. Topsoil Specifications Soil to be used as topsoil must meet the following: . Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist\_or soil scientist and approved by the appropriate approval aŭthority. Regardless, topsoil shall not be á mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
- ii. Topsoil must be free of plants or plant parts such as bermuda grass, auackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as
- iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square fed) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- III. For sites having disturbed areas over 5 acres:
- i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
  - a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed
  - to raise the pH to 6.5 or higher. b. Organic content of topsoil shall be not less than 1.5 percent by weight.
  - c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
- d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil be used in lieu of natural topsoil.

- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization Section I Vegetative Stabilization Methods and Materials.
- . When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4"-8" higher in elevation
- Topsoil shall be uniformly distributed in a 4" 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation. VI. Alternative for Permanent Seeding – Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be
- i. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the
- a. Composted sludge: shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
- b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
- c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet. ii. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application

References: Guideline Specifications, Soil Preparation and Sodding. MD-V A, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

- SECTION IV SOD To provide quick cover on disturbed areas (2:1 grade or flatter).
- i. Class of turfgrass sod shall be Maryland or Virginia State Certified or Approved. Sod labels shall be made available to the job foreman and inspector. ii. Sod shall be machine cut at a uniform soil thickness of 3/4", plus or minus 1/4", at the time of cutting. Measurement for thickness shall exclude top growth and thatch. Individual pieces of sod shall be cut to the suppliers width and length. Maximum allowable deviation from standard widths and lengths shall be 5 percent. Broken pads and torn or uneven ends will not be accentable.
- iii. Standard size sections of sod shall be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section
- iv. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
- v. Sod shall be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period shall be approved by an agronomist or soil scientist prior to its installation.
- i. During periods of excessively high temperature or in areas having dry subsoil, the subsoil shall be lightly irrigated immediately prior to laying the sod. ii. The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other. Lateral joints shall be staggered to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
- iii. Wherever possible, sod shall be laid with the long edges parallel to the contour and with staggering joints. Sod shall be rolled and tamped, pegged or otherwise secured to prevent slippage on slopes and to ensure solid contact between sod roots and the underlying soil surface. iv. Sod shall be watered immediately following rolling or tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. The operations laying, tamping and irrigating for any piece of sod shall be completed within eight hours.
- i. In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4". Watering should be done during the heat of the day to prevent wilting. ii. After the first week, sod watering is required as necessary to maintain adequate moisture
- iii. The first mowing of sod should not be attempted until the sod is firmly rooted. No more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2" and 3" unless otherwise specified.

SECTION V - TURFGRASS ESTABLISHMENT

Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium high level of maintenance. Areas to receive seed shall be tilled by disking or other approved methods to a depth of 2 to 4 inches, leveled and raked to prepare a proper seedbed. Stones and debris over 1 1/2 inches in diameter shall be removed. The resulting seedbed should be in such condition that future mowing of grasses will pose no difficulty.

Note: Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line. A. Turfgrass Mixtures

i. Kentucky Bluegrass – Full sun mixture – For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and eastern shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds/1000 square feet. A minimum of three bluegrass cultivars should be chosen ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.

ii. Kentucky Bluegrass/Perennial Rye - Full sun mixture - For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding rate: 2 pounds mixture/1000 square feet. A minimum of 3 Kentucky Bluegrass Cultivars must be chosen, with each cultivar ranging from 10% to 35% of the mixture by weight.

iii. Tall Fescue/Kentucky Bluegrass - Full sun mixture - For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; certified Tall Fescue Cultivars 95 - 100%, certified Kentucky Bluegrass Cultivars 0 - 5%. Seeding rate: 5 to 8 lb/1000 sf. One or more cultivars may be blended. iv. Kentucky Bluegrass/Fine Fescue – Shade Mixture – For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; certified Kentucky Bluegrass Cultivars 30–40% and certified Fine Fescue and 60–70%. Seeding rate: 1 1/2 – 3 lbs/1000 square feet. A minimum of 3 Kentucky Bluegrass cultivars must be chosen, with each cultivar ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.

Note: Turfgrass varieties should be selected from those listed in the most current University of Maryland Publication, Agronomy Mimeo #77, "Turfgrass Cultivar Recommendations for Maryland"

Western MD: March 15 - June 1, August 1 - October 1 (Hardiness Zones - 5b, 6a) Central MD: March 1 - May 15, August 15 - October 15 (Hardiness Zone - 6b) Southern MD, Eastern Shore: March 1 - May 15, August 15 - October 15 (Hardiness Zones -7a, 7b)

If soil moisture is deficient, supply new seedlings with adequate water for plant growth (1/2"-1" every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedlings are made late in the planting season, in abnormally dry or hot seasons, or on

D. Repairs and Maintenance

C. Irrigation

Inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within the planting season.

i. Once the vegetation is established, the site shall have 95% groundcover to be considered adequately stabilized.

ii. If the stand provides less than 40% ground coverage, reestablish following original lime, fertilizer, seedbed preparation and seeding recommendations. iii. If the stand provides between 40% and 94% ground coverage, overseeding and fertilizing using half of the rates originally applied may be necessary. iv. Maintenance fertilizer rates for permanent seedings are shown in Table 24. For lawns and other medium high maintenance turfgrass areas, refer to the University of Maryland publication "Lawn Care in Maryland" Bulletin No. 171.

- THE CONTRACTOR SHALL CONTACT THE CARROLL COUNTY SEDIMENT CONTROL INSPECTOR AT LEAST 24 HOURS PRIOR TO ANY WORK BEING DONE.
- 2. LOTS I AND 3 MAY BE CONSTRUCTED INDEPENDENTLY.
- 3. INSTALL STABILIZED CONSTRUCTION ENTRANCE. 4. INSTALL PERIMETER SILT FENCE AND INLET PROTECTION AS INLETS ARE INSTALLED 5. BEGIN CLEARING/GRUBBING AND GRADING AS SHOWN. STABILIZE SLOPES AS SOON
- AS POSSIBLE AND IN ACCORDANCE WITH THE STABILIZATION SPECIFICATIONS. 6. BEGIN BUILDING CONSTRUCTION AND SITE WORK/PAVING. 7. WITH BUILDING AND PAVING SUBBASE/BASE COMPLETE, STABILIZE DISTURBED
- AREAS WITH 2" STAND OF GRASS. 8. THE CONTRACTOR SHALL CONTACT THE CERTIFYING ENGINEER AND REQUEST A VERIFICATION THAT THE BUILDINGS AND SITEWORK ARE COMPLETED AND THAT
- DISTURBED AREAS ARE SUPPORTING A 2" STAND OF DENSE GRASS. NOTE: ALL STOCKPILES SHALL BE CONFINED WITHIN THE PERIMETER CONTROLS.

**DATA SOURCES:** EX. TOPOGRAPHIC, BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS WARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, PROVIDED DATE OF COMPLETION WAS JUNE 2, 2008, SUPPLEMENTED BY FEILD RUN TOPO OF LOTS I AND 3 PERFORMED IN AUGUST, 2024.

**Planners** 

Surveyors



410.386.0564 (Fax) DDC @ DDCinc.us www.DDCinc.us Development Design Consultants

DEVELOPER: ST. JOHN PROPERTIES 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 788-0100

84 East Main Street

Westminster, MD 21157

410.386.0560

SITE ADDRESS: **EXCHANGE DRIVE** ELDERSBURG, MD 21784

2560 LORD BALTIMORE DR.

BALTIMORE, MD 21244

410-549-2555

LIBERTY EXCHANGE SEDIMENT & EROSION

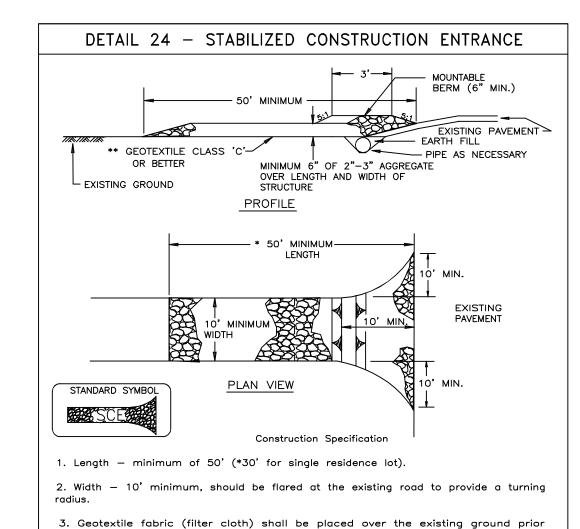
CONTROL NOTES

IST AMENDED SITE PLAN

'ROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPAREI R APPROVED BY ME, AND THAT I AM A DULY LICENSED ROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF 14TH ELECTION DISTRICT CARROLL COUNTY, MD ICENSE NO. 27020 EXPIRATION DATE: JAN. 25, 2026 DATE COLMAR! PAUL G. CAVANAUGH

PROFESSIONAL ENGINEER NO. 27020

DESCRIPTION OF CHANGES | DRN. | RFV | DAT S-23-0019 DES. BY: 14-057617 14-05763 TAX ACC. #: 14-057625 14-057641 DRN. BY: TAX MAP: CHK. BY: BLOCK / GRID: DATE: 6/5/25 461 DDC JOB#: 08039.1 PARCEL #: SHEET NUMBER ZONE / USE: 5 of DWG. SCALE: AS NOTED



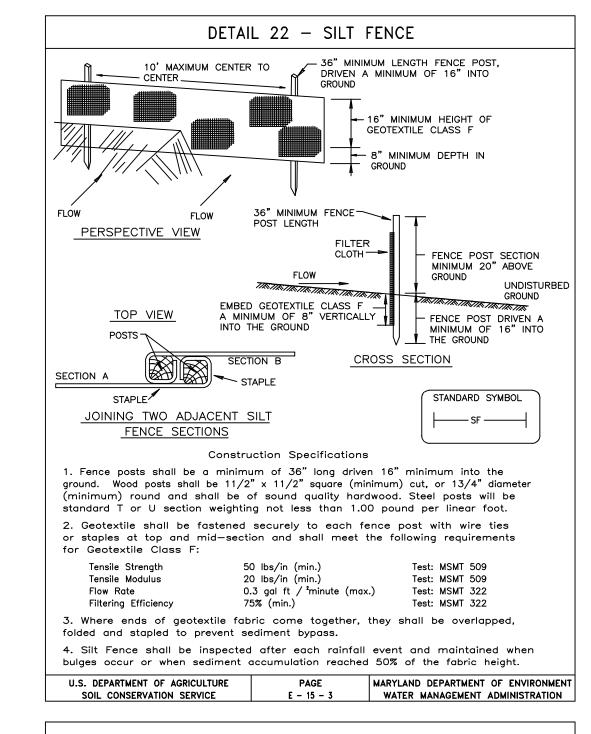
to placing stone. \*\*The plan approval authority may not require single family residences to use geotextile.

4. Stone — crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.

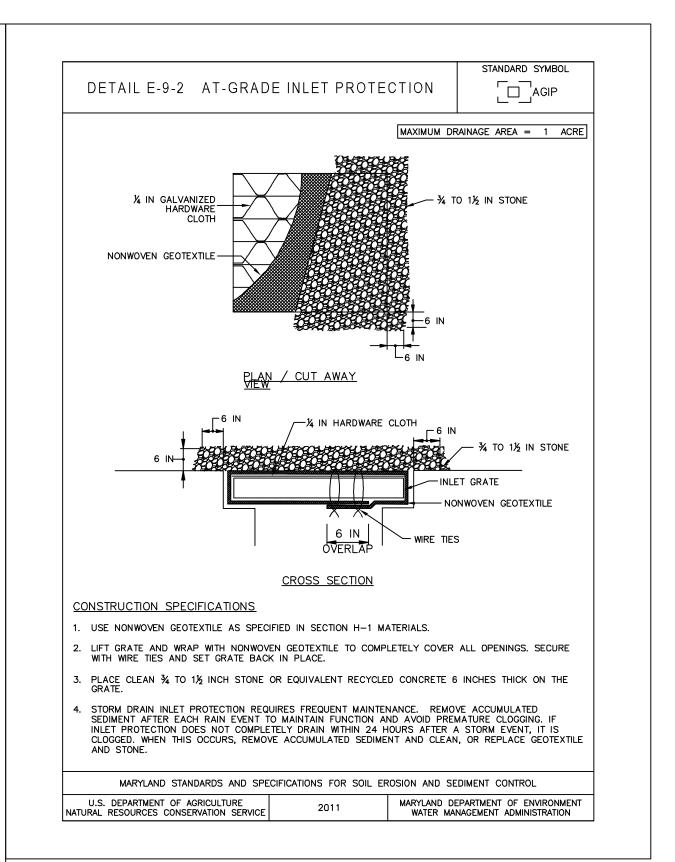
5. Surface Water — all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.

6. Location — A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE	PAGE	MARYLAND DEPARTMENT OF ENVIRONMENT
SOIL CONSERVATION SERVICE	F - 17 - 3	WATER MANAGEMENT ADMINISTRATION



	SILT FENCE	
_	Silt Fence Design (	Criteria
	(Maximum)	(Maximum)
Slope Steepness	Slope Length	Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet
system, soil Class A) r	naximum slope lengtl	soils (USDA general classification h and silt fence length will be be the only perimeter control
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 3A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CARROLL COUNTY SEDIMENT CONTROL GENERAL NOTES

- I. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION IN ASSOCIATION WITH THE NATURAL RESOURCES CONSERVATION SERVICE AND THE STATE SOIL CONSERVATION COMMITTEE (REFERENCED AS THE 94
- STANDARDS AND SPECS.). AREAS THAT HAVE BEEN CLEARED AND/OR GRADED, BUT WILL NOT BE CONSTRUCTED ON OR PERMANENTLY VEGETATED FOR MORE THAN 14 DAYS (7 DAYS FOR STEEP SLOPES) MUST BE STABILIZED WITH MULCH OR TEMPORARY STABILIZATION. ANY AREAS THAT ARE IN TEMPORARY VEGETATION FOR OVER I YEAR WILL NEED TO BE PERMANENTLY
- 3. FOR SPECIFICATIONS ON PERMANENT OR TEMPORARY STABILIZATION, SEE G-20.
- 4. MULCHING CAN ONLY BE USED ON DISTURBED AREAS AS A TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING GERMINATION CANNOT BE COMPLETED BECAUSE OF WEATHER
- CONDITIONS. FOR SPECIFICATIONS SEE G-20, SECTION 1-F, G, & H. 5. FOR SPECIFICATIONS ON THE STABILIZATION OF CUT AND FILL SLOPES GREATER THAN 3 HORIZONTAL TO I VERTICAL, SEE G-20, SECTION I, I
- 6. THE EXISTING TOPSOIL FROM ON OR OFF SITE THAT IS USED MUST
- MEET THE MINIMUM SPECIFICATION IN G-21 7. THE REQUIRED SEQUENCE OF CONSTRUCTION MUST BE FOLLOWED DURING SITE DEVELOPMENT. ANY CHANGES IN THE SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SOIL CONSERVATION
- DISTRICT. 8. ANY REVISIONS TO THE SEDIMENT CONTROL PLAN, NOT COVERED UNDER THE LIST OF PLAN MODIFICATIONS THAT CAN BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR, NEED TO BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR APPROVAL
- 9. NO PROPOSED SLOPE SHALL BE GREATER THAN 2:1.
  10. ALL SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL AND WILL BE REPAIRED, AS NEEDED, SO THAT THE STRUCTURE MEETS THE MINIMUM SPECIFICATIONS AS
- SHOWN IN THE 94 STANDARDS AND SPECS. II. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL THE DISTURBED AREAS ARE
- PERMANENTLY STABILIZED. 12. THE DISTRICT APPROVAL FOR THIS SEDIMENT CONTROL PLAN IS GOOD FOR 2 YEARS. AT THE END OF 2 YEARS, IF CONSTRUCTION OF THE PLAN HAS NOT STARTED, THE PLAN WILL NEED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR REVIEW AND RE-APPROVAL. ANY PLANS THAT ARE CURRENTLY UNDER CONSTRUCTION AFTER 2 YEARS MAY BE REQUIRED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT BY THE SEDIMENT CONTROL INSPECTOR.

DATA SOURCES: EX. TOPOGRAPHIC, BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS WARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, PROVIDED DATE OF COMPLETION WAS JUNE 2, 2008, SUPPLEMENTED BY FEILD RUN TOPO OF LOTS I AND 3 PERFORMED IN AUGUST, 2024.



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410.386.0564 (Fax) DDC @ DDCinc.us www.DDCinc.us

OWNER: LST INC. C/O SJPI 2560 LORD BALTIMORE DR. BALTIMORE, MD 21244

DEVELOPER: ST. JOHN PROPERTIES 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 788-0100

SITE ADDRESS: EXCHANGE DRIVE ELDERSBURG, MD 21784

410-549-2555

LIBERTY EXCHANGE

IST AMENDED SITE PLAN

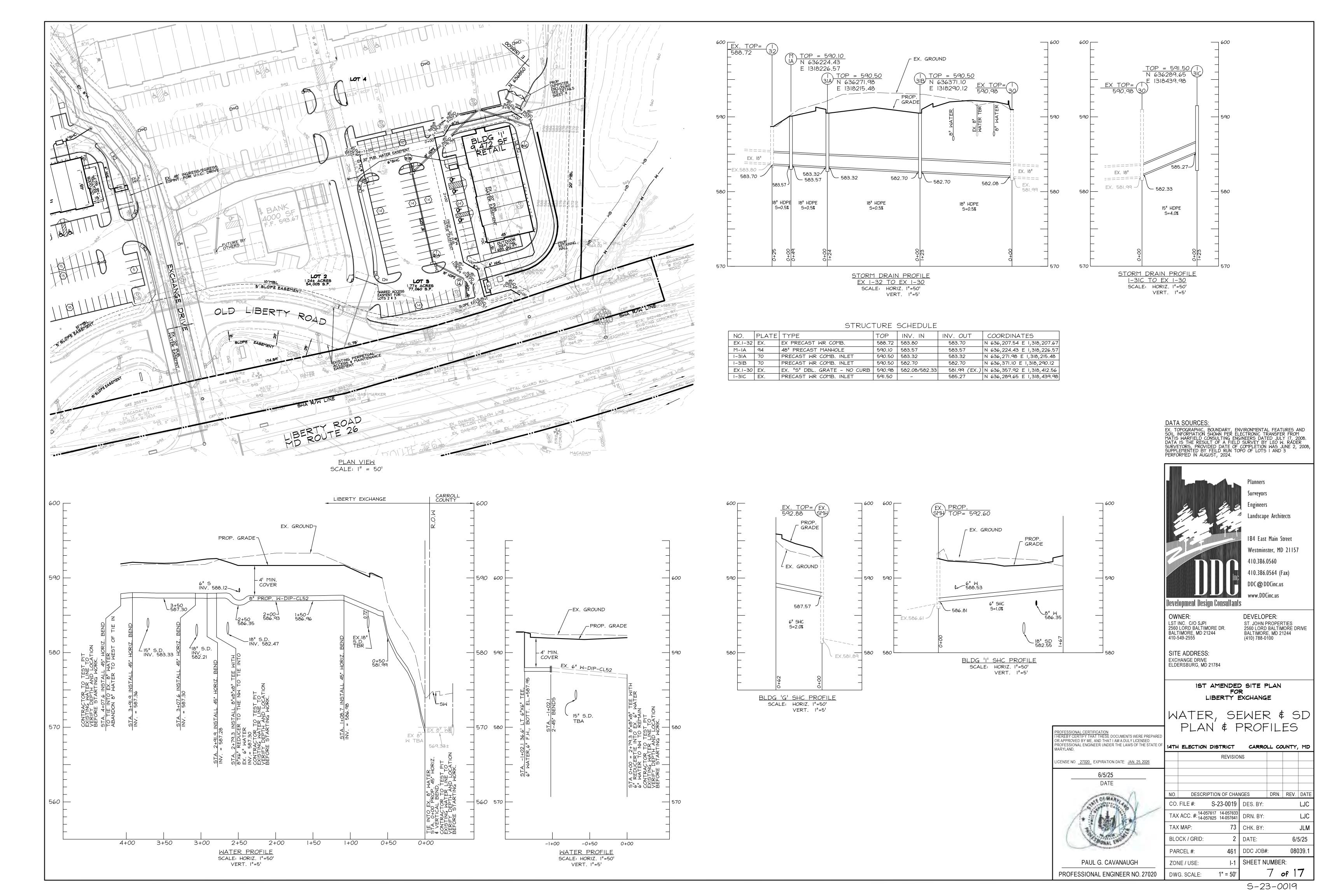
### SEDIMENT & EROSION CONTROL DETAILS PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED

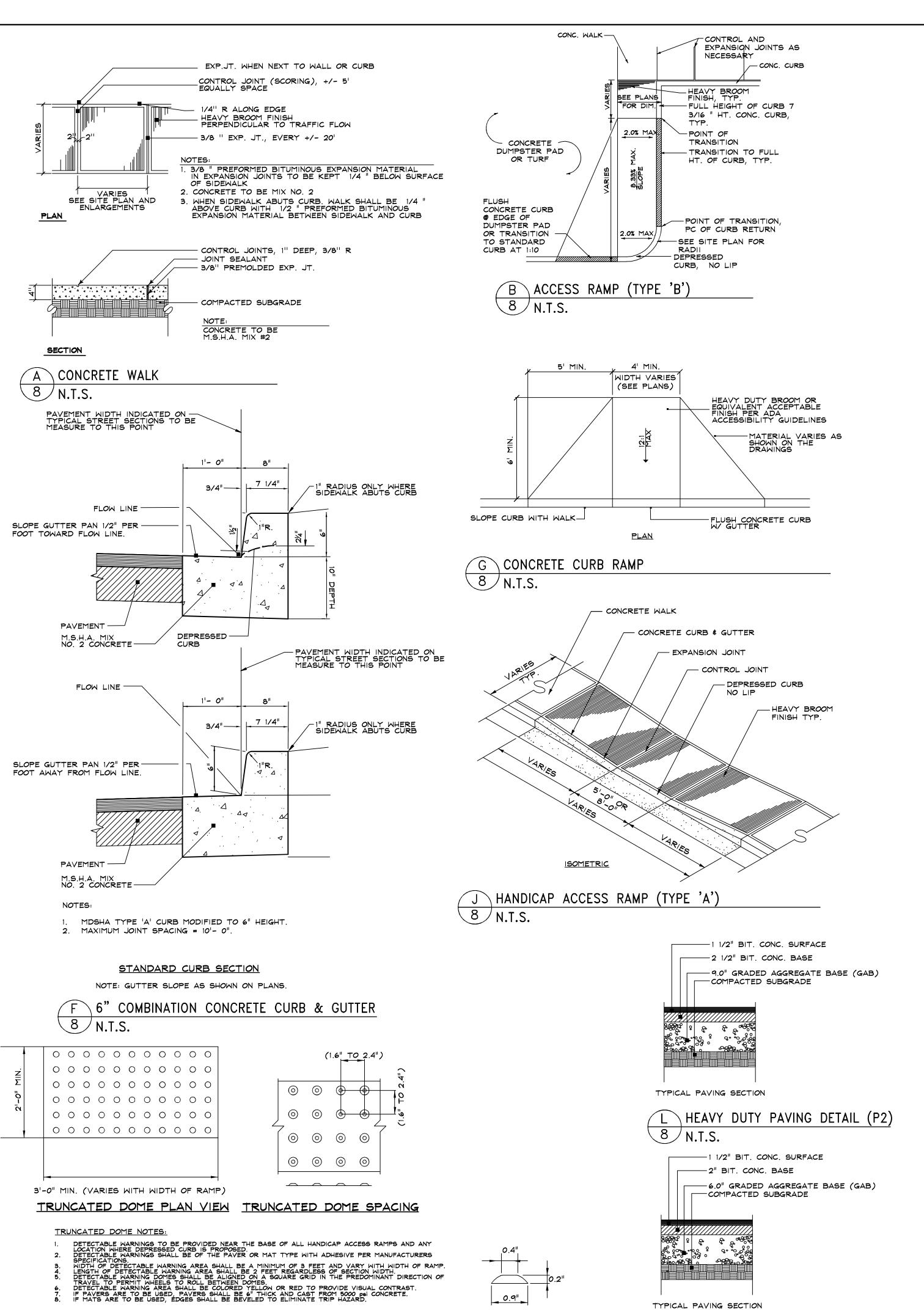
LICENSE NO. 27020 EXPIRATION DATE: JAN. 25, 2026 6/5/25

OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF

DATE
OLMAN STATE OF THE
PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 270

14TH ELECTION DISTRICT CARROLL COUNTY, MD REVISIONS NO. DESCRIPTION OF CHANGES DRN. REV. DATE S-23-0019 DES. BY: LJC TAX ACC. #: 14-057617 14-057633 DRN. BY: LJC 73 | CHK. BY: JLM BLOCK / GRID: 2 DATE: 6/5/25 08039.1 461 | DDC JOB#: PARCEL #: I-1 SHEET NUMBER: ZONE / USE: 6 of 17 DWG. SCALE: AS NOTED





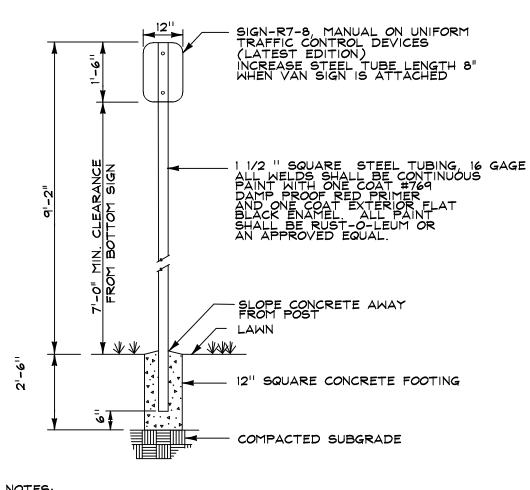
TRUNCATED DOME SECTION

M LIGHT DUTY PAVING DETAIL (P1)

8 N.T.S.

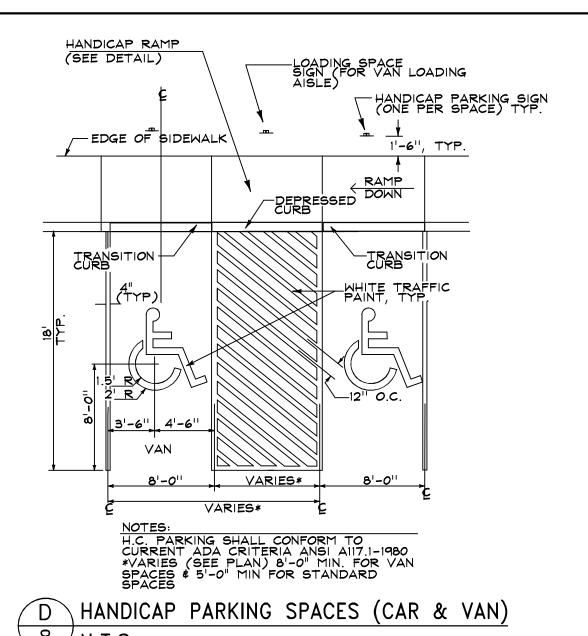
K ADA DETECTABLE WARNING

8/N.T.S.



1. DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'.
2. SEE HANDICAPPED PARKING SPACE DETAIL THIS SHEET FOR LOCATION OF HANDICAPPED SIGN. 3. SIGNS SHALL CONFORM TO CURRENT ADA CRITERIA. SIGN COLORS: LETTERS AND BORDER - GREEN WHITE H.C. SYMBOLS ON BLUE BACKGROUND BACKGROUND - WHITE

\ HANDICAP PARKING SIGN 8 N.T.S.



TWO COATS RUST-O-LEUM FOR FINISH. COLOR -SAFETY YELLOW CONCRETE PAVING @ -LOADING/SERVICE AREA 3/4" THK. X 8 1/2" STEEL-BASE PLATE 6" DOUBLE EXTRA HEAVY STEEL PIPE NO. 5 REBAR 12" O.C. BOTH WAYS 2" MIN. COVER CONCRETE FOOTING -COMPACTED CRUSHED STONE COMPACTED OR UNDISTURBED SUBGRADE -12" E STEEL BOLLARD (OR EQUIVALENT) <8 / N.T.S.

DATA SOURCES: EX. TOPOGRAPHIC, BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS WARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, PROVIDED DATE OF COMPLETION WAS JUNE 2, 2008, SUPPLEMENTED BY FEILD RUN TOPO OF LOTS I AND 3 PERFORMED IN AUGUST, 2024.



84 East Main Street Westminster, MD 21157 410.386.0560

410.386.0564 (Fax) DDC @ DDCinc.us www.DDCinc.us

LST INC. C/O SJPI 2560 LORD BALTIMORE DR. BALTIMORE, MD 21244

410-549-2555

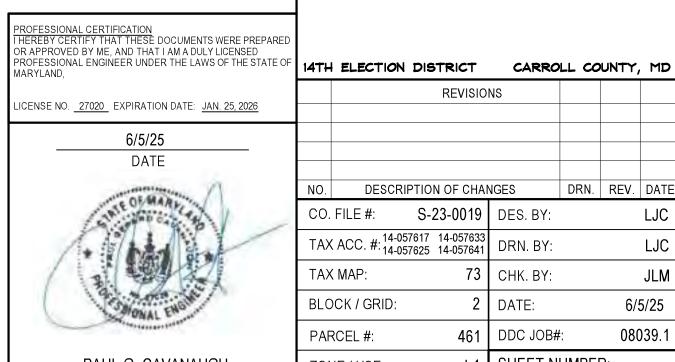
**DEVELOPER:** ST. JOHN PROPERTIES 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 788-0100

SITE ADDRESS: EXCHANGE DRIVE ELDERSBURG, MD 21784

> IST AMENDED SITE PLAN LIBERTY EXCHANGE

> > REVISIONS

SITE DETAILS



PAUL G. CAVANAUGH

DESCRIPTION OF CHANGES S-23-0019 DES. BY: CO. FILE #: TAX ACC. #: 14-057617 14-057633 DRN. BY: TAX MAP: 73 | CHK. BY: BLOCK / GRID 2 DATE: 461 | DDC JOB#: PARCEL #: I-1 SHEET NUMBER: ZONE / USE: DWG. SCALE: AS NOTED PROFESSIONAL ENGINEER NO. 27020

8 of 17 5-23-0019

DRN. REV. DATE

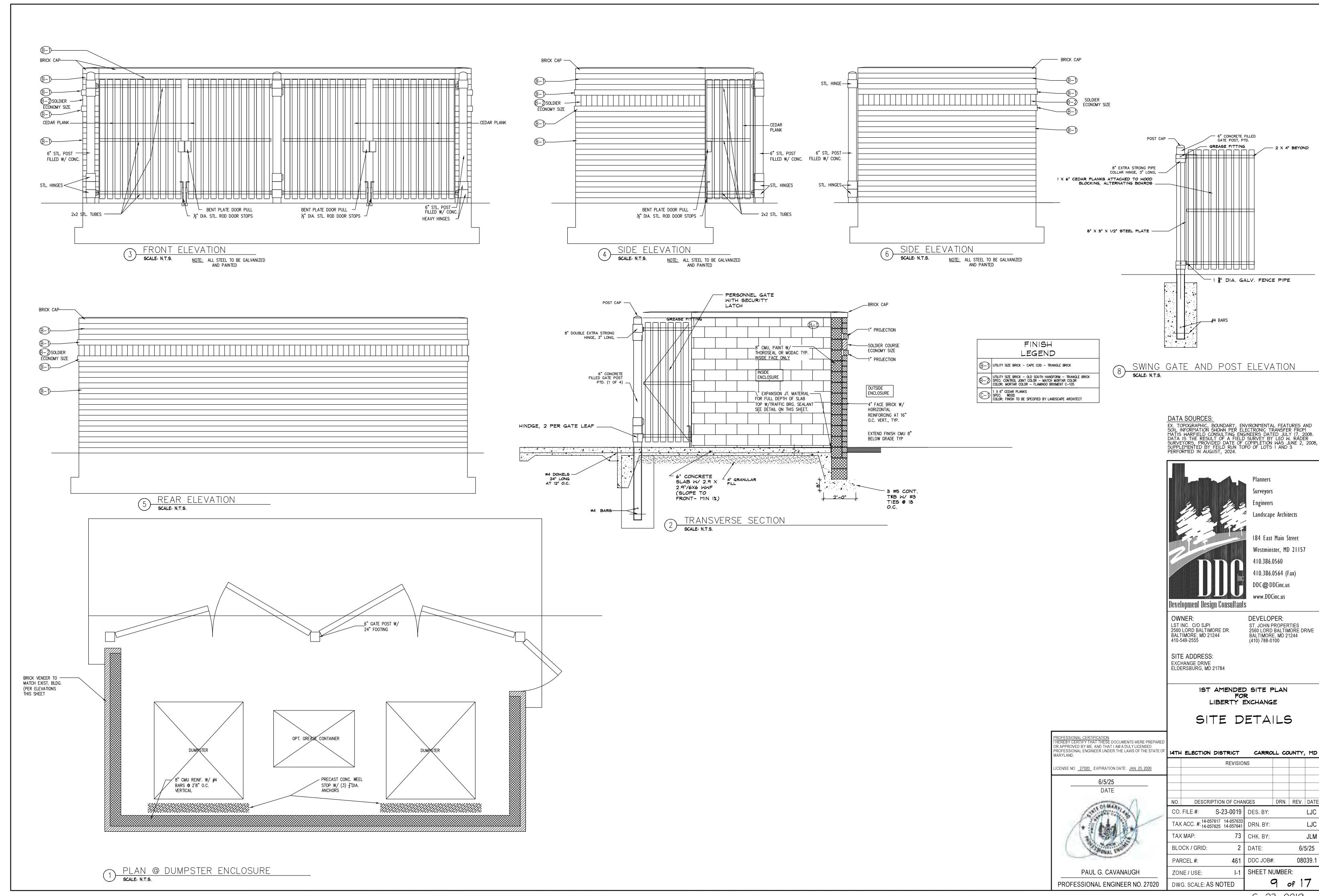
6/5/25

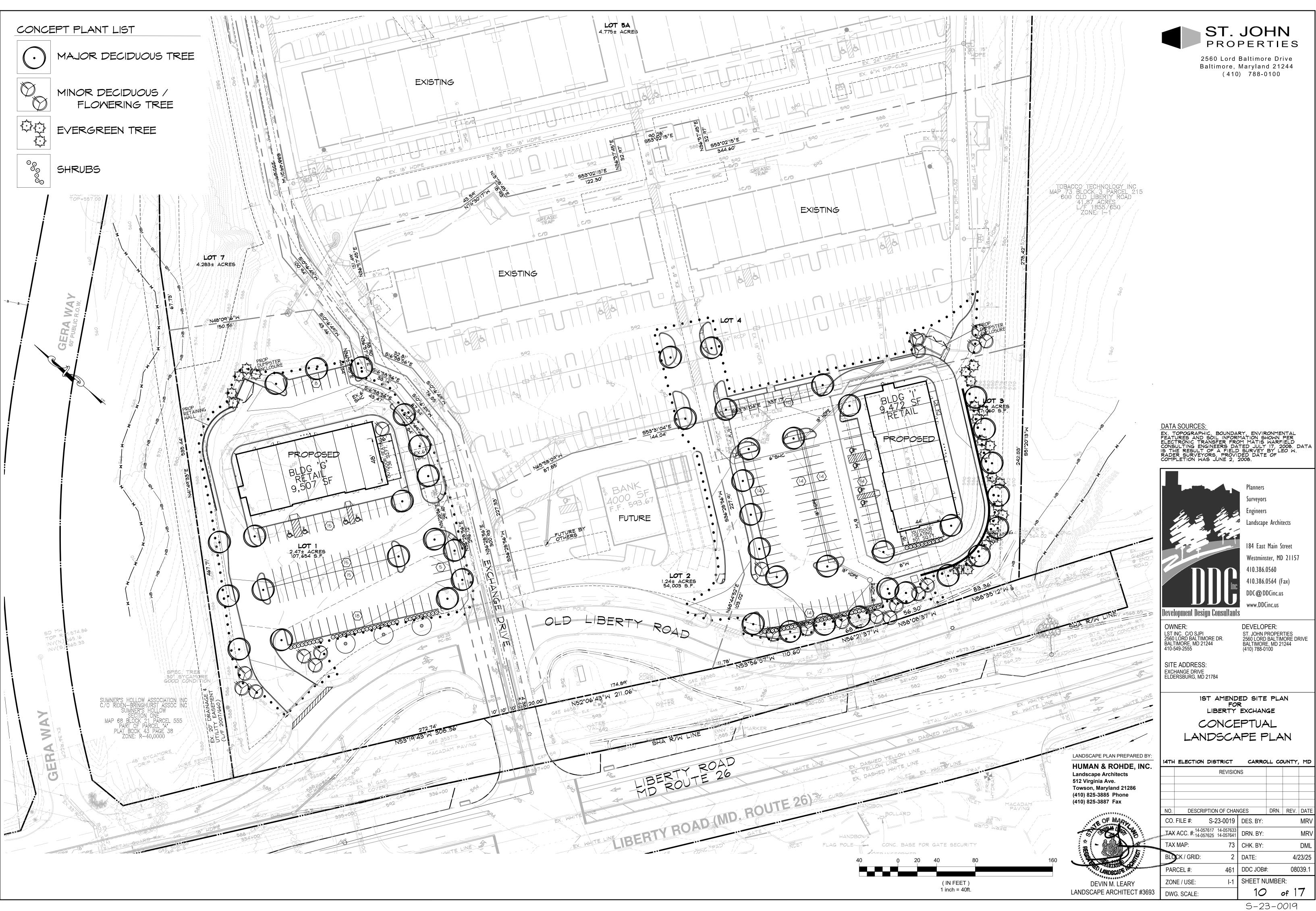
08039.1

RESERVED **PARKING** 

RESERVED PARKING SIGN N HANDICAPPED 8/N.T.S.

NO PARKING SIGN @ O VAN ACCESS AISLE 8 N.T.S.





#### II. NON-RESIDENTIAL (COMMERCIAL, INDUSTRIAL, INSTITUTIONAL AND GOVERNMENTAL)

· ADJACENT TO PUBLIC R/W WITH PARKING LOT IN BETWEEN, NO SCREENING · ADJACENT TO RESIDENTIAL, 10' WIDE CLASS A SCREENING REQUIRED · 65 LF BUILDING ADJ. RESIDENTIAL, CREDIT 65 LF EX. WOODS, O PU'S REQUIRED

#### B. PARKING LOTS:

· CLASS B SCREENING REQUIRED ADJACENT TO PUBLIC R/W · 192 LF OF PARKING ADJ. TO PUBLIC R/W (192 LF/15) = 13 PU'S REQUIRED · 10' WIDE CLASS A SCREENING REQUIRED ADJACENT TO RESIDENTIAL · 126 LF PARKING ADJ. TO RES., CREDIT 126 LF EX. WOODS, O PU'S REQUIRED RESERVE 10% OF THE PARKING LOT FOR INTERIOR LANDSCAPING:

20,732 SF PARKING AREA @10% = 2,073 SF REQUIRED 2,108 SF PROVIDED · PLANT AT 1 PU/12 PARKING SPACES (76 SPACES/12) = 7 PU'S REQUIRED

· PROVIDE 6 FEET OF LANDSCAPE SPACE ADJACENT TO COMMERCIAL USE, PLANT AT 1 PU/25 LF OF PAVING PERIMETER · 110 LF PAVING PERIMETER (110 LF/25) = 5 PU'S REQUIRED · CLASS A SCREENING REQUIRED ADJACENT TO RESIDENTIAL

· 118 LF SERVICE LANE ADJ. TO RES., CREDIT 118 LF EX. WOODS, O PU'S REQUIRED

D. SERVICE LANES:

#### A. DUMPSTERS: · CLASS A SCREEN IS REQUIRED

· 42 LF DUMPSTER PERIMETER, CREDIT 22 LF EX. WOODS, (20 LF/20) = 1 PU'S REQUIRED · PROVIDE 5-FOOT WIDE LANDSCAPE AREA AT THE BASE OF THE RETAINING WALL, PLANT AT 1 PU/25 LF AT THE BASE OF THE WALL. · 125 LF RETAINING WALL, CREDIT 125 LF EX. WOODS, O PU'S REQUIRED

#### TOTAL PLANTING UNITS (PU'S) REQUIRED: 26 PU'S

PLANTING PROVIDED:

18 MAJOR DECIDUOUS TREES = 18.0 PU'S 7 MINOR DECIDUOUS TREES = 3.5 PU'S 5 EVERGREEN TREES = 2.5 PU'S = 7.2 PU'S 36 SHRUBS

TOTAL PLANTING UNITS (PU'S) PROVIDED: 31.2 PU'S

#### LOT 3

II. NON-RESIDENTIAL (COMMERCIAL, INDUSTRIAL, INSTITUTIONAL AND GOVERNMENTAL)

· CLASS B SCREENING REQUIRED ADJACENT TO PUBLIC R/W · 65 LF BUILDING ADJ. PUBLIC R/W (65 LF/15) = 5 PU'S REQUIRED

#### B. PARKING LOTS: 1. PERIMETER SCREENING

· CLASS B SCREENING REQUIRED ADJACENT TO PUBLIC R/W 150 LF OF PARKING ADJ. TO PUBLIC R/W (150 LF/15) = 10 PU'S REQUIRED 2. INTERIOR LANDSCAPING RESERVE 10% OF THE PARKING LOT FOR INTERIOR LANDSCAPING:

27,554 SF PARKING AREA @10% = 2,756 SF REQUIRED 2,784 SF PROVIDED

· PLANT AT 1 PU/12 PARKING SPACES (80 SPACES/12) = 7 PU'S REQUIRED

CLASS B SCREENING REQUIRED ADJACENT TO PUBLIC R/W · 75 LF SERVICE LANE ADJ. PUBLIC R/W (75 LF/15) = 6 PU'S REQUIRED PROVIDE 6 FEET OF LANDSCAPE SPACE ADJACENT TO COMMERCIAL USE, PLANT AT 1 PU/25 LF OF PAVING PERIMETER

A. DUMPSTERS: · CLASS A SCREEN IS REQUIRED

· 42 LF DUMPSTER PERIMETER (42 LF/20) = 3 PU'S REQUIRED

· 280 LF PAVING PERIMETER (280 LF/25) = 12 PU'S REQUIRED

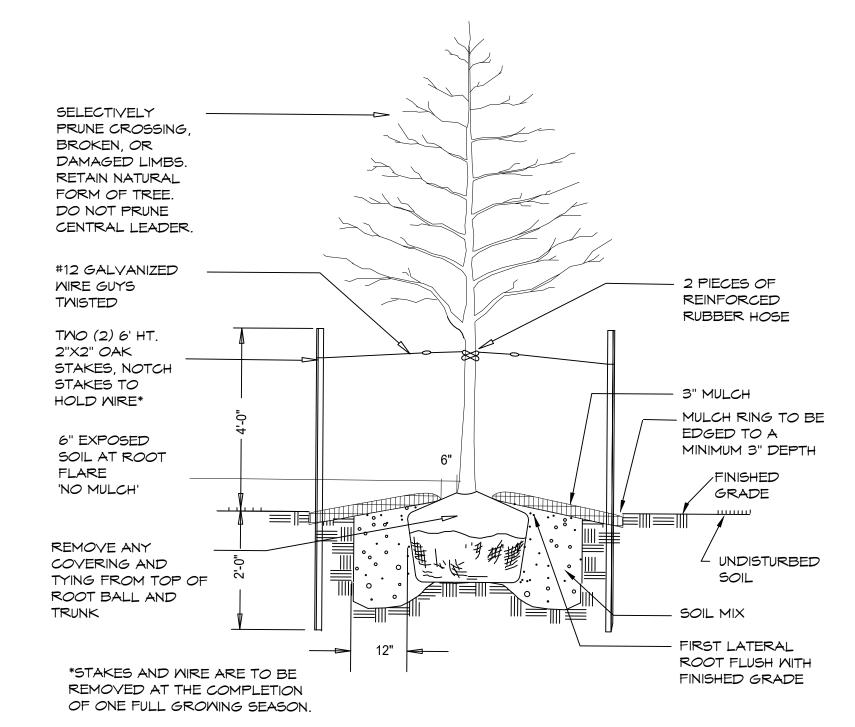
B. RETAINING WALLS: · PROVIDE 10-FOOT WIDE LANDSCAPE AREA AT THE BASE OF THE RETAINING WALL, PLANT AT 1 PU/25 LF AT THE BASE OF THE WALL. · 230 LF RETAINING WALL (230 LF/25) = 10 PU'S REQUIRED

#### TOTAL PLANTING UNITS (PU'S) REQUIRED: 53 PU'S

PLANTING PROVIDED:

28 MAJOR DECIDUOUS TREES = 28.0 PU'S 14 MINOR DECIDUOUS TREES = 7.0 PU'S = 9.5 PU'S 19 EVERGREEN TREES = 8.6 PU'S

TOTAL PLANTING UNITS (PU'S) PROVIDED: 53.1 PU'S



## PLANTING DETAIL FOR DECIDUOUS AND EVERGREEN TREES\* - 1 - 4" CALIPER

SCALE: NONE

### BRANCHING, RETAINING NATURAL FORM. FINISHED GRADE UNDISTURBED SOIL SOIL MIX FIRST LATERAL ROOT FLUSH WITH FINISHED GRADE REMOVE COVERING FROM TOP 1/3 OF ROOTBALL

## PLANTING DETAIL FOR EVERGREEN AND DECIDUOUS SHRUBS

SCALE: NONE

THIN DECIDUOUS

1/3 OF INITIAL

1. CONTRACTOR IS TO NOTIFY MISS UTILITY A MNIMUM OF 72 HOURS PRIOR TO

2 THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.

3. THIS PLAN IS FOR PLANTING ONLY.

4. NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED. 5. SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE

EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING. 6. ANY EXISTING SOIL CONDITIONS THAT MAY POSE A THREAT TO THE LIFE AND HEALTH OF THE PLANT MATERIAL MUST BE BROUGHT

TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BY THE

7. THREE INCHES OF TOPSOIL IS REQUIRED ON ALL DISTURBED AREAS TO BE LANDSCAPED,

LANDSCAPE CONTRACTOR PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL.

### SPECIFICATIONS FOR PLANTING

PLANT IDENTIFICATION:

All plants shall be identified in accordance with the latest edition of Hortus Third, by "The Staff of the Hortorium"

LIST OF PLANT MATERIALS: The contractor will verify plant quantities prior to bidding and any discrepencies shall be brought to the attention of the Landscape Architect. The Contractor shall furnish and plant all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of the Landscape Architect. This contract will be based on the bidder having verified, prior to bidding, the availability of the required plant materials as specified on the Plant List.

#### PLANT QUANTITY:

All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been sheared regularly, and sound, free of plant disease or insect eggs, and shall have a healthy, normal root system. Plants shall be nursery grown. Plants shall not be pruned prior to delivery. The shape of the plant shall in general conform to its natural growth proportions unless otherwise specified. All plants including container grown shall conform to American Standard for Nursery Stock (ANSI z60.1, latest edition), and shall have a well-shaped, heavy branch structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped. All plant sizes shall average at least the middle of the range given in the plant list.

#### PLANT SPACING: Plant spacing is to scale on the plan or as shown on the plant list.

Soil mix will be 2/3 existing soil and 1/3 LEAFGRO or equal organic

material, thoroughly mixed and homogenized.

#### BALL SIZE:

The ball size shall conform to the American Association of Nurserymen's publication entitled American Standard For Nursery Stock, ANSI z60.1, latest edition.

Holes for all plants shall be 18" larger in diameter than size of ball or container and shall have vertical sides. Hedges shall be planted in a trench 12" wider than ball diameter. Beds for mass planting shall be entirely rototilled to a depth of 8" and shall be 18" beyond the average outside edge of plant balls. A 2" layer of organic material (i.e., LEAFGRO) will be incorporated into plant beds by tilling again.

Backfilling shall be done with soil mix, reasonably free of stones, subsoil, clay, lumps, stumps, roots, weeds, bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth or hinder grading, planting, or maintence operations. Should any unforeseen or unsuitable planting conditions arise, such as faulty soil drainage or chemical residues, they should be called to the attention of the Landsape Architect and Owner for adjustments before planting. The plant shall be set plumb and straight and shall be staked at the time of planting. Backfill shall be well worked about the roots and settled by watering. Plants will be planted higher than surrounding grade. Shrubs will be 1" higher and trees will be 3" higher. Remove rope from around tree trunks and lay back burlap from top of all B&B material. Nylon or vinyl rope and/or burlap will be completely removed from all plant material prior to

#### TRANSPLANTING TREES BY TREE MACHINES:

Trees shall be moved by machines that provide a minimum of 9" per 1" of tree caliper. Holes are to be dug by the same size machine as the one transporting the plant. The plant material shall be transplanted in approximately the same growing condition as it is pleasently growing, in terms of soil type and moisture content. Fertilize and guy as described in these plans and specifications.

### CULTIVATION:

All trenches and shrub beds shall be cultivated, edged and mulched to a depth of 3" with shredded bark. The area around isolated plants shall be mulched to at least 6" greater diameter than that of the hole. Plant beds adjacent to buildings shall be mulched to the building wall.

The Contractor shall be responsible during the contract and up to the time of acceptance for keeping the planting and work incidental thereto in good condition, by replanting, plant replacement, watering, weeding, cultivating, pruning and spraying, restaking and cleaning up and by performing all other necessary operations of care for promotion of good plant growth so that all work is in satisfactory condition at time of acceptance, at no additional cost to the Owner.

The Contractor shall apply granular fertilizer to the soil mix with 10-6-4 analysis, 50% organic, at the following rates: Trees @ 2-3 lbs. per caliper inch; Shrub Beds @ 3-5 lbs per 100 sq.ft.; and Groundcover Beds @ 2-3 lbs. per 100 sq.ft.

#### GROUNDCOVER: All areas of groundcover shall be rototilled to a depth of 6". Apply 2" of organic material and rototill until thoroughly mixed. Apply fertilizer as

injury or vandilism.

stated above.

GUARANTEE AND REPLACEMENT: All material shall be unconditionally guaranteed for one (1) year. The Contractor is responsible for watering but not for losses or damage caused by mechanical

1) Intitial Inspection. This inspection shall be performed when planting is completed to verify compliance with the approved planting plan. The inspection shall be performed by a landscape architect. A completed and sealed Landscape Certificate shall be provided to Carroll County with photographs or other visual documentation. The 12 month survival period will begin upon receipt of the Landscape Certification.

2) Final Inspection: This inspection shall be performed by the Carroll County 12 months after certification of the initial planting.

# DATA SOURCES: EX. TOPOGRAPHIC, BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS WARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W.

ST. JOHN

2560 Lord Baltimore Drive

Baltimore, Maryland 21244

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Westminster, MD 21157

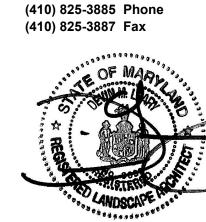
410.386.0560 410.386.0564 (Fax)

DEVELOPER: LST INC. C/O SJPI 2560 LORD BALTIMORE DR. ST. JOHN PROPERTIES 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 BALTIMORE, MD 21244 (410) 788-0100

SITE ADDRESS: EXCHANGE DRIVE ELDERSBURG, MD 21784

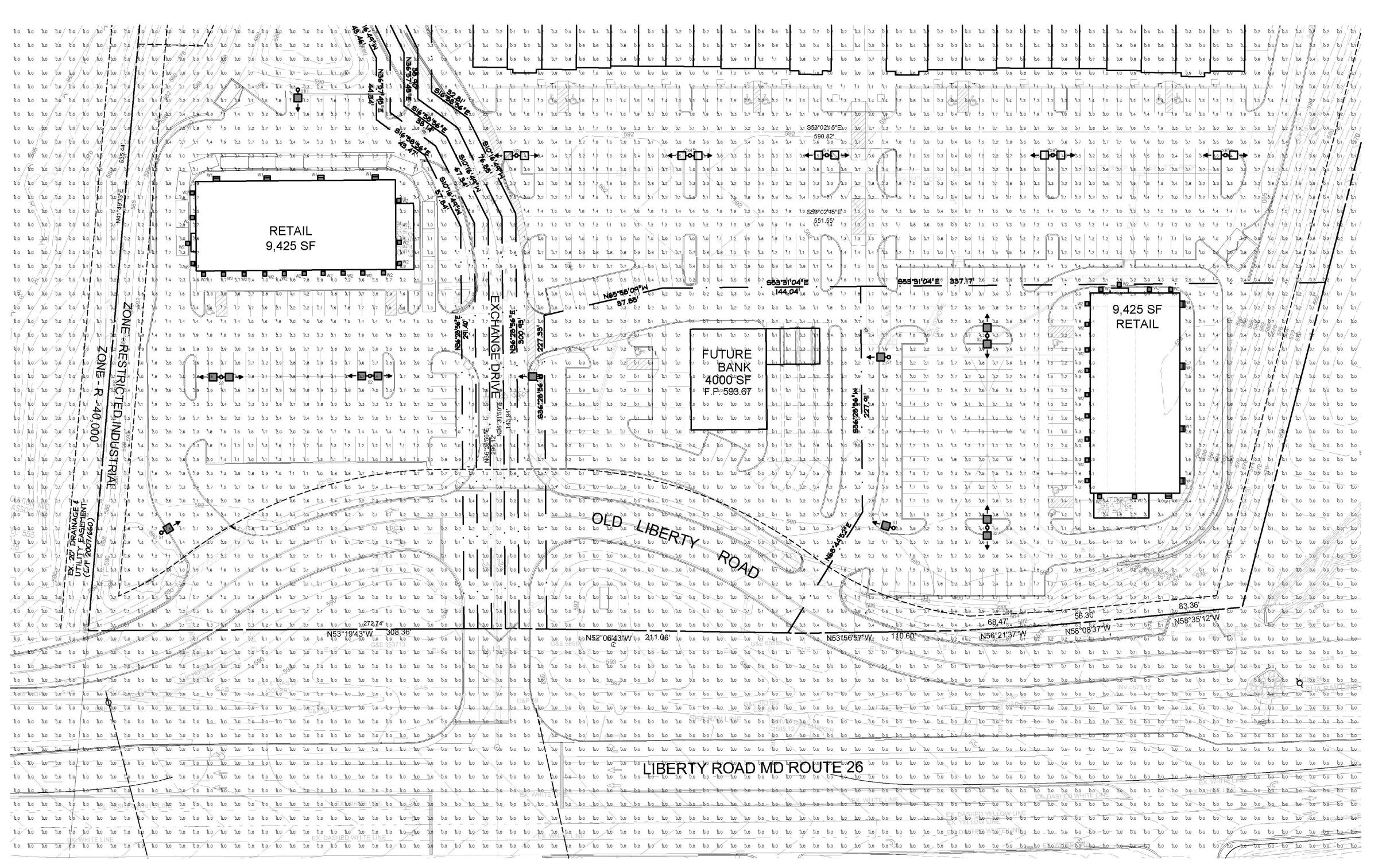
> IST AMENDED SITE PLAN LIBERTY EXCHANGE CONCEPTUAL LANDSCAPE PLAN

LANDSCAPE PLAN PREPARED BY: **HUMAN & ROHDE, INC.** Landscape Architects 512 Virginia Ave. Towson, Maryland 21286



DEVIN M. LEARY LANDSCAPE ARCHITECT #3693 14TH ELECTION DISTRICT CARROLL COUNTY, MD REVISIONS DRN. REV. DATE DESCRIPTION OF CHANGES CO. FILE #: S-23-0019 DES. BY: TAX ACC. #: 14-057617 14-057633 DRN. BY: TAX MAP: 73 | CHK. BY: LOCK / GRID: 2 | DATE: 4/23/25 08039.1 PARCEL #: 461 | DDC JOB#: I-1 SHEET NUMBER: ZONE / USE: of 17 DWG. SCALE:

5-23-0019



# SITE PHOTOMETRIC PLAN

SCALE: 1"=40'-0"

				LUMINAIRE SCH	HEDUL	E.			
Symbol	Label	Qty	Arrangement	Mounting Height	Lumens	Watts	LLF	BUG RATING	Description
	W1	9	SINGLE TYPE FT DISTRIBUTION	WALL MOUNTED 16'-6" ABOVE FINISHED FLOOR.	4458 (4000K)	30	0.95	B1-U0-G1	LSI LIGHTING# XWM-FT-LED-04L-40
	W2	32	SINGLE TYPE FT DISTRIBUTION	WALL MOUNTED 11'-0".	1918 (4000K)	15.9	0.95	B1-U0-G0	RAB LIGHTING# SLIM 12N
<b>←□</b> •	S1	4	SINGLE TYPE III DISTRIBUTION	30' POLE MOUNTED FLUSH BASE (30" RAISED POLE BASE IN PARKING AREA STRIPPING WITH 27'-6" POLE)	19310 (4000K)	135	0.95	B3-U0-G3	LSI LIGHTING# MRM-LED-18L-SIL-3-40- 70CRI-
<b>+</b> ••	S1H	1	SINGLE TYPE III DISTRIBUTION	30' POLE MOUNTED FLUSH BASE (30" RAISED POLE BASE IN PARKING AREA STRIPPING WITH 27'-6" POLE)	19310 (4000K)	135	0.95	B0-U0-G3	LSI LIGHTING# MRM-LED-18L-SIL-3-40- 70CRI-IL
+□•□→	S2	9	BACK TO BACK TYPE III DISTRIBUTION	30' POLE MOUNTED FLUSH BASE (30" RAISED POLE BASE IN PARKING AREA STRIPPING WITH 27'-6" POLE)	19462 (4000K)	135	0.95	B3-U0-G3	LSI LIGHTING# MRM-LED-18L-SIL-3-40- 70CRI-
<b>←□</b>	XR	4	BACK TO BACK	30' POLE MOUNTED FLUSH BASE	19000 (4000K)	135	0.95	XR	EXISTING TO REMAIN. SHOWN FOR REFERENCE.

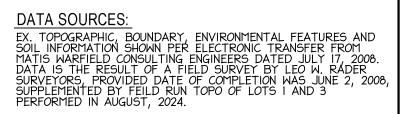
N	NOTE:
1	1. ALL NEW, CANOPY, WALL AND POLE MOUNTED FIXTURES ARE FULL CUT OFF AND EMIT NO LIGHT ABOVE 90 DEGREES. (ALL LIGHT OUTPUT IS DIRECTED DOWN).
2	2. ALL FIXTURES ARE MOUNTED 90 DEGREES TO POLE OR WALL.

	C	ALCULAT	TION S	UMMA	<b>NRY</b>		
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Site	Illuminance	Fc	0.60	7.8	0.0	N/A	N/A
Retail 1 Parking	Illuminance	Fc	2.41	7.8	0.4	6.00	19.50
Retail 1 Parking	Illuminance	Fc	2.40	7.6	0.4	6.00	19.00

Watts Design Company, Inc.

MEP Consultants 4900 Pleasant Grove Rd Reisterstown, MD 21136 Tel 410-357-5934







Surveyors
Engineers
Landscape Arch

Westminster, MD 21157
410.386.0560
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www.DDCinc.us

Development Design Consultants

OWNER:
LST INC. C/O SJPI
2560 LORD BALTIMORE DR.
BALTIMORE, MD 21244

DEVELOPER: ST. JOHN PROPERTIES 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 788-0100

SITE ADDRESS: EXCHANGE DRIVE ELDERSBURG, MD 21784

> IST AMENDED SITE PLAN FOR LIBERTY EXCHANGE

PHOTOMETRIC PLAN

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS

).	DESCRIPTIO	N OF CHAI	NGES	DRN.	REV.	DATE
0.	FILE #: S-	23-0019	DES. BY:			LJC
ĄX	ACC. #: 14-057617 14-057625	14-057633 14-057641	DRN. BY:			LJC
4>	(MAP:	73	CHK. BY:			JLM
_C	OCK / GRID:	2	DATE:		6/	5/25
ΑF	RCEL #:	461	DDC JOB#	:	080	)39.1
10	NE / USE:	I-1	SHEET N	UMBEI	₹:	
WG. SCALE: AS NOTED		1	2	of 1	フ	









### **QUICK LINKS**

available.

(347-480 Vac).

### Ordering Guide

High-performance programmable driver

features over-voltage, under-voltage, short-

circuit and over temperature protection.

Custom lumen and wattage packages

0-10V dimming (10% - 100%) standard.

• L80 Calculated Life: >100k Hours (See

Lumen Maintenance chart)

package rate to +35°C.

Power factor: >.90

Total harmonic distortion: <20%</li>

Standard Universal Voltage (120-277 Vac)

Input 50/60 Hz or optional High Voltage

Operating temperature: -40°C to +50°C

(-40°F to +122°F). 42L and 48L lumen

packages rated to +40°C. 55L lumen

Input power stays constant over life.

Field replaceable 10kV surge protection

operation (per ANSI/IEEE C62.41.2).

device meets a minimum Category C Low

High-efficacy LEDs mounted to metal-core

circuit board to maximize heat dissipation

· Components are fully encased in potting

material for moisture resistance. Driver

complies with FCC standards. Driver and

#### Construction

#### Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.

**FEATURES & SPECIFICATIONS** 

- Designed to mount to square or round Fixtures are finished with LSI's DuraGrip\* polyester powder coat finishing process.
- The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- · Shipping weight: 37 lbs in carton.
- Optical System State-of-the-Art one piece silicone optic sheet delivers industry leading optical

IP66 rated sealed optical chamber in 1

control with an integrated gasket to provide

- component. Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES
- Types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC. · Silicone optical material does not yellow or crack with age and provides a typical light
- Zero uplight. Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber

transmittance of 93-95%.

with Peak intensity at 610nm. Minimum CRI of 70. Integral louver (IL) and integral half louver (IH) options available for enhanced

backlight control.

#### key electronic components can easily be accessed.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (518) 372-3200 • www.lsicorp.com

ISI industries inc. All Rights Reserved. Specifications and dimensions subject to industry standard tolerances. Specifications subject to change without inhine.

- Optional integral passive infrared Bluetooth™ motion. Fixtures operate independently and can be commissioned
  - via iOS or Android configuration app LSI's AirLink™ wireless control system

options reduce energy and maintenance

#### costs while optimizing light quality 24/7. (see controls section for more details).

- Designed to mount to square or round
- · A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical
- Included terminal block accepts up to 12 ga.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. Warranty

### LSI LED Fixtures carry a 5-year warranty.

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements. Dark Sky compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information. RoHS compliant
- · Suitable for wet Locations. IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified. · DesignLights Consortium® (DLC) qualified
- product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights org/QPL to confirm which versions are
- qualified. · Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IKO8 rated luminiare per IEC 66262 mechanical impact code

Page 1/11 Rev. 10/23/24

SPEC 1020.B.0422

W1

0-10V dimming (10% - 100%) standard.

L80 Calculated Life: >100k Hours

+50°C (-40°F to +122°F)

Total harmonic distortion (THD): <20%</li>

(347-480 Vac).

(-40°F to +113°F).

(-40°F to +104°F).

(-40°F to + 95°F).

Power factor (PF): >.90

ANSI/IEEE C62,41,2).

accessed via hinged door.

Input power stays constant over life.

Standard Universal Voltage (120-277 Vac)

Input 50/60 Hz or optional High Voltage

3L to 12L operating temperature: -40°C to

15L operating temperature: -40°C to +45°C

18L operating temperature: -40°C to +40°C

21L operating temperature: -40°C to +35°C

circuit board to maximize heat dissipation

Components are fully encased in potting

complies with FCC standards. Driver and

key electronic components can easily be

The fixture delivers 1500 lumens during

material for moisture resistance. Driver

# Mirada Medium Wall Sconce (XWM)

Outdoor Wall Sconce







QUICK LINKS			
Ordering Guide	Performance	Photometrics	Dimensions

#### FEATURES & SPECIFICATIONS

#### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Hinged die-cast aluminum wiring access door located underneath.
- Galvanized-steel universal wall mount bracket comes standard with hinging mechanism to easily access the junction box wire connections without removing the luminaire. Optional pole-mounting bracket (XPMA)
- permits mounting to standard poles. Fixtures are finished with LSI's DuraGrip\* polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other
- standard LSI finishes available. Consult Max shipping weight: 30lbs in carton

### Optical System

- · State-of-the-Art one piece silicone optic provides industry leading optical control while also acting as an integrated gasket reducing system complexity and improving fixture reliability.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in Types 2, 3, 4, and FT distributions. · Silicone optical material does not yellow or
- crack with age and provides a typical light transmittance of 93-95%. Zero uplight. Available in 5000K, 4000K and 3000K
- color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm. Minimum CRI of 70.

Electrical

#### Integral passive infrared Bluetooth™ motion sensor options. Fixtures operate Independently and can be commissioned via an iOS or Android configuration app. High-performance programmable driver Updates and modifications to the control features over-voltage, under-voltage, shortstrategy are easily implemented via an circuit and over temperature protection. Custom lumen and wattage packages intuitive app.

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emergency mode.

 LSI's AirLink™ Blue lighting control system is a simple feature rich wireless Bluetooth mesh network. The integrated fixture sensor module provides wireless control of grouped

#### a fully customizable schedule. Universal wall mounting plate easily mounts

directly to 4" octagonal or square junction 2 fasteners secure the hinged door underneath the housing and provide quick & easy access to the electrical compartment for

fixtures based on motion sensors, daylight or

- installing/servicing. Optional terminal block accepts up to 12 ga
- Optional 10kV surge protection device meets Warranty a minimum Category C Low operation (per LSI luminaires carry a 5-year limited warranty. Refer to https://www.lsicorp.com/resources/ High-efficacy LEDs mounted to metal-core terms-conditions-warranty/ for more
  - · 1 Year warranty on Battery Back-up option.
  - Listed to UL 1598 and UL 8750. Meets Buy American Act requirements. IDA compliant; with 3000K or lower color
- Optional integral emergency battery pack temperature selection. provides 90-minutes of constant power to Title 24 Compliant; see local ordinance for
- the LED system, ensuring code compliance. qualification information. A test switch/indicator button is installed on the housing for ease of maintenance.
  - Suitable for wet Locations. • IP65 rated luminaire per IEC 60598.
  - 3G rated for ANSI C136.31 high vibration
  - applications when pole mounted (using optional XPMA bracket) or wall mounted.
  - IKO8 rated luminiare per IEC 66262 mechanical impact code DesignLights Consortium\* (DLC) Premium qualified product. Not all versions of this

#### product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Page 1/7 Rev. 09/12/23

SPEC.1024.C.0823

# SLIM12N USA

(DLC) as an ultra-efficient premium product that

qualifies for the highest tier of rebates from DLC

Member Utilities. Designed to meet DLC 5.1

3-step MacAdam Ellipse binning to achieve

consistent fixture-to-fixture color

DLC Product Code: PGJBD3AQ

**LED Characteristics** 

Multi-chip, long-life LED

Color Consistency:



12, 18 and 26 Watt SLIM wall packs are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight Color: Bronze Weight: 4.1 lbs

Driver Ir	nfo	LED Info	
Туре	Constant Current	Watts	12W
120V	0.12A	Color Temp	4000K (Neutral)
208V	0.08A	Color Accurac	10.000
240V	0.07A	L70 Lifespan	100,000 Hours
277V	0.06A	Lumens	1,918 lm
Input Wa	atts 15.9W	Efficacy	120.6 lm/W

RAB

<b>Technical Specifications</b>		
Compliance	Color Stability:	Lens:
UL Listed: Suitable for wet locations, Suitable for mounting	LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period	Tempered glass lens
within 4ft (1.2m) of the ground.		Reflector:
The state of the grounds	Color Uniformity:	Specular thermoplastic
IP Rating:	RAB's range of Correlated Color Temperature follows	
Ingress protection rating of IP66 for dust and water	the guidelines for the American National Standard	Gaskets:
, , , , , , , , , , , , , , , , , , , ,	for Specifications for the Chromaticity of Solid State	High-temperature silicone
ADA Compliant:	Lighting (SSL) Products, ANSI C78.377-2017.	
SLIM™ is ADA Compliant		Finish:
	Performance	Formulated for high durability and long-lasting cold
IESNA LM-79 & LM-80 Testing:	Lifespan:	
RAB LED luminaires and LED components have been	100,000-Hour LED lifespan based on IES LM-80	Green Technology:
tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.	results and TM-21 calculations	Mercury and UV free. RoHS-compliant components
	Wattage Equivalency:	Installation
DLC Listed:	Equivalent to 70W Metal Halide	Mounting:
This product is listed by Design Lights Consortium		Heavy-duty mounting bracket with hinged housing

Cold Weather Starting: The minimum starting temperature is -40°C (-40°F)

**Maximum Ambient Temperature:** Suitable for use in up to 40°C (104°F)

Need help? Tech help line: (888) 722-1000 Email: techsupport@rablighting.com Website: www.rablighting.com

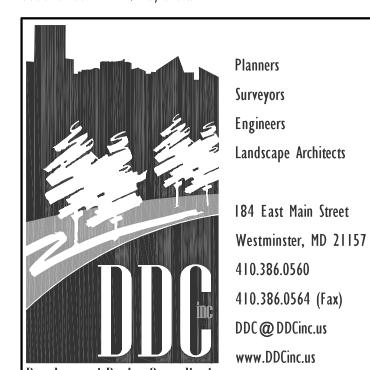
Precision die-cast aluminum housing

Heavy-duty mounting bracket with hinged housing for easy installation Recommended Mounting Height Up to 8 ft The design of the SLIM™ is protected by patents in U.S. Pat D681,864, and pending patents in Canada, China, Taiwan and Mexico.

Copyright © 2025 RAB Lighting All Rights Reserved Note: Specifications are subject to change at any time without notice

Page 1 of 2

DATA SOURCES:



OWNER: LST INC. C/O SJPI 2560 LORD BALTIMORE DR.

BALTIMORE, MD 21244

SITE ADDRESS: EXCHANGE DRIVE

410-549-2555

DEVELOPER: ST. JOHN PROPERTIES 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 788-0100

84 East Main Street

ELDERSBURG, MD 21784 IST AMENDED SITE PLAN

> PHOTOMETRIC PLAN

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS

LIBERTY EXCHANGE

NO. DESCRIPTION OF CHANGES DRN. REV. DATE S-23-0019 DES. BY: LJC TAX ACC. #: 14-057617 14-057633 DRN. BY: LJC TAX MAP: 73 | CHK. BY: JLM BLOCK / GRID 2 DATE: 6/5/25 08039.1 **461** DDC JOB#: PARCEL #: I-1 SHEET NUMBER: ZONE / USE:

MEP Consultants

ST. JOHN **PROPERTIES** 2560 Lord Baltimore Dr Baltimore MD 21244



4900 Pleasant Grove Rd

Reisterstown, MD 21136

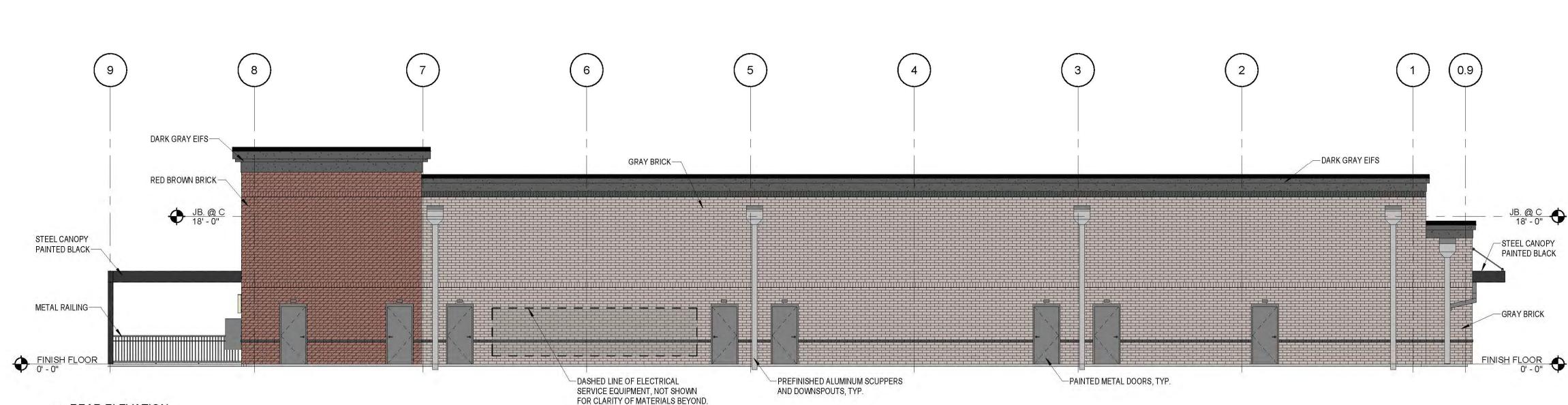
Tel 410-357-5934

Office (410) 788-0100 Fax (410) 369-1875

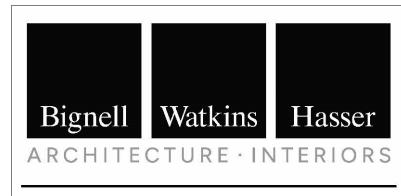
13 of 17 DWG. SCALE: AS NOTED

5-23-0019





4 REAR ELEVATION 1/8" = 1'-0"



ONE PARK PLACE SUITE 250 1934 OLD GALLOWS RD SUITE 350
ANNAPOLIS, MARYLAND 21401 VIENNA, VIRGINIA 22182
(410) 224-2727 (703) 288-3320

www.bigwaha.com

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Written dimensions on these drawings shall have precedence over scale dimensions.

Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings.

DATA SOURCES:

EX. TOPOGRAPHIC, BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS WARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, PROVIDED DATE OF COMPLETION WAS JUNE 2, 2008, SUPPLEMENTED BY FEILD RUN TOPO OF LOTS I AND 3 PERFORMED IN AUGUST, 2024.



Surveyors Engineers Landscape Arch

184 East Main Street
Westminster, MD 21157
410.386.0560
410.386.0564 (Fax)

DDC @ DDCinc.us www.DDCinc.us

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DEVELOPER: ST. JOHN PROPERTIES 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 788-0100

SITE ADDRESS: EXCHANGE DRIVE ELDERSBURG, MD 21784

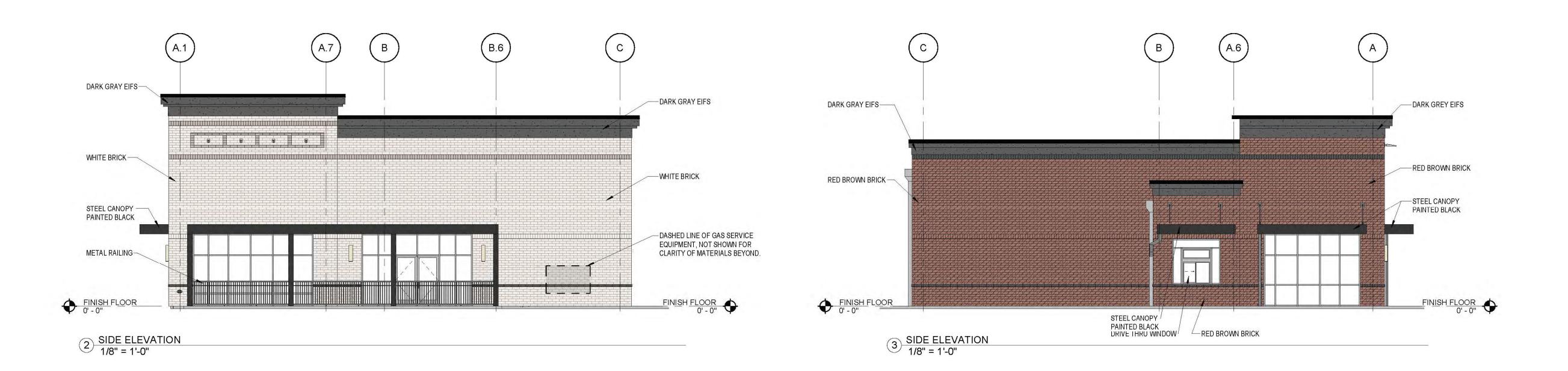
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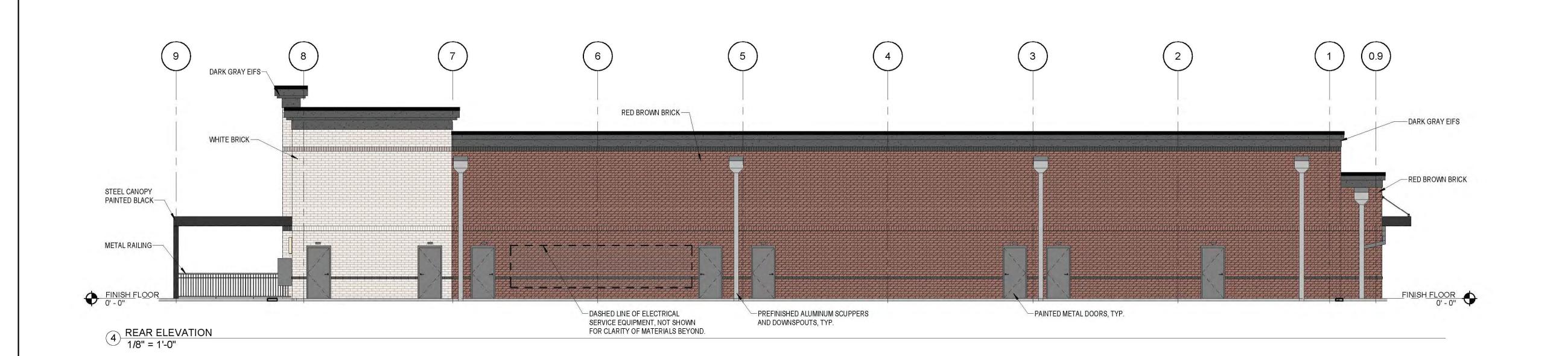
ARCH ELEVATIONS BUILDING G

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS DESCRIPTION OF CHANGES DRN. REV. DATE S-23-0019 DES. BY: CO. FILE #: TAX ACC. #: 14-057617 14-057633 DRN. BY: LJC TAX MAP: 73 | CHK. BY: JLM BLOCK / GRID: 6/5/25 2 DATE: 461 DDC JOB#: 08039.1 PARCEL #: I-1 SHEET NUMBER: ZONE / USE: 14 of 17 DWG. SCALE: AS NOTED









ARCHITECTURE · INTERIORS

ONE PARK PLACE SUITE 250 ANNAPOLIS, MARYLAND 21401 (410) 224-2727 1934 OLD GALLOWS RD SUITE 350 VIENNA, VIRGINIA 22182 (703) 288-3320

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Surveyors
Engineers
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2560 LORD BALTIMORE DR.
BALTIMORE, MD 21244
410-549-2555

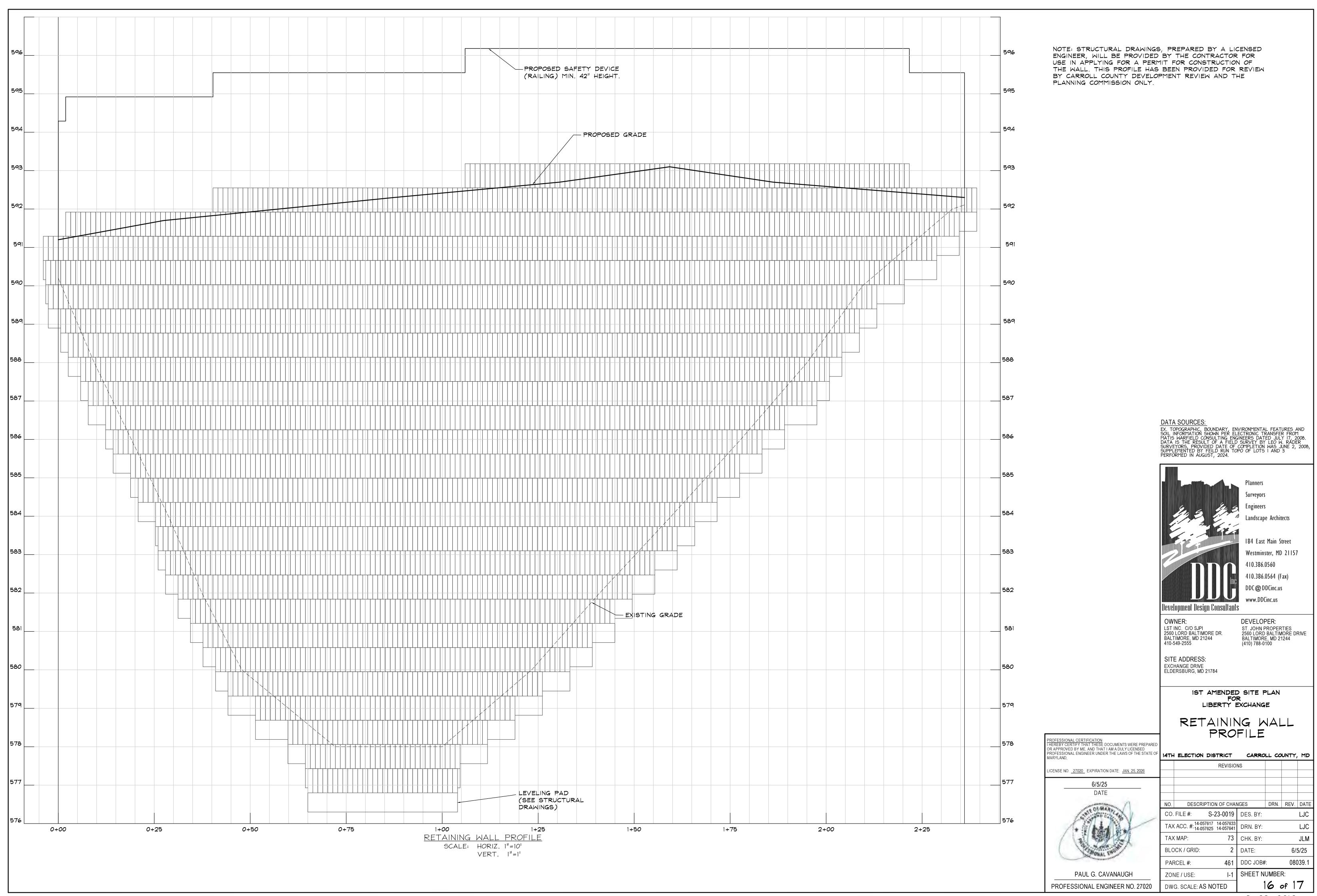
DEVELOPER: ST. JOHN PROPERTIES 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 788-0100

SITE ADDRESS: EXCHANGE DRIVE ELDERSBURG, MD 21784

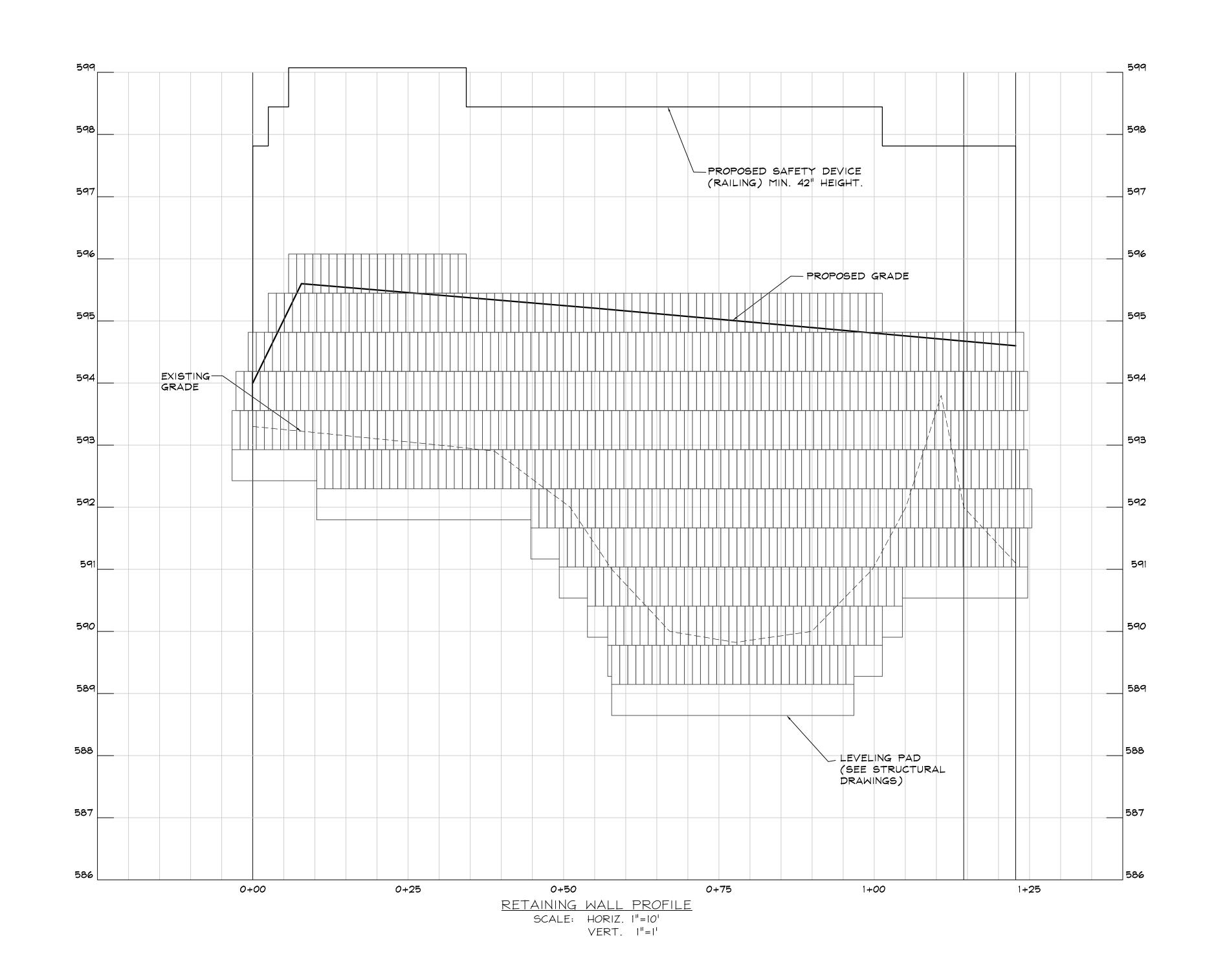
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ARCH ELEVATIONS BUILDING I

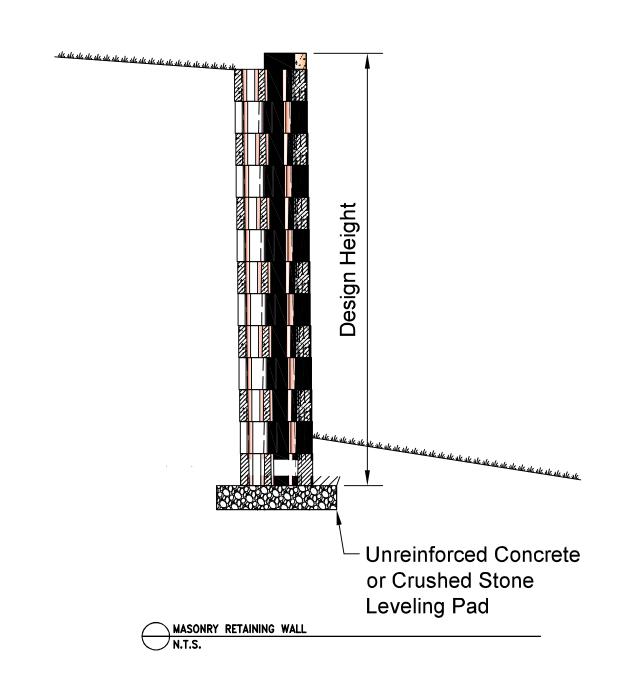
14TH ELECTION DISTRICT CARROLL COUNTY, MD REVISIONS DESCRIPTION OF CHANGES DRN. REV. DATE S-23-0019 DES. BY: CO. FILE #: LJC TAX ACC. #: 14-057617 14-057633 DRN. BY: LJC TAX MAP: 73 | CHK. BY: JLM BLOCK / GRID: 6/5/25 2 DATE: 461 DDC JOB#: 08039.1 PARCEL #: I-1 SHEET NUMBER: ZONE / USE: 15 of 17 DWG. SCALE: AS NOTED

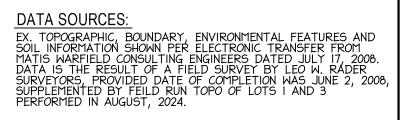


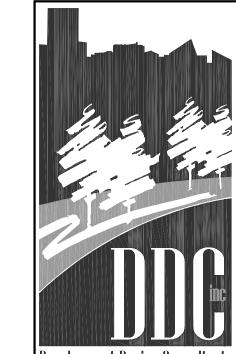
S-23-0019



NOTE: STRUCTURAL DRAWINGS, PREPARED BY A LICENSED ENGINEER, WILL BE PROVIDED BY THE CONTRACTOR FOR USE IN APPLYING FOR A PERMIT FOR CONSTRUCTION OF THE WALL. THIS PROFILE HAS BEEN PROVIDED FOR REVIEW BY CARROLL COUNTY DEVELOPMENT REVIEW AND THE PLANNING COMMISSION ONLY.







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DEVELOPER:

OWNER: LST INC. C/O SJPI 2560 LORD BALTIMORE DR. BALTIMORE, MD 21244 410-549-2555

SITE ADDRESS: EXCHANGE DRIVE ELDERSBURG, MD 21784

IST AMENDED SITE PLAN FOR LIBERTY EXCHANGE

RETAINING WALL PROFILE

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
OR APPROVED BY ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND, LICENSE NO. 27020 EXPIRATION DATE: JAN. 25, 2026 6/5/25

DATE
OF MARI
PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

14TH	ELECTION	DISTRICT	CARRO	LL CO	UNTY,	, MD
		NS				
NO.	DESCRI	PTION OF CHAI	NGES	DRN.	REV.	DATE
CO. F	FILE #:	S-23-0019	DES. BY:			LJC
TAX	ACC. #: 14-05	7617 14-057633 7625 14-057641	DRN. BY:			LJC
TAX	MAP:	73	CHK. BY:			JLM
BLOG	CK / GRID:	2	DATE:		6/	5/25
PAR	CEL #:	461	DDC JOB#	:	080	039.1
ZONI	E / USE:	SHEET N	UMBEI	R:		
DWG. SCALE: AS NOTED			1	7	of 1	7
6 02 0010						