

- GENERAL NOTES
- EXISTING ZONING : LIGHT INDUSTRIAL (I-1)
 - EXISTING USE: BUSINESS/INDUSTRIAL PARK
 - TOTAL AREA OF SITE - LOT 1 - 1.58± AC.
TOTAL FOR AMENDED SITE PLAN - 3.41± AC.
 - TOTAL AREA OF DISTURBANCE = 148,718± SQ.FT. ± 3.41± AC.
 - THE PROPERTY SHOWN HEREON IS OWNED BY LST INC. BY DEED DATE MARCH 24, 1998, RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY IN LIBER 1081 FOLIO 65. THE TAX ACCOUNT NUMBERS FOR THIS PROPERTY ARE 14-057617, 14-057625, 14-057633 & 14-057641.
 - TAX MAP 73, GRID 2, PARCEL 461, PLAT 52/002
 - PROPERTY BOUNDARY IS SHOWN PER ELECTRONIC TRANSFER OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, INC. EXISTING TOPOGRAPHY SHOWN PER ELECTRONIC TRANSFER OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, INC. DATED ON OR ABOUT JUNE 2, 2008 AND SUPPLEMENTED BY A FIELD SURVEY BY SHANABERGER AND LANE IN AUGUST, 2023.
 - LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION IS AN EXISTING FIRE HYDRANT LOCATED ALONG EXCHANGE DRIVE NEAR 'LOT 1' AS WELL AS SEVERAL FIRE HYDRANTS IN THE BUSINESS/INDUSTRIAL PARK.
 - THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR SHALL NOTIFY THIS UTILITY AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES.
 - THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
 - ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
 - THIS AMENDED SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF TIME LIMIT IS ISSUED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND LAND MANAGEMENT.
 - NOTE: ALL PROPOSED SPOT ELEVATIONS ARE LOCATED AT BOTTOM OF CURB AND ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE LABELED OTHERWISE.
 - THE COURSES AND COORDINATES SHOWN HEREON ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM - NAD 83 (1981) AND ARE BASED UPON THE FOLLOWING NATIONAL SPATIAL REFERENCE SYSTEM CONTROL STATIONS PROVIDED BY THE NATIONAL GEODETIC SURVEY:
DESIGNATION: NORTON (5271) EAST: 652,046.5 WEST: 652,046.5 ELEV: 652.032
 - THERE ARE EXISTING WETLANDS AND THEIR ASSOCIATED BUFFERS ON SITE. THERE IS A STREAM AND ASSOCIATED FLOODPLAIN ON SITE. THE LIMITS OF THE FLOODPLAIN HAVE BEEN SET BY A SIMPLIFIED FLOODPLAIN STUDY CONDUCTED BY DEMARIO DESIGN CONSULTANTS, INC. ON OR ABOUT NOVEMBER, 2008.
 - THIS SITE IS WITHIN A SURFACE WATERSHED AREA AS DESIGNATED BY THE CARROLL COUNTY WATER RESOURCE MANAGEMENT MANUAL. THIS DEVELOPMENT SHALL COMPLY WITH THE CARROLL COUNTY WATER RESOURCE MANAGEMENT MANUAL, SECTION IV-A 1-10, REGULATED SUBSTANCE STORAGE AND USE.
 - THE SITE IS APPROXIMATELY 9667' FROM THE NEAREST PRODUCTION WELL.
 - NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE OR CONSTRUCTION MATERIALS OR EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY.
 - UNDER THE ORIGINAL SITE PLAN, A VARIANCE (NO. V-WR-09-001) WAS GRANTED IN A LETTER DATED JUNE 1, 2009. IT ALLOWED EXTENSION OF STORMWATER AND SANITARY SEWER OUTFALL THROUGH THE CARROLL COUNTY WATER RESOURCE PROTECTION EASEMENT AND TEMPORARY GRADING DISTURBANCE WITHIN THE WATER RESOURCE PROTECTION EASEMENT. CONDITIONS OF APPROVAL INCLUDE THE VERIFICATION THAT THE 15% SLOPE REQUIREMENT FOR SHM OUTFALLS CANNOT BE REASONABLY ACHIEVED AND THAT AN EASEMENT FOR SEWER OUTFALL TO GERA WAY CANNOT BE SECURED FROM THE ADJACENT PROPERTY OWNER.
 - UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES.

SITE COMPLIANCE CHECKLIST

- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
 - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH THE BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
- THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASE.

PARKING TABULATION

PARKING REQUIRED PER BUSINESS/INDUSTRIAL PARK STANDARDS:

224,709 S.F. @ 3.5 SPACES PER 1000 S.F. RESULTS IN A REQUIREMENT OF 787 PARKING SPACES

TOTAL PARKING SPACES REQUIRED: 787 PARKING SPACES

TOTAL PARKING SPACES PROVIDED: 938 PARKING SPACES

DRAWING LEGEND

---	EXISTING MINOR CONTOUR (2' INTERVAL)
---	EXISTING MAJOR CONTOUR (10' INTERVAL)
---	ADJACENT PROPERTY LINE
---	EXISTING PROPERTY BOUNDARY
---	EX. ROAD / EDGE OF PAVING
---	EXISTING SEWER
---	EXISTING WATER
---	EX. OVERHEAD ELECTRIC & UTILITY POLES
---	PROPOSED MINOR CONTOUR (2' INTERVAL)
---	PROPOSED MAJOR CONTOUR (10' INTERVAL)
---	PROP. STANDARD CURB & GUTTER
---	PROPOSED PRIVATE ROAD/DRIVE CENTERLINE
---	EX. BUILDING
---	PROPOSED BUILDING
---	EXISTING TREELINE
---	EXISTING TREES
---	FIRE DEPARTMENT CONNECTION

CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY: _____ DATE: _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES

BY: _____ DATE: _____

CARROLL COUNTY HEALTH DEPARTMENT

ENGINEER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL COUNTY SOIL CONSERVATION DISTRICT.

ENGINEER _____ DATE: _____

OWNER/DEVELOPER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THIS PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES.

OWNER/DEVELOPER _____ DATE: _____

SOIL CONSERVATION DISTRICT

THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE SOIL CONSERVATION DISTRICT.

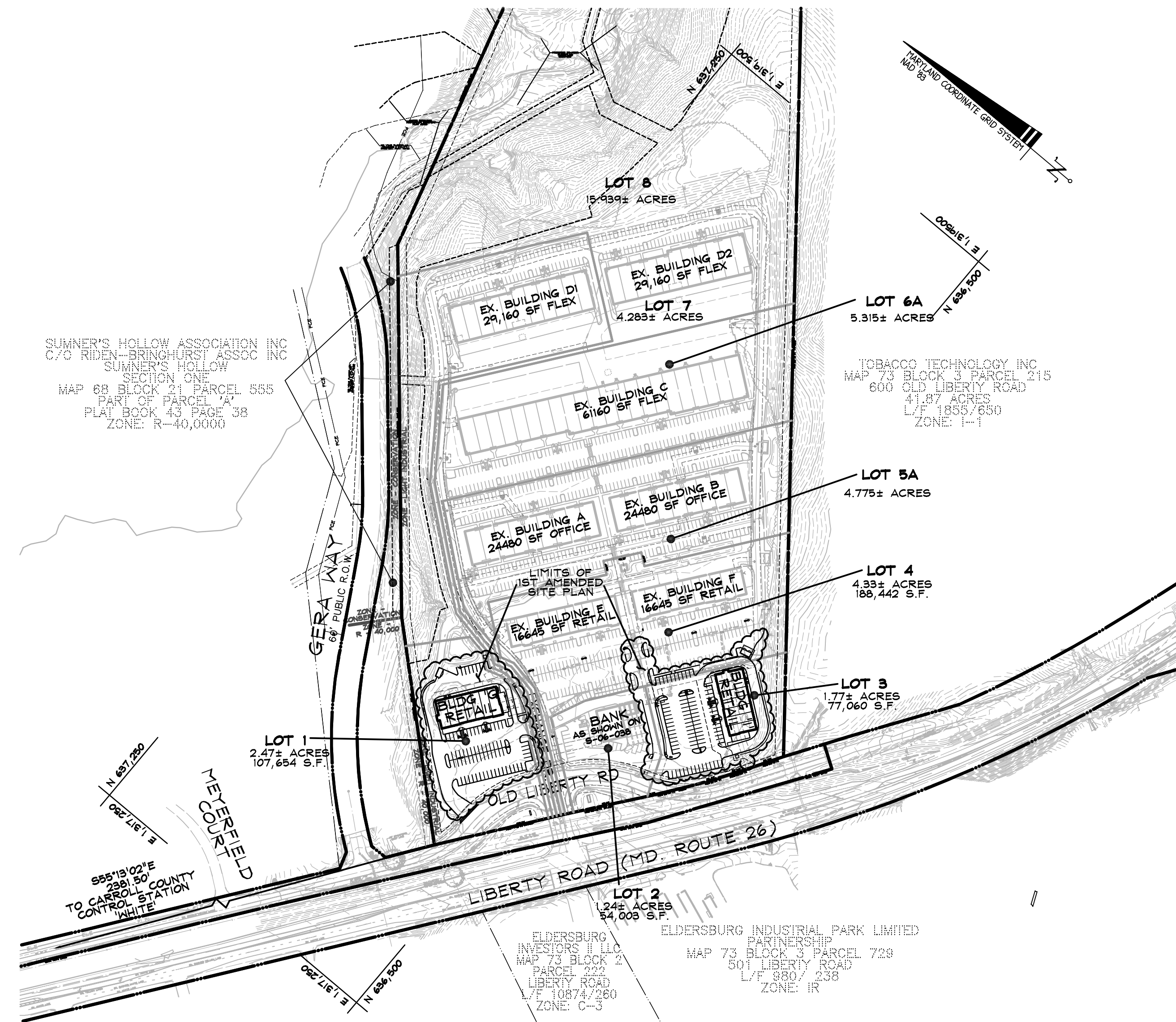
APPROVED _____ DATE: _____

OWNER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE.

SIGNATURE _____ DATE: _____

NAME(S) PRINTED _____ DATE: _____



DEVELOPER:

ST. JOHN PROPERTIES

2560 Lord Baltimore Drive - Baltimore, MD 21244
Ph: 410-788-0100 Fax: 410-788-0851 - www.sjpi.com

SITE MAP SCALE: 1" = 200'

LIBERTY EXCHANGE
Transportation Draw Down Table
Prepared November 12, 2024

Lot/Use	AM PEAK HOUR TRIPS	PM PEAK HOUR TRIPS	SATURDAY PEAK HOUR TRIPS
Approved Trips from TIS dated October 2007 (Included 34,130 of specialty retail, 4,000 of high turnover sit-down restaurant, drive-in bank with 3 drive-in lanes, 3,000 of convenience market with 10 gas, 40,000 of office, 119,160 of flex office). Please note that these volumes are total trips generated including pass-by trips.	774	814	743
Planned to Date:			
RATES TAKEN FROM APPROVED TIS FOR RETAIL (per ksf)*	6.84	4.36	6.84
RATES TAKEN FROM APPROVED TIS FOR DRIVE-IN BANK (per drive thru lane)*	15.38	51.08	66.84
RATES TAKEN FROM APPROVED TIS FOR GENERAL OFFICE (per ksf)*	2.16	2.73	0.42
RATES TAKEN FROM APPROVED TIS FOR FLEX OFFICE/BUSINESS PARK (per ksf)*	1.44	1.45	0.26
Buildings A & B (Constructed)	228	145	228
Bank Building (Planned)			
3 Drive-In Bank with 3 Lanes	58	155	201
Buildings A & B (Constructed)	106	134	21
48,960 General Office			
Buildings D & E (Constructed)	172	173	31
119,480 Flex Office/Business Park			
Retail Building (Planned - replaced previously planned convenience store with gas sales)	69	44	69
30,345 Retail Building (includes outdoor patio area)			
Retail (Planned - replaced previously planned high turnover sit-down restaurant)	69	44	69
30,345 Retail Building (includes outdoor patio area)			
REMAINING TRIPS AVAILABLE	72	121	124

*See pages 25 and 26 of the approved TIS for peak hour rates.

FIRST AMENDED SITE PLAN FOR LIBERTY EXCHANGE

TAX MAP# 73,
ELECTION DISTRICT: 14

GRID# 2, PARCEL # 461
CARROLL COUNTY, MD.

OWNER ADDRESS

LST INC.
C/O ST. JOHN PROPERTIES INC.
2560 LORD BALTIMORE DR.
BALTIMORE, MD 21244
(410) 788-0100

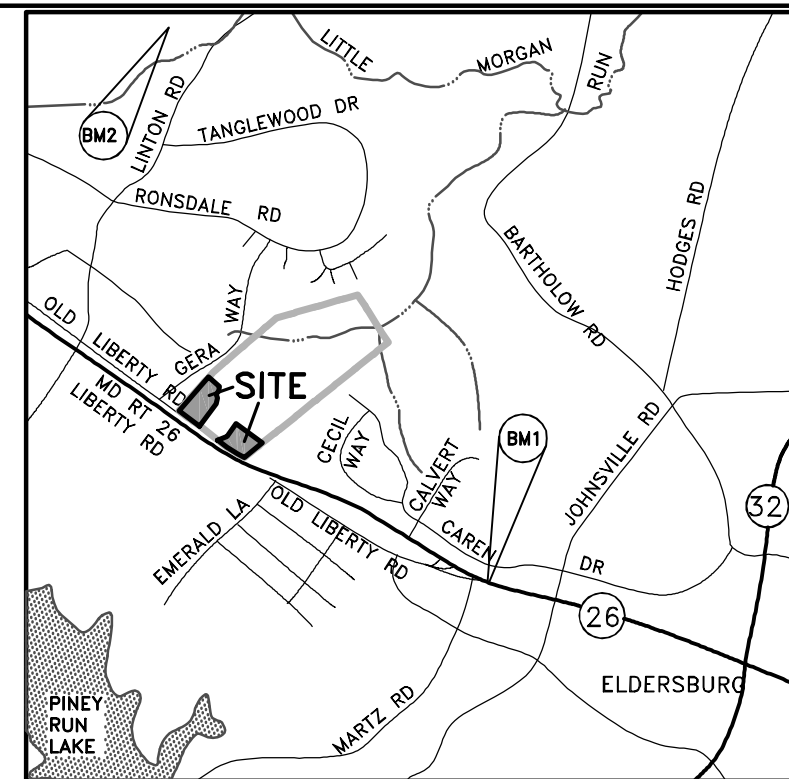
DEVELOPER ADDRESS

ST. JOHN PROPERTIES
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 788-0100

SITE ADDRESS

5954 & 5955 EXCHANGE DR.
ELDERSBURG, MD 21784

ADDRESS CHART	
LOT/BLDG	ADDRESS
LOT 1	5954 EXCHANGE DRIVE
LOT 2	5953 EXCHANGE DRIVE
LOT 3	5955 EXCHANGE DRIVE
LOT 4, BLDG. E	5959 EXCHANGE DRIVE
LOT 4, BLDG. F	5957 EXCHANGE DRIVE
LOT 5, BLDG. A	5961 EXCHANGE DRIVE
LOT 5, BLDG. B	5963 EXCHANGE DRIVE
LOT 6, BLDG. C	5965 EXCHANGE DRIVE
LOT 6, BLDG. D	5975 EXCHANGE DRIVE



VICINITY MAP

SCALE: 1" = 2000'

NO.	DRAWING TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SITE LAYOUT PLAN
4	SITE GRADING & SEC PLAN
5	SEDIMENT & EROSION CONTROL NOTES
6	SEDIMENT & EROSION CONTROL DETAILS
7	WATER & STORM DRAIN PLAN & PROFILES
8	SITE DETAILS
9	SITE DETAILS
10	LANDSCAPE PLAN
11	LANDSCAPE PLAN DETAILS
12	SITE LIGHTING PLAN
13	SITE LIGHTING PLAN DETAILS
14	ARCHITECTURAL ELEVATIONS BUILDING G
15	ARCHITECTURAL ELEVATIONS BUILDING I
16	RETAINING WALL PROFILE
17	RETAINING WALL PROFILE

DATA SOURCES:

EX. TOPOGRAPHIC BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS MARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, INC. DATED ON OR ABOUT JUNE 2, 2008, SUPPLEMENTED BY FIELD RUN TOPO OF LOTS 1 AND 3 PERFORMED IN AUGUST, 2024.

DDC INC.
Development Design Consultants

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Surveyors
Engineers
Landscape Architects

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BALTIMORE, MD 21244
410-549-2555

SITE ADDRESS:
EXCHANGE DRIVE
ELDERSBURG, MD 21784

1ST AMENDED SITE PLAN FOR LIBERTY EXCHANGE

COVER SHEET

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS

NO. DESCRIPTION OF CHANGES DRN. REV. DATE

CO. FILE #: S-23-0019 DES. BY: LJC

TAX ACC. #: 14-057617 14-057625 14-057633 14-057641 DRN. BY: LJC

TAX MAP: 73 CHK. BY: JLM

BLOCK / GRID: 2 DATE: 6/5/25

PARCEL #: 461 DDC JOB#: 08039.1

ZONE / USE: I-1 SHEET NUMBER:

DWG. SCALE: AS NOTED 1 of 17

PURPOSE NOTE:
THE PURPOSE OF THIS AMENDED SITE PLAN IS TO SHOW THE LOCATION OF PROPOSED RETAIL BUILDINGS ON LOTS 1 AND 3.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 27020, EXPIRATION DATE: JAN. 25, 2028

6/5/25
DATE



PAUL G. CAVANAUGH

PROFESSIONAL ENGINEER NO. 27020



DATA SOURCES:
 EX. TOPOGRAPHIC BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS MARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, PROVIDED DATE OF COMPLETION WAS JUNE 2, 2008, SUPPLEMENTED BY FIELD RUN TOPO OF LOTS 1 AND 3 PERFORMED IN AUGUST, 2024.



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 Surveyors
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 www.DDCinc.us

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 ST. JOHN PROPERTIES
 2560 LORD BALTIMORE DR.
 BALTIMORE, MD 21244
 410-549-2555

DEVELOPER:
 ST. JOHN PROPERTIES
 2560 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 (410) 788-0100

SITE ADDRESS:
 EXCHANGE DRIVE
 ELDERSBURG, MD 21784

**1ST AMENDED SITE PLAN
 FOR
 LIBERTY EXCHANGE**

**EXISTING CONDITIONS
 PLAN**

14TH ELECTION DISTRICT **CARROLL COUNTY, MD**

REVISIONS							
NO.	DESCRIPTION OF CHANGES			DRN.	REV.	DATE	
CO. FILE #:		S-23-0019		DES. BY:		LJC	
TAX ACC. #:		14-057617 14-057833 14-057625 14-057841		DRN. BY:		LJC	
TAX MAP:		73		CHK. BY:		JLM	
BLOCK / GRID:		2		DATE:		6/5/25	
PARCEL #:		461		DDC JOB#:		08039.1	
ZONE / USE:		I-1		SHEET NUMBER:			
DWG. SCALE:		1" = 40'		2 of 17			

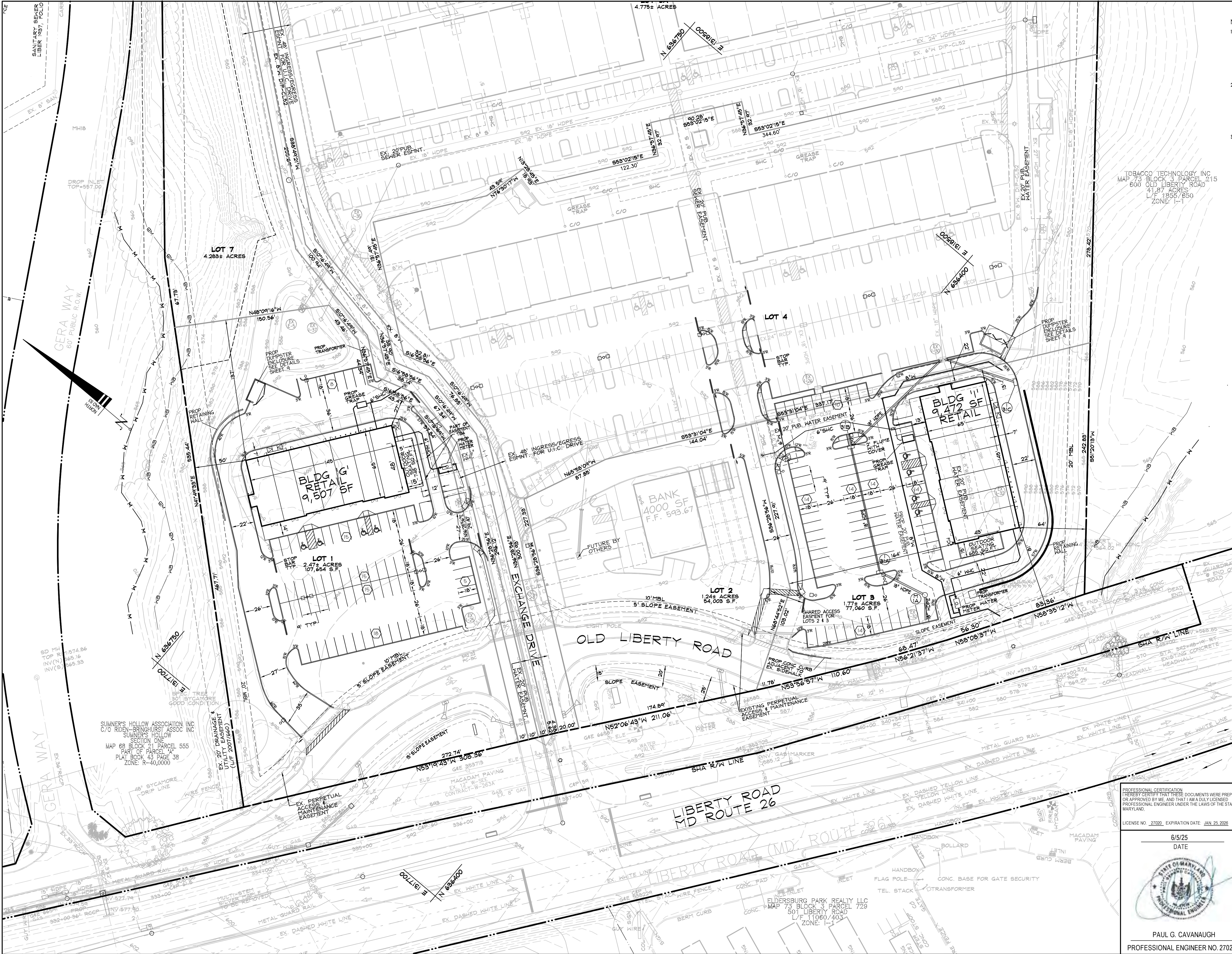
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LICENSE NO. 27020, EXPIRATION DATE: JAN 23, 2026

6/5/25
 DATE



PAUL G. CAVANAUGH
 PROFESSIONAL ENGINEER NO. 27020



- NOTES:
1. ALL TRAFFIC MARKINGS ARE TO BE MADE WITH WHITE PAINT OR THERMOPLASTICS THAT WILL MAINTAIN THEIR SPECIFIED COLOR THROUGHOUT THEIR USEFUL LIFE. PARKING SPACE STRIPES SHALL BE 4" (100mm) IN WIDTH UNLESS OTHERWISE SPECIFIED (I.E. DETAILS FOR HANDICAP PARKING SPACES ON DETAIL SHEET). ALL PAVEMENT PARKING FOR TRAFFIC CONTROL SHALL BE SIZED ACCORDING TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 2. SIDEWALK RAMP: SIDEWALK RAMP SHALL BE CONSTRUCTED TO ESTABLISH AN ACCESSIBLE CONNECTION BETWEEN ALL PROPOSED BUILDINGS. RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE OFFICE OF PERMITS AND INSPECTIONS. CONTRACTOR IS RESPONSIBLE TO NOTIFY PERMITS AND INSPECTIONS A MINIMUM OF ONE WEEK IN ADVANCE OF WORK TO SCHEDULE INSPECTION. TEL: 410-386-2663
 3. GREASE TRAPS FOR ALL PAD SITES WILL BE DEFERRED UNTIL THE CONSTRUCTION OF THE BUILDING ON THE PAD SITE.

DATA SOURCES:
EX. TOPOGRAPHIC BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION FOR ELECTRONIC TRANSFER FROM MATIS MARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS, PROVIDED DATE OF COMPLETION WAS JUNE 2, 2008, SUPPLEMENTED BY FIELD RUN TOPO OF LOTS 1 AND 3 COMPLETED IN AUGUST, 2024.



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DEVELOPER:
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(410) 788-0100

SITE ADDRESS:
EXCHANGE DRIVE
ELDBERSBURG, MD 21784

1ST AMENDED SITE PLAN
FOR
LIBERTY EXCHANGE

**SITE LAYOUT
PLAN**

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				
NO	DESCRIPTION OF CHANGES	DRN	REV	DATE
CO. FILE #:	S-23-0019	DES. BY:	LJC	
TAX ACC. #:	14-057817 14-057833	DRN. BY:	LJC	
TAX MAP:	73	CHK. BY:	JLM	
BLOCK / GRID:	2	DATE:	6/5/25	
PARCEL #:	461	DDC JOB#:	08039.1	
ZONE / USE:	I-1	SHEET NUMBER:	3 of 17	
DWG. SCALE:	1" = 40'			

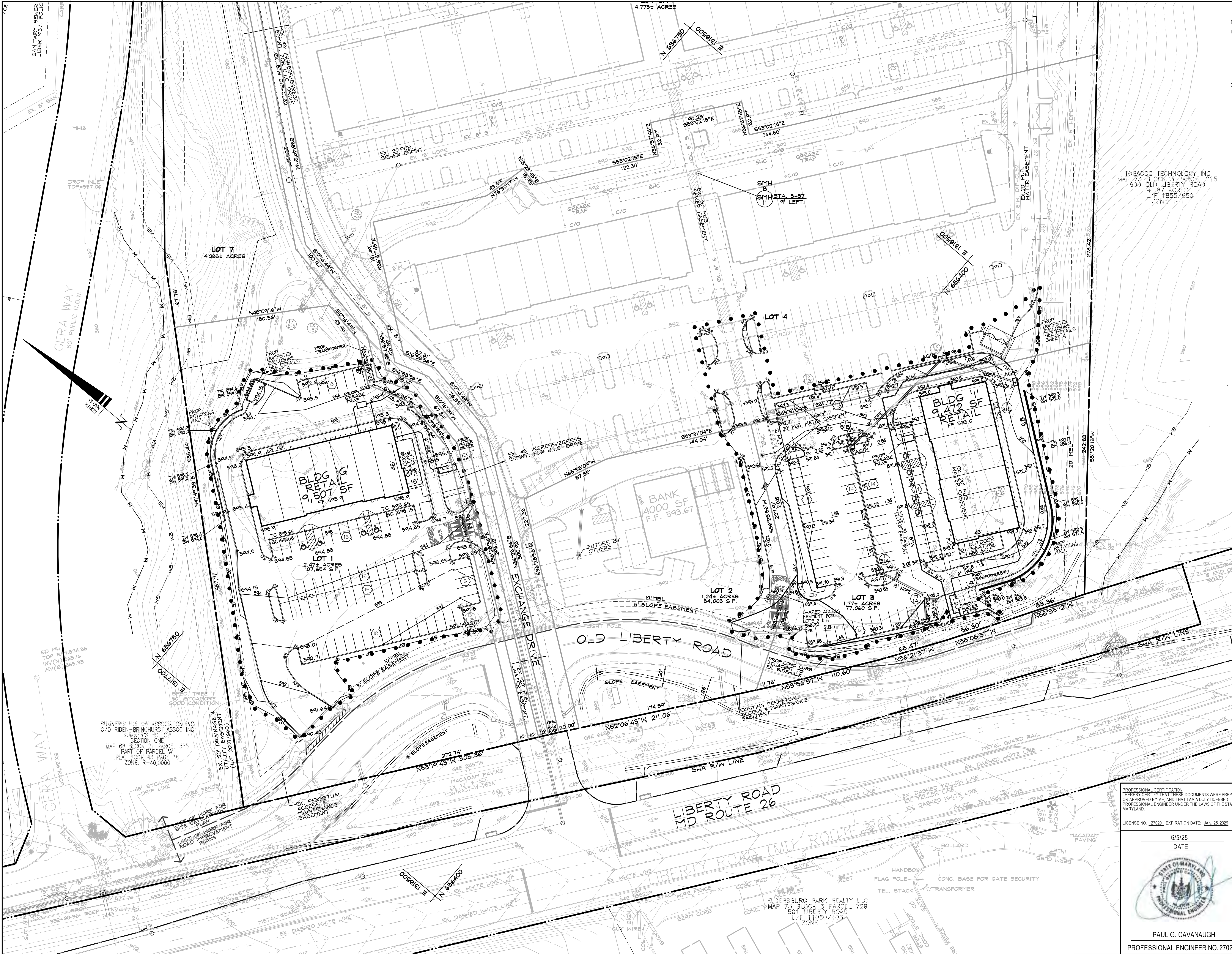
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 27020, EXPIRATION DATE: JAN 23, 2026

6/5/25
DATE



PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020



- NOTES:
1. ALL TRAFFIC MARKINGS ARE TO BE MADE WITH WHITE PAINT OR THERMOPLASTICS THAT WILL MAINTAIN THEIR SPECIFIED COLOR THROUGHOUT THEIR USEFUL LIFE. PARKING SPACE STRIPES SHALL BE 4" (100mm) IN WIDTH UNLESS OTHERWISE SPECIFIED (I.E. DETAILS FOR HANDICAP PARKING SPACES ON DETAIL SHEET). ALL PAVEMENT PARKING FOR TRAFFIC CONTROL SHALL BE SIZED ACCORDING TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 2. SIDEWALK RAMP: SIDEWALK RAMP SHALL BE CONSTRUCTED TO ESTABLISH AN ACCESSIBLE CONNECTION BETWEEN ALL PROPOSED BUILDINGS. RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE OFFICE OF PERMITS AND INSPECTIONS. CONTRACTOR IS RESPONSIBLE TO NOTIFY PERMITS AND INSPECTIONS A MINIMUM OF ONE WEEK IN ADVANCE OF WORK TO SCHEDULE INSPECTION. TEL: 410-386-2663.

DATA SOURCES:
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ST JOHN PROPERTIES
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 788-0100

SITE ADDRESS:
EXCHANGE DRIVE
ELDERSBURG, MD 21784

1ST AMENDED SITE PLAN
FOR
LIBERTY EXCHANGE

**GRADING & SEC
PLAN**


14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				
NO	DESCRIPTION OF CHANGES	DRN	REV	DATE
CO. FILE #:	S-23-0019	DES. BY:	LJC	
TAX ACC. #:	14-057817 14-057833	DRN. BY:	LJC	
TAX MAP:	73	CHK. BY:	JLM	
BLOCK / GRID:	2	DATE:	6/5/25	
PARCEL #:	461	DDC JOB#:	08039.1	
ZONE / USE:	I-1	SHEET NUMBER:	4 of 17	
DWG. SCALE:	1" = 40'			

PROFESSIONAL CERTIFICATION
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LICENSE NO. 27020, EXPIRATION DATE: JAN 23, 2026

6/5/25
DATE



PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION
Section I - Vegetative Stabilization Methods and Materials

A. Site Preparation

- Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
- Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
- Schedule required soil test to determine soil amendment composition and application rates for sites having disturbed area over 5 acres.

B. Soil Amendments (Fertilizer and Lime Specifications)

- Soil test must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
- Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate agency. Fertilizer shall all be delivered to the site in bags or drums fully labeled according to the applicable state fertilizer laws and shall bear the name, trade name or trademark and warrantee of the producer.
- Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 98 - 100% will pass through a #20 mesh sieve.
- Incorporate lime and fertilizer into the top 3 - 5" of soil by disking or other suitable means.

C. Seeded Preparation

i. Temporary Seeding

- Seeded preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth but left in the roughened condition. Sloped areas (greater than 2:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.
- Apply fertilizer and lime as prescribed on the plans.
- Incorporate lime and fertilizer into the top 3 - 5" of soil by disking or other suitable means.

ii. Permanent Seeding

- Minimum soil conditions required for permanent vegetative establishment:
 - Soil pH shall be between 6.0 and 7.0
 - Soluble salts shall be less than 500 parts per million (ppm).
- Soil shall contain less than 40% clay but enough fine grained material (> 30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if lovegrass or sercia lespedeza is to be planted, then a sandy soil (< 30% silt plus clay) would be acceptable.
- Soil shall contain 1.5% minimum organic matter by weight.
- Soil must contain sufficient pore space to permit adequate root penetration.
- If these conditions cannot be met by the soils on site, adding topsoil is required in accordance with Section 21 Standards and Specification for Topsoil.
- Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3 - 5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
- Apply soil amendments as per soil test or as included on the plans.
- Mix soil amendments into the top 3 - 5" of topsoil by disking or other suitable means. Lawn areas should be rolled smooth, remove large objects like stones and branches, and ready the area for seed application. Where site conditions will not permit normal seeded preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. On steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1-3" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.

D. Seed Specifications

- All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on this job.
Note: Seed tags shall be made available to the Inspector to verify type and rate of seed used.
- INNOCULANT - The INNOCULANT for treating legume seed in the seed mixtures shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. INNOCULANTS shall not be used later than the date indicated on the container. Add fresh INNOCULANT as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep INNOCULANT as cool as possible until used. Temperatures above 75-80 F. can weaken bacteria and make the inoculant less effective.

E. Methods of Seeding

- Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeder, or a cultipacker seeder.
 - If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: nitrogen maximum 200 lbs/acre; total of soluble nitrogen: P205 (phosphorus): 200 lbs/acre; K2O (potassium): 200 lbs/acre.
 - Lime - use only ground agricultural limestone. (Up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
 - Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.
- Dry Seeding: This includes use of conventional drop or broadcast spreaders.
 - Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed soil contact.
 - Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
- Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
 - Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seeded must be firm after planting.
 - Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.

F. Mulch Specifications (In order of preference)

- Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonably bright in color, and should be moist, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
- Wood Cellulose Fiber Mulch (WCFM)
 - WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.
 - WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
 - WCFM, including dye, shall contain no germination or growth inhibiting factors.
 - WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a blotter-like ground cover, on application, having moisture absorption and percolation properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
 - WCFM material shall contain no elements or compounds at concentration levels that will be phytotoxic.
 - WCFM must conform to the following physical requirements: fiber length to approximately 10 mm, diameter approximately 1 mm, range of 0.0 to 0.5, ash content of 1.8% maximum and water holding capacity of 40% minimum.
Note: Only sterile straw mulch should be used in areas where one species of grass is desired.

G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding.

- If grading is completed outside of the seeding season, mulch alone shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
- When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.
- Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.
- Securing Straw Mulch (Mulch Anchoring). Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon size of area and erosion hazard:
 - A mulch anchoring tool is a tractor-drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should be used on the contour if possible.
 - Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
 - Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys or crests of berms. The remainder of area should be applied at the manufacturer's application. Synthetic binders - such as Acrylic DLR (Agra-Tack), DCA-70, Petrosel, Terra Tack II, Terra Tack AR or other approved acrylic may be used at rates recommended by the manufacturer to anchor mulch.
 - Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.

I. Incremental Stabilization -- Cut Slopes -- See G-20-6

J. Incremental Stabilization -- Fill Slopes -- See G-20-7

TABLE 25: PERMANENT SEEDING FOR LOW MAINTENANCE AREAS

MIX	SEED MIX USE CERTIFIED MATERIAL IF AVAILABLE	PLANTING		SITE CONDITIONS	USDA HARD- NESS ZONES	3/1- 3/15 5/16- 6/2- 8/1- 8/15 8/15- 5/15 -5/15 8/14 7/31 10/1 10/15 11/15							
		LBS/AC.	/1000 SF										
1	TALL FESCUE (75%) CANADA BLUEGRASS (10%) KENTUCKY BLUEGRASS (10%) REDTOP (5%)	150	3.4	MOIST TO DRY	5b								
2	KENTUCKY BLUEGRASS (50%) CREEPING RED FESCUE OR A HARD FESCUE (40%) REDTOP (10%)	150	3.4	MOIST TO MODERATELY DRY TO DRY	5b								
3	TALL FESCUE (85%) PERENNIAL RYEGRASS (10%) KENTUCKY BLUEGRASS (5%)	125 15 10	2.9 .34 .23	MOIST TO DRY	5b								
4	RED FESCUE OR CHEWING FESCUE (80%) PERENNIAL RYEGRASS (20%)	60 60 15	.92 .92 .34	MOIST TO DRY	5b								
5	TALL FESCUE (85%) OR PERENNIAL RYEGRASS (50%) PLUS CROWNVELTCH OR FLATPEA	110 20 20 20	2.5 .46 .66 .46	MOIST TO DRY	5b								
6	WEEPING LOVEGRASS (17%) SERECIA LESPEDEZA (83%)	4 20	.09 .46	DRY TO VERY DRY	5b								
7	TALL FESCUE (83%) WEEPING LOVEGRASS (2%) SERECIA LESPEDEZA (15%)	110 3 20	2.5 .07 .46	DRY TO VERY DRY	5b								
8	REEDY CANARYGRASS (75%) REDTOP (6%) PLUS BIRDSFOOT TREEFOIL (19%)	40 3 10	.92 .07 .23	WET TO MODERATELY DRY	5b								
9	TALL FESCUE (86%) POA TRIVIALIZE (7%) BIRDSFOOT TREEFOIL (7%)	125 10 10	2.9 .23 .23	WET TO MODERATELY DRY	5b								
10	TALL FESCUE (80%) HARD FESCUE (20%)	120 30	3.4 .69	WET TO DRY	5b								
11	HARD FESCUE (100%)	.75	3.4	MOIST TO DRY	5b								

NOTES:

- A/ USED BY SHA ON SLOPED AREAS. ADD A LEGUME FOR SLOPES > THAN 3:1
B/ USED IN MEDIAN AREAS AND IN FLAT AREAS.
C/ POPULAR MIX - PRODUCES PERMANENT GROUNDCOVER QUICKLY. BLUEGRASS QUICKENS STAND.
D/ BEST USE ON SHADY SLOPES NOT ON POORLY DRAINED CLAYS.
E/ USE ON LOW MAINTENANCE, STEEP SLOPES. USE TALL FESCUE IN DRAUGHTY CONDITIONS. CROWN VETCH BEST FOR 5b, 6a, 6b.
F/ SUITABLE FOR SEEDING IN MIDSUMMER.
G/ WEEPING LOVEGRASS MAY BE SEEDDED WITH TALL FESCUE IN MID-SUMMER. SERECIA LESPEDEZA IS BEST SUITED FOR ZONES 7a & 7b.
H/ USE ON POORLY DRAINED SOILS - DITCHES OR WATERWAYS. BIRDSFOOT TREEFOIL IS BEST FOR ZONES 5a, 5b ABOVE 2,000 FT.
I/ USE IN AREAS OF MOIST SHADE. POA TRIVIALIS THRIVES IN WET SHADY AREAS.
J/ TALL FESCUE MAY BE SEEDDED ALONE. THE HARD FESCUE PROVIDES BETTER SHADE TOLERANCE AND PRODUCES A BETTER STAND.
K/ LOW FERTILITY GRASS. REQUIRES INFREQUENT MOWING. GOOD COMPANION FOR WILDFLOWERS.

TABLE 26 TEMPORARY SEEDING RATES, DEPTHS, AND DATES

SPECIES	MINIMUM SEEDING RATES		PLANTING DEPTH	7a and 7b 6b 6a and 5b							
	PER ACRE	LBS/1000 SQ.FT.		INCHES	2/1- 5/1- 8/15- 4/30 8/14 11/30		3/1- 5/1- 8/15- 4/30 8/14 11/15		3/15- 6/1- 8/1- 7/31 10/31		
CHOOSE ONE:											
BARLEY	122 lbs	2.80	1-2	X	-	10/15	X	-	10/15	X	-
OATS	96 lbs	2.21	1-2	X	-	X	-	X	-	X	-
RYE	140 lbs	3.22	1-2	X	-	X	-	X	-	X	-
BARLEY OR RYE PLUS FOXTAIL MILLET	150 lbs	3.45	1	X	X	10/15	X	X	10/15	X	X
WEEPING LOVEGRASS	4 lbs	.09	1/4-1/2	-	X	-	X	-	X	-	-
ANNUAL RYEGRASS	50 lbs	1.15	1/4-1/2	X	-	11/1	X	-	11/1	X	-
MILLET	50 lbs	1.15	1/2	-	X	-	X	-	X	-	-

Note: Select one or more of the species or mixtures listed on Table 26 for the appropriate plant hardiness zone.

Note: Select one or more of the species or mixtures listed in Table 25 and enter in the Permanent Seeding Summary Below, along with application rates and dates. For special lawn maintenance areas, see Sections IV, Seed and V, Turfgrass.

SEED MIXTURE (HARDINESS ZONE) ----- FROM TABLE 26					FERTILIZER RATE	LIME RATE
NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS		
1						
2						

21.0 STANDARDS & SPECIFICATIONS FOR TOPSOIL

Definition - Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose - To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.

If, for the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards specified in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, clumps, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
- Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutedge, poison ivy, thistle, or others as specified.
- Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

III. For sites having disturbed areas over 5 acres:

- On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
- Topsoil having soluble salt content greater than 500 parts per million shall not be used.
- No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

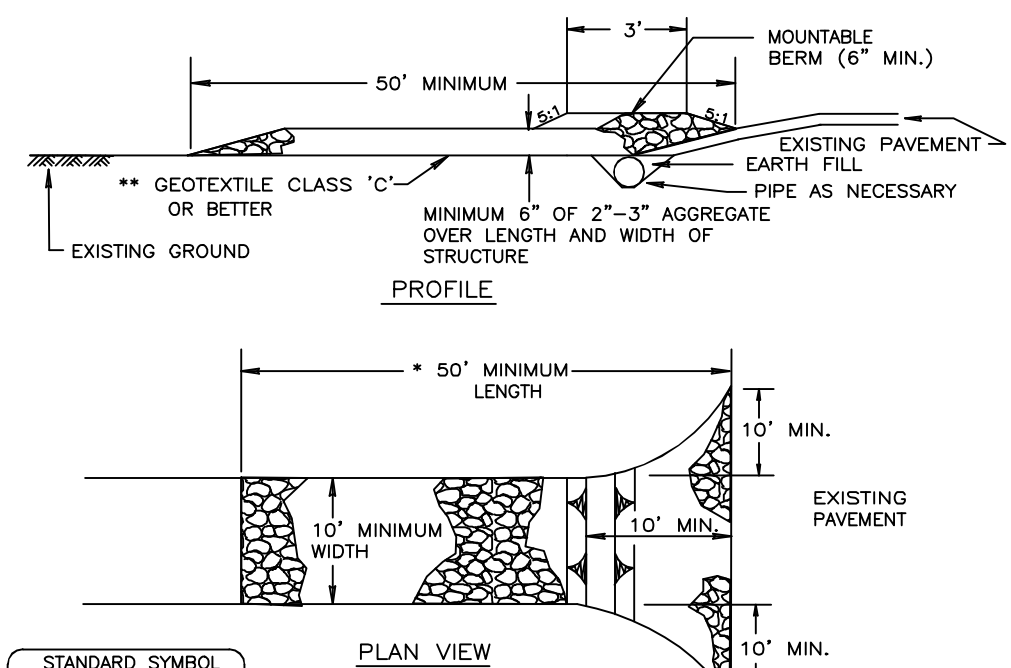
V. Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4"-8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 3 1/4". Topsoil shall be placed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from tillage operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested and prescribed to be applied for sites having disturbed areas under 5

DETAIL 24 – STABILIZED CONSTRUCTION ENTRANCE



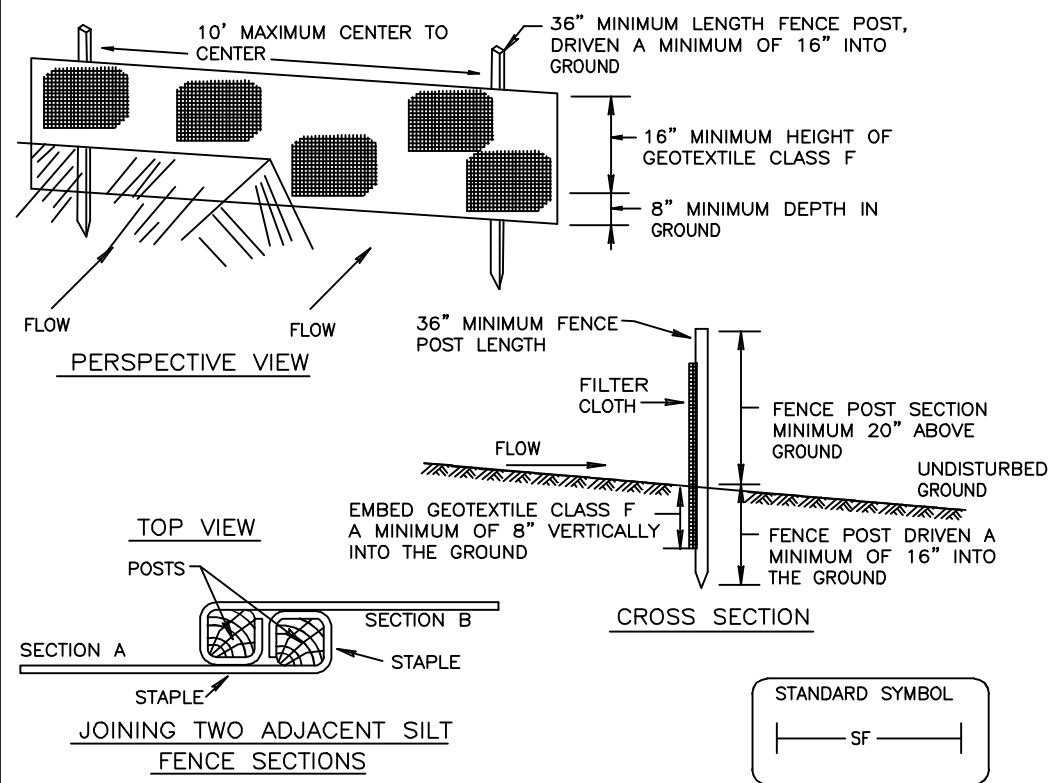
- Construction Specification
- Length – minimum of 50' (*30' for single residence lot).
 - Width – 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
 - Stone – crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - Surface Water – all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - Location – A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

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SOIL CONSERVATION SERVICE

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MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

DETAIL 22 – SILT FENCE



- Construction Specifications
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
 - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
- | | | |
|----------------------|----------------------------|---------------|
| Tensile Strength | 50 lbs/in. (min.) | Test: MMT 509 |
| Tensile Modulus | 20 lbs/in. (min.) | Test: MMT 509 |
| Flow Rate | 0.3 gal ft / minute (max.) | Test: MMT 322 |
| Filtering Efficiency | 75% (min.) | Test: MMT 322 |
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

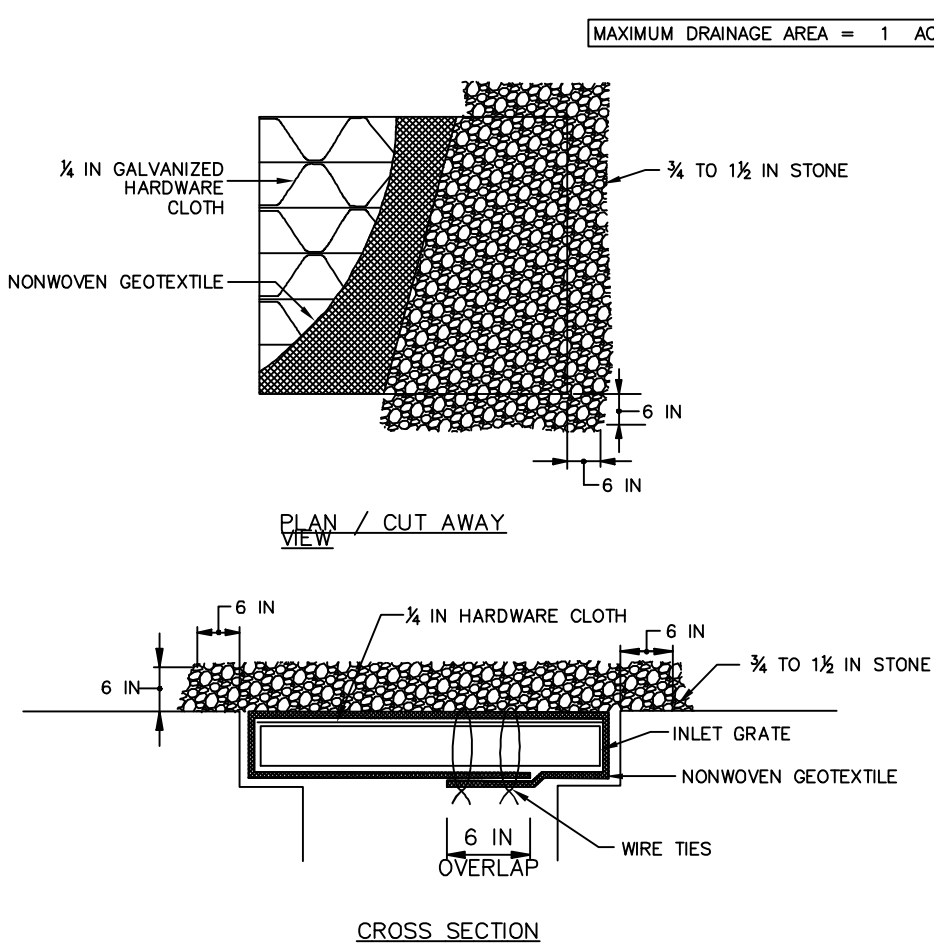
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MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

SILT FENCE

Silt Fence Design Criteria		
Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet
Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.		
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 3A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-9-2 AT-GRADE INLET PROTECTION



- CONSTRUCTION SPECIFICATIONS
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
 - LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
 - PLACE CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
 - STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

CARROLL COUNTY SEDIMENT CONTROL GENERAL NOTES

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION IN ASSOCIATION WITH THE NATURAL RESOURCES CONSERVATION SERVICE AND THE STATE SOIL CONSERVATION COMMITTEE (REFERENCED AS THE 94 STANDARDS AND SPECS.).
- AREAS THAT HAVE BEEN CLEARED AND/OR GRADED, BUT WILL NOT BE CONSTRUCTED ON OR PERMANENTLY VEGETATED FOR MORE THAN 14 DAYS (7 DAYS FOR STEEP SLOPES) MUST BE STABILIZED WITH MULCH OR TEMPORARY STABILIZATION. ANY AREAS THAT ARE IN TEMPORARY VEGETATION FOR OVER 1 YEAR WILL NEED TO BE PERMANENTLY VEGETATED.
- FOR SPECIFICATIONS ON PERMANENT OR TEMPORARY STABILIZATION, SEE G-20.
- MULCHING CAN ONLY BE USED ON DISTURBED AREAS AS A TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING GERMINATION CANNOT BE COMPLETED BECAUSE OF WEATHER CONDITIONS. FOR SPECIFICATIONS SEE G-20, SECTION I-F, G, & H.
- FOR SPECIFICATIONS ON THE STABILIZATION OF CUT AND FILL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL, SEE G-20, SECTION I, I & J.
- THE EXISTING TOPSOIL FROM ON OR OFF SITE THAT IS USED MUST MEET THE MINIMUM SPECIFICATION IN G-21.
- THE REQUIRED SEQUENCE OF CONSTRUCTION MUST BE FOLLOWED DURING SITE DEVELOPMENT. ANY CHANGES IN THE SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ANY REVISIONS TO THE SEDIMENT CONTROL PLAN, NOT COVERED UNDER THE LIST OF PLAN MODIFICATIONS THAT CAN BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR, NEED TO BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR APPROVAL.
- NO PROPOSED SLOPE SHALL BE GREATER THAN 2:1.
- ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL AND WILL BE REPAIRED, AS NEEDED, SO THAT THE STRUCTURE MEETS THE MINIMUM SPECIFICATIONS AS SHOWN IN THE 94 STANDARDS AND SPECS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- THE DISTRICT APPROVAL FOR THIS SEDIMENT CONTROL PLAN IS GOOD FOR 2 YEARS. AT THE END OF 2 YEARS, IF CONSTRUCTION OF THE PLAN HAS NOT STARTED, THE PLAN WILL NEED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR REVIEW AND RE-APPROVAL. ANY PLANS THAT ARE CURRENTLY UNDER CONSTRUCTION AFTER 2 YEARS MAY BE REQUIRED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT BY THE SEDIMENT CONTROL INSPECTOR.

DATA SOURCES:

EX. TOPOGRAPHIC BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS MARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS. PROVIDED DATE OF COMPLETION WAS JUNE 2, 2008, SUPPLEMENTED BY FIELD RUN TOPO OF LOTS 1 AND 3 PERFORMED IN AUGUST, 2024.

DDC Inc.
Development Design Consultants

Planners
Surveyors
Engineers
Landscape Architects

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DEVELOPER:
ST. JOHN PROPERTIES
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 788-0100

SITE ADDRESS:
EXCHANGE DRIVE
ELDERSBURG, MD 21784

1ST AMENDED SITE PLAN FOR LIBERTY EXCHANGE

SEDIMENT & EROSION CONTROL DETAILS

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				
NO	DESCRIPTION OF CHANGES	DRN	REV	DATE

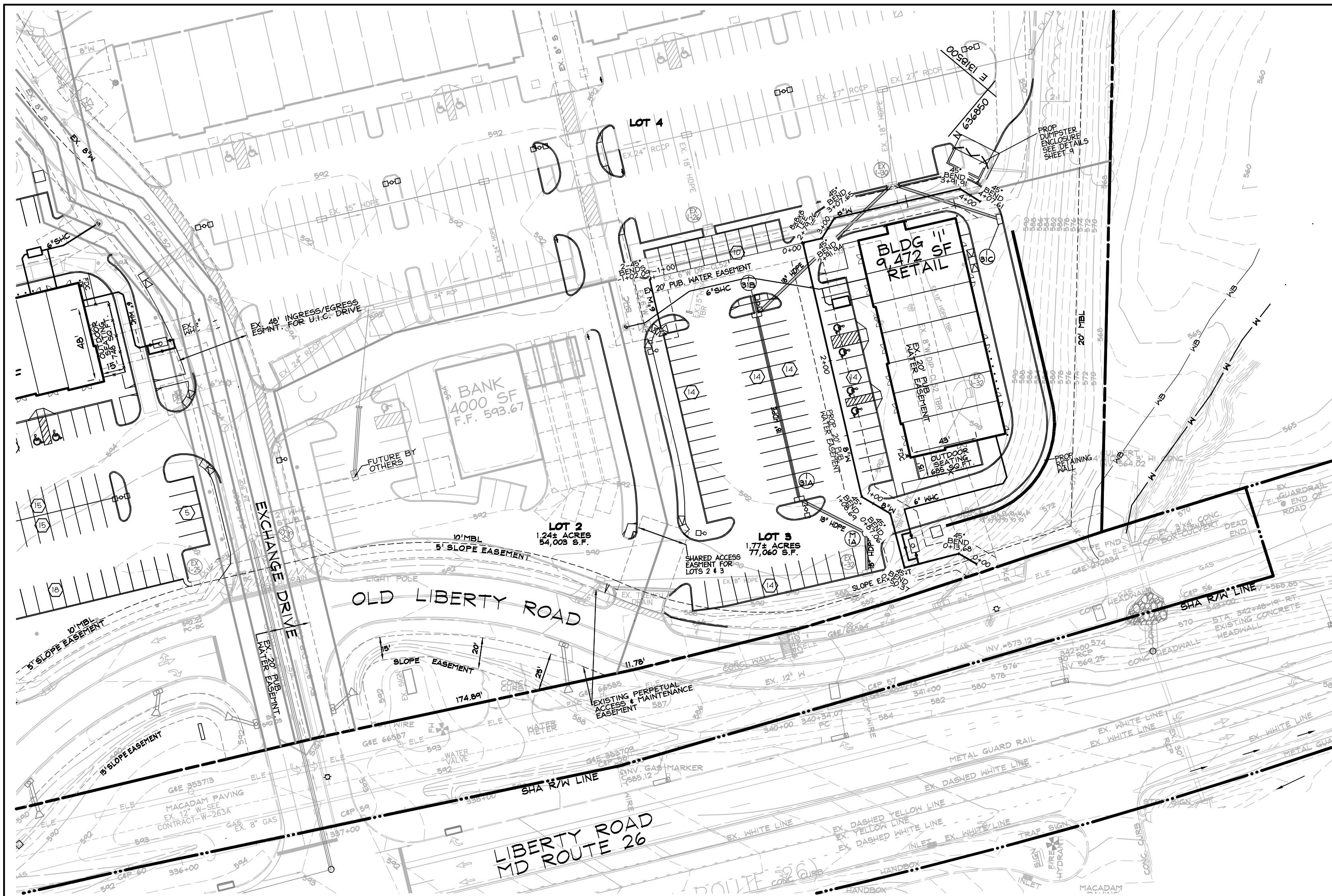
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TAX ACC. #:	14-057817 14-057833 14-057829 14-057841	DRN. BY:	LJC
TAX MAP:	73	CHK. BY:	JLM
BLOCK / GRID:	2	DATE:	6/5/25
PARCEL #:	461	DDC JOB#:	08039.1
ZONE / USE:	I-1	SHEET NUMBER:	6 of 17
DWG. SCALE:	AS NOTED		

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

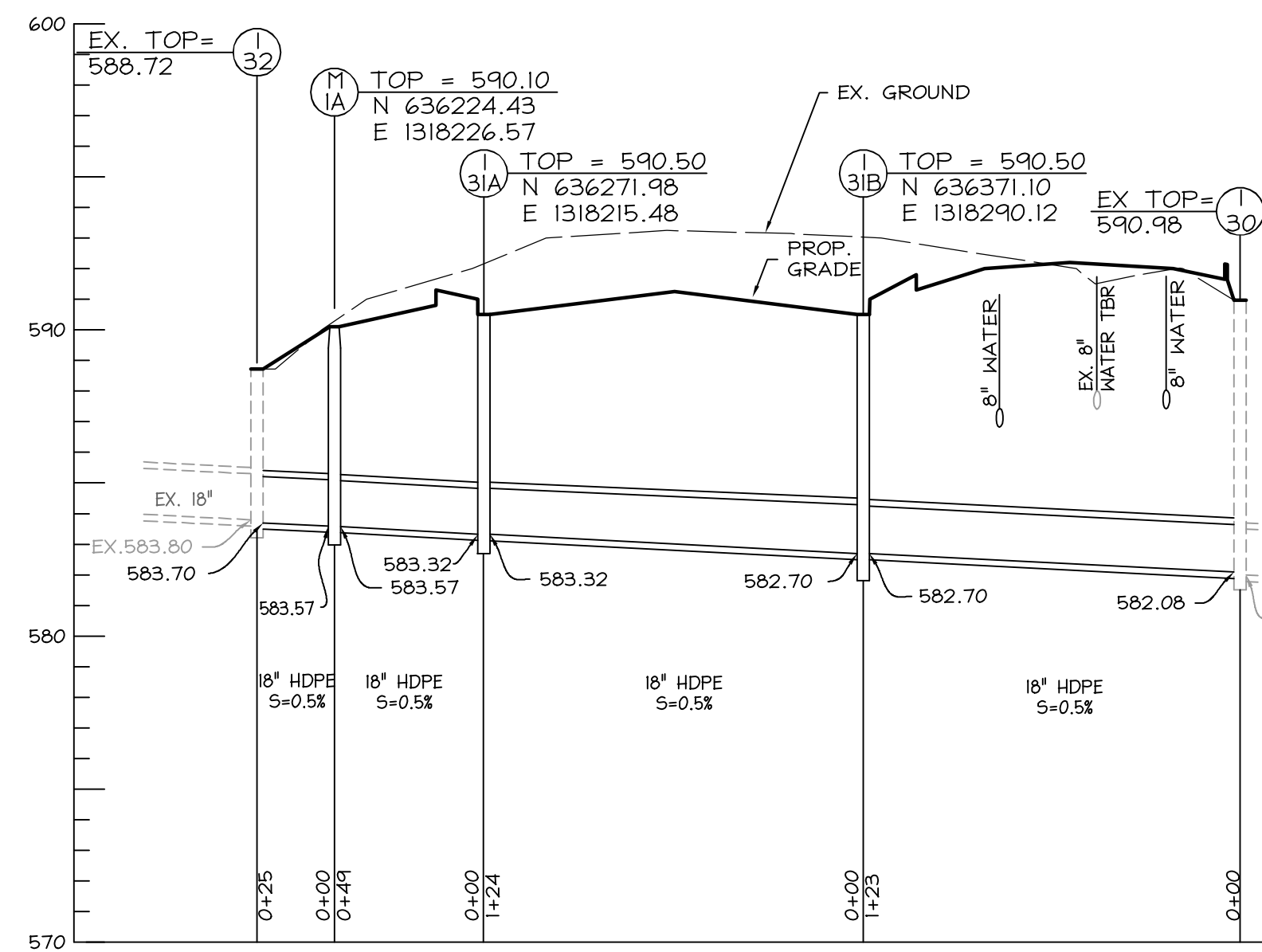
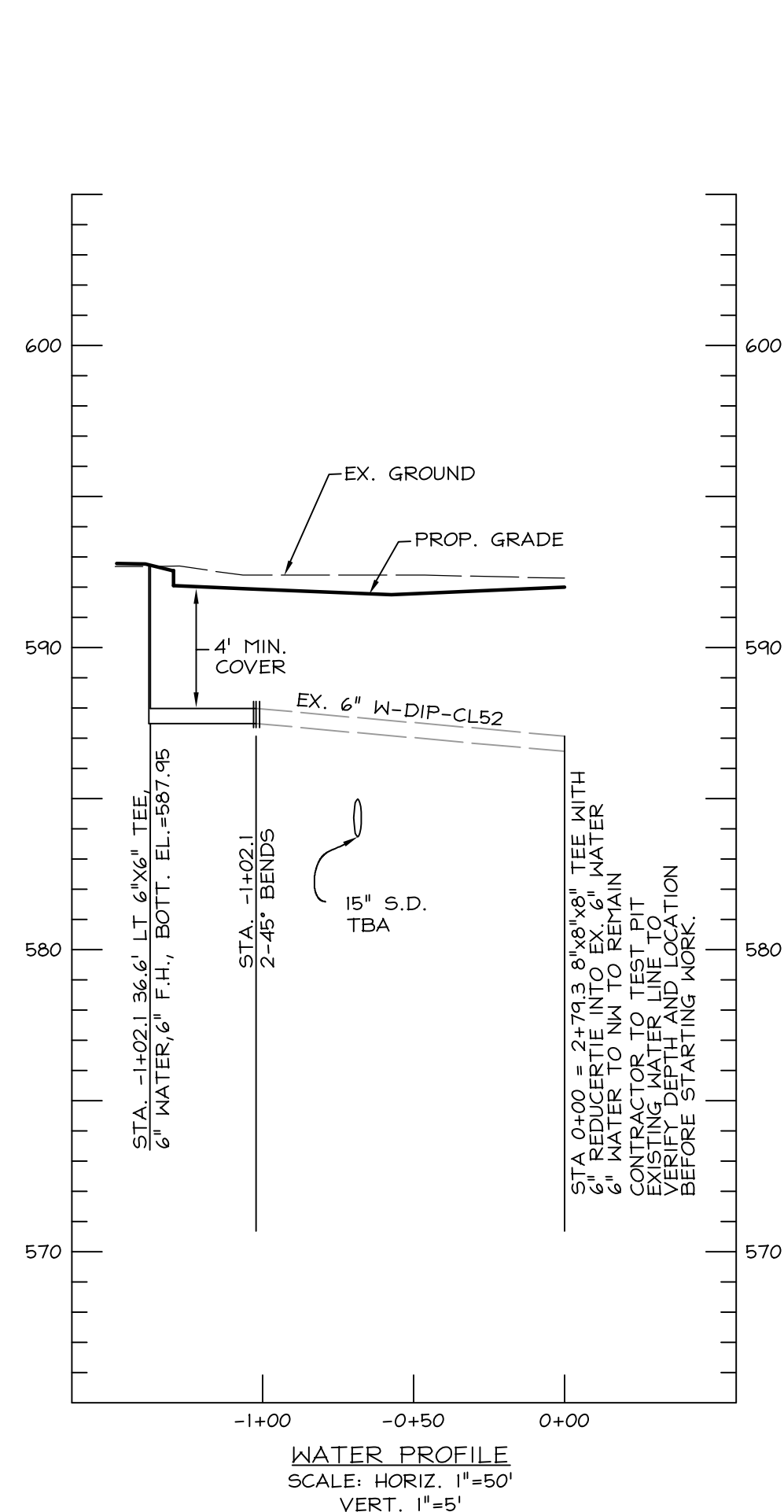
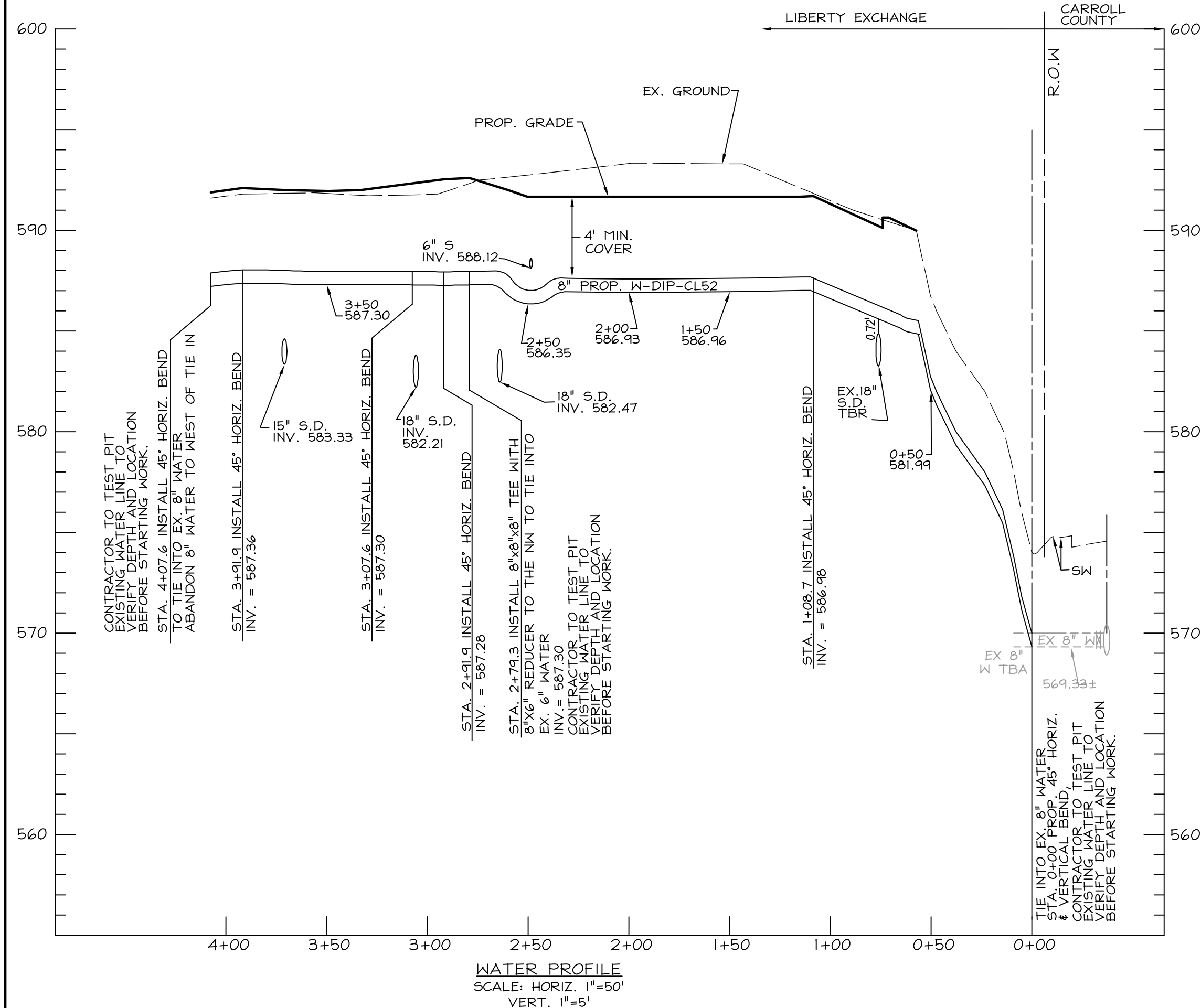
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6/5/25
DATE

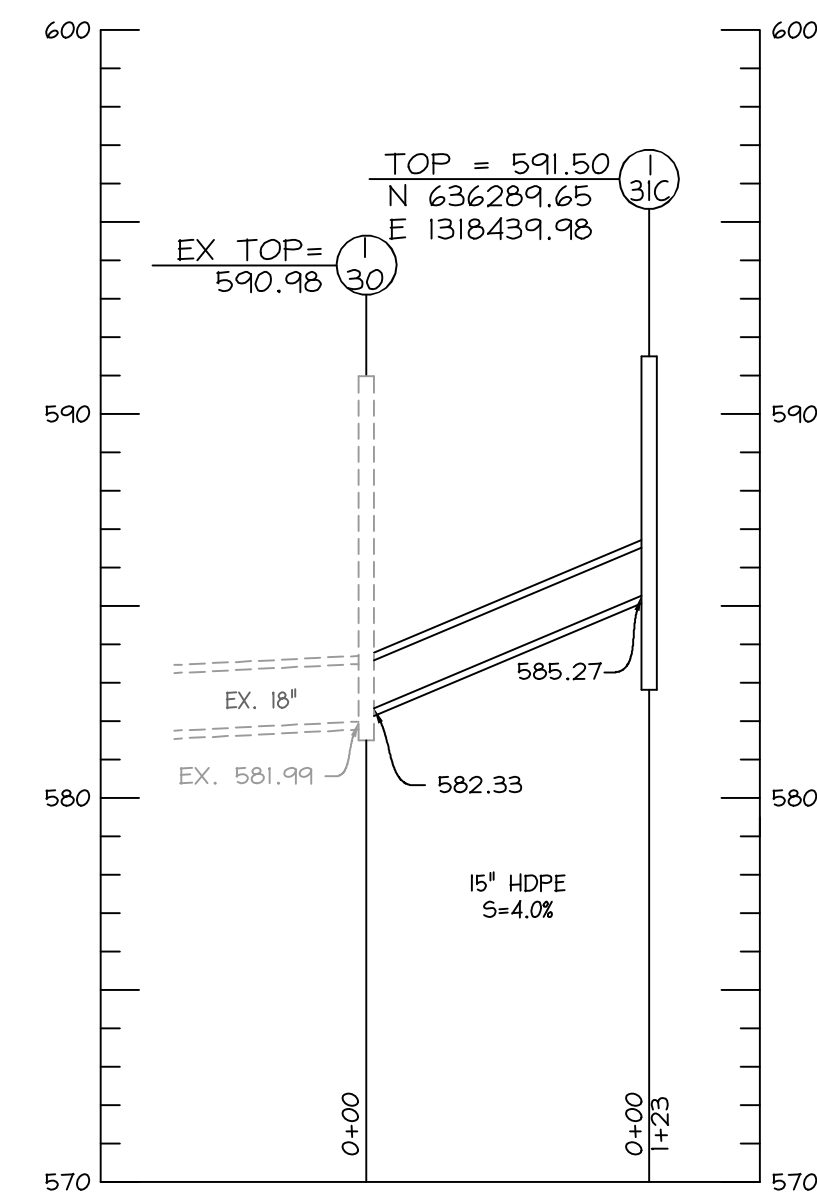
PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020



PLAN VIEW
SCALE: 1" = 50'



STORM DRAIN PROFILE
EX 1-32 TO EX 1-30
SCALE: HORIZ. 1"=50'
VERT. 1"=5'



STORM DRAIN PROFILE
I-31C TO EX 1-30
SCALE: HORIZ. 1"=50'
VERT. 1"=5'

STRUCTURE SCHEDULE

NO.	PLATE	TYPE	TOP	INV. IN	INV. OUT	COORDINATES
EX.1-32	EX.	EX PRECAST WR COMB.	588.72	583.80	583.70	N 636,207.54 E 1,318,207.67
M-1A	94	48" PRECAST MANHOLE	590.10	583.57	583.57	N 636,224.43 E 1,318,226.57
I-31A	70	PRECAST WR COMB. INLET	590.50	583.32	583.32	N 636,271.98 E 1,318,215.48
I-31B	70	PRECAST WR COMB. INLET	590.50	582.70	582.70	N 636,371.10 E 1,318,290.12
EX.1-30	EX.	EX. "5" DBL. GRATE - NO CURB	590.98	582.08/582.33	581.99 (EX.)	N 636,357.92 E 1,318,412.56
I-31C	EX.	PRECAST WR COMB. INLET	591.50	-	585.27	N 636,289.65 E 1,318,439.98

DATA SOURCES:
EX. TOPOGRAPHIC BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS MARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS. PROVIDED DATE OF COMPLETION WAS JUNE 2, 2008, SUPPLEMENTED BY FIELD RUN TOPO OF LOTS 1 AND 3 PERFORMED IN AUGUST, 2024.



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DEVELOPER:
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(410) 788-0100

SITE ADDRESS:
EXCHANGE DRIVE
ELDERSBURG, MD 21784

1ST AMENDED SITE PLAN
FOR
LIBERTY EXCHANGE
WATER, SEWER & SD
PLAN & PROFILES

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				
NO	DESCRIPTION OF CHANGES	DRN	REV	DATE
CO. FILE #:	S-23-0019	DES. BY:	LJC	
TAX ACC. #:	14-057817 14-057833 14-057829 14-057841	DRN. BY:	LJC	
TAX MAP:	73	CHK. BY:	JLM	
BLOCK / GRID:	2	DATE:	6/5/25	
PARCEL #:	461	DDC JOB#:	08039.1	
ZONE / USE:	I-1	SHEET NUMBER:		
DWG. SCALE:	1" = 50'			

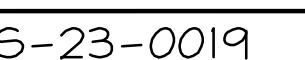
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

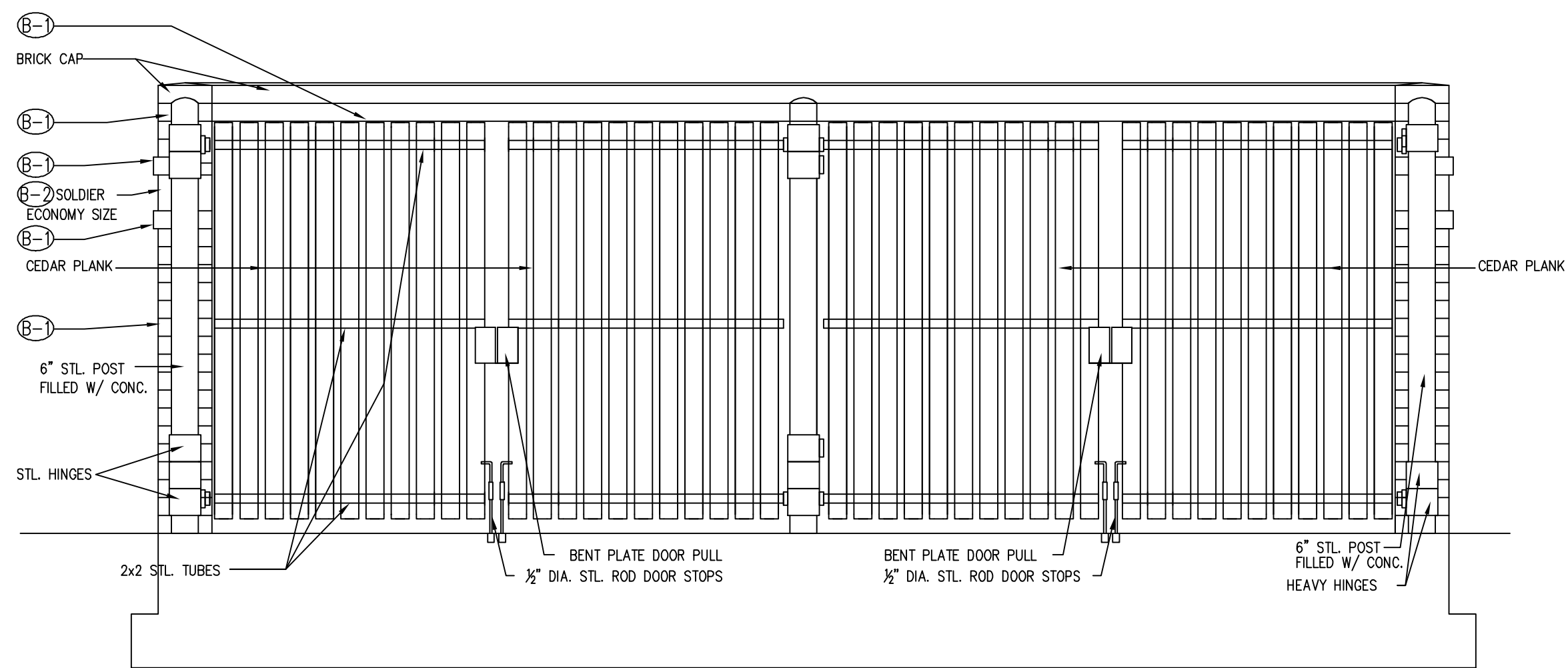
LICENSE NO. 27020, EXPIRATION DATE: JAN. 23, 2026

6/5/25
DATE

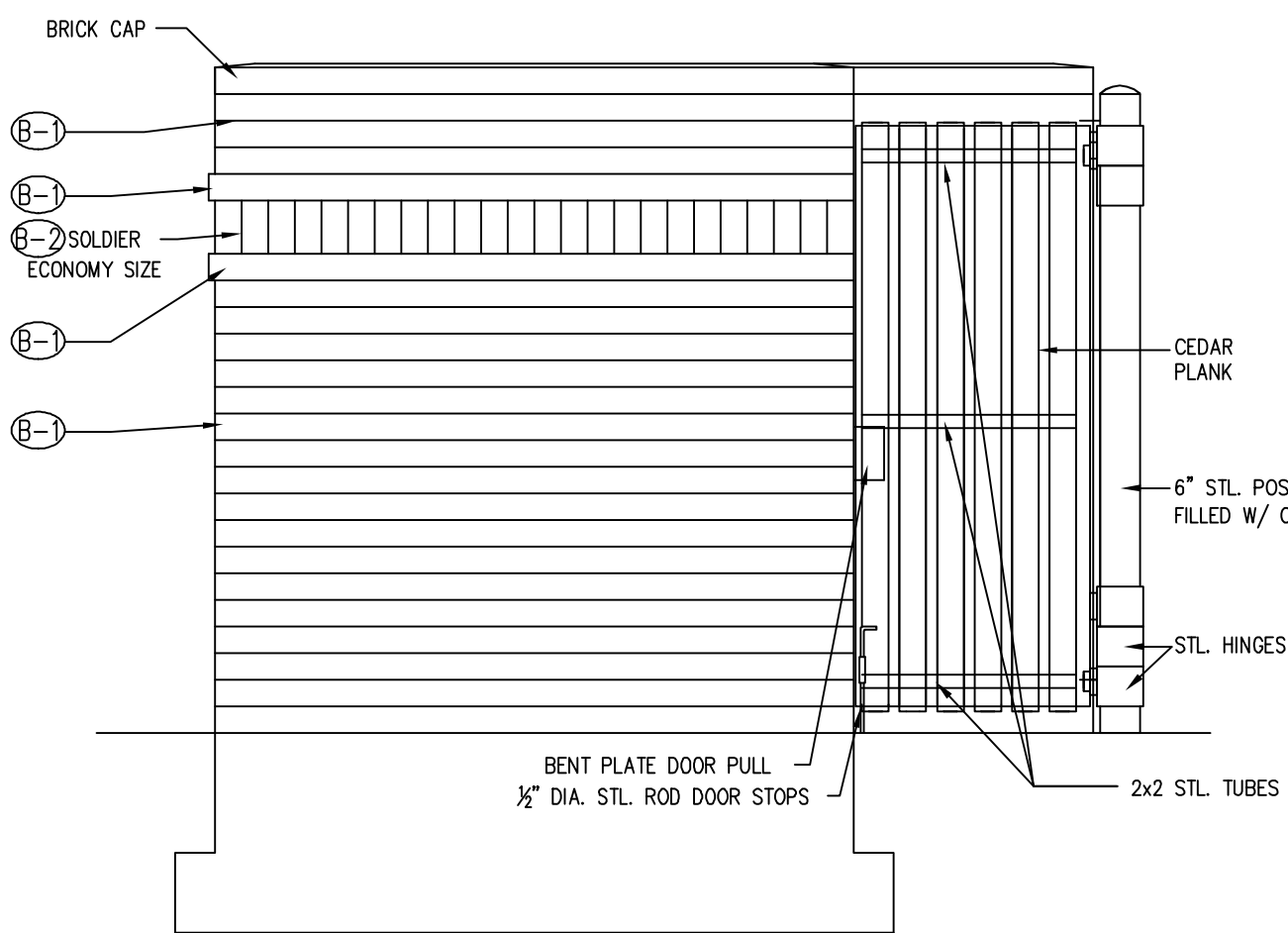


PAUL G. CAVANAUGH
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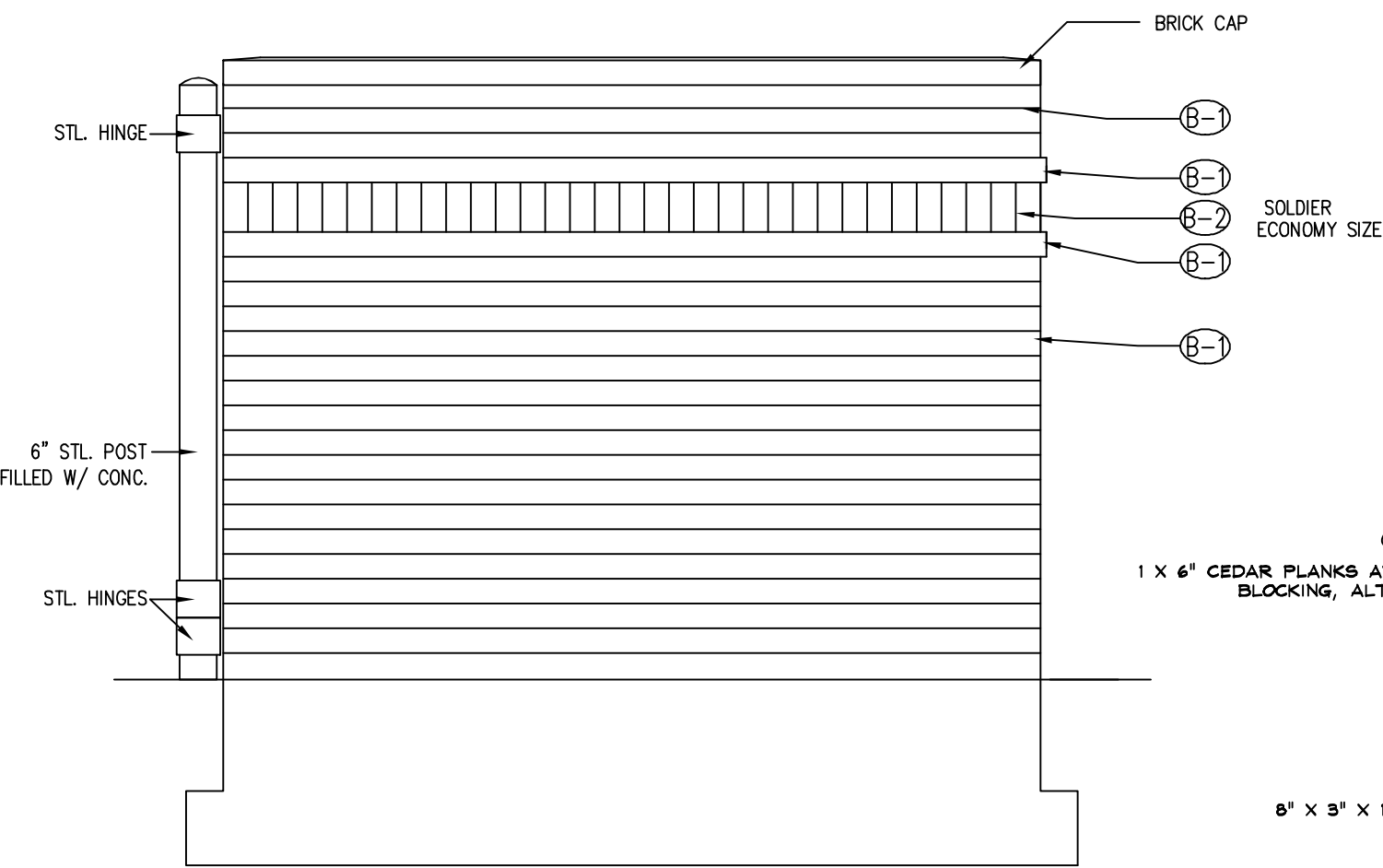




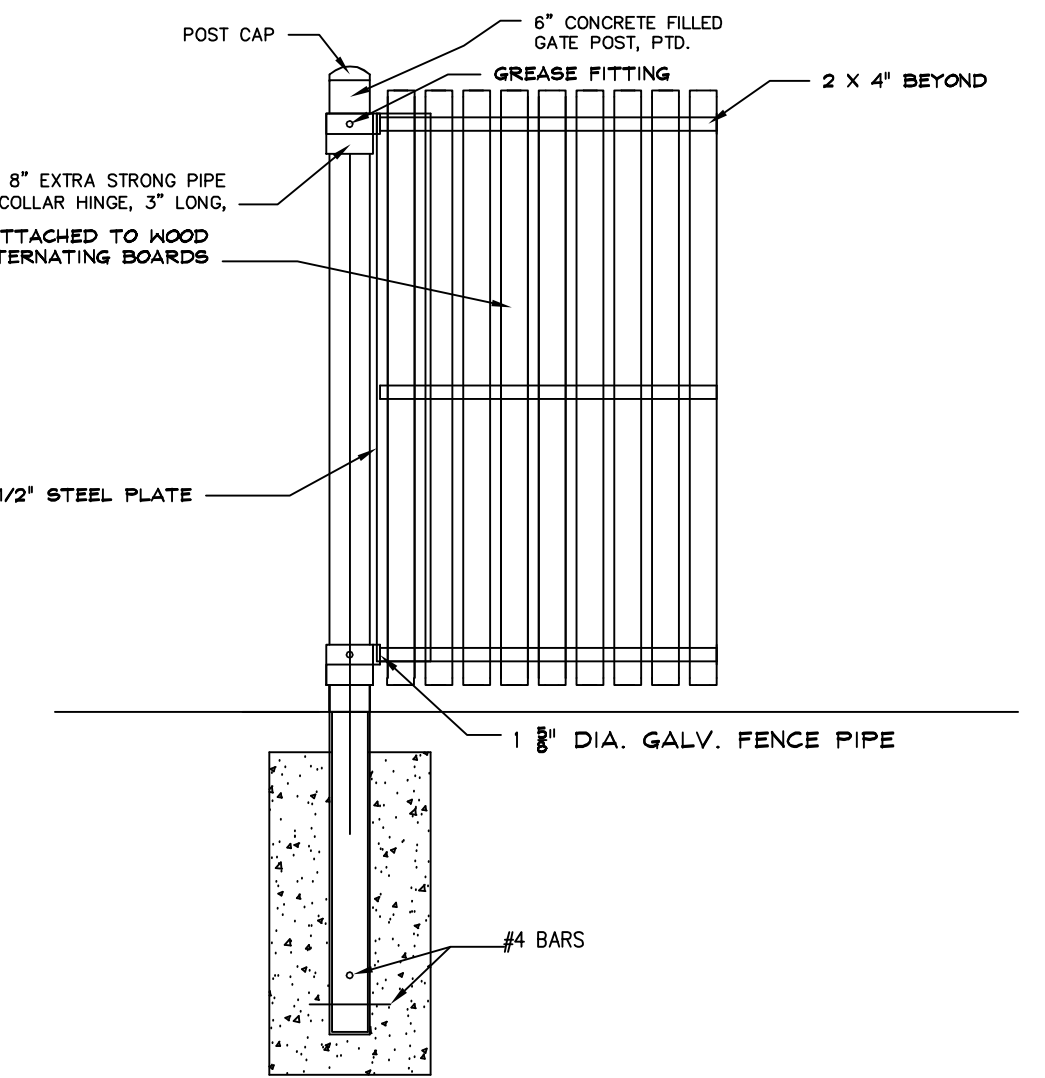
3 FRONT ELEVATION
SCALE: N.T.S.
NOTE: ALL STEEL TO BE GALVANIZED AND PAINTED



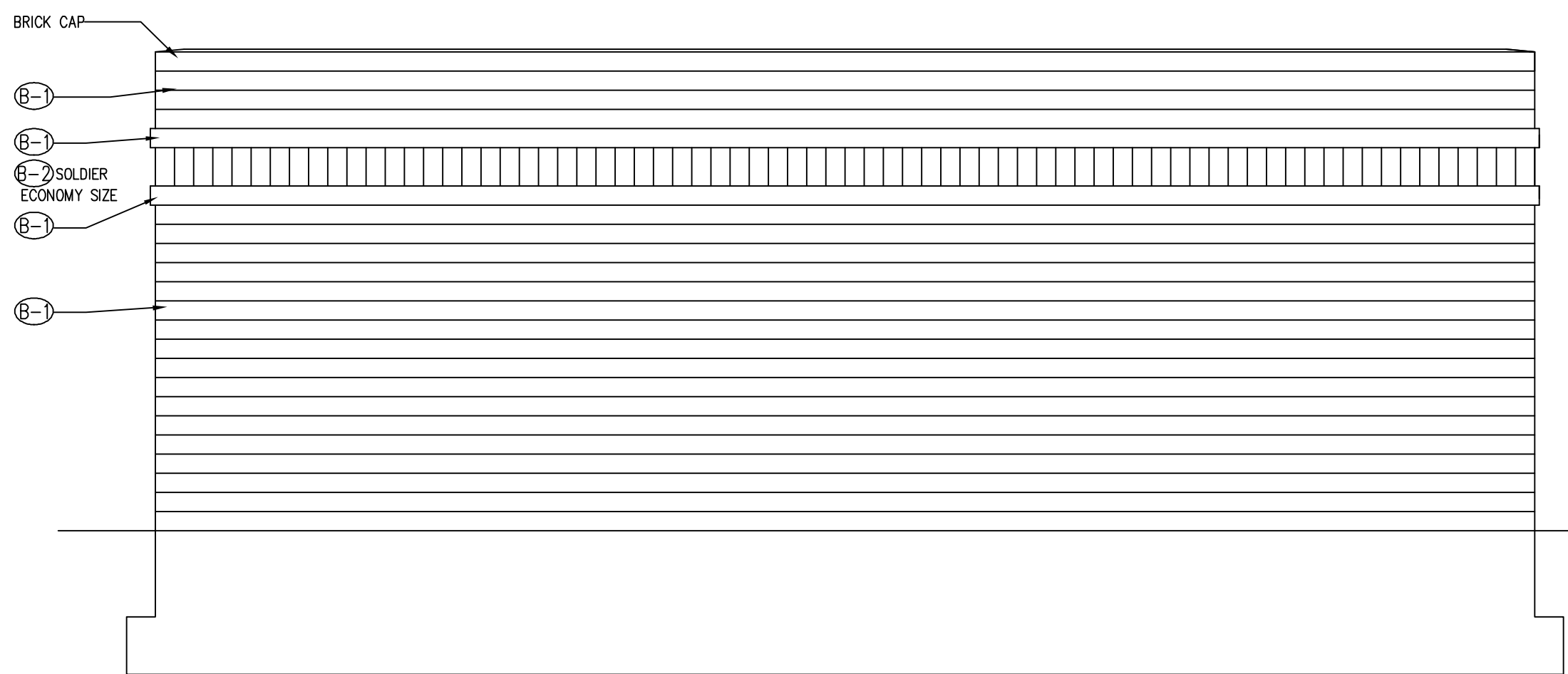
4 SIDE ELEVATION
SCALE: N.T.S.
NOTE: ALL STEEL TO BE GALVANIZED AND PAINTED



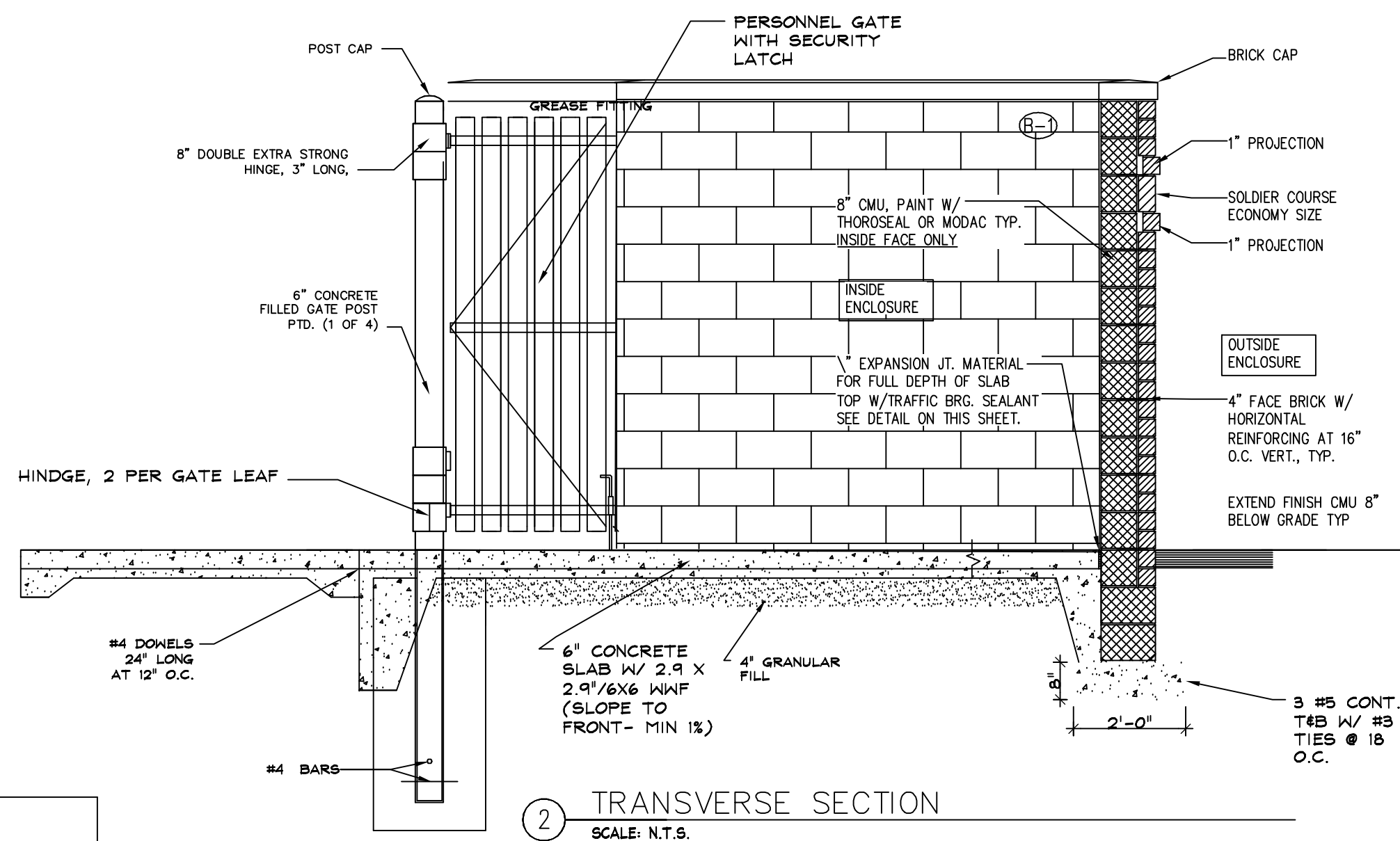
6 SIDE ELEVATION
SCALE: N.T.S.
NOTE: ALL STEEL TO BE GALVANIZED AND PAINTED



8 SWING GATE AND POST ELEVATION
SCALE: N.T.S.



5 REAR ELEVATION
SCALE: N.T.S.



2 TRANSVERSE SECTION
SCALE: N.T.S.

FINISH LEGEND	
(B-1)	UTILITY SIZE BRICK - CAPE COD - TRIANGLE BRICK
(B-2)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK SPEC. CONTROL JOINT COLOR - MATCH MORTAR COLOR COLOR: MORTAR COLOR - FLAMINGO BROWN C-105
(C-1)	1 X 6\"/>

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1ST AMENDED SITE PLAN FOR LIBERTY EXCHANGE SITE DETAILS

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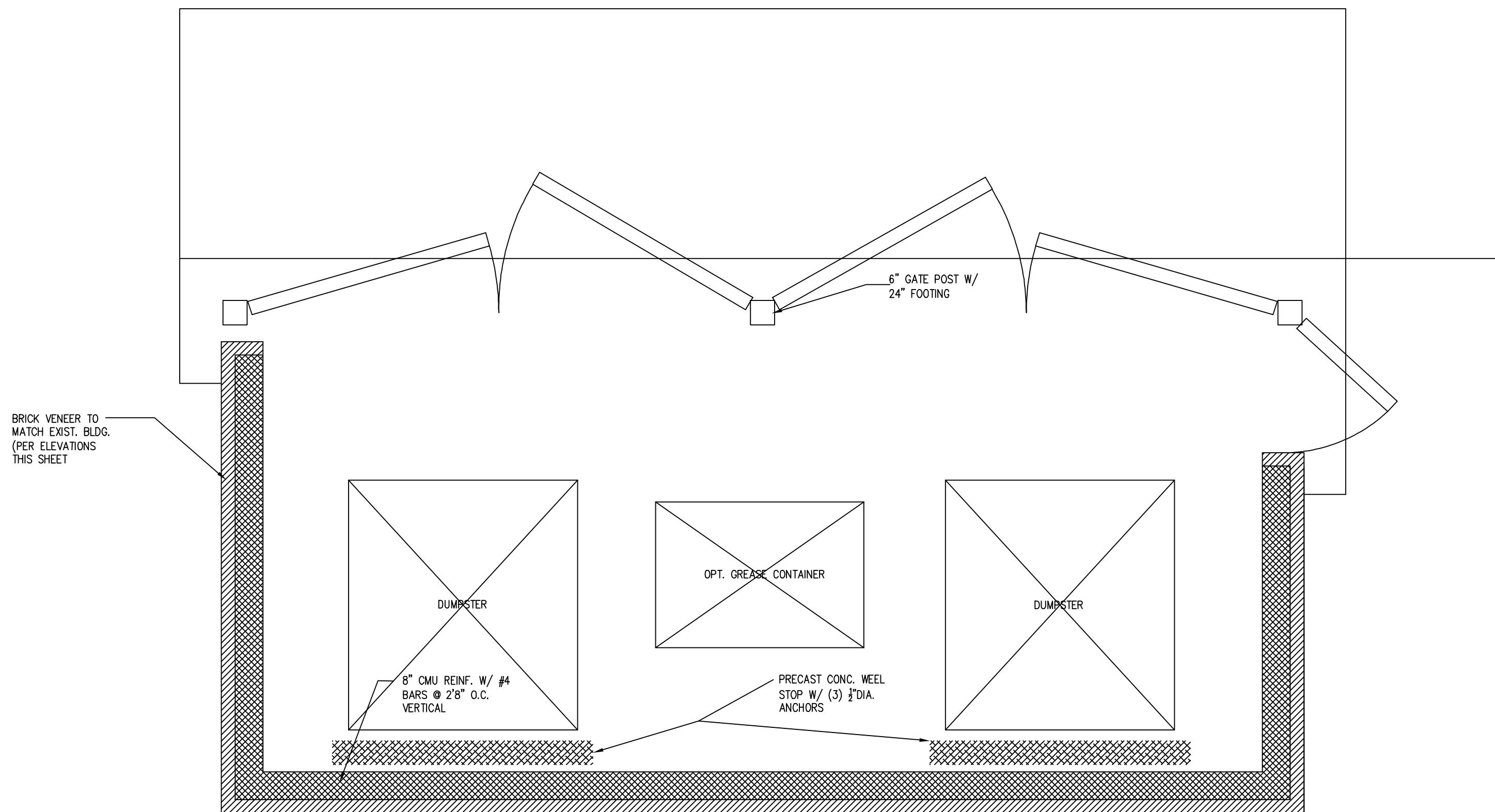
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PAUL G. CAVANAUGH
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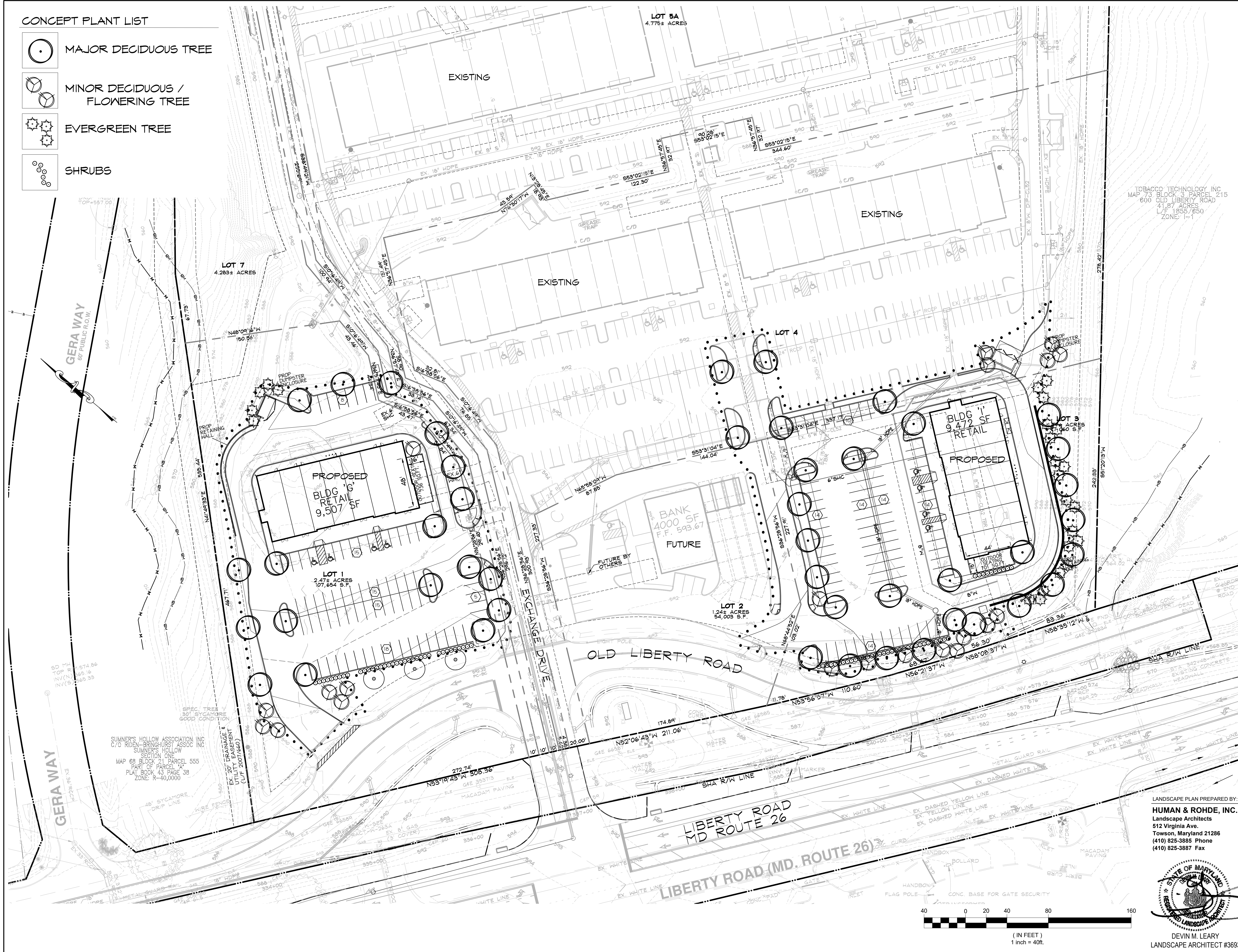
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PARCEL #:	461	DDC JOB#:	08039.1	
ZONE / USE:	I-1	SHEET NUMBER:	9 of 17	
DWG. SCALE: AS NOTED				



1 PLAN @ DUMPSTER ENCLOSURE
SCALE: N.T.S.

CONCEPT PLANT LIST

- MAJOR DECIDUOUS TREE
- MINOR DECIDUOUS / FLOWERING TREE
- EVERGREEN TREE
- SHRUBS



ST. JOHN PROPERTIES

2560 Lord Baltimore Drive
Baltimore, Maryland 21244
(410) 788-0100

DATA SOURCES:
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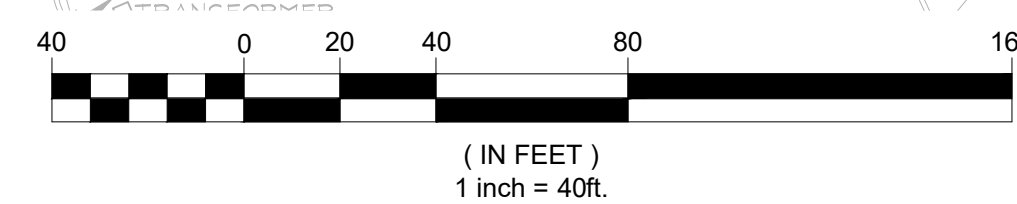
1ST AMENDED SITE PLAN FOR LIBERTY EXCHANGE CONCEPTUAL LANDSCAPE PLAN

LANDSCAPE PLAN PREPARED BY:
HUMAN & ROHDE, INC.
Landscape Architects
512 Virginia Ave.
Towson, Maryland 21286
(410) 825-3885 Phone
(410) 825-3887 Fax

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PARCEL #:	461	DDC JOB#:	08039.1
ZONE / USE:	I-1	SHEET NUMBER:	
DWG. SCALE:			



DEVIN M. LEARY
LANDSCAPE ARCHITECT #3693



LANDSCAPE PLANTING CALCULATIONS

LOT 1

II. NON-RESIDENTIAL (COMMERCIAL, INDUSTRIAL, INSTITUTIONAL AND GOVERNMENTAL)

- A. BUILDINGS:
- ADJACENT TO PUBLIC R/W WITH PARKING LOT IN BETWEEN, NO SCREENING
 - ADJACENT TO RESIDENTIAL: 10' WIDE CLASS A SCREENING REQUIRED
 - 65 LF BUILDING ADJ. RESIDENTIAL, CREDIT 65 LF EX. WOODS, 0 PVS REQUIRED
- B. PARKING LOTS:
1. PERIMETER SCREENING
- CLASS B SCREENING REQUIRED ADJACENT TO PUBLIC R/W
 - 142 LF OF PARKING ADJ. TO PUBLIC R/W (142 LF/15) = 13 PVS REQUIRED
 - 10' WIDE CLASS A SCREENING REQUIRED ADJACENT TO RESIDENTIAL
 - 126 LF PARKING ADJ. TO RES., CREDIT 126 LF EX. WOODS, 0 PVS REQUIRED
2. INTERIOR LANDSCAPING
- RESERVE 10% OF THE PARKING LOT FOR INTERIOR LANDSCAPING:
 - 20,132 SF PARKING AREA @10% = 2,013 SF REQUIRED
 - 2,105 SF PROVIDED
 - PLANT AT 1 PU/12 PARKING SPACES (76 SPACES/12) = 7 PVS REQUIRED
- D. SERVICE LANES:
- PROVIDE 6 FEET OF LANDSCAPE SPACE ADJACENT TO COMMERCIAL USE, PLANT AT 1 PU/25 LF OF PAVING PERMETER
 - 110 LF PAVING PERMETER (110 LF/25) = 5 PVS REQUIRED
 - CLASS A SCREENING REQUIRED ADJACENT TO RESIDENTIAL
 - 110 LF SERVICE LANE ADJ. TO RES., CREDIT 110 LF EX. WOODS, 0 PVS REQUIRED

III. OTHER

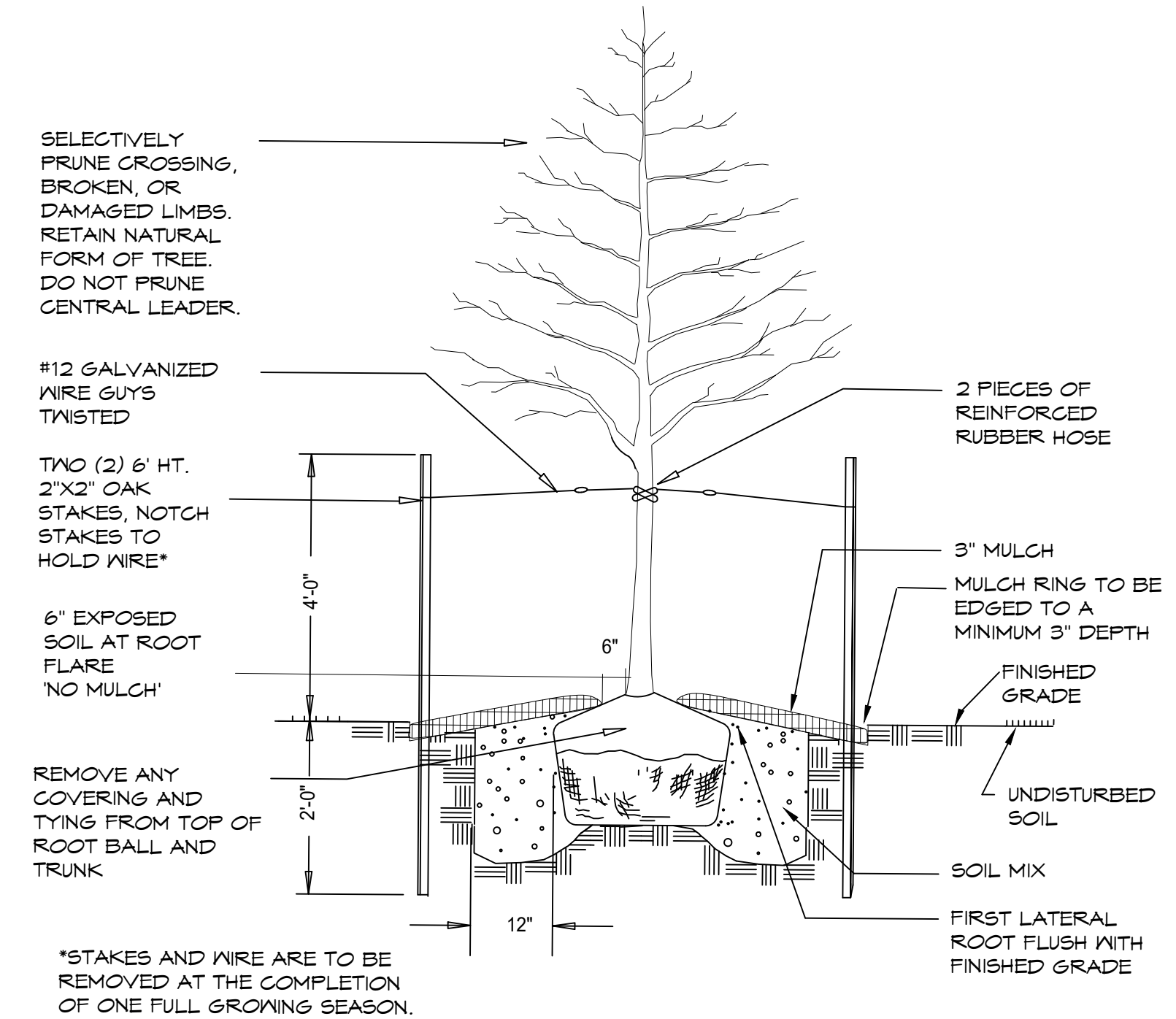
- A. DUMPSTERS:
- CLASS A SCREEN IS REQUIRED
 - 42 LF DUMPSTER PERIMETER, CREDIT 22 LF EX. WOODS, (20 LF/20) = 1 PVS REQUIRED
- B. RETAINING WALLS:
- PROVIDE 5-FOOT WIDE LANDSCAPE AREA AT THE BASE OF THE RETAINING WALL, PLANT AT 1 PU/25 LF AT THE BASE OF THE WALL
 - 125 LF RETAINING WALL, CREDIT 125 LF EX. WOODS, 0 PVS REQUIRED

TOTAL PLANTING UNITS (PVS) REQUIRED: 26 PVS

PLANTING PROVIDED:

- 10 MAJOR DECIDUOUS TREES = 10.0 PVS
- 7 MINOR DECIDUOUS TREES = 3.5 PVS
- 5 EVERGREEN TREES = 2.5 PVS
- 36 SHRUBS = 1.2 PVS

TOTAL PLANTING UNITS (PVS) PROVIDED: 31.2 PVS



PLANTING DETAIL FOR DECIDUOUS AND EVERGREEN TREES* - 1 - 4" CALIPER

SCALE: NONE

SPECIFICATIONS FOR PLANTING

PLANT IDENTIFICATION:

All plants shall be identified in accordance with the latest edition of Hortus Third, by "The Staff of the Hortorium"

LIST OF PLANT MATERIALS:

The contractor will verify plant quantities prior to bidding and any discrepancies shall be brought to the attention of the Landscape Architect. The Contractor shall furnish and plant all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of the Landscape Architect. This contract will be based on the bidder having verified, prior to bidding, the availability of the required plant materials as specified on the Plant List.

PLANT QUANTITY:

All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been sheared regularly, and sound, free of plant disease or insect eggs, and shall have a healthy, normal root system. Plants shall be nursery grown. Plants shall not be pruned prior to delivery. The shape of the plant shall in general conform to its natural growth proportions unless otherwise specified. All plants including container grown shall conform to American Standard for Nursery Stock (ANSI z60.1, latest edition), and shall have a well-shaped, heavy branch structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped. All plant sizes shall average at least the middle of the range given in the plant list.

PLANT SPACING:

Plant spacing is to scale on the plan or as shown on the plant list.

SOIL MIX:

Soil mix will be 2/3 existing soil and 1/3 LEAFGRO or equal organic material, thoroughly mixed and homogenized.

BALL SIZE:

The ball size shall conform to the American Association of Nurserymen's publication entitled American Standard For Nursery Stock, ANSI z60.1, latest edition.

EXCAVATION:

Holes for all plants shall be 18" larger in diameter than size of ball or container and shall have vertical sides. Hedges shall be planted in a trench 12" wider than ball diameter. Beds for mass planting shall be entirely rototilled to a depth of 8" and shall be 18" beyond the average outside edge of plant balls. A 2" layer of organic material (i.e., LEAFGRO) will be incorporated into plant beds by tilling again.

PLANTING:

Backfilling shall be done with soil mix, reasonably free of stones, subsoil, clay, lumps, stumps, roots, weeds, bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth or hinder grading, planting, or maintenance operations. Should any unforeseen or unsuitable planting conditions arise, such as faulty soil drainage or chemical residues, they should be called to the attention of the Landscape Architect and Owner for adjustments before planting. The plant shall be set plumb and straight and shall be staked at the time of planting. Backfill shall be well worked about the roots and settled by watering. Plants will be planted higher than surrounding grade. Shrubs will be 1" higher and trees will be 3" higher. Remove rope from around tree trunks and lay back burlap from top of all B&B material. Nylon or vinyl rope and/or burlap will be completely removed from all plant material prior to planting.

TRANSPLANTING TREES BY TREE MACHINES:

Trees shall be moved by machines that provide a minimum of 4" per 1" of tree caliper. Holes are to be dug by the same size machine as the one transporting the plant. The plant material shall be transplanted in approximately the same growing condition as it is pleasantly growing, in terms of soil type and moisture content. Fertilize and gully as described in these plans and specifications.

CULTIVATION:

All trenches and shrub beds shall be cultivated, edged and mulched to a depth of 3" with shredded bark. The area around isolated plants shall be mulched to at least 6" greater diameter than that of the hole. Plant beds adjacent to buildings shall be mulched to the building wall.

MAINTENANCE:

The Contractor shall be responsible during the contract and up to the time of acceptance for keeping the planting and work incidental thereto in good condition, by replanting, plant replacement, watering, weeding, cultivating, pruning and spraying, restaking and cleaning up and by performing all other necessary operations of care for promotion of good plant growth so that all work is in satisfactory condition at time of acceptance, at no additional cost to the Owner.

FERTILIZER:

The Contractor shall apply granular fertilizer to the soil mix with 10-6-4 analysis, 50% organic, at the following rates: Trees @ 2-3 lbs. per caliper inch; Shrub Beds @ 3-5 lbs per 100 sq.ft.; and Groundcover Beds @ 2-3 lbs. per 100 sq.ft.

GROUNDCOVER:

All areas of groundcover shall be rototilled to a depth of 6". Apply 2" of organic material and rototill until thoroughly mixed. Apply fertilizer as stated above.

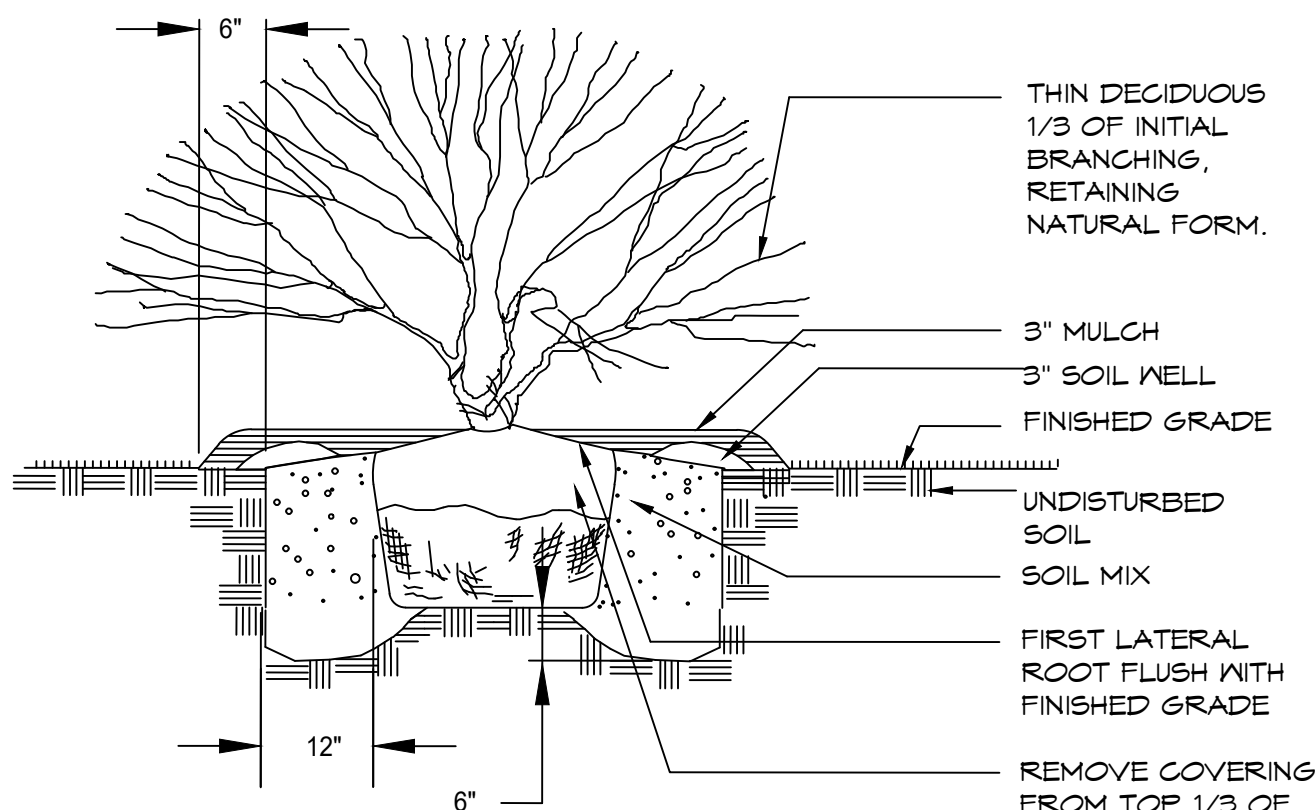
GUARANTEE AND REPLACEMENT:

All material shall be unconditionally guaranteed for one (1) year. The Contractor is responsible for watering but not for losses or damage caused by mechanical injury or vandalism.

INSPECTION:

1) Initial inspection. This inspection shall be performed when planting is completed to verify compliance with the approved planting plan. The inspection shall be performed by a landscape architect. A completed and sealed Landscape Certificate shall be provided to Carroll County with photographs or other visual documentation. The 12 month survival period will begin upon receipt of the Landscape Certification.

2) Final inspection: This inspection shall be performed by the Carroll County 12 months after certification of the initial planting.



PLANTING DETAIL FOR EVERGREEN AND DECIDUOUS SHRUBS

SCALE: NONE

NOTES:

- CONTRACTOR IS TO NOTIFY MISS UTILITY A MINUM OF 12 HOURS PRIOR TO DIGGING. TELEPHONE: 1-800-251-TTTT
- THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
- THIS PLAN IS FOR PLANTING ONLY.
- NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
- SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING.
- ANY EXISTING SOIL CONDITIONS THAT MAY POSE A THREAT TO THE LIFE AND HEALTH OF THE PLANT MATERIAL MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL.
- THREE INCHES OF TOPSOIL IS REQUIRED ON ALL DISTURBED AREAS TO BE LANDSCAPED, SEEDER, OR SODDED.

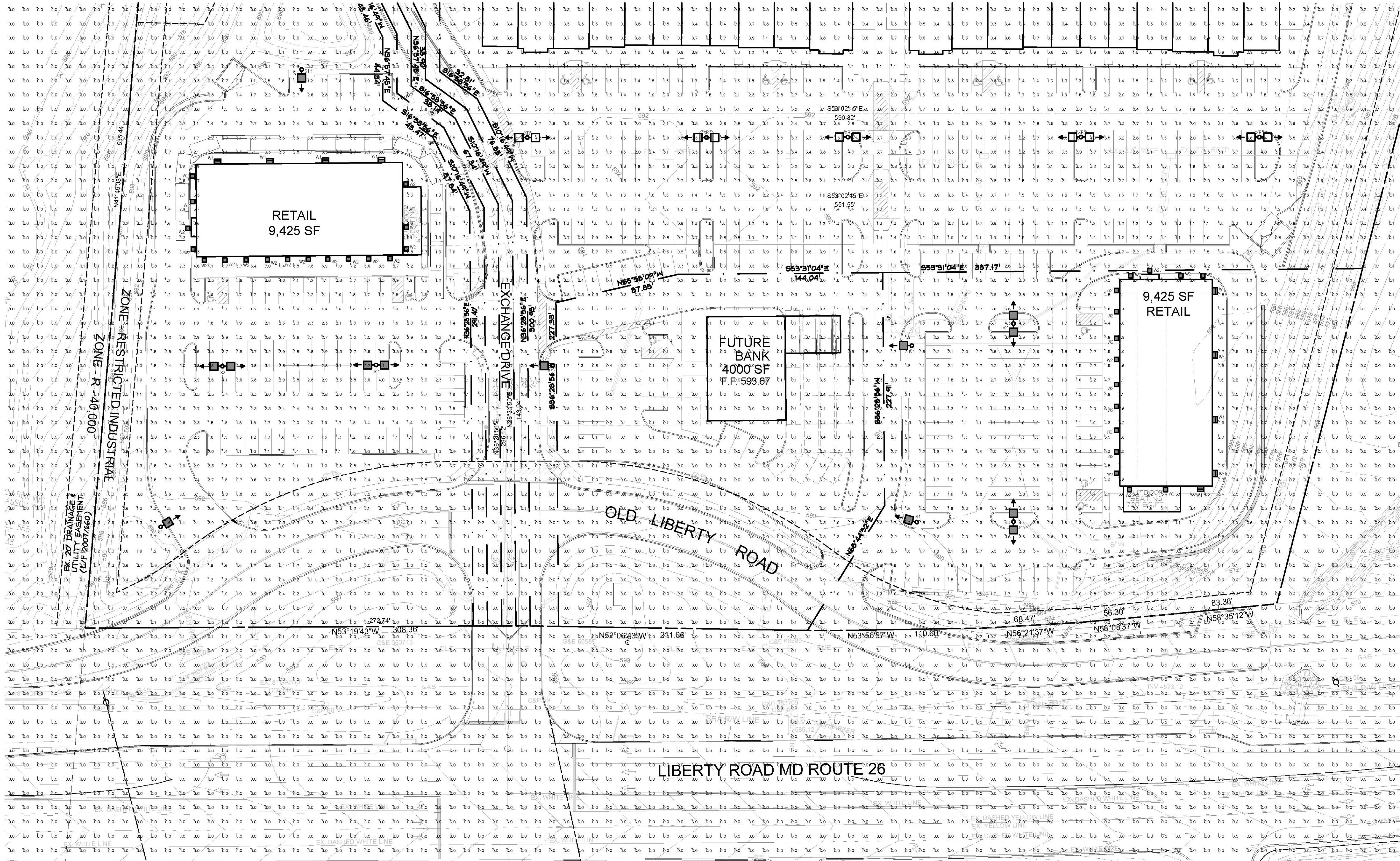


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<table border="1"> <thead> <tr> <th colspan="2">14TH ELECTION DISTRICT</th> <th colspan="2">CARROLL COUNTY, MD</th> </tr> <tr> <th colspan="4">REVISIONS</th> </tr> <tr> <th>NO.</th> <th>DESCRIPTION OF CHANGES</th> <th>DRN.</th> <th>REV. DATE</th> </tr> </thead> <tbody> <tr> <td>CO. FILE #:</td> <td>S-23-0019</td> <td>DES. BY:</td> <td>MRV</td> </tr> <tr> <td>TAX ACC. #:</td> <td>14-057617 14-057633 14-057625 14-057641</td> <td>DRN. BY:</td> <td>MRV</td> </tr> <tr> <td>TAX MAP:</td> <td>73</td> <td>CHK. BY:</td> <td>DML</td> </tr> <tr> <td>BLOCK / GRID:</td> <td>2</td> <td>DATE:</td> <td>4/23/25</td> </tr> <tr> <td>PARCEL #:</td> <td>461</td> <td>DDC JOB#:</td> <td>08039.1</td> </tr> <tr> <td>ZONE / USE:</td> <td>I-1</td> <td>SHEET NUMBER:</td> <td>11 of 17</td> </tr> <tr> <td>DWG. SCALE:</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>			14TH ELECTION DISTRICT		CARROLL COUNTY, MD		REVISIONS				NO.	DESCRIPTION OF CHANGES	DRN.	REV. DATE	CO. FILE #:	S-23-0019	DES. BY:	MRV	TAX ACC. #:	14-057617 14-057633 14-057625 14-057641	DRN. BY:	MRV	TAX MAP:	73	CHK. BY:	DML	BLOCK / GRID:	2	DATE:	4/23/25	PARCEL #:	461	DDC JOB#:	08039.1	ZONE / USE:	I-1	SHEET NUMBER:	11 of 17	DWG. SCALE:			
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EXCHANGE DRIVE
ELDERSBURG, MD 21784

1ST AMENDED SITE PLAN
FOR
LIBERTY EXCHANGE

PHOTOMETRIC
PLAN

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				







NO	DESCRIPTION OF CHANGES	DRN	REV	DATE
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CO. FILE #:	S-23-0019	DES. BY:	LJC
TAX ACC. #:	14-057617 14-057633 14-057629 14-057641	DRN. BY:	LJC
TAX MAP:	73	CHK. BY:	JLM
BLOCK / GRID:	2	DATE:	6/5/25
PARCEL #:	461	DDC JOB#:	08039.1
ZONE / USE:	I-1	SHEET NUMBER:	12 of 17
DWG. SCALE: AS NOTED			

SITE PHOTOMETRIC PLAN

SCALE: 1"=40'-0"

LUMINAIRE SCHEDULE

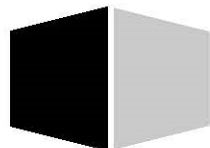
Symbol	Label	Qty	Arrangement	Mounting Height	Lumens	Watts	LLF	BUG RATING	Description
	W1	9	SINGLE TYPE FT DISTRIBUTION	WALL MOUNTED 16"-6" ABOVE FINISHED FLOOR.	4458 (4000K)	30	0.95	B1-U0-G1	LSI LIGHTING# XWM-FT-LED-04L-40
	W2	32	SINGLE TYPE FT DISTRIBUTION	WALL MOUNTED 11"-0".	1918 (4000K)	15.9	0.95	B1-U0-G0	RAB LIGHTING# SLIM 12N
	S1	4	SINGLE TYPE III DISTRIBUTION	30' POLE MOUNTED FLUSH BASE (30' RAISED POLE BASE IN PARKING AREA STRIPPING WITH 27'-6" POLE)	19310 (4000K)	135	0.95	B3-U0-G3	LSI LIGHTING# MRM-LED-18L-SIL-3-40-70CRI-
	S1H	1	SINGLE TYPE III DISTRIBUTION	30' POLE MOUNTED FLUSH BASE (30' RAISED POLE BASE IN PARKING AREA STRIPPING WITH 27'-6" POLE)	19310 (4000K)	135	0.95	B0-U0-G3	LSI LIGHTING# MRM-LED-18L-SIL-3-40-70CRI-IL
	S2	9	BACK TO BACK TYPE III DISTRIBUTION	30' POLE MOUNTED FLUSH BASE (30' RAISED POLE BASE IN PARKING AREA STRIPPING WITH 27'-6" POLE)	19462 (4000K)	135	0.95	B3-U0-G3	LSI LIGHTING# MRM-LED-18L-SIL-3-40-70CRI-
	XR	4	BACK TO BACK	30' POLE MOUNTED FLUSH BASE	19000 (4000K)	135	0.95	XR	EXISTING TO REMAIN. SHOWN FOR REFERENCE.

CALCULATION SUMMARY

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Site	Illuminance	Fc	0.60	7.8	0.0	N/A	N/A
Retail 1 Parking	Illuminance	Fc	2.41	7.8	0.4	6.00	19.50
Retail 1 Parking	Illuminance	Fc	2.40	7.6	0.4	6.00	19.00

WATTS DESIGN
COMPANY, INC.

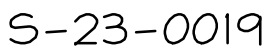
MEP Consultants
4900 Pleasant Grove Rd
Reisterstown, MD 21136
Tel 410-367-9934

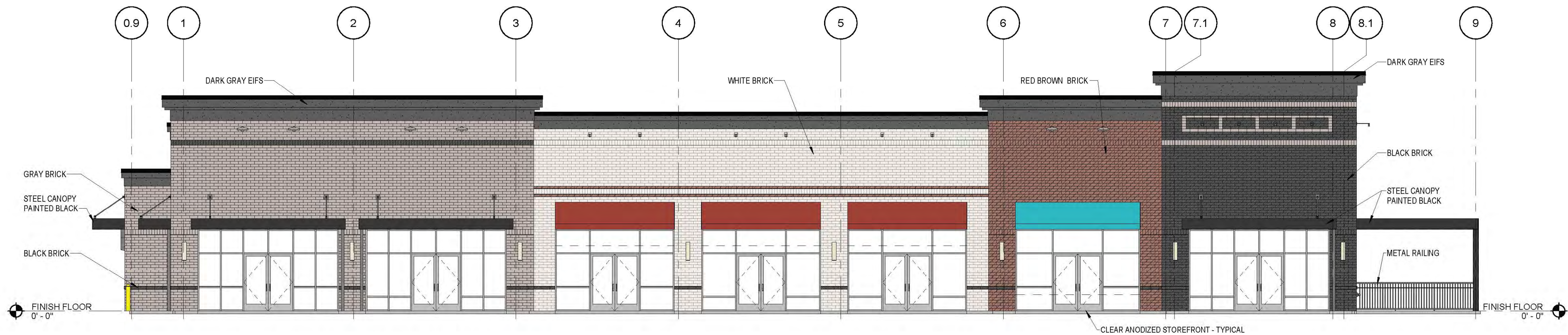


ST. JOHN
PROPERTIES

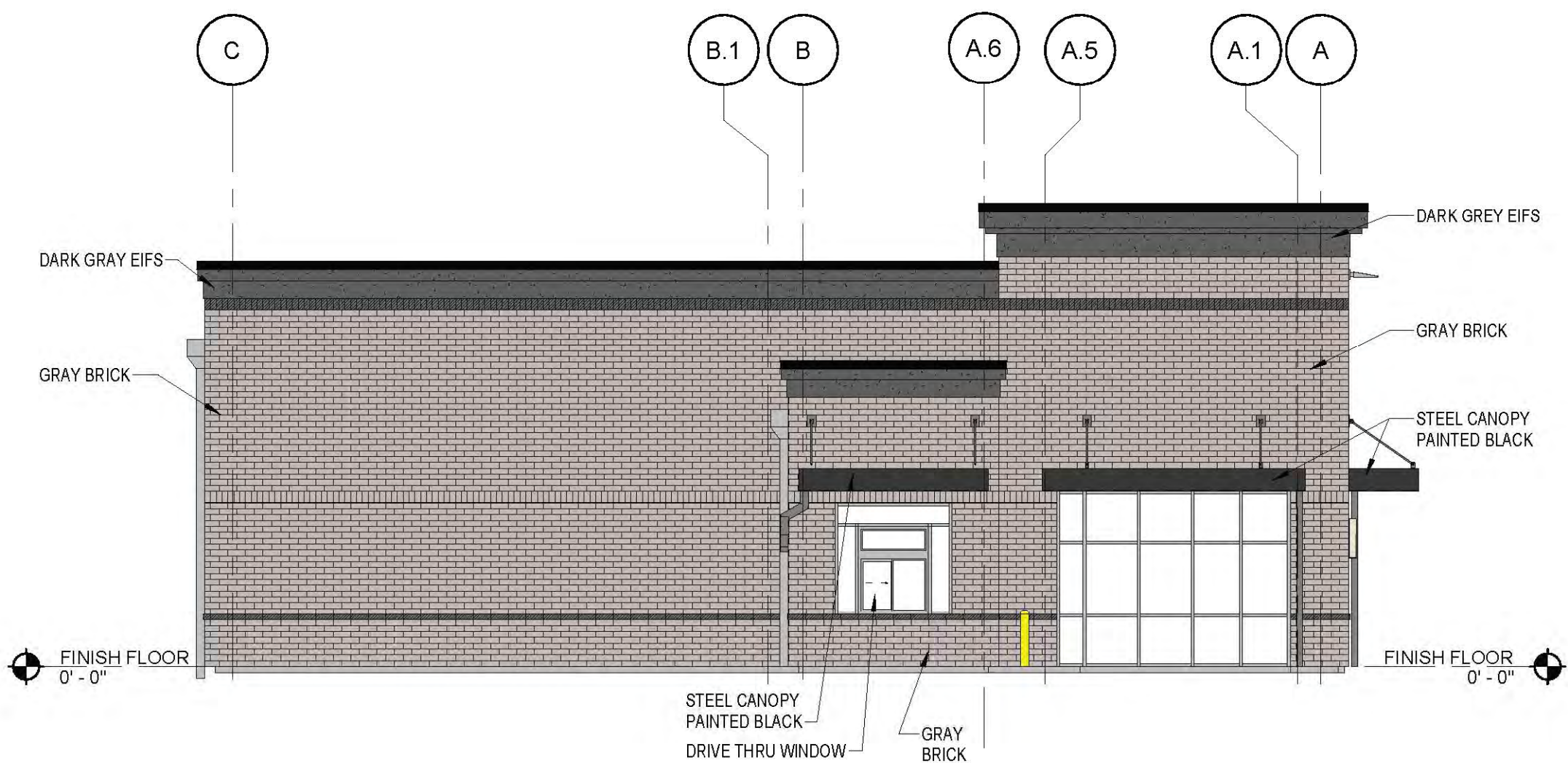
2560 Lord Baltimore Dr
Baltimore MD 21244
Office (410) 788-0100 Fax (410) 369-1675

NOTE:
1. ALL NEW, CANOPY, WALL AND POLE MOUNTED FIXTURES ARE FULL CUT OFF AND EMIT NO LIGHT ABOVE 90 DEGREES. (ALL LIGHT OUTPUT IS DIRECTED DOWN).
2. ALL FIXTURES ARE MOUNTED 90 DEGREES TO POLE OR WALL.





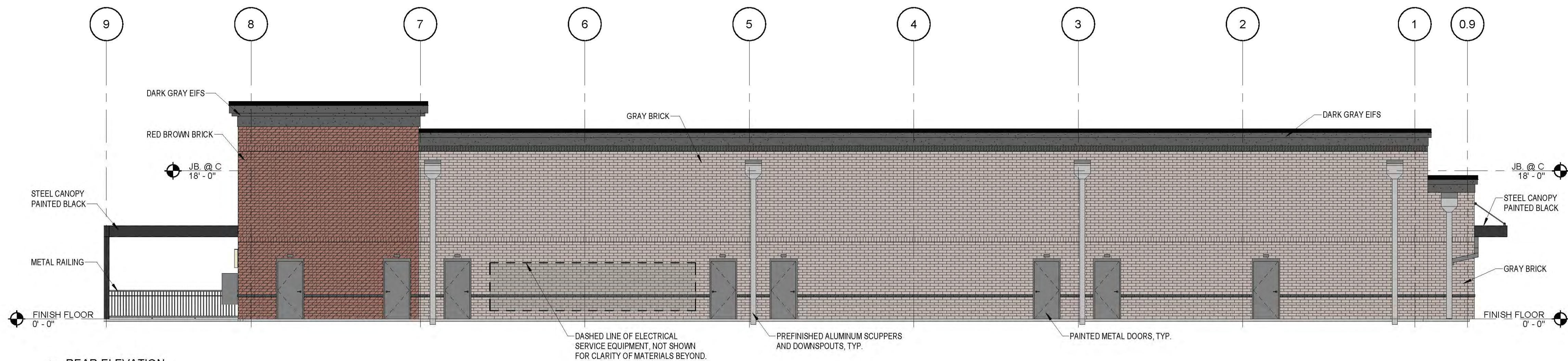
1 FRONT ELEVATION
1/8" = 1'-0"



2 SIDE ELEVATION
1/8" = 1'-0"



3 SIDE ELEVATION
1/8" = 1'-0"



4 REAR ELEVATION
1/8" = 1'-0"

Bignell

Watkins

Hasser

ARCHITECTURE · INTERIORS

ONE PARK PLACE SUITE 250
ANNAPOLIS, MARYLAND 21401
(410) 224-2727

1934 OLD GALLOWES RD SUITE 350
VIENNA, VIRGINIA 22182
(703) 288-3320

www.bigwaha.com

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Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings.

DATA SOURCES:
EX. TOPOGRAPHIC BOUNDARY, ENVIRONMENTAL FEATURES AND SOIL INFORMATION SHOWN PER ELECTRONIC TRANSFER FROM MATIS WARFIELD CONSULTING ENGINEERS DATED JULY 17, 2008. DATA IS THE RESULT OF A FIELD SURVEY BY LEO W. RADER SURVEYORS. PROVIDED DATE OF COMPLETION WAS JUNE 2, 2008, SUPPLEMENTED BY FIELD RUN TOPO OF LOTS 1 AND 3 PERFORMED IN AUGUST, 2024.

Planners

Surveyors

Engineers

Landscape Architects

184 East Main Street

Westminster, MD 21157

410.386.0560

410.386.0564 (Fax)

DDC@DDCinc.us

www.DDCinc.us

Development Design Consultants

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LST INC. C/O SJPI
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BALTIMORE, MD 21244
410-549-2555

DEVELOPER:

ST. JOHN PROPERTIES
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BALTIMORE, MD 21244
(410) 788-0100

SITE ADDRESS:

EXCHANGE DRIVE
ELDERSBURG, MD 21784

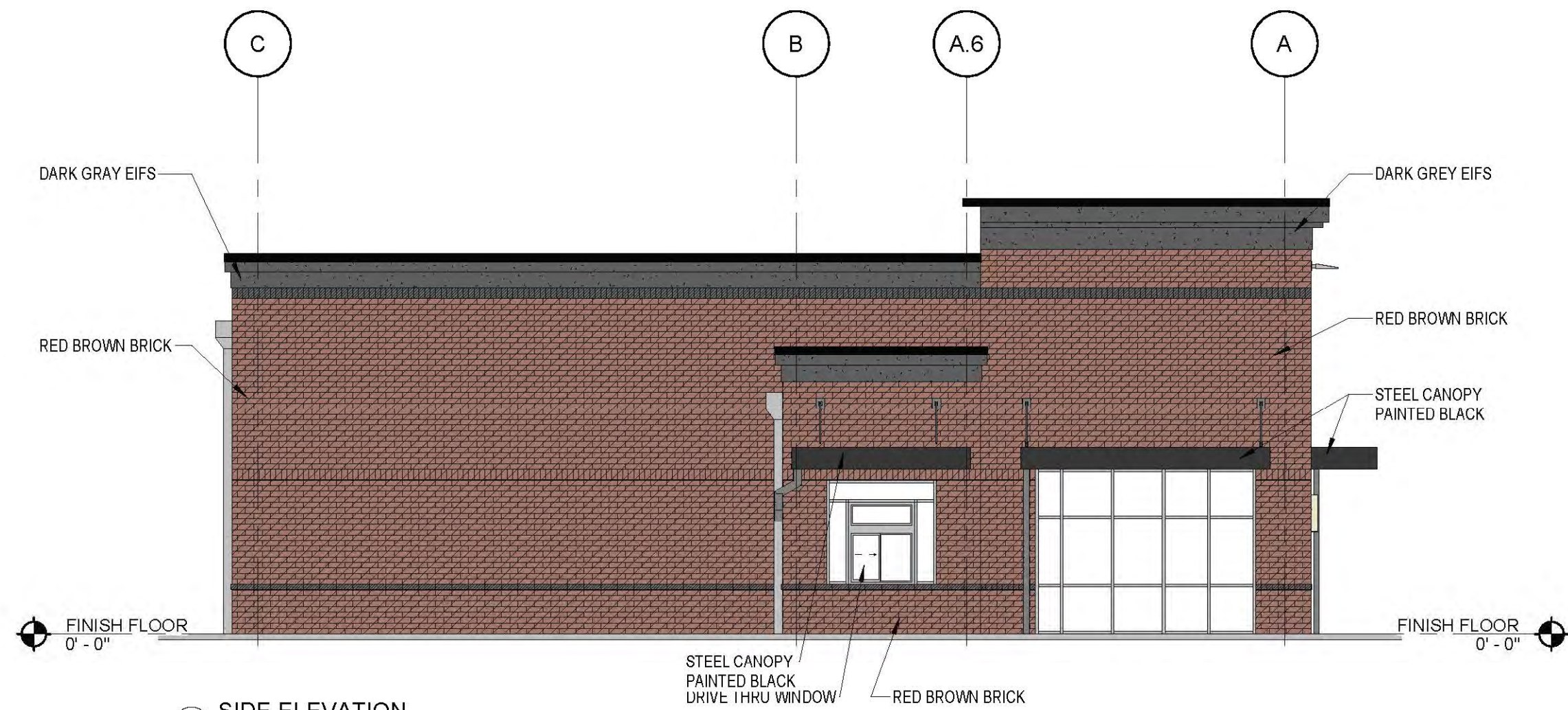
1ST AMENDED SITE PLAN FOR LIBERTY EXCHANGE					
ARCH ELEVATIONS BUILDING G					
14TH ELECTION DISTRICT			CARROLL COUNTY, MD		
REVISIONS					
NO.	DESCRIPTION OF CHANGES		DRN.	REV	DATE
CO. FILE #:	S-23-0019		DES. BY:	LJC	
TAX ACC. #:	14-057817	14-057833	DRN. BY:	LJC	
	14-057825	14-057841			
TAX MAP:	73		CHK. BY:	JLM	
BLOCK / GRID:	2		DATE:	6/5/25	
PARCEL #:	461		DDC JOB#:	08039.1	
ZONE / USE:	I-1		SHEET NUMBER:		
DWG. SCALE: AS NOTED			14 of 17		



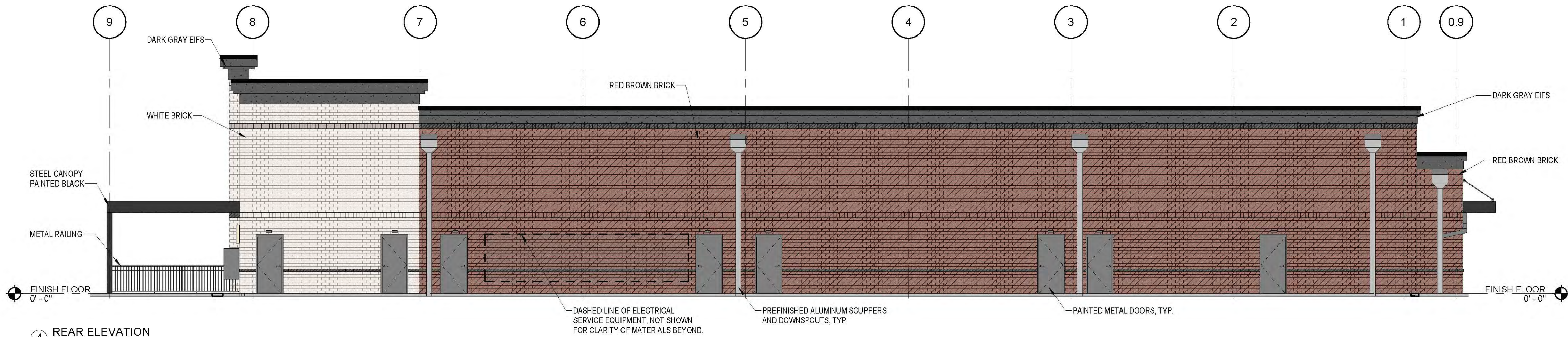
① FRONT ELEVATION
1/8" = 1'-0"



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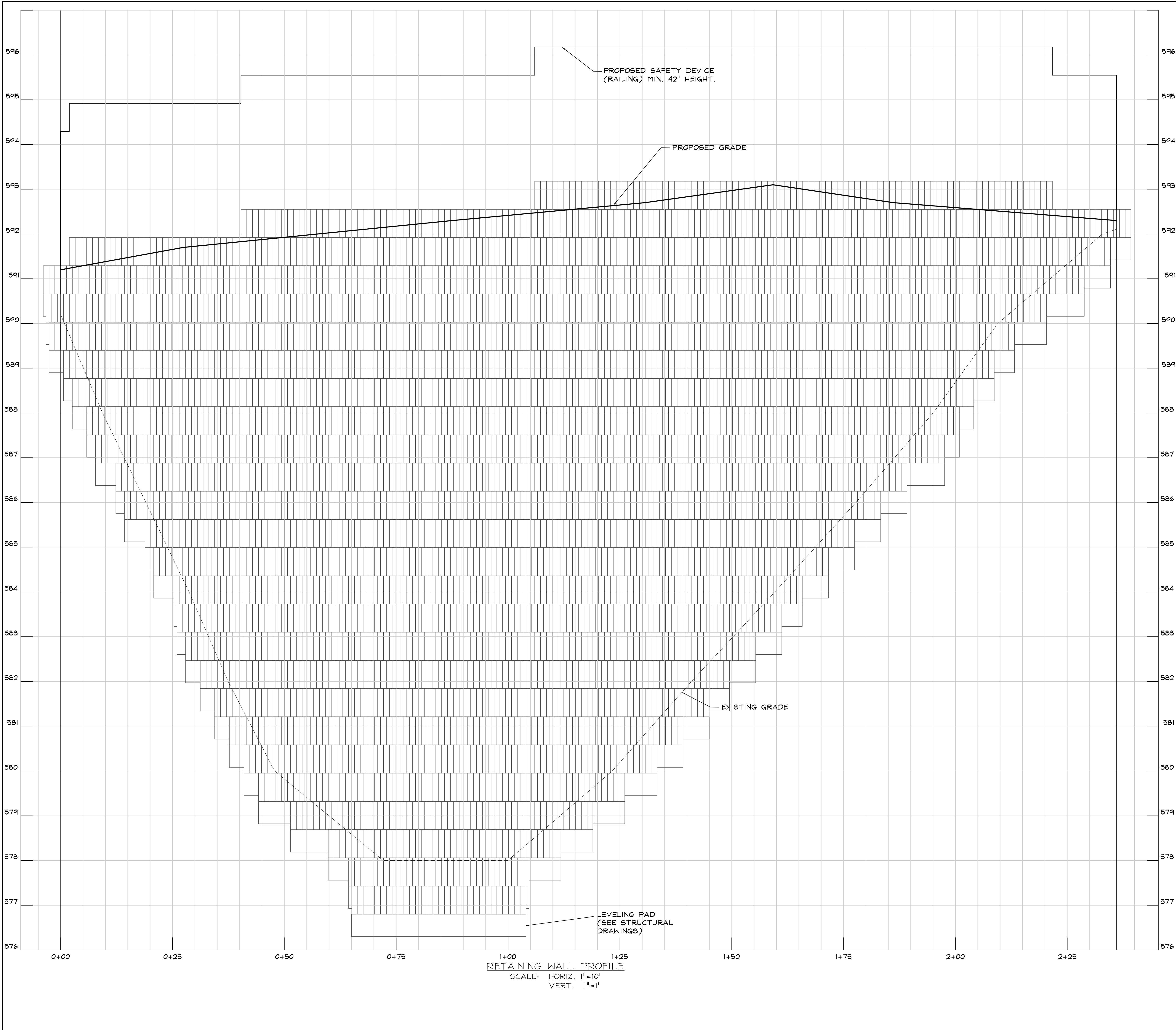
1ST AMENDED SITE PLAN
FOR
LIBERTY EXCHANGE

ARCH ELEVATIONS
BUILDING I

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				
NO	DESCRIPTION OF CHANGES	DRN	REV	DATE

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BLOCK / GRID:	2	DATE:	6/5/25
PARCEL #:	461	DDC JOB#:	08039.1
ZONE / USE:	I-1	SHEET NUMBER:	15 of 17
DWG. SCALE:	AS NOTED		



NOTE: STRUCTURAL DRAWINGS, PREPARED BY A LICENSED ENGINEER, WILL BE PROVIDED BY THE CONTRACTOR FOR USE IN APPLYING FOR A PERMIT FOR CONSTRUCTION OF THE WALL. THIS PROFILE HAS BEEN PROVIDED FOR REVIEW BY CARROLL COUNTY DEVELOPMENT REVIEW AND THE PLANNING COMMISSION ONLY.

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ELDERSBURG, MD 21784

1ST AMENDED SITE PLAN
FOR
LIBERTY EXCHANGE
**RETAINING WALL
PROFILE**

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
OR APPROVED BY ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND.

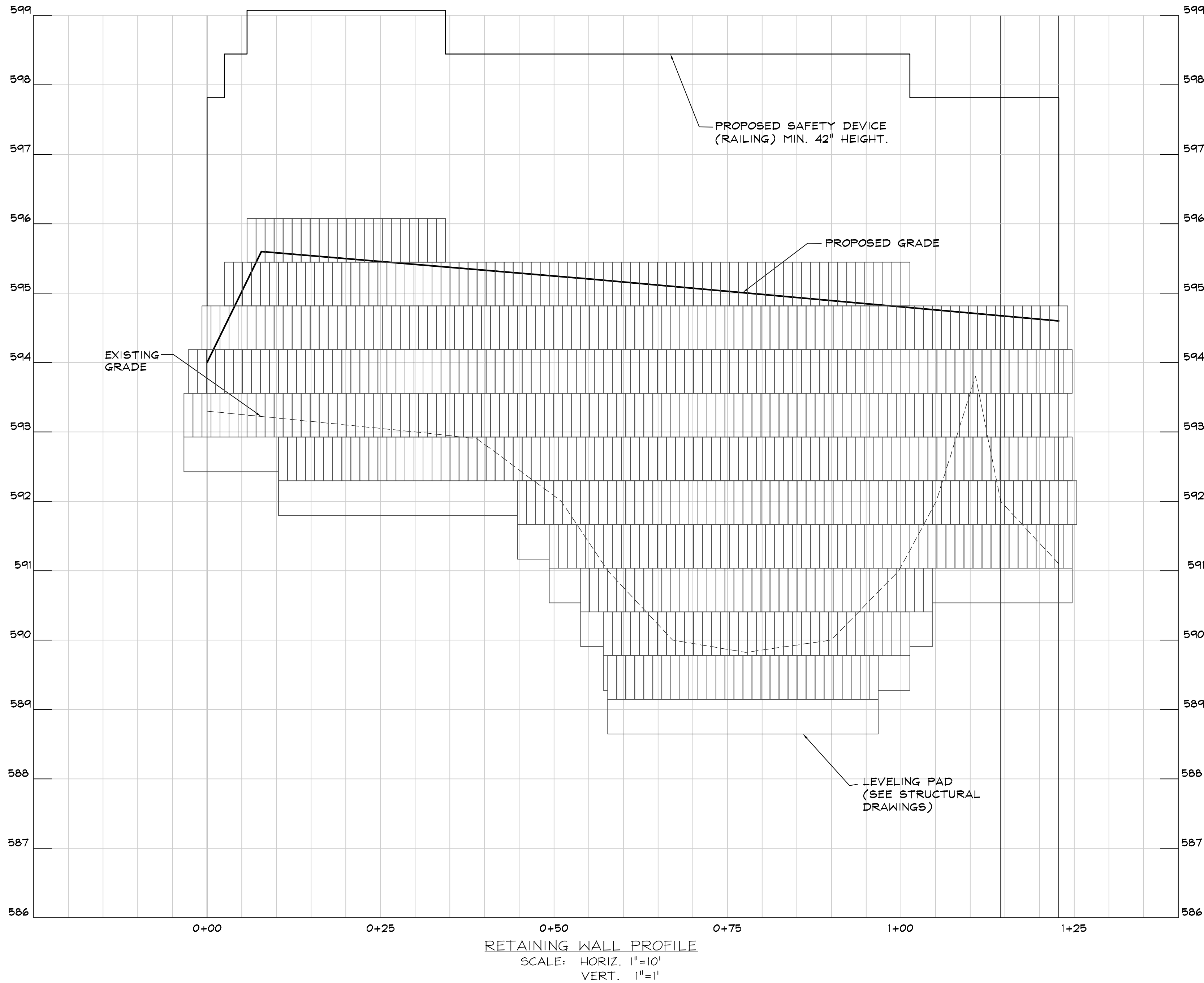
LICENSE NO. 27020 EXPIRATION DATE: JAN 23, 2026

6/5/25
DATE

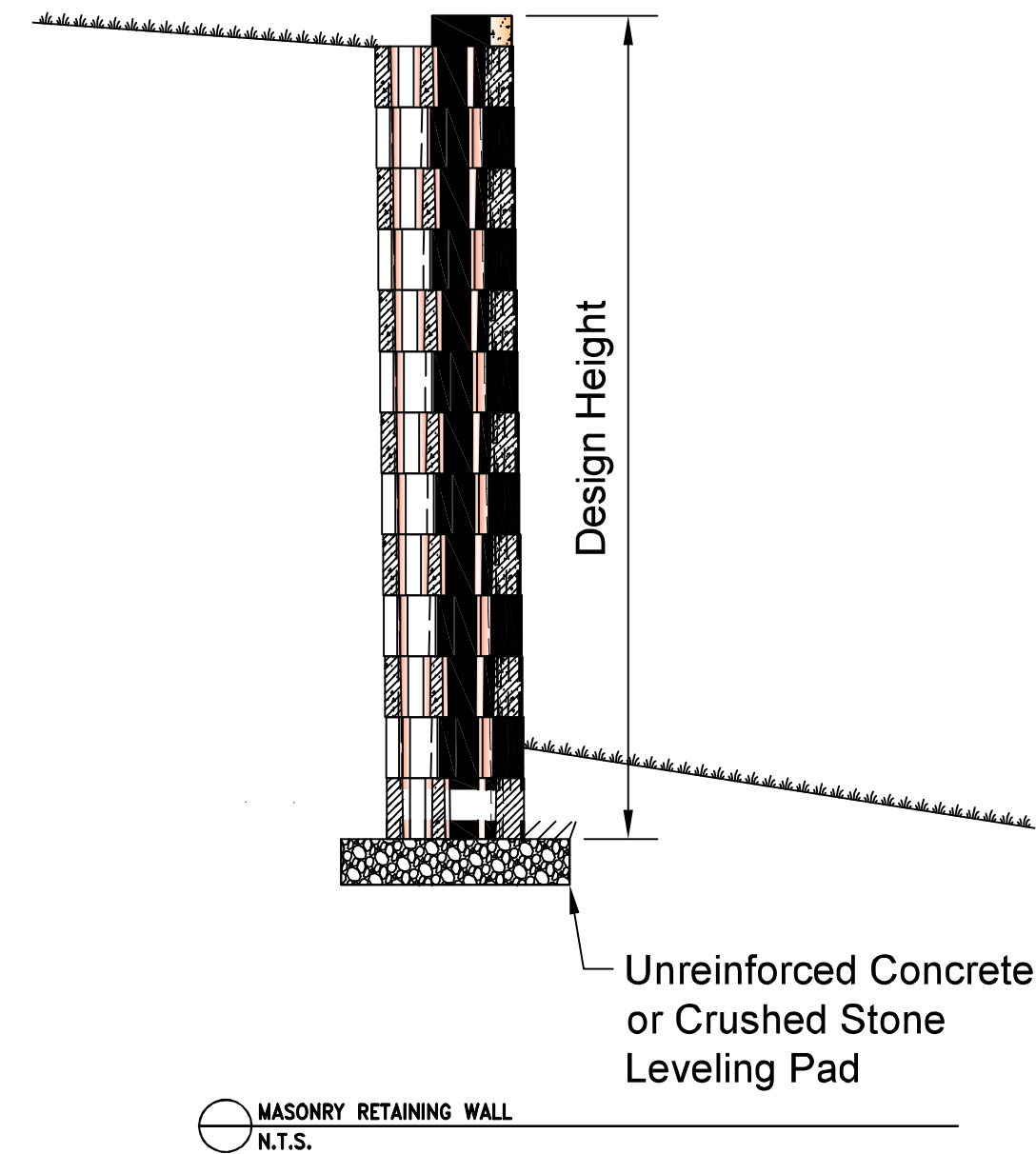


PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

14TH ELECTION DISTRICT		CARROLL COUNTY, MD		
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DWG. SCALE:	AS NOTED	16 of 17		



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1ST AMENDED SITE PLAN
FOR
LIBERTY EXCHANGE

RETAINING WALL
PROFILE

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LICENSE NO. 27020, EXPIRATION DATE: JAN 23, 2026

6/5/25
DATE



PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

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