#### **GENERAL NOTES**

- **EXISTING ZONING: C-3**
- TOTAL AREA OF SITE: 245,678 SF (5.64 AC)
- TOTAL DEVELOPED AREA: 117,465 SF (2.70 AC) EXISTING IMPERVIOUS AREA: 454 SF (0.01 AC)
- PROPOSED IMPERVIOUS AREA: 57,979 SF (1.33 AC)
- PROPOSED BUILDING AREA: 11,206 SF PARKING REQUIRED: 1 SPACE PER EMPLOYEE ON THE MAXIMUM SHIFT + 1 PER 10 CHILDREN
  - 1 SPACE X 27 EMPLOYEES = 27 SPACES 1/10 SPACES X 160 CHILDREN = 16 SPACES
  - TOTAL SPACES REQ'D = 43 SPACES
- (2 ACCESSIBLE SPACES REQUIRED) 8. PARKING PROVIDED: 47 STANDARD SPACES PROVIDED
  - 2 ACCESSIBLE SPACES PROVIDED
- 49 TOTAL SPACES PROVIDED 9. THE PROPERTY SHOWN HEREON IS OWNED BY MSMI, LLC BY DEED DATED 12/13/2007, RECORDED AMONG THE LAND RECORDS OF
- 10. TAX ACCOUNT NUMBER: 091063
- TAX MAP: 0073 / GRID: N/A / BLOCK: 0012 / PARCEL: 0782. PLAT REF: 0056/0206 TOPOGRAPHY SHOWN HEREON IS FLOWN, DATED 1/2022, AND PREPARED BY SURVEYING AND MAPPING, LLC
- 14. LOCATION OF THE NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION: LONDONTOWN BLVD.
- 15. THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTENCE LOCATION, AND DEPTH OF ANY EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING
- 16. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE
- 17. THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS. THE FIGURED DIMENSION SHALL GOVERN
- 18. ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY
- PLANNING AND ZONING COMMISSION. 19. THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT. UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DIRECTOR OF THI
- 20. THERE ARE NO APPLICABLE BOARD OF ZONING APPEALS CASES FOR THIS PROJECT
- ALL CONSTRUCTION ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE "DESIGN MANUAL-VOLUME 1-ROADS AND STORM DRAINS", THE "BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES", "HIGHWAY DRAINAGE MANUAL" OF THE STATE PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION
- 22. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEERING OFFICE OF 443-884-5086 IN THE EVENT OF ANY DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIPS OF FINISHED GRADES TO EXISTING GRADES PRIOR TO THE BEGINNING
- 23. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TRAFFIC ON ANY EXISTING ROADS
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE
- 25. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK AS
  - SHOWN ON THESE DRAWINGS: ALLEGHENY POWER: 301-829-7009
  - BALTIMORE GAS & ELECTRIC: 410-234-6313

COMMITTEE, AND ALL ADDENDA AND ERRATA TO ALL OF THE ABOVE.

- BUREAU OF RESOURCE MANAGEMENT: 410-386-2506
- 26. ALL UTILITIES SHALL BE CLEARED BY A MINIMUM OF 1'0". ALL UTILITY POLES SHALL BE CLEARED BY A MINIMUM OF 2'0" OR TUNNELED IF REQUIRED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR TUNNELING OR BRACING.
- 27. CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE 28. ALL SAFETY MEASURES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE
- 29. THE HORIZONTAL CONTROL SHOWN HEREON IS BASED ON THE MARYLAND COORDINATE SYSTEM" (NAD-83-91). THE VERTICAL
- 30. IN FILL AREAS, THE COMPACTION SHALL BE FULL HEIGHT COMPACTION TO THE SPECIFIED ELEVATION. FILL SHALL BE PLACED IN EIGHT (8) INCH (PLUS OR MINUS TWO (2) INCHES), MEASURED LOOSE LIFTS AND EACH LIFT COMPACTED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) OF THE MAXIMUM DRY DENSITY AT PLUS OR MINUS TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE MODIFIED PROCTOR TEST (AASHTO T-180) UNLESS SPECIFIED OTHERWISE BY THE
- ALL CUT/FILL QUANTITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED BY THE SEDIMENT CONTROL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL VERIFY SUCH CALCULATIONS TO HIS OWN SATISFACTION FOR BID CONTRACT PURPOSES.
- 32. THE SITE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE MARYLAND ACCESSIBILITY CODE, COMAR 09.12.53, AS WELL AS THE 2010 ADA STANDARDS OF THE ACCESSIBILITY DESIGN (DEPARTMENT OF JUSTICE). A 'FORM' INSPECTION IS REQUIRED ON ALL ACCESSIBLE ROUTES/RAMPS/CURB RAMPS PRIOR TO PLACEMENT OF FINAL MATERIAL. SLOPES OF RAMPS AND CURB RAMPS SHALL COMPLY WITH THE AFOREMENTIONED REGULATIONS/ STANDARDS. CONTRACTOR TO COORDINATE WITH COUNTY INSPECTOR.
- 33. THE EXISTING USE OF THE LOT IS UNDEVELOPED LAND.
- 34. THE PROPOSED USE IS A DAYCARE CENTER.
- 35. THIS SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND SURFACE WATER MANAGEMENT AREA. IF HAZARDOUS OR REGULATED SUBSTANCES ARE STORED ONSITE. STORAGE WILL BE PROVIDED INSIDE THE BUILDING IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS INCLUDING THE CARROLL COUNTY WATER RESOURCE MANUAL.
- 36. LONDONTOWN BOULEVARD IS BEING IMPROVED AS NOTED FROM THE 2014 CARROLL COUNTY MASTER PLAN AND THE 2018 FREEDOM
- COMMUNITY COMPREHENSIVE PLAN. 37. FOR GENERAL NOTES-ROADS, SEE SHEET C-300
- 38. THE AREA SHOWN HEREON AS A FORESTED (\_\_\_\_\_) WATER RESOURCE PROTECTION EASEMENT SHALL BE GRANTED TO THE CARROLL COUNTY COMMISSIONERS BY DEED INTENDED TO BE RECORDED SIMULTANEOUSLY WITH THE THIRD AMENDED PLAT (AP-23-0038).
- 39. THIS SITE DOES NOT RESIDE WITHIN A HIGH QUALITY TIER II WATERSHED AS DEFINED BY MDE.

### **CARROLL SOIL CONSERVATION DISTRICT**

THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT.

CARROLL S.C.D/DATE\_\_\_

### **CARROLL COUNTY PLANNING AND ZONING**

**COMMISSION** 

THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CARROLL COUNTY DEPARTMMENT OF PUBLIC WORKS DESIGN MANUAL - VOLUME I ROAD AND STORM DRAINS. THE DESIGN ENGINEER OR ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR

THE ACCURACY OF ALL DATA AND MODIFICATIONS FOR CONSTRUCTION

**CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES** 

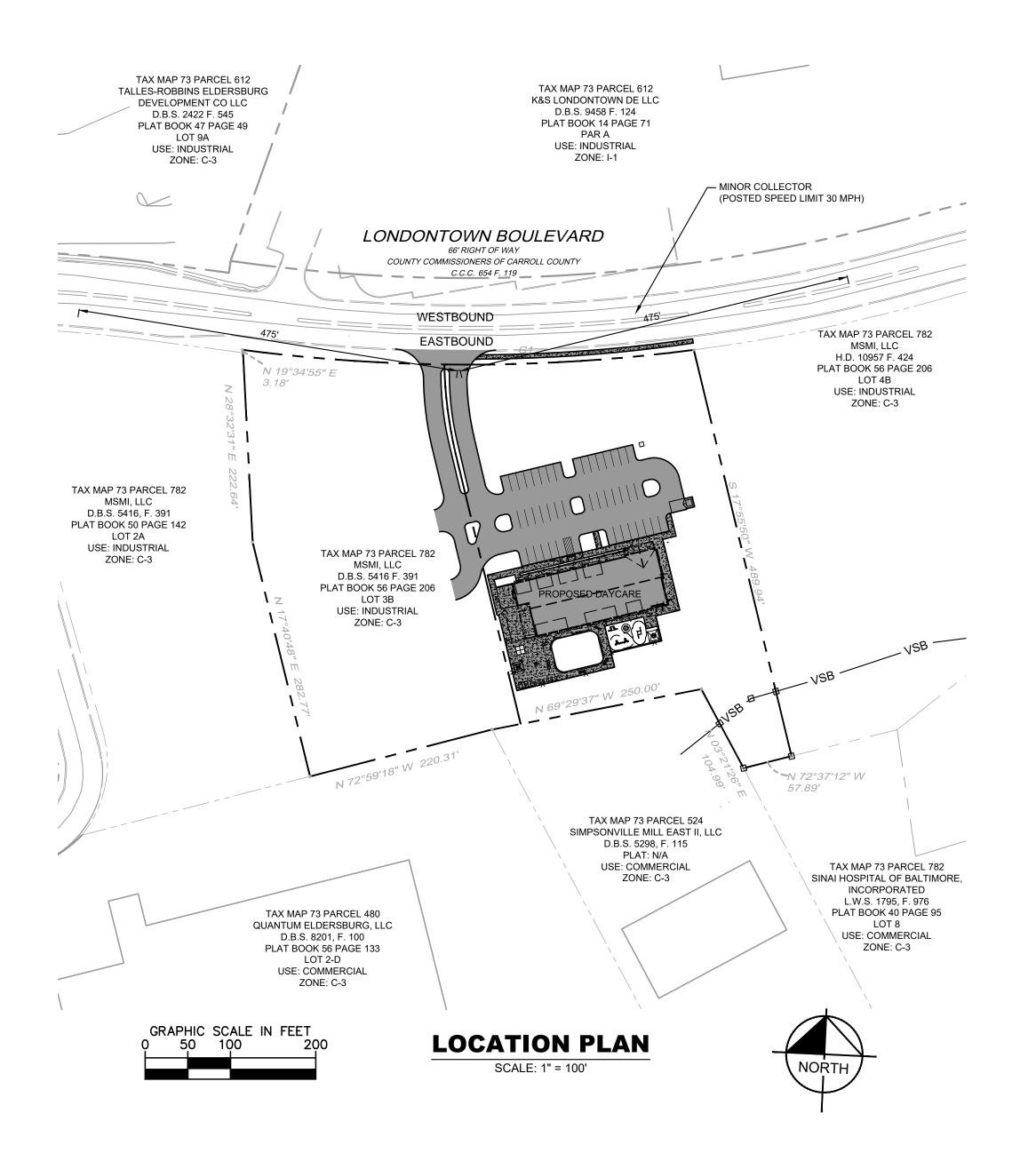
**CARROLL COUNTY HEALTH DEPARTMENT** 

COMMUNITY WATER SUPPLY AND/OR COMMUNITY SEWERAGE SYSTEMS ARE IN

CONFORMANCE WITH THE CARROLL COUNTY MASTER PLAN

Know what's **below**. DIAL 811 Call before you dir

# CONCEPT SITE PLAN **FOR** EVERBROOK ACADEMY LOT 3B **ELDERSBURG STATION**



Sheet	List Table
Sheet Number	Sheet Title
C-000	COVER SHEET
C-200	EROSION CONTROL PLAN - INITIAL
C-210	EROSION CONTROL PLAN - FINAL
C-220	EROSION CONTROL DETAILS
C-221	EROSION CONTROL NOTES
C-300	SITE LAYOUT PLAN
C-400	STORMWATER MANAGEMENT PLAN
C-500	BUILDING ELEVATIONS
C-600	LANDSCAPE PLAN
C-700	LIGHTING PLAN

#### **TRIP GENERATION**

ITE TRIP GENERATION MANUAL (11TH EDITION)

**BASED ON 160 STUDENTS** 114 AM PEAK HOUR TRIPS

111 PM PEAK HOUR TRIPS 617 AVERAGE DAILY TRIPS

#### SITE DEVELOPMENT PLAN INSPECTION SEQUENCE NOTES

CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK.

- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
- PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS
- PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
- SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING. COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
- COMPLETION OF ALL WORK SHOWN ON PLANS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.

- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTIONS SERVICES DIVISION AT
- 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION. 4. FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTIONS SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST
- CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL. 5. THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.

### **DEVELOPER'S CERTIFICATION**

I HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I ALSO UNDERSTAND THAT IT IS MY RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY/FACILITIES. I ALSO CERTIFY THE THIS/THESE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY.

### **ENGINEER'S "AS-BUILT" CERTIFICATION**

I HEREBY CERTIFY THAT THE FACILITY/FACILITIES SHOWN ON THIS/THESE PLAN(S) WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT THIS/THESE FACILITIES WERE INSPECTED IN ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

EXPIRATION DATE

### **ENGINEER'S DESIGN CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

> EXPIRATION DATE LICENSE NO

### PROPERTY OWNER

ATTN: MARLEE BENSON 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331

EMAIL: MARLEE@OPPIDAN.COM

TEL: 612-500-6732

**CIVIL ENGINEER** 

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086

EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

#### LANDSCAPE ARCHITECT/ **ARCHITECT** ADA ARCHITECTS

17710 DETROIT AVENUE LAKEWOOD, OHIO 44107 TEL: (216) 521-5134

C.C. FILE NO.: S-23-0016 EMAIL: ADAARCHITECTS.COM

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM HORIZONTAL NAD 83/91

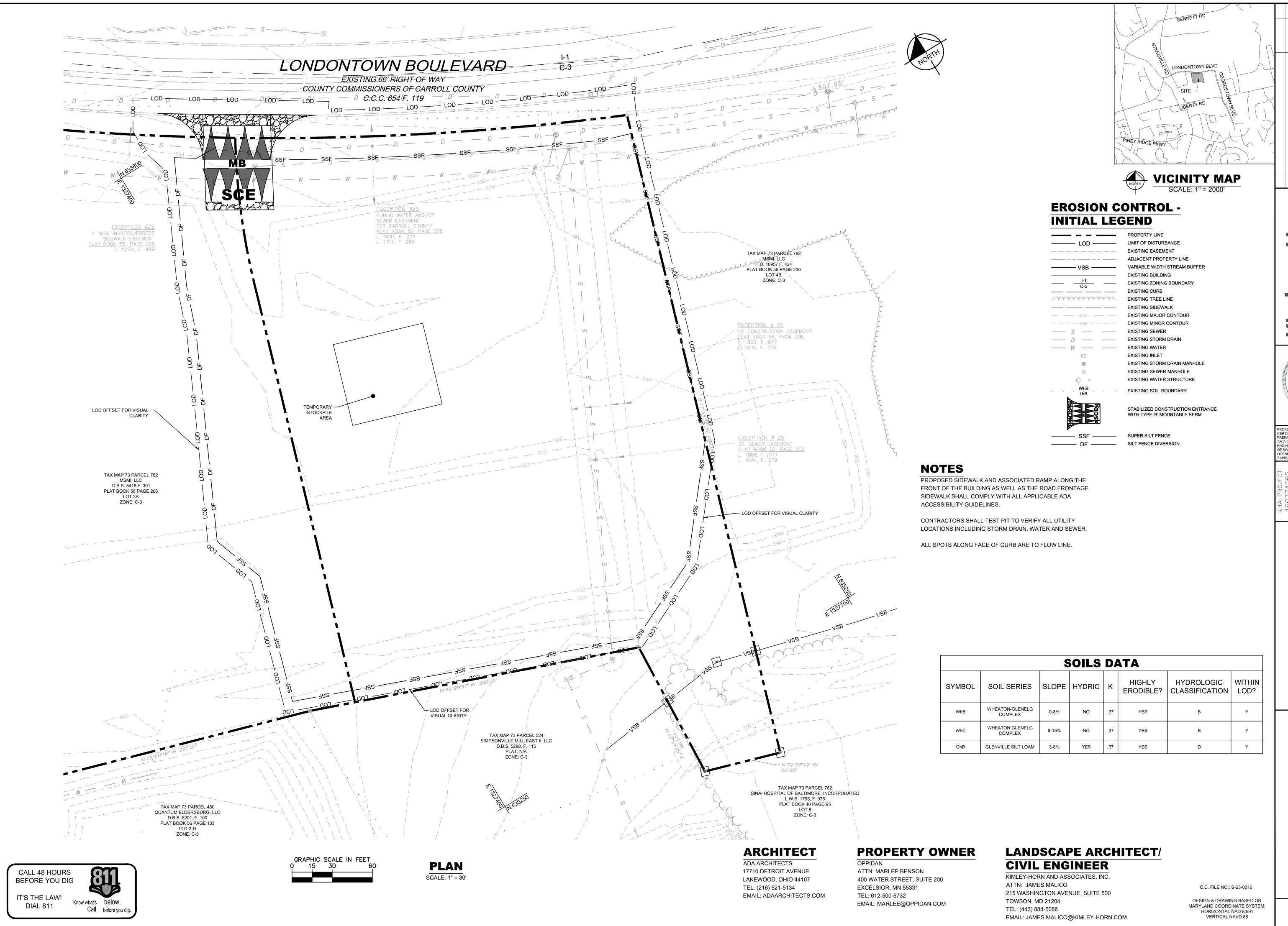


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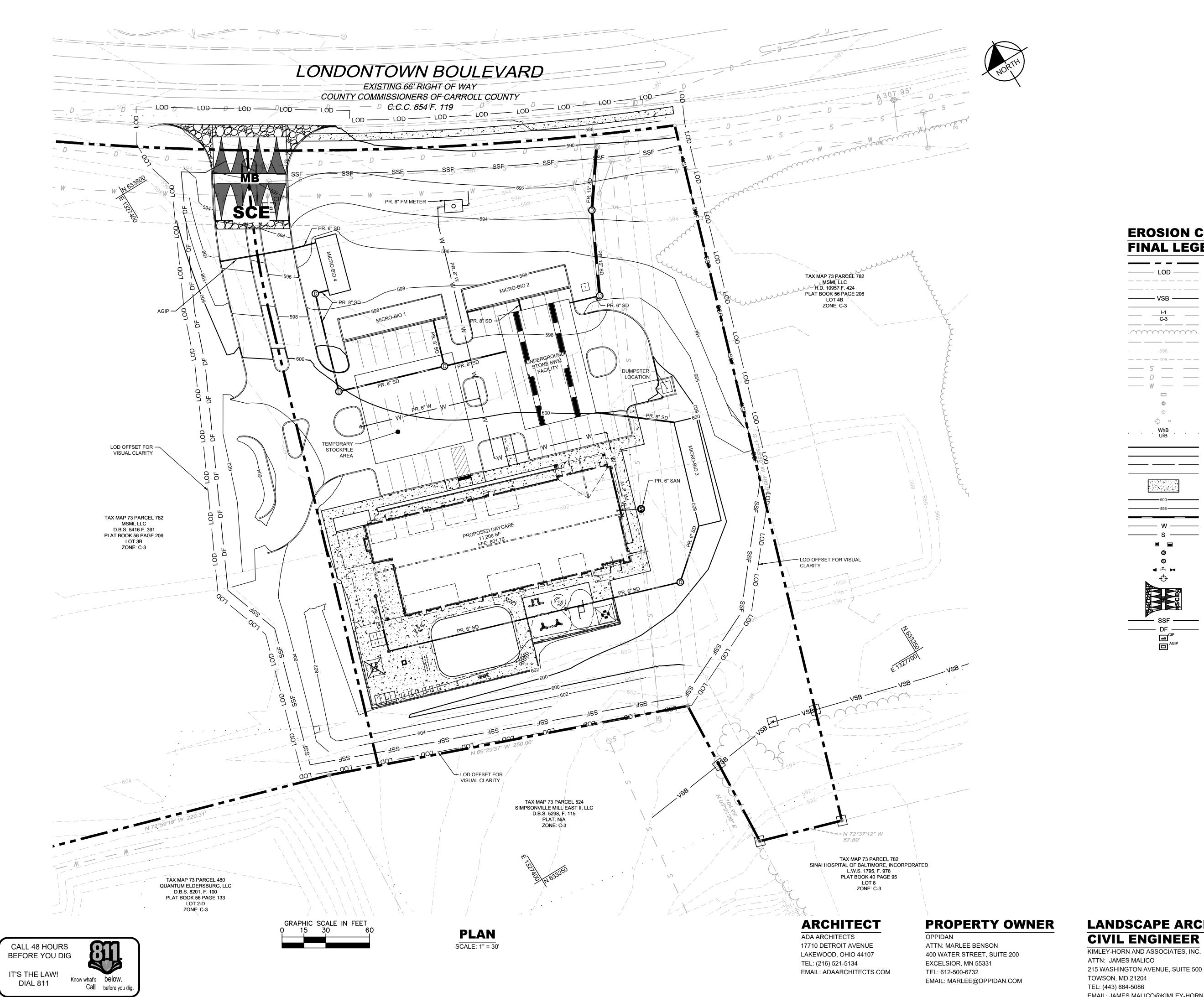
EROSION PLAN -

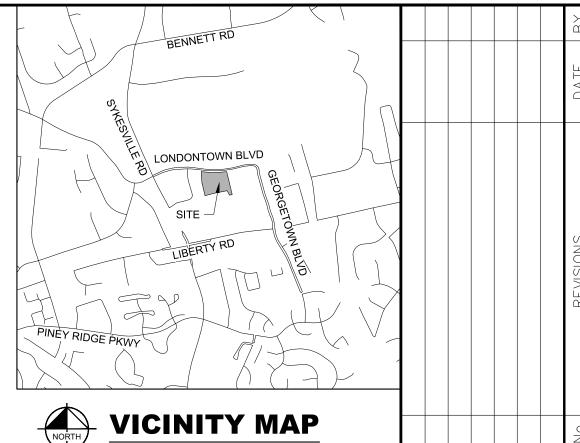
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ACADEMY S STATION EVERBROOKE A ELDERSBURG

SHEET NUMBER

C-200





### **EROSION CONTROL -FINAL LEGEND**

EXISTING WATER **EXISTING INLET** EXISTING STORM DRAIN MANHOLE EXISTING SEWER MANHOLE EXISTING WATER STRUCTURE EXISTING SOIL BOUNDARY

> PROPOSED PAVEMENT MARKING PROPOSED SIDEWALK

PROPOSED STORM DRAIN PROPOSED SANITARY PROPOSED INLET

PROPOSED STORM DRAIN MANHOLE PROPOSED SANITARY MANHOLE PROPOSED WATER FITTINGS PROPOSED FIRE HYDRANT

> SUPER SILT FENCE CURB INLET PROTECTION

> > AT GRADE INLET PROTECTION

STABILIZED CONSTRUCTION ENTRANCE WITH TYPE 'B' MOUNTABLE BERM

LANDSCAPE ARCHITECT/

EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

C.C. FILE NO.: S-23-0016 DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91

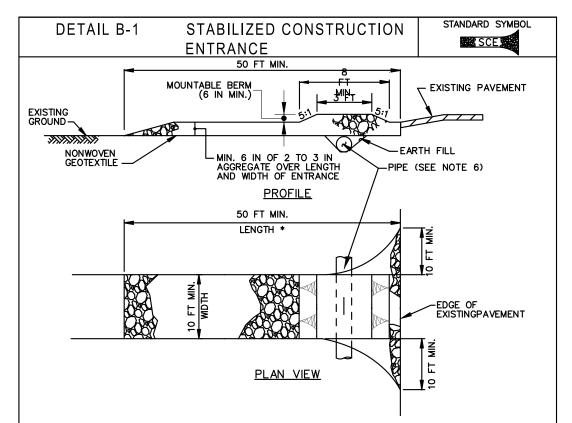
**VERTICAL NAVD 88** 

EVERBROOKE A ELDERSBURG

ACADEMY S STATION

OSION -PLAN -

SHEET NUMBER C-210



#### CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (\*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE

WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.

EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE

45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE

PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.

MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

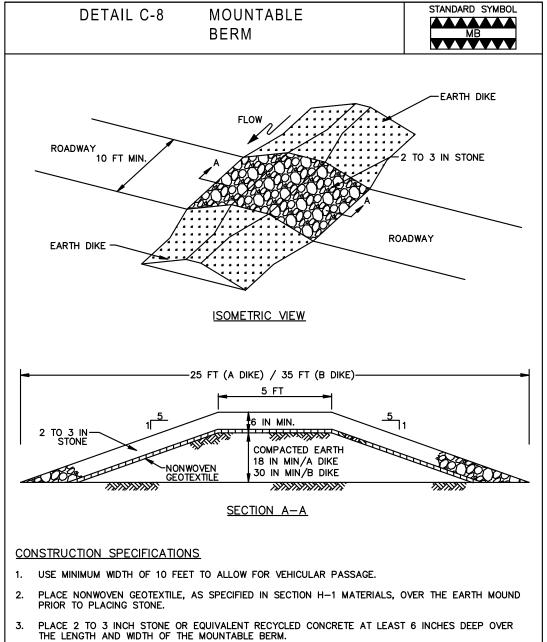
REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

2011

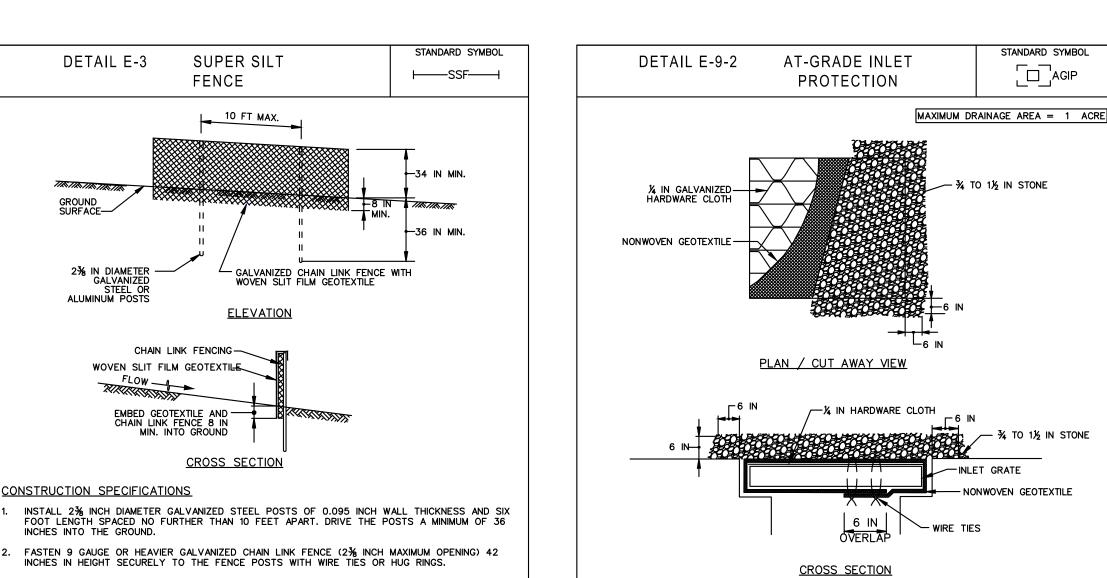
ENDS OF THE SUPER SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE



MAINTAIN LINE, GRADE, AND CROSS SECTION. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN SPECIFIED DIMENSIONS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE.

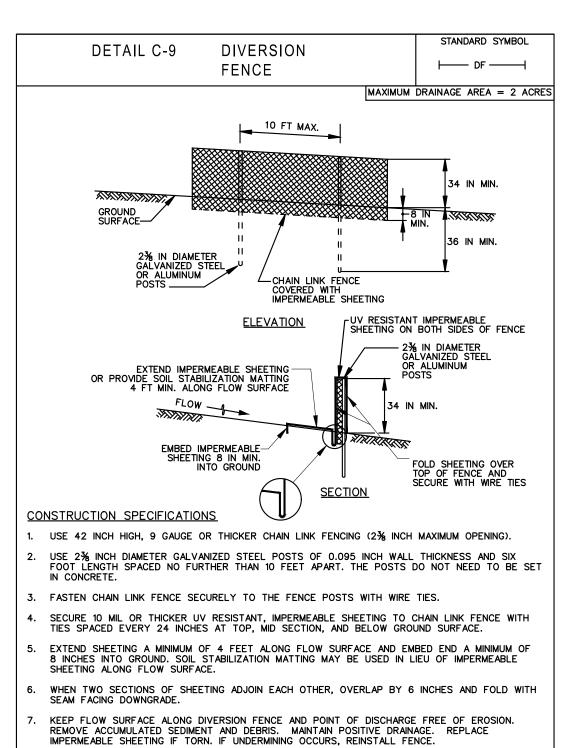
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE MARYLAND DEPARTMENT OF ENVIRONMEN 2011 NATURAL RESOURCES CONSERVATION SERVICE

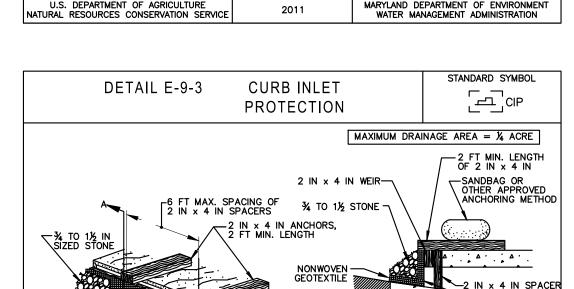


- CONSTRUCTION SPECIFICATIONS USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
- PLACE CLEAN 3/4 TO 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, I

IS CLOGGED, WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION 2011





MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

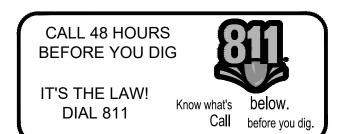
NONWOVEN — GEOTEXTILE 2 IN x 4 IN SPACER GALVANIZED/ ∠ 2 IN × 4 IN WEIR SECTION A-A ∠EDGE OF GUTTER PAN <u>ISOMETRIC</u>

CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE

GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION 2011

# – GALVANIZED HARDWARE CONSTRUCTION SPECIFICATIONS USE NOMINAL 2 INCH x 4 INCH LUMBER 2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. NAIL THE 2x4 WEIR TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART). ATTACH A CONTINUOUS PIECE OF 1/4 INCH GALVANIZED HARDWARE CLOTH, WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WEIR, EXTENDING IT 2 FEET BEYOND THROAT ON EACH SIDE. PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH TO THE 2x4 WEIR. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 2 FEET LENGTH). EXTEND THE ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD. INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING. FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE INLET OPENING. COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN ¾ TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET D. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS



### **ARCHITECT**

ADA ARCHITECTS 17710 DETROIT AVENUE LAKEWOOD, OHIO 44107 TEL: (216) 521-5134

EMAIL: ADAARCHITECTS.COM

### **PROPERTY OWNER**

OPPIDAN ATTN: MARLEE BENSON 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331 TEL: 612-500-6732 EMAIL: MARLEE@OPPIDAN.COM

### LANDSCAPE ARCHITECT/ **CIVIL ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086 EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 **VERTICAL NAVD 88** 

C.C. FILE NO.: S-23-0016

SHEET NUMBER

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OFESSIONAL CERTIFICATION: I HEREBY

PARED OR APPROVED BY ME AND TH

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### **SEDIMENT AND EROSION CONTROL NOTES**

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION IN ASSOCIATION WITH THE NATURAL RESOURCES CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS (REFERENCED AS THE 2011 STANDARDS AND SPECS).
- AREAS THAT HAVE BEEN CLEARED AND/OR GRADED, BUT WILL NOT BE CONSTRUCTED ON OR PERMANENTLY VEGETATED FOR MORE THAN 5 DAYS (3 DAYS FOR SEDIMENT CONTROL MEASURES AND FOR STEEP SLOPES) MUST BE STABILIZED WITH MULCH OR TEMPORARY STABILIZATION. ANY AREAS THAT ARE IN TEMPORARY VEGETATION FOR OVER 6 MONTHS WILL NEED TO BE PERMANENTLY VEGETATED.
- FOR SPECIFICATIONS ON PERMANENT OR TEMPORARY STABILIZATION, SEE B-4-4 AND B-4-5. MULCHING ONLY IS RESTRICTED TO USE ON DISTURBED AREAS AS A TEMPORARY COVER WHERE VEGETATION IS NOT
- FEASIBLE OR WHERE SEEDING GERMINATION CANNOT BE COMPLETED BECAUSE OF WEATHER CONDITIONS. FOR SPECIFICATIONS SEE B-4-3, A.1.B
- FOR SPECIFICATIONS ON THE STABILIZATION OF CUT AND FILL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL, SEE INCREMENTAL STABILIZATION B-4-1
- THE EXISTING TOPSOIL FROM ON OR OFF SITE THAT IS USED MUST MEET THE MINIMUM SPECIFICATION IN B-4-2 THE REQUIRED SEQUENCE OF CONSTRUCTION MUST BE FOULOWED DURING SITE DEVELOPMENT. ANY CHANGES IN THE
- SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SOIL CONSERVATION DISTRICT. ANY REVISIONS TO THE SEDIMENT CONTROL PLAN, NOT COVERED UNDER THE LIST OF PLAN MODIFICATIONS THAT CAN BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR, NEED TO BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT
- FOR APPROVAL NO PROPOSED SLOPE THAT IS REQUIRED TO BE SEEDED AND/OR MULCHED SHALL BE STEEPER THAN 2:1. SLOPES
- STEEPER THEN 2:1 SHALL REQUIRE A ENGINEERED DESIGN FOR STABILIZATION 10. ALL SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL AND WILL BE REPAIRED, AS NEEDED, SO THAT THE STRUCTURE MEETS THE MINIMUM SPECIFICATIONS AS SHOWN IN THE 2011
- STANDARDS AND SPECS. 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL THE
- 12. THE DISTRICT APPROVAL FOR THIS SEDIMENT CONTROL PLAN IS GOOD FOR 2 YEARS, AT THE END OF 2 YEARS, IF CONSTRUCTION OF THE PLAN HAS NOT STARTED, THE PLAN WILL NEED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR REVIEW AND RE-APPROVAL. ANY PLANS THAT ARE CURRENTLY UNDER CONSTRUCTION AFTER 2 YEARS MAY BE REQUIRED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT BY THE SEDIMENT

#### **SEQUENCE OF CONSTRUCTION**

DISTURBED AREAS ARE PERMANENTLY STABILIZED.

- NOTIFY THE CARROLL COUNTY BUREAU OF SEDIMENT CONTROL (4 10-386-2210) 24 HOURS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. ALL PROTECTION FENCING AND PERMANENT SIGNS REQUIRED UNDER THE CARROLL COUNTY CODE OF PUBLIC LAWS AND ORDINANCES, FOREST CONSERVATION (CHAPTER 150) AND WATER RESOURCE MANAGEMENT (CHAPTER 154) SHALL BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE CARROLL COUNTY SEDIMENT INSPECTOR.
- INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE AS SHOWN ON THE SEDIMENT CONTROL
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR. STRIP TOPSOIL AND STOCKPILE
- BEGIN MASS GRADING SITE AND MICRO-BIO FACILITIES. BUILDING CONSTRUCTION MAY BEGIN. INSTALL UTILITIES (I.E. WATER, SEWER, STORM DRAIN, ELECTRIC, ETC.). UPON INSTALLATION OF ANY STORM DRAIN INLETS, IMMEDIATELY INSTALL APPROPRIATE INLET PROTECTION PER PLAN.
- ONCE GRADE OF PARKING/PAVED AREAS ARE AT SUBGRADE, INSTALL APPROPRIATE INLET PROTECTION PER PLAN. CONSTRUCT CURBS SIDEWALKS, AND ANY CONCRETE PADS.
- INSTALL BASE SURFACE OF PAVED AREA
- FINE GRADE REMAINING AREAS. RESPREAD TOP SOIL AND STABILIZE. INSTALL REMAINING FINAL FEATURES OF MICRO-BIO FACILITIES. REFER TO STORM WATER MANAGEMENT MICRO-BIO FACILITY SEQUENCE OF CONSTRUCTION SHEET \_\_\_\_ FOR DETAILED CONSTRUCTION OF THESE FACILITIES. STABILIZE
- IMMEDIATELY UPON COMPLETION. . INSTALL LANDSCAPING AND STABILIZE ANY REMAINING AREAS.
- 12. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING TEMPORARY SEDIMENT CONTROL
- 13. REPAIR AND REPLACE ANY EXISTING PAVEMENT DAMAGED BY CONSTRUCTION TRAFFIC. PLACE FINAL COARSE PAVING.

### **DUST CONTROL SCHEDULE**

MAY-OCTOBER - ALL GRADED AREAS NOT BEING IMMEDIATELY STABILIZED AS NOTED IN THE 'REQUIRED SEQUENCE OF CONSTRUCTION' SHALL BE WATERED ON A CONTINUING BASIS AS NECESSARY TO PROVIDE FOR DUST PROOFING. CONTRACTOR SHALL PROVIDE TANK TRUCK WITH SPRAY BAR ON SITE AT ANY TIME THE DISTURBED AREA EXCEEDS THREE (3) ACRES.

#### SITE ANALYSIS

- TOTAL AREA OF SITE: AREA DISTURBED:
- TOTAL CUT: TOTAL FILL

NOTE: EARTHWORK CUT AND FILL QUANTITIES INDICATED ON THIS PLAN ARE SHOWN FOR PURPOSES OF OBTAINING SEDIMENT CONTROL PLAN APPROVAL AND NOT TO BE USED FOR CONTRACTUAL OBLIGATIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY QUANTITIES

### **B-4-4 STANDARDS AND SPECIFICATIONS** FOR TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PLANTING SHORT TERM (NO MORE THAN 6 MONTHS) VEGETATION TO TEMPORARILY STABILIZE ANY AREAS WHERE SOIL DISTURBANCE HAS OCCURRED, UNTIL THE AREA CAN BE PERMANENTLY STABILIZED WITH VEGETATIVE OR NON-VEGETATIVE PRACTICES.

CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

- 1. THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION B-4-2. 2. FOR TEMPORARY STABILIZATION, FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT A
- RATE OF 436 LB. PER ACRE (10 LB. PER 1000 SF.) AND WILL MEET THE REQUIREMENTS IN SECTION B-4-2. LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB. PER SF.) AND WILL MEET THE REQUIREMENTS IN 3. SEED TYPE AND APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4-3. SEED TAGS SHALL BE MADE
- AVAILABLE TO THE INSPECTOR TO VERIFY THE TYPE AND RATE OF SEED USED 4. MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION B-4-3 A, B AND C AND WILL BE
- APPLIED ALONG WITH THE SEED OR IMMEDIATELY AFTER SEEDING
- 5. SEEDING MIXTURES SHALL BE SELECTED FROM OR WILL BE EQUAL TO THOSE ON TABLE B.1 (PAGE B.20).

	TE	MPOR/	ARY S	EED	ING SUMMARY		
	HARDINESS ZONE (FF	ROM FIGURE B.	3) 6	3			
	SEED MIXTURE (FROM	1 TABLE B.1) <u> </u>	SEE BELOW		FERTILIZER RATE (10-20-20) LIME		
NO.	SPECIES	APPLICATION RATE (LB/AC.)	SEEDING DATES	SEEDING DEPTHS	,		
1	ANNUAL RYEGRASS (LOLIUM PERENNE SSP. MULTIFLORUM)	40	3/15-5/31, 8/1-9/30	0.5"	436 LBS/AC (1.0 LB/1000 SF)	2 tons/ac	
2	FOXTAIL MILLETT (SETARIA ITALICA)	30	5/16-7/31	0.5"	450 LB5/AC (1.0 LB/1000 SF)	(90 lb/ 1000 sf)	

### **B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION**

#### **DEFINITION**

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION

PLANTING PERMANENT. LONG-LIVED VEGETATIVE COVER ON GRADED AND/OR CLEARED AREAS AND ARES THAT HAVE BEEN IN TEMPORARY VEGETATION FOR MORE THAN 6 MONTHS

CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

#### **STANDARDS**

THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT-WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCE CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS.

- 1. THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION
- 2. FOR SITES OVER 5 AC. SOIL TESTS WILL BE PERFORMED. SOIL TESTS WILL BE CONDUCTED BY THE UNIVERSITY OF MARYLAND OR A RECOGNIZED COMMERCIAL LABORATORY. MINIMUM SOIL CONDITIONS SHALL MEET THE REQUIREMENTS OF SECTION B-4-2-A-2-A, OTHERWISE SOIL AMENDMENTS OR TOPSOIL WILL NEED TO BE APPLIED. TOP SOILING MAY OCCUR WHEN SOIL CONDITIONS MEET THE MINIMUM REQUIREMENTS AS STATED IN SECTION B-4-2-B. SOIL AMENDMENTS MUST MEET THE REQUIREMENTS AS SET FORTH IN SECTION B-4-2-C AND MUST BE APPLIED AS INDICATED BY THE SOIL TESTS
- 3. FOR SITES OF 5 AC. OR LESS OF DISTURBANCE, THE FOLLOWING FERTILIZER AND LIME RATES SHALL
- 3.1. FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT THE FOLLOWING
- 3.1.1. N = 45 LB. PER ACRE (1 LB. PER 1,000 SF.) 3.1.2. K20 = 90 LB. PER ACRE (2 LB. PER 1,000 SF.)
- 3.2. LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB. PER 1,000 SF.)
- 4. SEED TYPE, TURFGRASS OR SOD APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4-5. SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY THE TYPE AND APPLICATION. RATE OF SEED USED. MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION B-4-3 A, B AND C, AND WILL BE APPLIED ALONG WITH SEED OR IMMEDIATELY AFTER SEEDING.

#### <u>CRITERIA</u>

A. SEED MIXTURES

#### 1. GENERAL USE

- A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON
- B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA
- C. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
- D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 ½ POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY

#### 2. TURFGRASS MIXTURES

- A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
- B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES N THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN
- KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET, CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE
- III. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
- IV. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1½ TO 3 POUNDS PER 1000

NOTE: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC

C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES

WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, 6A)

CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B) <u>SOUTHERN MD, EASTERN SHORE</u>: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7A, 7B)

- D. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 11/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
- E. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (½ TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.
- B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER)

1. GENERAL SPECIFICATIONS

- A. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
- B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF ¾ INCH, PLUS OR MINUS ¼ INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH, BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE
- : STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
- D. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- E. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

#### 2. SOD INSTALLATION

- A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
- B. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR
- C. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE
- D. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING. TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT

#### 3. SOD MAINTENANCE

- A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING
- B. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE
- C. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

	PEI	RMANE	ENT S	EEDI	NG SU	MMAR	Y		
HARDINESS ZONE (FROM FIGURE B.3) 6B SEED MIXTURE (FROM TABLE B.3) SEE BELOW FERTILIZER RATE (10-20-20)								LIME RATE	
NO.	SPECIES	APPLICATION RATE (LB/AC.)	SEEDING DATES	SEEDING DEPTHS	N	P205	K20	LIMETOTIE	
	IMPROVED TALL FESCUE (LOLIUM ARUNDINACEUM)	60	3/1-5/15 8/1-10/15	1/4"-1/2"	45 LBS/AC (1.0 LB/1000 SF)	90 LBS/AC (2.0 LB/1000 SF)	90 LBS/AC (2.0 LB/1000 SF)	2 tons/ac (90 lb/ 1000 sf)	
9	IMPROVED KENTUCKY BLUE GRASS	40	3/1-5/15 8/1-10/15	1/4"-1/2"					
	IMPROVED PERENNIAL RYEGRASS	20	3/1-5/15 8/1-10/15	1/4"-1/2"					
1	SWITCH GRASS (PANICUM VIRGATUM)	10	3/1-5/15 5/16-6/15	1/4"-1/2"		90 LBS/AC (2.0 LB/1000 SF)	90 LBS/AC (2.0 LB/1000 SF)	2 tons/ac (90 lb/ 1000 sf)	
	CREEPING RED FESCUE (FESTUCA RUBRA)	15	3/1-5/15 5/16-6/15	1/4"-1/2"	45 LBS/AC (1.0 LB/1000 SF)				
	PARTRIDGE PEA (CHAMAECRISTA FASCICUATA)	4	3/1-5/15 5/16-6/15	1/4"-1/2"					

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### **PROPERTY OWNER** OPPIDAN

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# LANDSCAPE ARCHITECT/ **CIVIL ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086 EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM HORIZONTAL NAD 83/91 **VERTICAL NAVD 88** 

C.C. FILE NO.: S-23-0016

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FESSIONAL CERTIFICATION: I HEREB EPARED OR APPROVED BY ME. AND TH GINEER UNDER THE LAWS OF THE STAT ENSE NO. PIRATION DATE

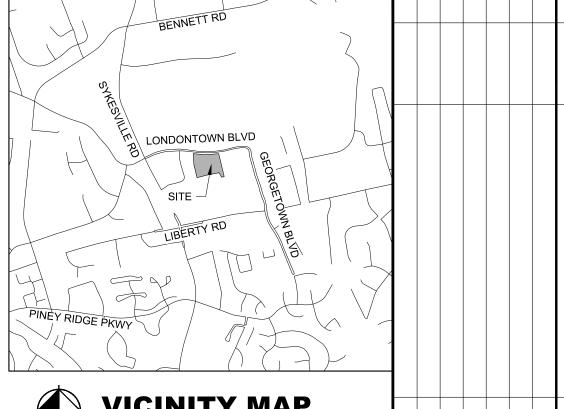
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#### **GENERAL NOTES-ROADS**

- CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES:
- OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY
- BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES, OF THE
- MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD)
- 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND
- SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE
- ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS
- THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
- CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY INSPECTION DIRECTOR TO BE UNSUITABLE FOR THEIR PURPOSE.TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
- LOCATIONS OF EXISTING UTILITIES ARE SHOWN ONLY AS NOTIFICATION TO CONTRACTOR OF THE PRESENCE OF UNDERGROUND UTILITIES. CARROLL COUNTY AND THE DESIGN ENGINEER DO NOT WARRANT OR GUARANTEE CORRECTNESS OR COMPLETENESS OF INFORMATION SHOWN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY AT 1-800-257-7777 FOR VERIFYING EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY DAMAGE TO EXISTING UTILITIES DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT CONTRACTORS EXPENSE.
- DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING
- IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
- 7. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLIC WORKS DETERMINES PLAN REVISIONS ARE NECESSARY NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.
- FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR
- CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.
- DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO AND, APPROVED BY, THE CONSTRUCTION INSPECTION
- INLET GRADES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.
- PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
- WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE ON ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO
- ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1OR AS NOTED IN THE UTILITY PERMIT
- ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE. AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.
- OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL, THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROWED MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.
- THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS. 18. PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE
- CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO
- CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY PUBLIC RIGHT-OF-WAY.



PARED OR APPROVED BY ME AND TH

GINEER UNDER THE LAWS OF THE STA



### **SITE LEGEND**

	PROPERTY LINE
— LOD ——	LIMIT OF DISTURBANCE
	EXISTING EASEMENT
	BUILDING SETBACK LINE
	ADJACENT PROPERTY LINE
— VSB ———	VARIABLE WIDTH STREAM BUFFEI
	EXISTING BUILDING
——————————————————————————————————————	EXISTING ZONING BOUNDARY
	EXISTING CURB
<b>~~~~~</b> .	EXISTING TREE LINE
	EXISTING SIDEWALK
-600	EXISTING MAJOR CONTOUR
— — 598 — — — —	EXISTING MINOR CONTOUR
· s — —	EXISTING SEWER
D — —	EXISTING STORM DRAIN
· W	EXISTING WATER
	EXISTING INLET
•	EXISTING STORM DRAIN MANHOLI

PROPOSED FENCE
PROPOSED PAVEMENT MARKING
PROPOSED SIDEWALK
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
PROPOSED STORM DRAIN

ROPOSED MINOR CONTOUR ROPOSED STORM DRAIN PROPOSED WATER PROPOSED SANITARY PROPOSED INLET

**EXISTING SEWER MANHOLE** 

PROPOSED BUILDING

PROPOSED CURB

EXISTING WATER STRUCTURE

PROPOSED STORM DRAIN MANHOLE

PROPOSED SANITARY MANHOLE PROPOSED WATER FITTINGS PROPOSED FIRE HYDRANT

### **WATER RESOURCE** PROTECTION SIGN DETAIL



WATER RESOURCE PROTECTION AREA

This area is being maintained to protect and enhance water quality.

Clean Water For Your Future Carroll County Government

PLACED APPROXIMATELY EVERY 100 FT.

### **PROPERTY OWNER** LANDSCAPE ARCHITECT/

ATTN: MARLEE BENSON 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331 TEL: 612-500-6732 EMAIL: MARLEE@OPPIDAN.COM **CIVIL ENGINEER** KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204

EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

TEL: (443) 884-5086

C.C. FILE NO.: S-23-0016 DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91

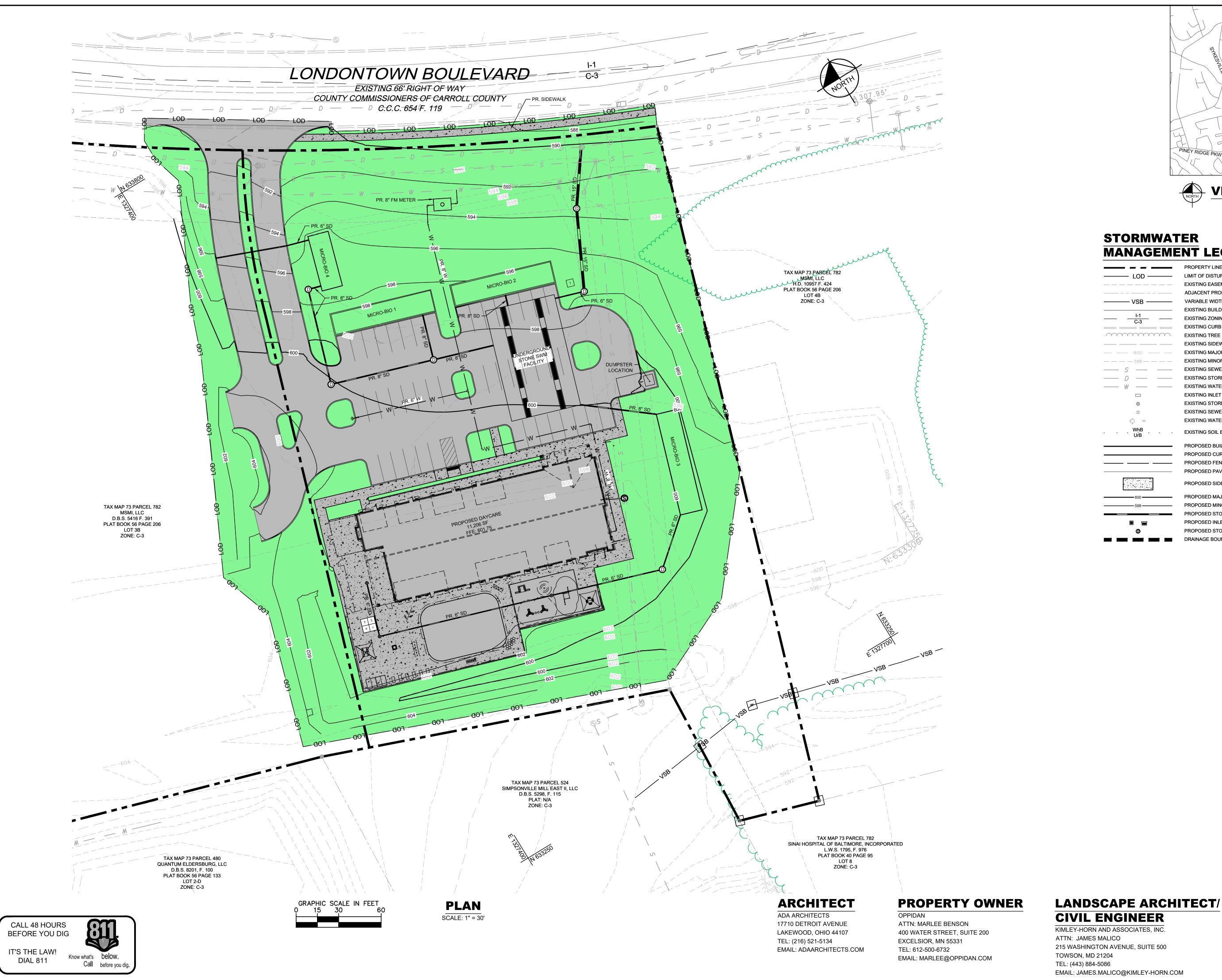
**VERTICAL NAVD 88** 

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SHEET NUMBER C-300

S

ADEMY FATION



VICINITY MAP

### **STORMWATER MANAGEMENT LEGEND**

EXISTING STORM DRAIN MANHOLE EXISTING SEWER MANHOLE EXISTING WATER STRUCTURE EXISTING SOIL BOUNDARY PROPOSED CURB

PROPOSED FENCE

—598 — PROPOSED MINOR CONTOUR PROPOSED INLET

PROPOSED STORM DRAIN MANHOLE DRAINAGE BOUNDARY

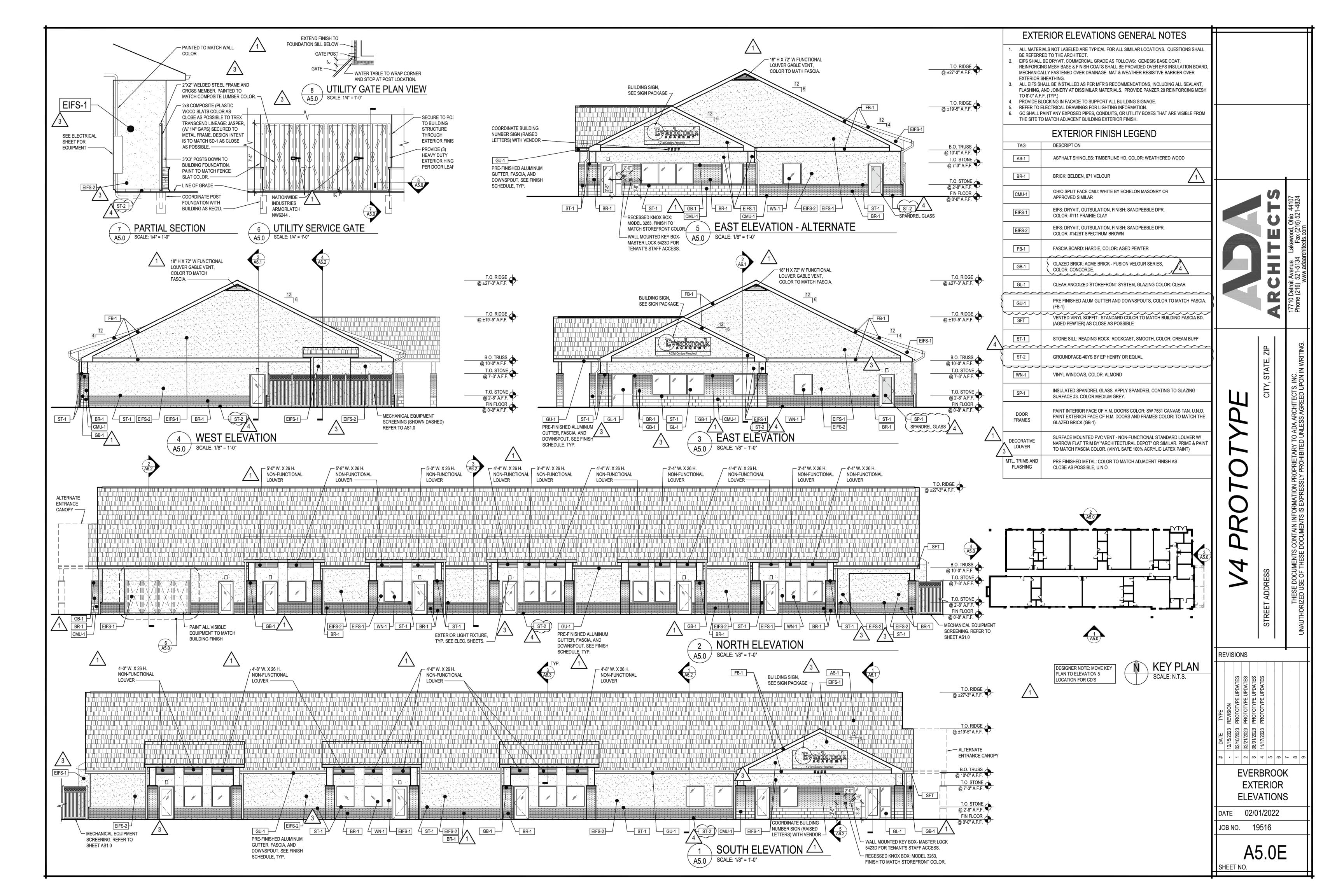
ACADEMY S STATION EVERBROOKE A ELDERSBURG

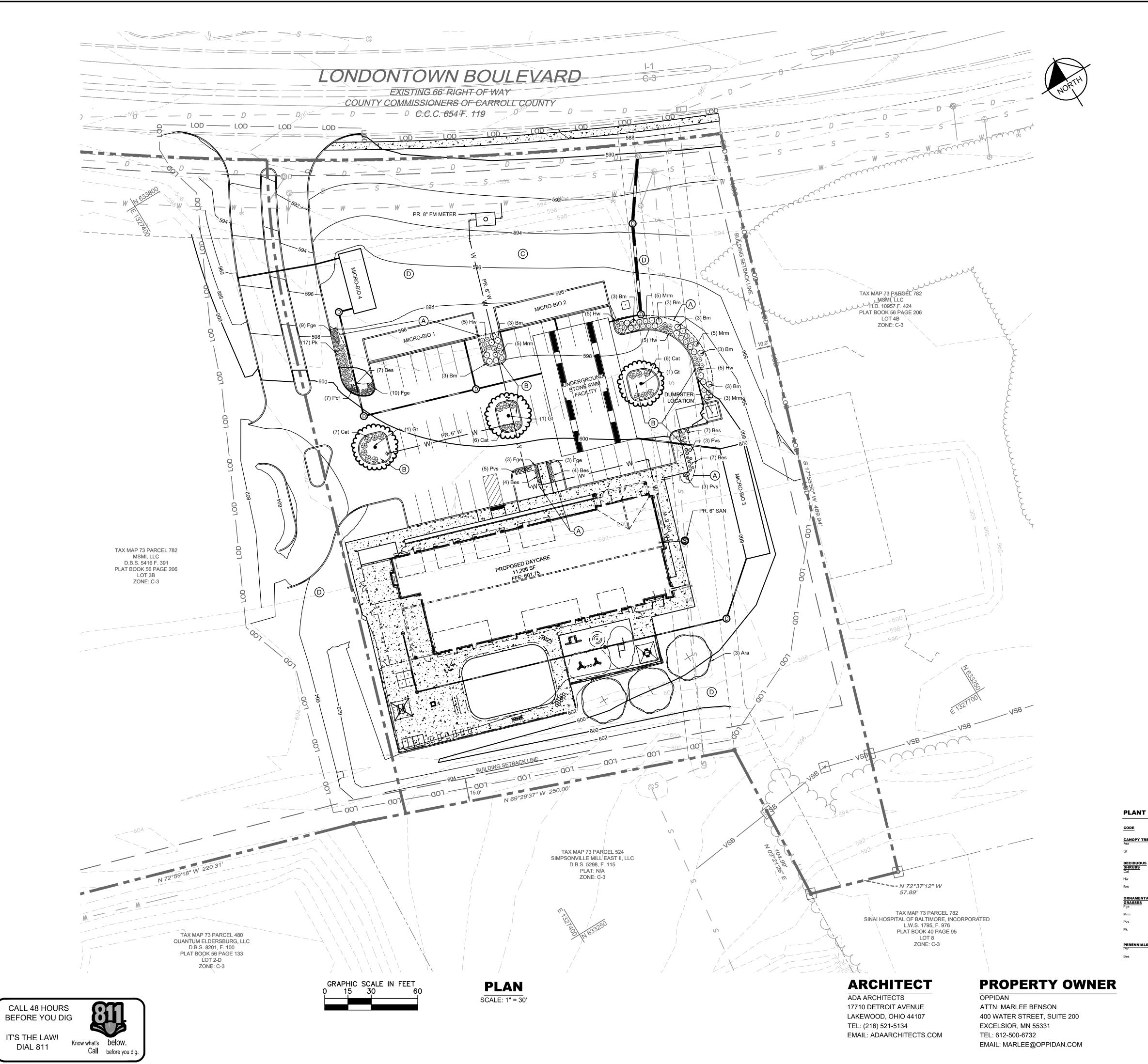
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C-400

C.C. FILE NO.: S-23-0016

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 **VERTICAL NAVD 88** 





### **SITE LEGEND**

<del></del>	PROPERTY LINE
LOD	LIMIT OF DISTURBANCE
	EXISTING EASEMENT
	BUILDING SETBACK LINE
	ADJACENT PROPERTY LINE
VSB	VARIABLE WIDTH STREAM BUFFER
	EXISTING BUILDING
<u> </u>	EXISTING ZONING BOUNDARY
	EXISTING CURB
.~~~~~.	EXISTING TREE LINE
	EXISTING SIDEWALK
	EXISTING MAJOR CONTOUR
— — — 598 — — — —	EXISTING MINOR CONTOUR
— s — —	EXISTING SEWER
D	EXISTING STORM DRAIN
W	EXISTING WATER
	EXISTING INLET
0	EXISTING STORM DRAIN MANHOLE
<b>S</b>	EXISTING SEWER MANHOLE
→ м	EXISTING WATER STRUCTURE
	PROPOSED BUILDING
	PROPOSED CURB
	PROPOSED FENCE
	PROPOSED PAVEMENT MARKING
	PROPOSED SIDEWALK
600	PROPOSED MAJOR CONTOUR
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	PROPOSED STORM DRAIN
w	PROPOSED WATER
s	PROPOSED SANITARY
	PROPOSED INLET
<b>©</b>	PROPOSED STORM DRAIN MANHO
<b>©</b>	PROPOSED SANITARY MANHOLE
<b>≠</b> Ḥ	PROPOSED WATER FITTINGS
lack	PROPOSED FIRE HYDRANT

LANDSCAPE LEGEND

EXISTING DECIDUOUS TREE (TYP.)

EXISTING CONIFEROUS TREE (TYP.)

EXISTING SHRUB (TYP.) APPROXIMATE LIMITS OF SEEDING/ SEEDING ALL DISTURBED AREAS (TYP.)

SEED/ SOD EDGE (TYP.) ROCK MULCH (TYP.)

### PLANT SCHEDULE

CODE		BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT
CANOPY TREES	3	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	AS SHOWN	2" CAL. MIN; 8`-10` HT.	B&B
Gt	3	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE'	SKYLINE HONEY LOCUST	AS SHOWN	2" CAL. MIN; 8'-10' HT.	
DECIDUOUS						
Cat	19	COTONEASTER APICULATUS 'TOM THUMB'	TOM THUMB CRANBERRY COTONEASTER	4` O.C.	18" MIN. HT.	3 GAL.
Hw	20	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	OAKLEAF HYDRANGEA	3` O.C.	30" MIN. HT.	3 GAL.
Bm	21	VIBURNUM DENTATUM 'BLUE MUFFIN'	SOUTHERN ARROWWOOD	3` O.C.	30" MIN. HT.	3 GAL.
ORNAMENTAL						
GRASSES Fge	25	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	2` O.C.	1 GAL.	CONT
Mrm	18	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	PINK MUHLY GRASS	3` O.C.	30" MIN. HT.	3 GAL.
Pvs	11	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCHGRASS	2` O.C.	30" MIN. HT.	CONT
Pk	17	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	3` O.C.	18" MIN. HT.	CONT
Pcf	7	ECHINACEA PURPUREA	PURPLE CONEFLOWER	18" O.C.	12" MIN. HT.	CONT
Bes	29	RUDBECKIA FULGIDA `GOLDSTURM`	BLACK-EYED SUSAN	18" O.C.	12" MIN. HT.	CONT

### LANDSCAPE ARCHITECT/ **CIVIL ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086 EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

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LANDSCAPE KEYNOTES

B DOUBLE SHREDDED HARDWOOD MULCH (TYP.)

A EDGER (TYP.)

D SOD (TYP.)

BOULDER (TYP.)

© ROCK MULCH (TYP.)

 MAINTENANCE STRIP (TYP.) F ANNUALS BY OWNER (TYP.)

C.C. FILE NO.: S-23-0016

Kim

SBURG STATION
PREPARED FOR
OPPIDAN EVERBROOKE A ELDERSBURG

SHEET NUMBER C-600

- 1. ALL PLANT SPECIFICATIONS SHALL BE IDENTIFIED IN ACCORDANCE WITH THE
- LATEST EDITION OF HORTUS THIRD, BY "THE STAFF OF THE HORTORIUM". 2. ALL NURSERY STOCK SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN. INC. STANDARDS AS DESCRIBED IN AMERICAN STANDARDS FOR
- NURSERY STOCK, CURRENT ANSI A-300 SPECIFICATIONS. LANDSCAPE SPECIFICATIONS SHALL CONFORM TO LANDSCAPE GUIDELINES FOR MARYLAND, WASHINGTON, D.C., AND VIRGINIA, LATEST EDITION. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GUIDELINES.
- OR SODDED IS REQUIRED.
- A SEPARATE PLAN LABELED "LANDSCAPE PLAN" (MAY BE COMBINED WITH FOREST CONSERVATION PLAN) IS REQUIRED. LANDSCAPE REQUIREMENTS MAY NOT BE COMBINED THE FOREST CONSERVATION PLAN.

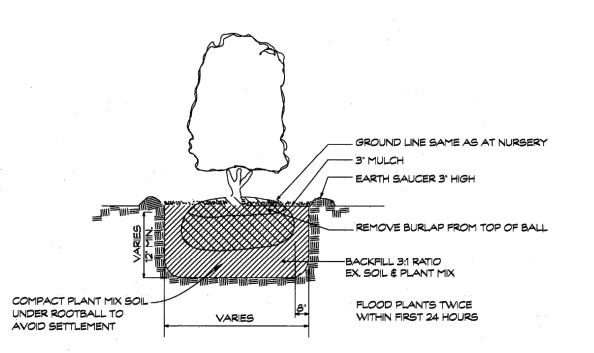
#### MAINTENANCE RESPONSIBILITY

A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE REQUIRED. FAILURE TO REPLACE DEAD OR DYING PUS IS A VIOLATION OF THIS CHAPTER.

#### INSPECTIONS

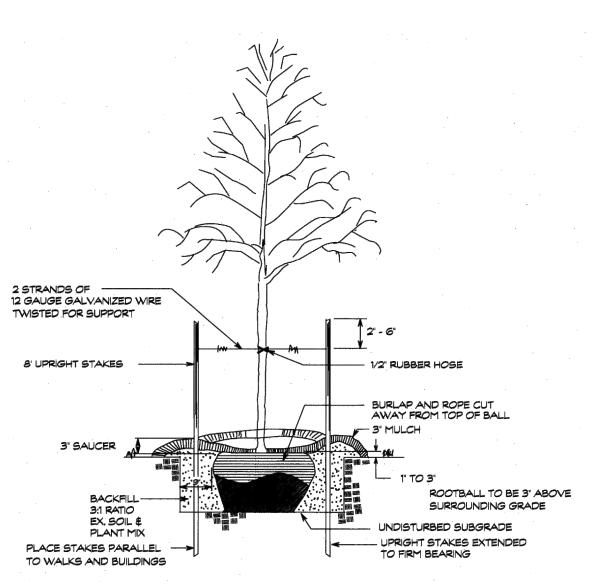
A MINIMUM OF TWO INSPECTIONS WILL BE REQUIRED:

- A. INITIAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED WHEN PLANTING IS COMPLETED TO VERIFY COMPLIANCE WITH THE APPROVED PLANTING PLAN. THE INSPECTION SHALL BEE PERFORMED BY A LANDSCAPE ARCHITECT. A COMPLETED AND SEALED LANDSCAPE CERTIFICATION SHALL BE PROVIDED WITH PHOTOGRAPHS OR OTHER VISUAL DOCUMENTATION. THE 12 MONTH SURVIVAL PERIOD WILL BEGIN UPON RECEIPT OF THE LANDSCAPE CERTIFICATION.
- B. FINAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY 12 MONTHS AFTER CERTIFICATION OF THE INITIAL PLANTING.
- C. ACCEPTABLE PLANT SURVIVAL SHALL BE DEFINED AS NOT MORE THAN \$\frac{1}{2} MORTALITY. A 12 MONTH INSPECTION WILL BE PERFORMED BY THE COUNTY. NO INSPECTION SHALL BE FINALIZED FROM NOVEMBER 1 TO MARCH 1.



### **SHRUB PLANTING DETAIL**

NOT TO SCALE



### TREE PLANTING DETAIL

NOT TO SCALE

#### LANDSCAPE PLANTING SPECIFICATIONS

PLANT MATERIALS SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK SPONSORED BY AMERICAN ASSOCIATION OF NURSERYMAN, INC.

PLANTS SHALL BE SUBJECT TO INSPECTION BY THE CARROLL COUNTY OFFICE OF LANDSCAPE AND FOREST CONSERVATION FOR QUALITY, SIZE, COLOR, AND TRUENESS TO SPECIES. PLANTS LACKING COMPACTNESS OR PROPER PROPORTIONS, PLANTS WHICH ARE WEAK OR THIN, AND PLANTS ARE NOT THE SPECIES OR VARIETY CALLED FOR IN THE PLANT LIST WILL NOT BE ACCEPTED. RIGHT IS RESERVED TO REJECT PLANTS THAT ARE CONSIDERED UNSATISFACTORY. REJECTED PLANTS SHALL BE REMOVED FROM THE SITE AND 4. THREE (3) INCHES TOPSOIL ON ALL DISTURBED AREAS TO BE LANDSCAPED, SEEDED REPLACED WITH PLANTS SPECIFIED. PRUNING PLANTS PRIOR TO DELIVERY SHALL BE PROHIBITED.

> SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT THE CONSENT OF THE CARROLL COUNTY OFFICE OF LANDSCAPE AND FOREST CONSERVATION. IF PROOF IS SUBMITTED THAT SPECIFIC PLANTS OR SIZES ARE UNOBTAINABLE, PROPOSALS WILL BE CONSIDERED FOR THE NEAREST EQUIVALENT SIZE OR VARIETY WITH EQUITABLE ADJUSTMENT TO THE CONTRACT PRICE.

PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEM. THEY THE OWNER OF ANY PROPERTY ON WHICH LANDSCAPING HAS BEEN INSTALLED PURSUANT SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECT, DECAY, DAMAGED ROOTS, SUN-SCALD TO THIS CHAPTER SHALL MAINTAIN THE LANDSCAPING IN GOOD CONDITION IN PERPETUITY. INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECTS PEST'S EGGS, BORERS, AND FORMS OF INFESTATIONS AND OBJECTIONABLE DISFIGUREMENTS.

AT LEAST 2 YEARS PRIOR TO THE DATE OF THE PLANTING CONTRACT.

#### REFERENCES

- 1. ALL PLANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH HORTUS THIRD, BY L.H. BAILEY, 1976. 2. 2. ALL NURSERY STOCK SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- STANDARDS FOR NURSERY STOCK, PUBLICATION ANSI Z60.1-1980 LATEST EDITION.
- LANDSCAPE SPECIFICATIONS SHALL CONFORM TO LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN THE GUIDELINES.

#### PLANTING PROCEDURES

PLANTS SHALL BE FRESHLY DUG AT TIME OF DELIVERY. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF ADEQUATE SIZE, THE BALLS SECURELY WRAPPED WITH BURLAP OR CANVAS, TIGHTLY BOUND WITH ROPE OR WIRE.

THE PLANTING SEASONS FOR PLANT MATERIAL SHALL BE AS FOLLOWS: DECIDUOUS TREES AND SHRUBS: OCTOBER 15 THRU DECEMBER 15 APRIL 1 THRU MAY 15

EVERGREEN TREES, SHRUBS AND VINES: SEPTEMBER 1 THRU NOVEMBER 15 APRIL 1 THRU MAY 15

AT THE OPTION AND FULL RESPONSIBILITY OF THE CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS WITHOUT ADDITIONAL COMPENSATION.

PLANTING AND BACKFILL MIX SHALL CONSIST OF 3 PARTS EXCAVATED SOIL, 1 PART HUMUS.

REASONABLE CARE SHALL BE EXERCISED TO HAVE PITS DUG AND SOIL PREPARED PRIOR TO MOVING PLANTS ON SITE FOR PLANTING TO ENSURE THAT THEY WILL NOT BE UNNECESSARILY EXPOSED TO DRYING ELEMENTS OR PHYSICAL DAMAGE. SIZE OF PITS SHALL BE  $1\frac{1}{2}$  TO 2 TIMES THE DIAMETER OF THE ROOT BALL AND THE ROOT BALL SHALL BE ELEVATED \$\frac{1}{3}\$ HEIGHT OF THE ROOT BALL ABOVE THE GROUND TO ALLOW FOR DRAINAGE. A BROAD MOUND OF SOIL SHALL BE LEFT AROUND THE BASE TO ENABLE THE ELEVATION TO BLEND INTO THE SITE.

GROUND COVER AREAS SHALL BE PREPARED AS SPECIFIED BEFORE. PLANT GROUND COVER TO WITHIN 1'-0 OF TREE TRUNKS OR SHRUBS.

PLANT HOLES SHALL BE BACKFILLED WITH SOIL MIX SPECIFIED ABOVE PLACED IN LAYERS AROUND THE ROOTS OR BALL. EACH LAYER SHALL BE CAREFULLY TAMPED TO AVOID INJURY TO PLANTS AND ROOTS. WHEN HOLES ARE APPROXIMATELY TWO-THIRDS FULL, THE HOLE SHALL BE FILLED WITH WATER AND SOILS ALLOWED TO SETTLE AROUND THE ROOTS. AFTER THE WATER HAS BEEN ABSORBED THE HOLE SHALL BE FILLED WITH BACKFULL MIX, AND LIGHTLY TAMPED. BERMS, 3" IN HEIGHT SHALL THEN BE FORMED AROUND THE HOLE AS SHOWN ON THE PLANTING DETAILS.

ALL PLANTING BEDS SHALL BE MULCHED WIHT PEAT MOSS AND/OR FINELY SHREDDED AND COMPOSTED GROUND COVER BEDS SHALL BE MULCHED AFTER PLANTING TO A DEPTH OF 1 INCH. OTHER PLANTS

MULCH SHALL BE APPLIED IMMEDIATELY AFTER PLANTING TO RETAIN MOISTURE. RAKE SURFACE SMOOTH

TREES SHALL BE STAKED AND WRAPPED ACCORDING TO THE FOLLOWING:

SHALL BE MULCHED AFTER PLANTING TO A DEPTH OF 2 INCHES.

AND EVEN, THEN SOAK FULL DEPTH OF MULCH THOROUGHLY.

WIRE SHALL BE 12 GAUGE ANNELAED GALVANIZED. HOSE SHALL BE ½" DIAMETER, 2-PLY REINFORCED HOSE. STAKES SHALL BE SOUND UNIFORM 2" X 2" REDWOOD OR OAK, LENGTH AS SHOWN. PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFICALLY PERMITTED IN EACH INSTANCE AND LANDSCAPE SPECIFICATIONS SHALL CONFORM TO THE CURRENT EDITION OF THE LANDSCAPE SHALL HAVE BEEN GROWING UNDER SIMILAR CLIMATIC CONDITIONS AS THE LOCATION OF THE PROJECT FOR SPECIFICATION GUIDELINE FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS, DEVELOPED BY THE LANDSCAPE CONTRACTORS ASSOCIATION, MD-DC-VA. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GUIDELINES WITH THE FOLLOWING EXCEPTIONS:

- A. IF THE SOIL IS WET OR COMPACTED, ALL CONTAINERIZED AND BALLED NURSERY STOCK SHOULD BE PLANTED SUCH THAT THE TOP ONE-THIRD OF THE ROOT BALL IS ABOVE THE EXISTING GRADE. THIS DEPARTURE IN THE ESTABLISHED PROCEDURES HAS BEEN DOCUMENTED TO INCREASE THE RATE OF TRANSPLANT SUCCESS IN THESE TYPES OF SOILS.
- WIRE AND NONDEGRADABLE MATERIALS SHOULD BE REMOVED AS FAR AS PRACTICAL BEFORE

BACKFILLING TO PREVENT ROOT GIRDLING

MAINTENANCE OF PLANT MATERIAL SHALL BEGIN WHEN PROJECT COMMENCES AND CONTINUE UNTIL THE FINAL INSPECTION AND ACCEPTANCE. PLANTING MAINTENANCE SHALL INCLUDE ALL NECESSARY WATERING CULTIVATION, WEEDING, PRUNING, WOUND DRESSING, DISEASE AND INSECT PEST CONTROL, PROTECTIVE SPRAYING, REPLACEMENT OF UNACCEPTABLE MATERIAL, STRAIGHTENING PLANTS WHICH LEAN OR SAG, ADJUSTMENT OF PLANTS WHICH SETTLE OR ARE PLANTED TOO LOW, AND ANY OTHER PROCEDURE

CONSISTENT WITH GOOD HORTICULTURAL PRACTICES NECESSARY TO INSURE NORMAL, VIGOROUS, AND

CONTRACTOR SHALL BE RESPONSIBLE FOR THE USE OF ALL MATERIALS, LABOR AND EQUIPMENT, AND ANY INJURY TO PLANT MATERIAL CAUSED BY SUCH MATERIAL, LABOR, AND EQUIPMENT SHALL BE CORRECTED AND REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

A PROVING PERIOD SHALL FOLLOW THE COMPLETION OF ALL PLANTING FOR ONE YEAR. ALL PLANT MATERIA FOUND TO BE UNSATISFACTORY DURING THE PROVING PERIOD SHALL BE REPLACED BY THEE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. ALL REPLACEMENTS SHALL HAVE A ONE YEAR PROVING PERIOD AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING TIMES AND SPECIFICATIONS SPECIFIED ABOVE.

#### TREE PROTECTION NOTES

MAINTENANCE AND REPLACEMENT

HEALTHY GROWTH OF ALL WORK UNDER THIS CONTRACT.

- 1. UPON NOTIFICATION OF COUNTY APPROVAL OF THE FINAL LANDSCAPE PLAN, TREES WHICH ARE TO REMAIN SHALL BE MARKED IN THE FIELD BY THE DEVELOPER AND PROTECTED IN AN APPROVED MANNER. TREES WITHIN THE CONSTRUCTION AREA WHICH ARE TO REMAIN UNDISTURBED SHALL BE ENCIRCLED WITH A FENCE FOR PROTECTION, (SNOW FENCING OR OTHER APPROVED METHODS). THI CONTRACTOR SHALL NOT DISTURB THE AREA WITHIN THE FENCE IN ANY MANNER DELETERIOUS TO
- ANY TRENCHING OPERATIONS WITHIN THE VICINITY OF TREES SHOULD BE DONE IN A MANNER TO PROTECT THE TREE ROOTS. TEARING AND RIPPING OF TREE ROOTS SHOULD BE AVOIDED. ROOTS SHOULD BE SEVERED NEATLY.
- 3. ALL TREES TO BE REMOVED SHOULD BE REMOVED IN A MANNER THAT WILL NOT DAMAGE THE REMAINING TREES. ANY TREES THAT ARE TO REMAIN THAT ARE DAMAGED DURING CLEARING OPERATION MUST BE REPAIRED IN AN APPROVED MANNER BY A TREE EXPERT AS SOON AS FINAL CLEARING HAS BEEN COMPLETED. AFTER CONSTRUCTION IS COMPLETED, TEMPORARY BARRIERS, SURPLUS MATERIALS AND ALL TRASH, DEBRIS, AND RUBBISH SHALL BE REMOVED FROM THE SITE. AI BACKFILL SHALL BE CLEAR OF BUILDING MATERIAL, STONE AND RUBBISH.
- EXISTING TREES (PARTICULARLY MATURE TREES) WHICH ARE RETAINED WILL UNDERGO " POST OPERATIVE SHOCK" CAUSED BY THE CONSTRUCTION ACTIVITY. ALL POSSIBLE SAFEGUARDS SHOULD BE TAKEN TO MINIMIZE THESE EFFECTS AND TO PROVIDE OPTIMUM GROWTH CONDITIONS. FOLIAGE FEEDING AND LIQUID OR ROOT FEEDING ARE ENCOURAGED. BRANCH AND FOLIAGE THINNING ARE ALSO DESIRABLE.



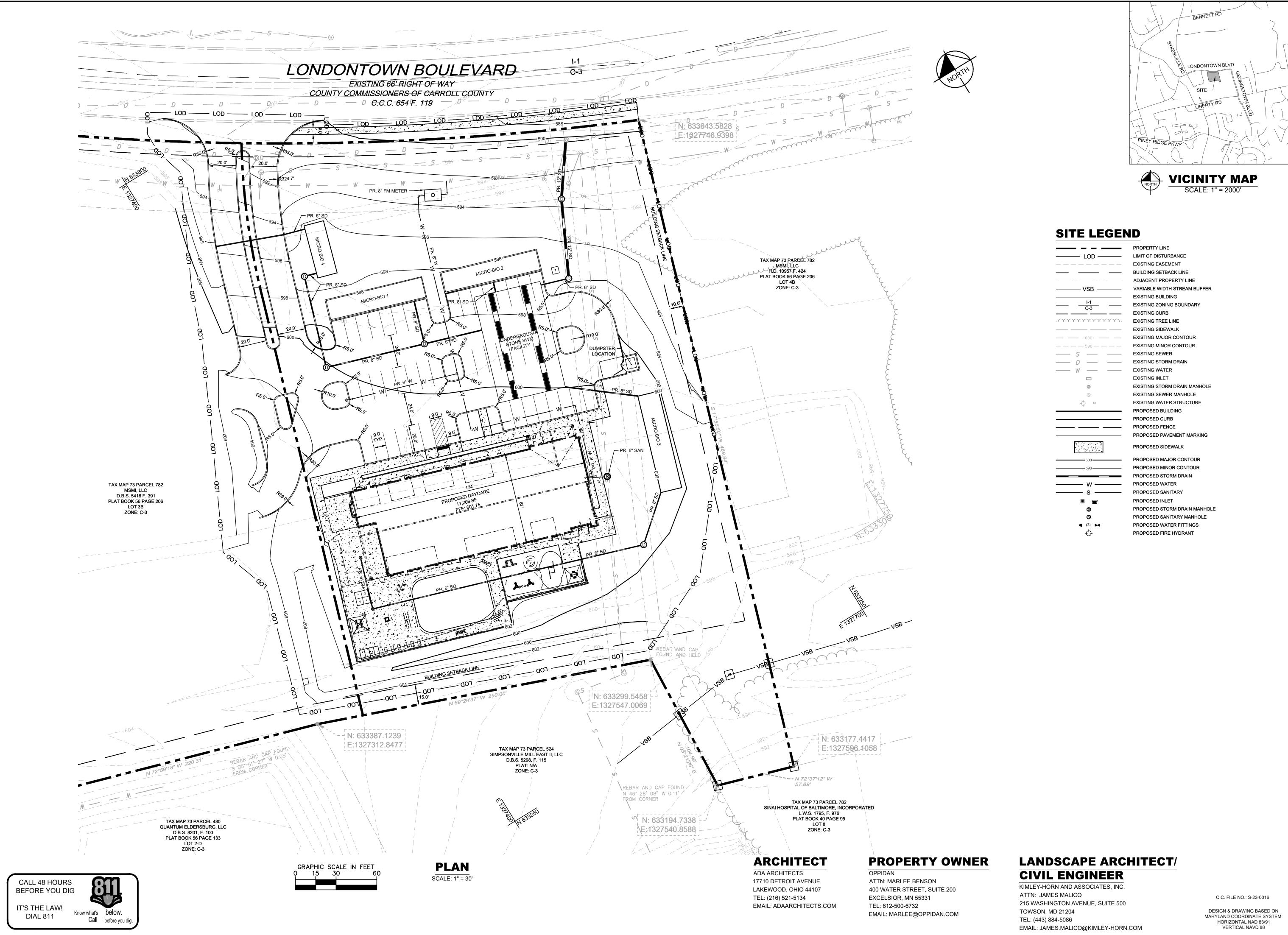
OFESSIONAL CERTIFICATION: I HEREBY RTIFY THAT THESE DOCUMENTS WERE EPARED OR APPROVED BY ME, AND THAT I A DULY LICENSED PROFESSIONAL GINEER UNDER THE LAWS OF THE STATE MARYLAND. ENSE NO. 31373 PIRATION DATE 01/21/2025							
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ACADEMY S STATION

EVERBROOKE, ELDERSBURG

SHEET NUMBER C-610

Know what's **below**. Call before you dir

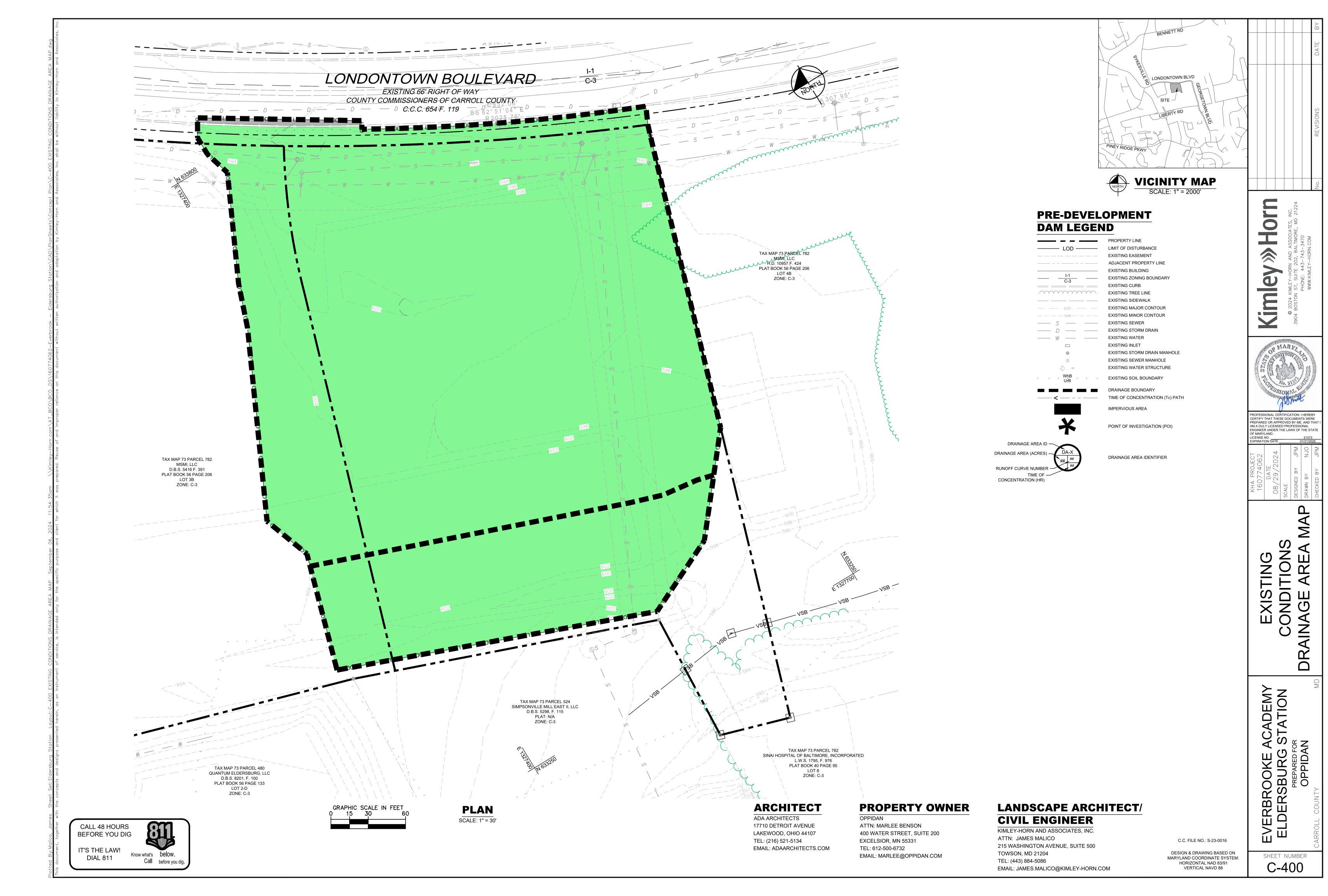


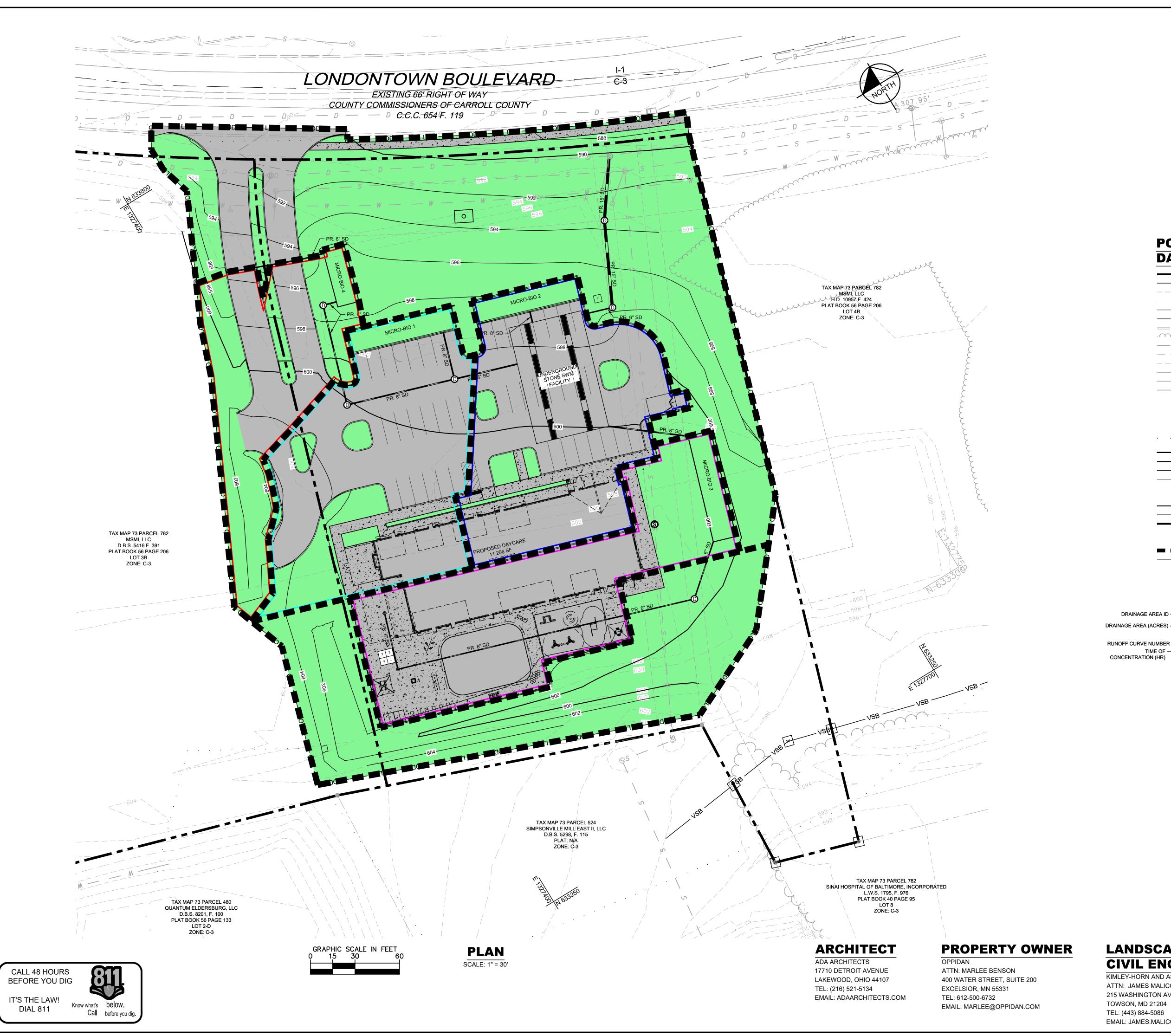
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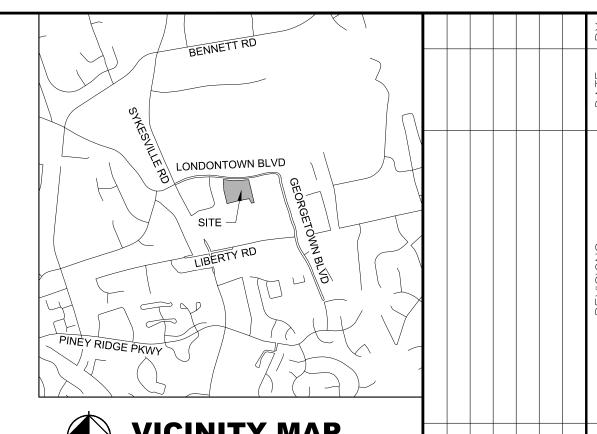
**LIGHTING** 

ACADEMY S STATION EVERBROOKE A ELDERSBURG

SHEET NUMBER C-700

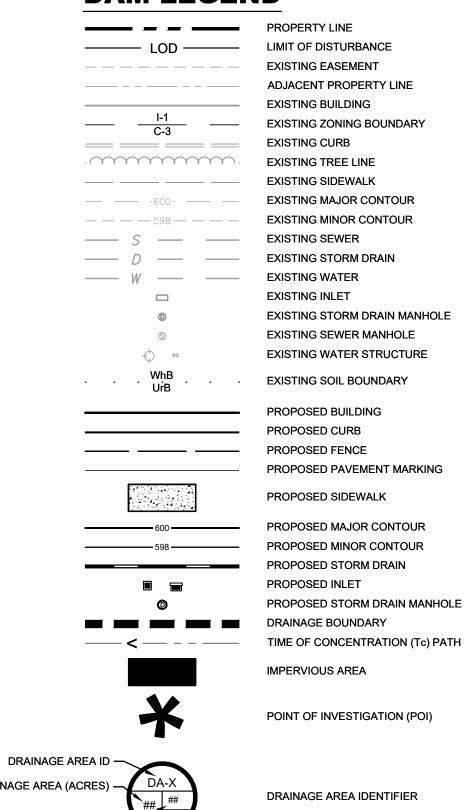






# VICINITY MAP

### **POST-DEVELOPMENT DAM LEGEND**



### LANDSCAPE ARCHITECT/ **CIVIL ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086 EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

TIME OF —

C.C. FILE NO.: S-23-0016 DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91

**VERTICAL NAVD 88** 

EVERBROOKE A ELDERSBURG SHEET NUMBER C-400

ACADEMY S STATION