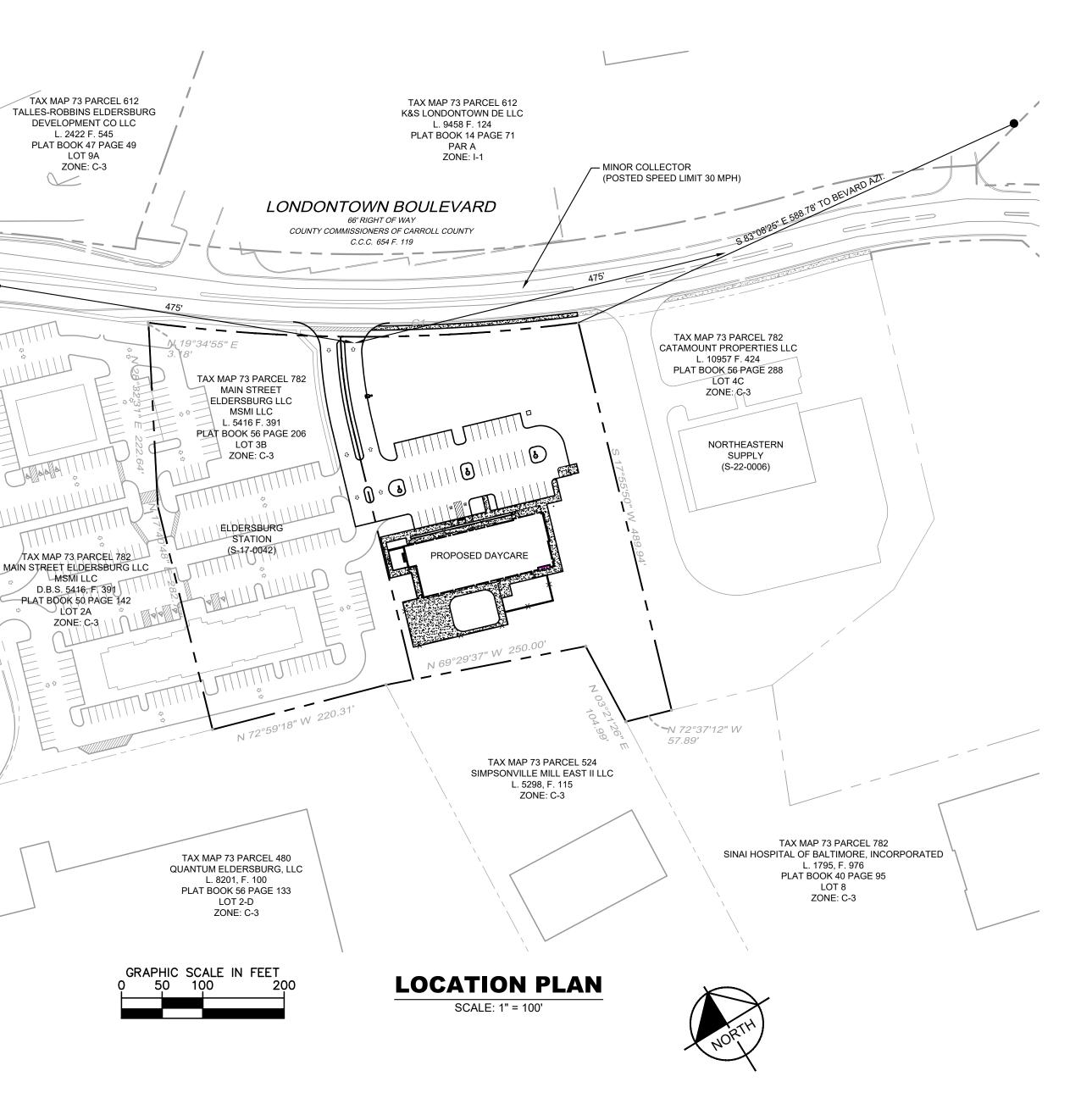
3.	TOTAL AREA OF SITE: 245,678 SF (5.64 AC) TOTAL DEVELOPED AREA: 117,465 SF (2.70 AC)	
4.	EXISTING IMPERVIOUS AREA: 454 SF (0.01 AC)	
5. 6.	PROPOSED IMPERVIOUS AREA: 57,979 SF (1.33 AC) PROPOSED BUILDING AREA: 11,206 SF	
7.	THE PROPERTY SHOWN HEREON IS OWNED BY MSMI, LLC BY DEED DATED 12/13/2007, RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY, MD IN LIBER 5416, FOLIO 391.	
8.	TAX ACCOUNT NUMBER: 091063	
9. 10.	COMMISSIONER DISTRICT 5 TAX MAP: 0073 / BLOCK: 0012 / PARCEL: 0782 PLAT REF: 0056/0206	
11. 12	TOPOGRAPHY SHOWN HEREON IS FLOWN, DATED 1/2022, AND PREPARED BY SURVEYING AND MAPPING, LLC.	
12. 13.	LOCATION OF THE NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION: LONDONTOWN BLVD. THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTENCE,	
	LOCATION, AND DEPTH OF ANY EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.	
14.	THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE	
15.	VICINITY OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON	
16.	THESE PLANS, THE FIGURED DIMENSION SHALL GOVERN. ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY	
	PLANNING AND ZONING COMMISSION.	
17.	THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DIRECTOR OF THE	
18.	DEPARTMENT OF PLANNING AND LAND MANAGEMENT. THERE ARE NO APPLICABLE BOARD OF ZONING APPEALS CASES FOR THIS PROJECT.	
19.	ALL CONSTRUCTION ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE "DESIGN MANUAL-VOLUME 1-ROADS AND	
	STORM DRAINS", THE "BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES", "HIGHWAY DRAINAGE MANUAL" OF THE STATE HIGHWAY ADMINISTRATION, "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL"	
	PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION	
20.	COMMITTEE, AND ALL ADDENDA AND ERRATA TO ALL OF THE ABOVE. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEERING OFFICE OF 443-884-5086 IN THE EVENT OF ANY	
	DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIPS OF FINISHED GRADES TO EXISTING GRADES PRIOR TO THE BEGINNING WORK.	
21.	CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TRAFFIC ON ANY EXISTING ROADS.	
22.	IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.	
23.	THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK AS	
	SHOWN ON THESE DRAWINGS: ALLEGHENY POWER: 301-829-7009	
	BALTIMORE GAS & ELECTRIC: 410-234-6313 BUREAU OF RESOURCE MANAGEMENT: 410-386-2506	
_	VERIZON: 410-876-9905	
24.	ALL UTILITIES SHALL BE CLEARED BY A MINIMUM OF 1'0". ALL UTILITY POLES SHALL BE CLEARED BY A MINIMUM OF 2'0" OR TUNNELED IF REQUIRED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR TUNNELING OR BRACING.	
25. 26	CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY.	
26.	ALL SAFETY MEASURES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.	
27.	THE HORIZONTAL CONTROL SHOWN HEREON IS BASED ON THE MARYLAND COORDINATE SYSTEM" (NAD-83-91). THE VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)	
28.	IN FILL AREAS, THE COMPACTION SHALL BE FULL HEIGHT COMPACTION TO THE SPECIFIED ELEVATION. FILL SHALL BE PLACED IN EIGHT	
	(8) INCH (PLUS OR MINUS TWO (2) INCHES), MEASURED LOOSE LIFTS AND EACH LIFT COMPACTED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) OF THE MAXIMUM DRY DENSITY AT PLUS OR MINUS TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT,	
20	AS DETERMINED BY THE MODIFIED PROCTOR TEST (AASHTO T-180) UNLESS SPECIFIED OTHERWISE BY THE GEOTECHNICAL ENGINEER.	
29.	ALL CUT/FILL QUANTITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED BY THE SEDIMENT CONTROL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL VERIFY SUCH CALCULATIONS TO HIS OWN SATISFACTION FOR BID	
30.	CONTRACT PURPOSES. THE SITE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE MARYLAND ACCESSIBILITY CODE, COMAR 09.12.53, AS WELL AS	
	THE 2010 ADA STANDARDS OF THE ACCESSIBILITY DESIGN (DEPARTMENT OF JUSTICE). A 'FORM' INSPECTION IS REQUIRED ON ALL	
	ACCESSIBLE ROUTES/RAMPS/CURB RAMPS PRIOR TO PLACEMENT OF FINAL MATERIAL. SLOPES OF RAMPS AND CURB RAMPS SHALL COMPLY WITH THE AFOREMENTIONED REGULATIONS/ STANDARDS. CONTRACTOR TO COORDINATE WITH COUNTY INSPECTOR.	
31. 32.	THE EXISTING USE OF THE LOT IS UNDEVELOPED LAND. THE PROPOSED USE IS A DAYCARE CENTER.	
32. 33.	THIS SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND SURFACE WATER MANAGEMENT AREA. IF HAZARDOUS OR	
	REGULATED SUBSTANCES ARE STORED ONSITE, STORAGE WILL BE PROVIDED INSIDE THE BUILDING IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS INCLUDING THE CARROLL COUNTY WATER RESOURCE MANUAL.	
34.	LONDONTOWN BOULEVARD IS BEING IMPROVED AS NOTED FROM THE 2014 CARROLL COUNTY MASTER PLAN AND THE 2018 FREEDOM	
	COMMUNITY COMPREHENSIVE PLAN. FOR GENERAL NOTES-ROADS, SEE SHEET C-300	
36.	THE AREA SHOWN HEREON AS A FORESTED () WATER RESOURCE PROTECTION EASEMENT SHALL BE GRANTED TO THE CARROLL COUNTY COMMISSIONERS BY DEED INTENDED TO BE RECORDED SIMULTANEOUSLY WITH THE THIRD AMENDED PLAT (AP-23-0038).	
37.	THIS SITE DOES NOT RESIDE WITHIN A HIGH QUALITY TIER II WATERSHED AS DEFINED BY MDE.	
P	ARKING TABULATION	
PAF	RKING REQUIRED: 1 SPACE PER EMPLOYEE ON THE MAXIMUM SHIFT + 1 PER 10 CHILDREN	
	1 SPACE X 27 EMPLOYEES = 27 SPACES 1/10 SPACES X 160 CHILDREN = 16 SPACES	
D^-	TOTAL SPACES REQ'D = 43 SPACES (2 ACCESSIBLE SPACES REQUIRED) 22 KING PROPOSED: 45 STANDARD SPACES PROVIDED	
rАF	RKING PROPOSED: 45 STANDARD SPACES PROVIDED 2 ACCESSIBLE SPACES PROVIDED 47 TOTAL SPACES PROVIDED	
	41 IUTAL SFACES FRUVIDED	
<b>C</b> /	ARROLL SOIL CONSERVATION DISTRICT	
	E DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY	
TH	E CARROLL SOIL CONSERVATION DISTRICT.	
	APPROVED     CARROLL S.C.D/DATE	
	ARROLL COUNTY PLANNING AND ZONING	
	OMMISSION	
_	BY DATE	
_		
<b>C</b>	IS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CARROLL COUNTY PARTMMENT OF PUBLIC WORKS DESIGN MANUAL - VOLUME I ROAD AND STORM	
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# **CONCEPT SITE PLAN** FOR **EVERBROOK ACADEMY** LOT 3B **ELDERSBURG STATION**



OWNER MAIN STREET ELDERSBURG MSMI LLC 2328 W. JOPPA ROAD, SUITE 200 LUTHERVILLE, MD 21093

OPPIDAN

Sheet	List Table
Sheet Number	Sheet Title
01 OF 13	COVER SHEET
02 OF 13	EROSION CONTROL PLAN - INITIAL
03 OF 13	EROSION CONTROL PLAN - FINAL
04 OF 13	EROSION CONTROL DETAILS
05 OF 13	EROSION CONTROL NOTES
06 OF 13	SITE LAYOUT PLAN
07 OF 13	GRADING PLAN
08 OF 13	STORMWATER MANAGEMENT PLAN
09 OF 13	STORMWATER MANAGEMENT PLAN
10 OF 13	LANDSCAPE PLAN
11 OF 13	LANDSCAPE NOTES AND DETAILS
12 OF 13	LIGHTING PLAN
13 OF 13	BUILDING ELEVATIONS

TRIP	<b>GENER</b>	ATION

- 11TH EDITION ITE 565 DAYCARE CENTER (11,206 S.F.)
- 534 WEEKDAY 24 HOUR
- 123 WEEKDAY AM PEAK HOUR 125 WEEKDAY PM PEAK HOUR
- NOT OPEN ON WEEKENDS

# SITE DEVELOPMENT PLAN INSPECTION SEQUENCE NOTES

- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION
- PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
- PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
- SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING. 2.c.
- 2.d. COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING. 2.e. COMPLETION OF ALL WORK SHOWN ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT
- 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTIONS
- SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION. 4. FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL
- INSPECTIONS SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
- 5. THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.

# **DEVELOPER'S CERTIFICATION**

HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I ALSO UNDERSTAND THAT IT IS MY RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY/FACILITIES. I ALSO CERTIFY THE THIS/THESE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY.

LONDONTOWN BLVD

VICINITY MAP SCALE: 1" = 2000'

DATE

# **ENGINEER'S "AS-BUILT" CERTIFICATION**

SIGNED

HEREBY CERTIFY THAT THE FACILITY/FACILITIES SHOWN ON THIS/THESE PLAN(S) WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT THIS/THESE FACILITIES WERE INSPECTED IN ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

> DATE EXPIRATION DATE

# **ENGINEER'S DESIGN CERTIFICATION**

SIGNED

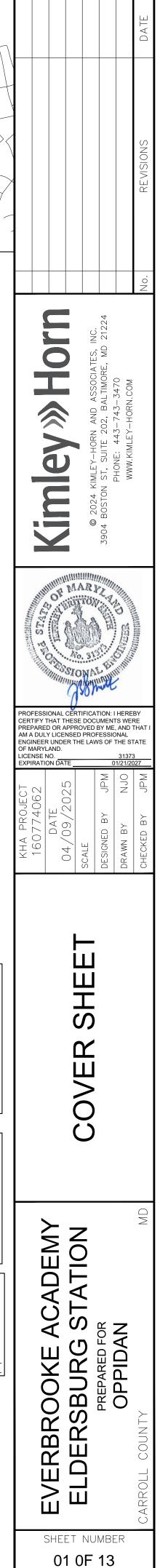
LICENSE NO.

SIGNED

LICENSE NO.

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

> DATE EXPIRATION DATE



# DEVELOPER

ATTN: MARLEE BENSON 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331 TEL: 612-500-6732 EMAIL: MARLEE@OPPIDAN.COM

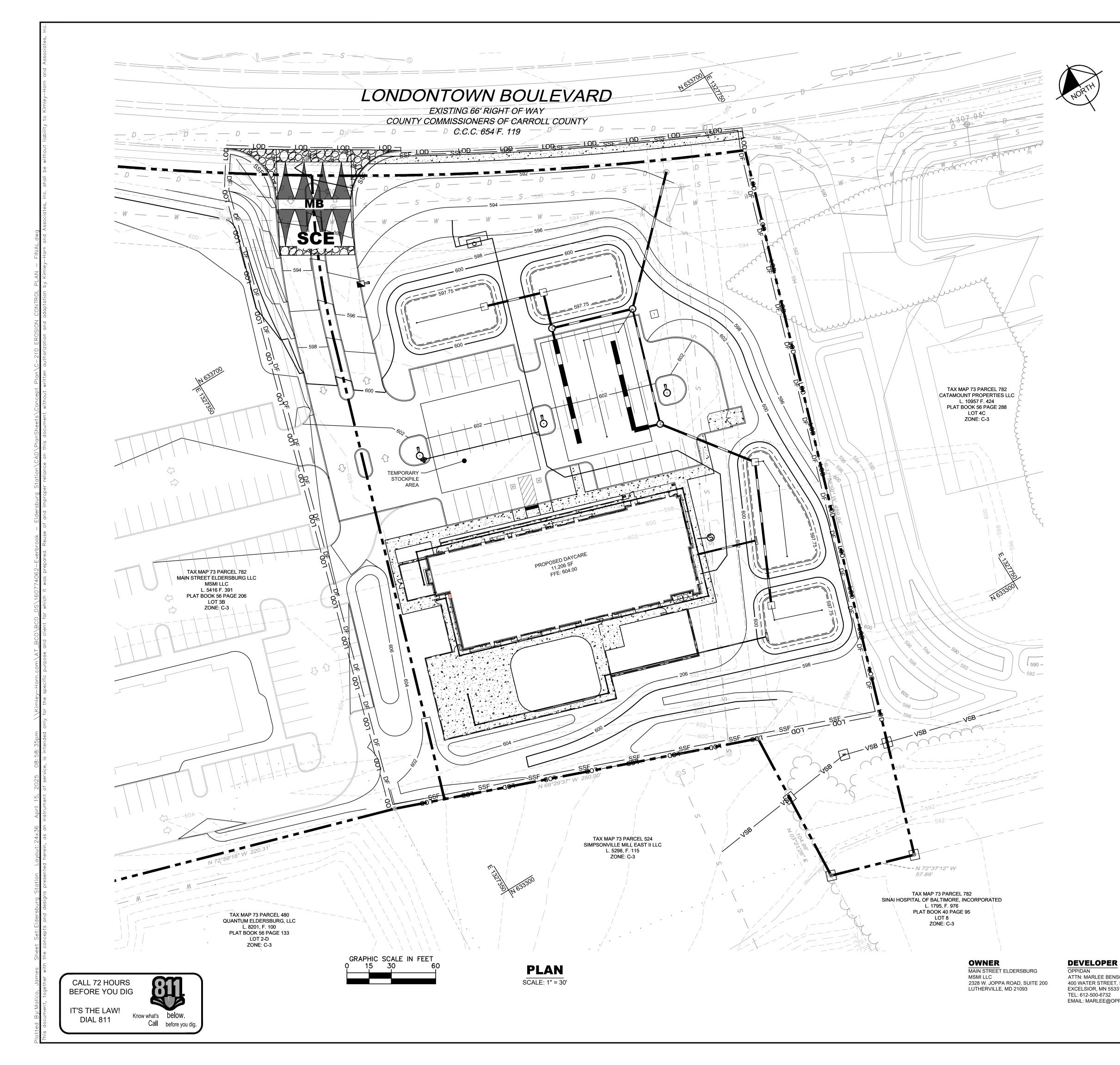
# **CIVIL ENGINEER** KIMLEY-HORN AND ASSOCIATES, INC.

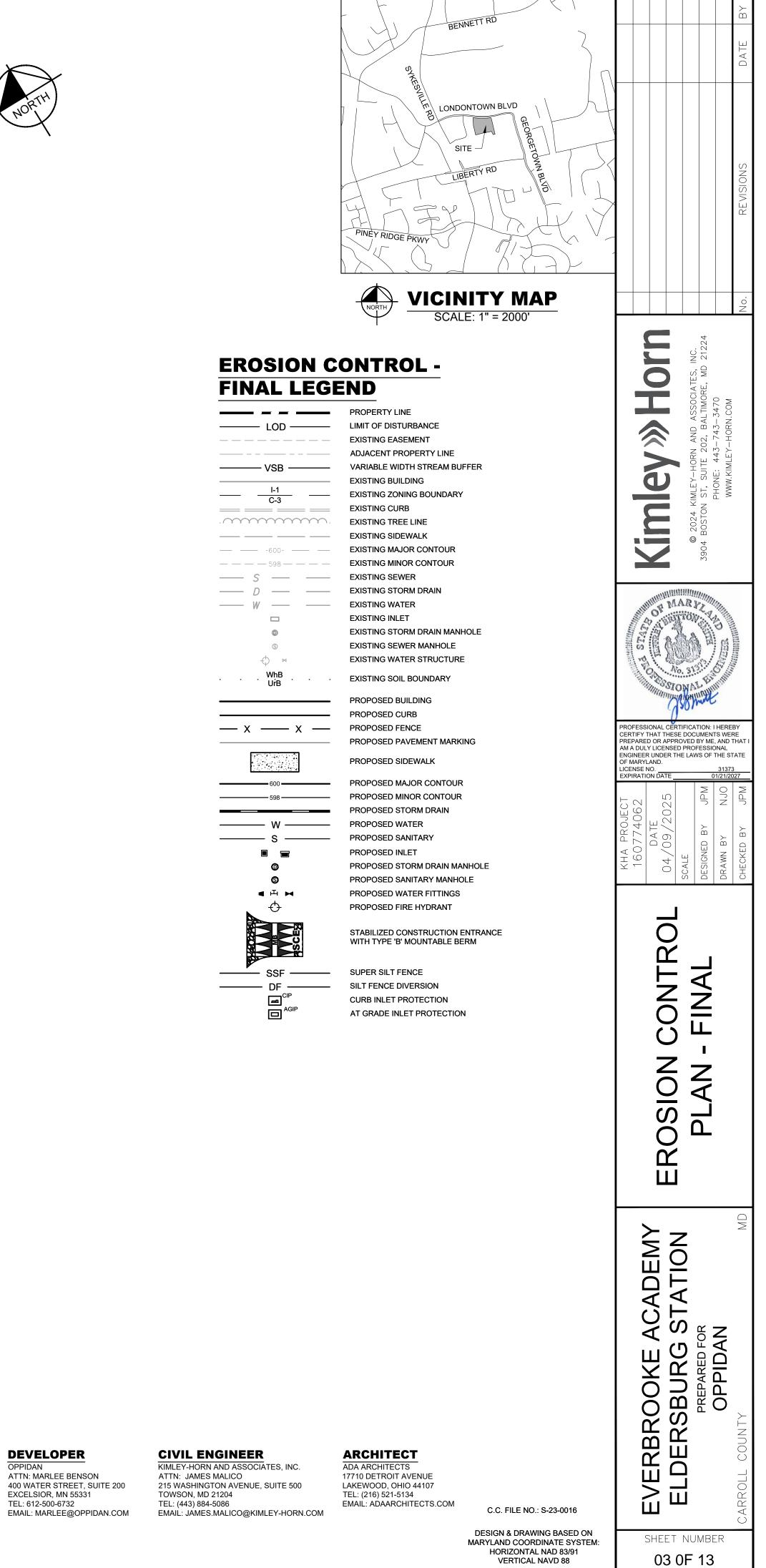
ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086 EMAIL: JAMES.MALICO@KIMLEY-HORN.COM ARCHITECT

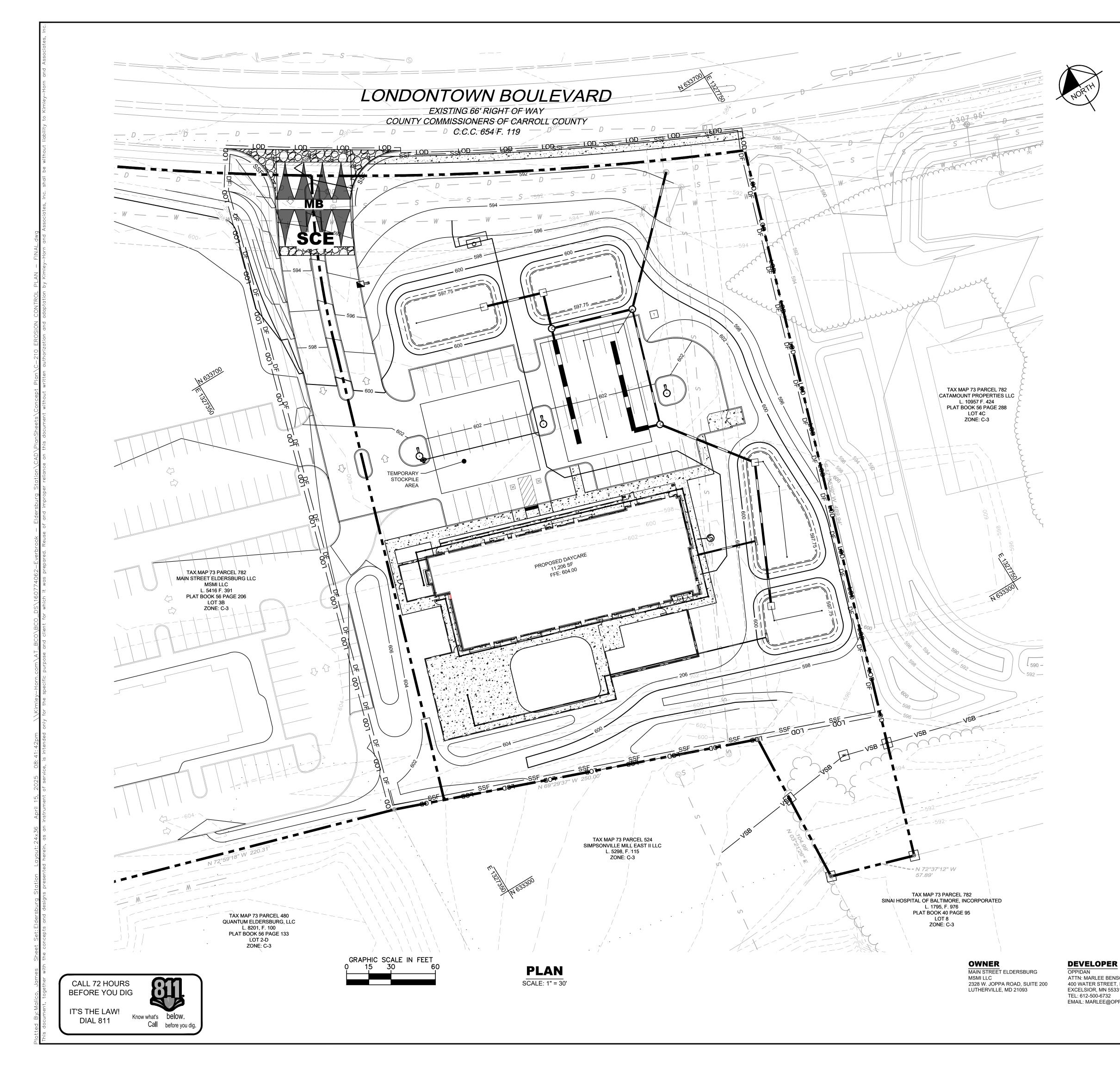
ADA ARCHITECTS 17710 DETROIT AVENUE LAKEWOOD, OHIO 44107 TEL: (216) 521-5134 EMAIL: ADAARCHITECTS.COM

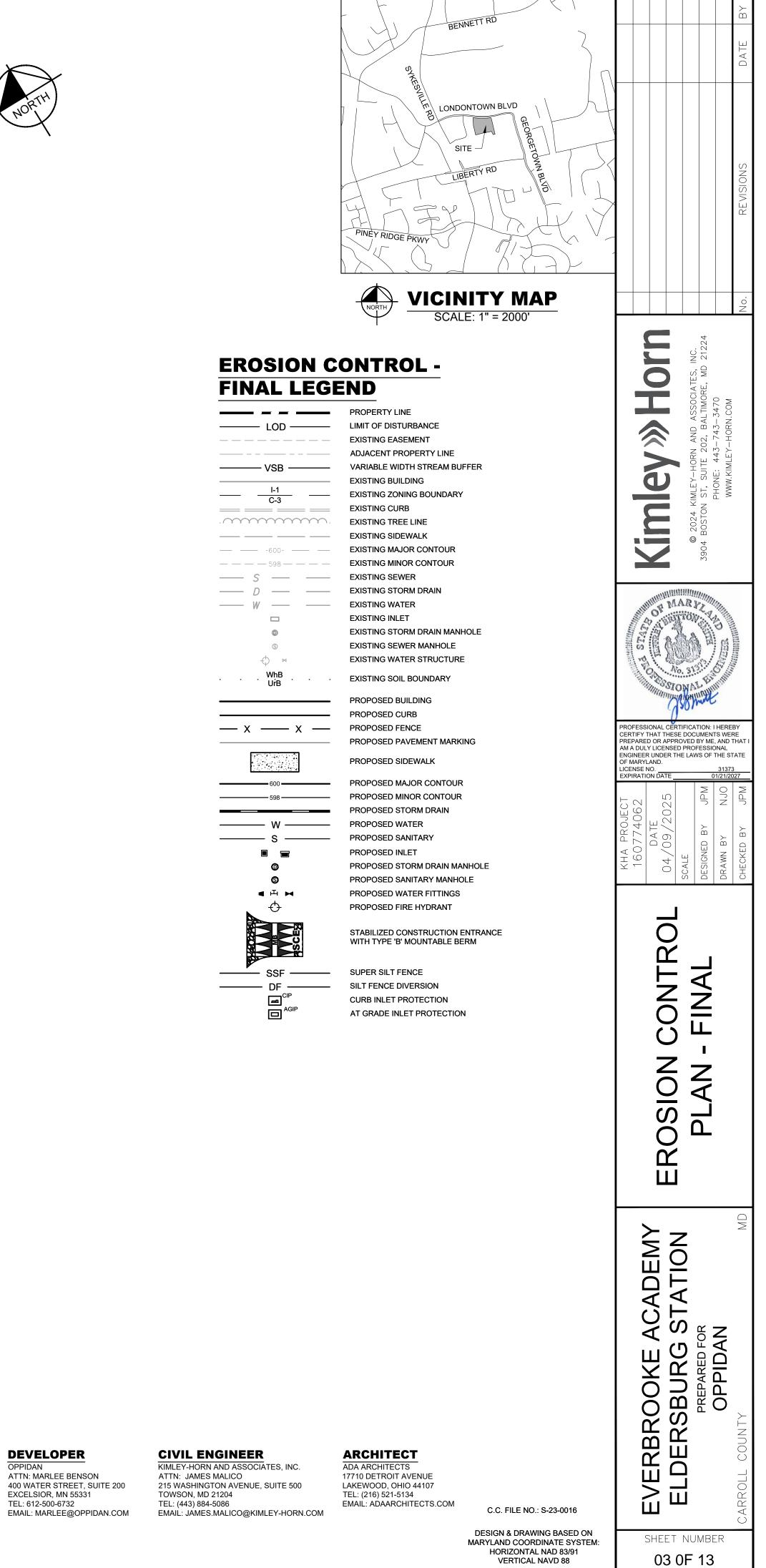
C.C. FILE NO.: S-23-0016

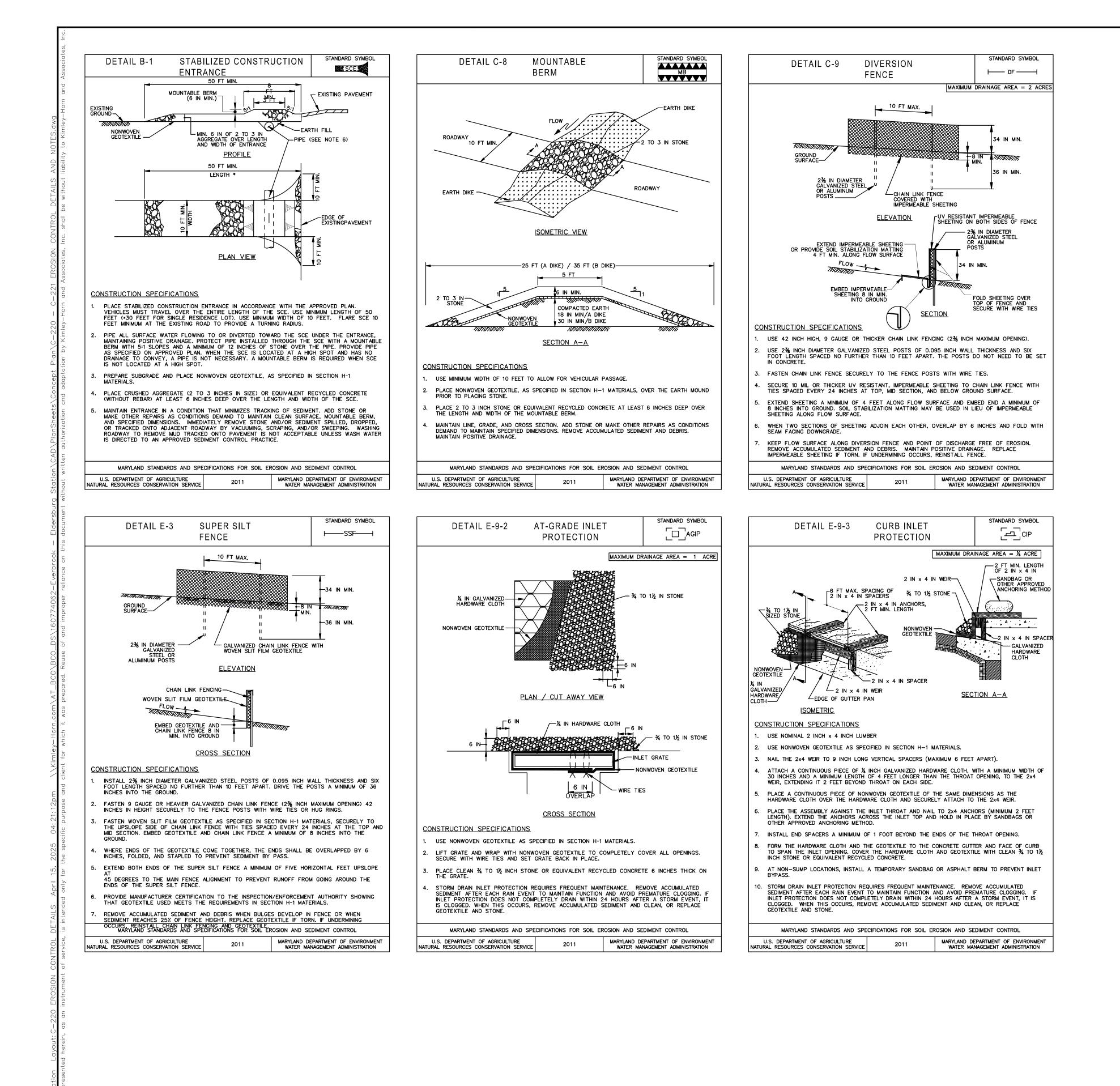
**DESIGN & DRAWING BASED ON** MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 VERTICAL NAVD 88













OWNER MAIN STREET ELDERSBURG MSMI LLC 2328 W. JOPPA ROAD, SUITE 200 LUTHERVILLE, MD 21093

OPPIDAN

EVERBROOKE ACADEMY ELDERSBURG STATION PREPARED FOR OPPIDAN CAROL COUNTY	EROSION CONTROL DETAILS	CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 31373 EXPIRATION DATE 01/21/2027 UCC V C C C C C C C C C C C C C C C C C	PROFESSIONAL CERTIFICATION: I HEREBY	<b>Kimley » Horn</b> © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 3904 BOSTON ST, SUITE 202, BALTIMORE, MD 21224 PHONE: 443-743-3470 WWW.KIMLEY-HORN.COM		REVISIONS	DATE	
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DEVELOPER

ATTN: MARLEE BENSON 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331 TEL: 612-500-6732 EMAIL: MARLEE@OPPIDAN.COM

# **CIVIL ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086 EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

# ARCHITECT

ADA ARCHITECTS 17710 DETROIT AVENUE LAKEWOOD, OHIO 44107 TEL: (216) 521-5134 EMAIL: ADAARCHITECTS.COM

C.C. FILE NO.: S-23-0016

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 VERTICAL NAVD 88

# **SEDIMENT AND EROSION CONTROL NOTES**

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION IN ASSOCIATION WITH THE NATURAL RESOURCES CONSERVATION SERVICE AND THE
- MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS (REFERENCED AS THE 2011 STANDARDS AND SPECS). AREAS THAT HAVE BEEN CLEARED AND/OR GRADED, BUT WILL NOT BE CONSTRUCTED ON OR PERMANENTLY VEGETATED FOR MORE THAN 5 DAYS (3 DAYS FOR SEDIMENT CONTROL MEASURES AND FOR STEEP SLOPES) MUST BE STABILIZED WITH MULCH OR TEMPORARY STABILIZATION. ANY AREAS THAT ARE IN TEMPORARY VEGETATION FOR OVER 6 MONTHS WILL NEED TO BE PERMANENTLY VEGETATED.
- FOR SPECIFICATIONS ON PERMANENT OR TEMPORARY STABILIZATION, SEE B-4-4 AND B-4-5. 4. MULCHING ONLY IS RESTRICTED TO USE ON DISTURBED AREAS AS A TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING GERMINATION CANNOT BE COMPLETED BECAUSE OF WEATHER CONDITIONS. FOR
- SPECIFICATIONS SEE B-4-3, A.1.B 5. FOR SPECIFICATIONS ON THE STABILIZATION OF CUT AND FILL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL,
- SEE INCREMENTAL STABILIZATION B-4-1 THE EXISTING TOPSOIL FROM ON OR OFF SITE THAT IS USED MUST MEET THE MINIMUM SPECIFICATION IN B-4-2 THE REQUIRED SEQUENCE OF CONSTRUCTION MUST BE FOLLOWED DURING SITE DEVELOPMENT. ANY CHANGES IN THE
- SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SOIL CONSERVATION DISTRICT. ANY REVISIONS TO THE SEDIMENT CONTROL PLAN, NOT COVERED UNDER THE LIST OF PLAN MODIFICATIONS THAT CAN BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR, NEED TO BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT
- FOR APPROVAL 9. NO PROPOSED SLOPE THAT IS REQUIRED TO BE SEEDED AND/OR MULCHED SHALL BE STEEPER THAN 2:1. SLOPES
- STEEPER THEN 2:1 SHALL REQUIRE A ENGINEERED DESIGN FOR STABILIZATION 10. ALL SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL AND WILL BE REPAIRED, AS NEEDED, SO THAT THE STRUCTURE MEETS THE MINIMUM SPECIFICATIONS AS SHOWN IN THE 2011
- STANDARDS AND SPECS. 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED. 12. THE DISTRICT APPROVAL FOR THIS SEDIMENT CONTROL PLAN IS GOOD FOR 2 YEARS, AT THE END OF 2 YEARS, IF
- CONSTRUCTION OF THE PLAN HAS NOT STARTED, THE PLAN WILL NEED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR REVIEW AND RE-APPROVAL. ANY PLANS THAT ARE CURRENTLY UNDER CONSTRUCTION AFTER 2 YEARS MAY BE REQUIRED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT BY THE SEDIMENT CONTROL INSPECTOR.

# SEQUENCE OF CONSTRUCTION

- 1. NOTIFY THE CARROLL COUNTY BUREAU OF SEDIMENT CONTROL (4 10-386-2210) 24 HOURS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. ALL PROTECTION FENCING AND PERMANENT SIGNS REQUIRED UNDER THE CARROLL COUNTY CODE OF PUBLIC LAWS AND ORDINANCES, FOREST CONSERVATION (CHAPTER 150) AND WATER RESOURCE MANAGEMENT (CHAPTER 154) SHALL BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE CARROLL COUNTY SEDIMENT INSPECTOR.
- INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE AS SHOWN ON THE SEDIMENT CONTROL PLAN.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, STRIP TOPSOIL AND STOCKPILE 4. BEGIN MASS GRADING SITE AND MICRO-BIO FACILITIES. BUILDING CONSTRUCTION MAY BEGIN.
- INSTALL UTILITIES (I.E. WATER, SEWER, STORM DRAIN, ELECTRIC, ETC.). UPON INSTALLATION OF ANY STORM DRAIN INLETS, IMMEDIATELY INSTALL APPROPRIATE INLET PROTECTION PER PLAN. ONCE GRADE OF PARKING/PAVED AREAS ARE AT SUBGRADE, INSTALL APPROPRIATE INLET PROTECTION PER PLAN. CONSTRUCT CURBS, SIDEWALKS, AND ANY CONCRETE PADS.
- INSTALL BASE SURFACE OF PAVED AREA.
- FINE GRADE REMAINING AREAS, RESPREAD TOP SOIL AND STABILIZE. 10. INSTALL REMAINING FINAL FEATURES OF MICRO-BIO FACILITIES. REFER TO STORM WATER MANAGEMENT MICRO-BIO FACILITY SEQUENCE OF CONSTRUCTION SHEET \_\_\_\_\_ FOR DETAILED CONSTRUCTION OF THESE FACILITIES. STABILIZE IMMEDIATELY UPON COMPLETION.
- 11. INSTALL LANDSCAPING AND STABILIZE ANY REMAINING AREAS. 12. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING TEMPORARY SEDIMENT CONTROL
- MFASURFS 13. REPAIR AND REPLACE ANY EXISTING PAVEMENT DAMAGED BY CONSTRUCTION TRAFFIC. PLACE FINAL COARSE PAVING.

# DUST CONTROL SCHEDULE

MAY-OCTOBER - ALL GRADED AREAS NOT BEING IMMEDIATELY STABILIZED AS NOTED IN THE 'REQUIRED SEQUENCE OF CONSTRUCTION' SHALL BE WATERED ON A CONTINUING BASIS AS NECESSARY TO PROVIDE FOR DUST PROOFING. CONTRACTOR SHALL PROVIDE TANK TRUCK WITH SPRAY BAR ON SITE AT ANY TIME THE DISTURBED AREA EXCEEDS THREE (3) ACRES.

# SITE ANALYSIS

- . TOTAL AREA OF SITE: AREA DISTURBED:
- TOTAL CUT: TOTAL FILL:

NOTE: EARTHWORK CUT AND FILL QUANTITIES INDICATED ON THIS PLAN ARE SHOWN FOR PURPOSES OF OBTAINING SEDIMENT CONTROL PLAN APPROVAL AND NOT TO BE USED FOR CONTRACTUAL OBLIGATIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY QUANTITIES

# **STABILIZATION SPECIFICATIONS**

**TEMPORARY SEEDING NOTES** 

SCOPE: PLANTING SHORT TERM (NO MORE THAN 6 MONTHS) VEGETATION TO TEMPORARILY STABILIZE ANY AREAS WHERE SOIL DISTURBANCE HAS OCCURRED, UNTIL THE AREA CAN BE PERMANENTLY STABILIZED WITH VEGETATIVE OR NON-VEGETATIVE PRACTICES

STANDARDS: THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT - WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCE CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS.

- 1. THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION B-4-2.
- 2. FOR TEMPORARY STABILIZATION, FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT A RATE OF 436 LB. PER ACRE (10 LB. PER 1000 SQ. FT.) AND WILL MEET THE REQUIREMENTS IN SECTION B-4-2. LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB. PER SQ. FT.) AND SHALL MEET THE REQUIREMENTS IN SECTION B- 4-2 AND B-4-4. 3. SEED TYPE AND APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4-3 SEED TAGS SHALL BE MADE
- AVAILABLE TO THE INSPECTOR TO VERIFY THE TYPE AND RATE OF SEED USED. MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION B-4-3 A, B AND C AND WILL BE APPLIED ALONG WITH THE SEED OR IMMEDIATELY AFTER SEEDING
- 4. SEEDING MIXTURES SHALL BE SELECTED FROM OR WILL BE EQUAL TO THOSE ON TABLE B.1 (PAGE B, 20).

**TEMPORARY SEEDING SUMMARY** 

THE SEEDING CHART BELOW WILL NEED TO BE PLACED ON AND FILLED IN ON THE SEDIMENT CONTROL PLAN.

1	F	HARDINESS ZONE (FF		3)61	2				
		,							
		SEED MIXTURE (FROM	TABLE B.1) <u>S</u>	SEE BELOW		FERTILIZER RATE (10-20-20)	LIME RATE		
	NO.	SPECIES	APPLICATION RATE (LB/AC.)	SEEDING DATES	SEEDING DEPTHS				
	1	ANNUAL RYEGRASS (LOLIUM PERENNE SSP. MULTIFLORUM)	40	3/15-5/31, 8/1-9/30	0.5"	436 LBS/AC (1.0 LB/1000 SF)	2 tons/ac		
	2	FOXTAIL MILLETT (SETARIA ITALICA)	30	5/16-7/31	0.5"	430 LDSIAC (1.0 LD 1000 SF)	(90 lb/ 1000 sf)		

# NOTE:

ALL SEDIMENT CONTROL MEASURES

SHOWN HEREON ARE TEMPORARY UNLESS OTHERWISE NOTED

# NOTE:

ALL STOCKPILE AREAS SHALL BE CONFINED WITHIN PERIMETER CONTROLS. IN THE EVENT THAT STOCKPILE AREAS MUST BE LOCATED OUTSIDE OF DISTURBED AREAS, THE LOCATION SHALL BE AS DIRECTED BY THE INSPECTOR IN THE FIELD



# PERMANENT SEEDING NOTES

STANDARDS: THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT - WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCE CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS.

## THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION B-4-2.

FOR SITES OVER 5 AC, SOIL TESTS WILL BE PERFORMED. SOIL TESTS WILL BE CONDUCTED BY THE UNIVERSITY OF MARYLAND OR A RECOGNIZED COMMERCIAL LABORATORY. MINIMUM SOIL CONDITIONS SHALL MEET THE REQUIREMENTS OF SECTION B-4-2-A-2-A. OTHERWISE SOIL AMENDMENTS OR TOPSOIL WILL NEED TO BE APPLIED TOPSOILING MAY OCCUR WHEN SOIL CONDITIONS MEET THE MINIMUM REQUIREMENTS AS STATED IN SECTION B-4-2-B, SOIL AMENDMENTS MUST MEET THE REQUIREMENTS AS SET FORTH IN SECTION B-4-2-C AND MUST BE APPLIED AS INDICATED BY THE SOILS TESTS.

FOR SITES OF 5 AC. OR LESS OF DISTURBANCE, THE FOLLOWING FERTILIZER AND LIME RATES SHALL APPLY. FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT THE FOLLOWING RATES:

N = 45 LB. PER ACRE (1 LB. PER 1000 SQ.FT.) P205 = 90 LB. PER ACRE (2 LB. PER 1000 SQ. FT.) K20 = 90 LB. PER ACRE (2LB, PER 1000 SQ. FT.) LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB. PAR 1000 AQ. F.)

B-4-3 A, B AND E, AND WILL BE APPLIED ALONG WITH SEED OR IMMEDIATELY AFTER SEEDING.

	HARDINESS ZONE (FF SEED MIXTURE (FROM			_	FERTI	LIZER RATE (10	-20-20)	LIME RATE
NO.	SPECIES	APPLICATION RATE (LB/AC.)	SEEDING DATES	SEEDING DEPTHS	Ν	P205	K20	
	IMPROVED TALL FESCUE (LOLIUM ARUNDINACEUM)	60	3/1-5/15 8/1-10/15	1/4"-1/2"				
9	IMPROVED KENTUCKY BLUE GRASS	40	3/1-5/15 8/1-10/15	1/4"-1/2"	45 LBS/AC (1.0 LB/1000 SF)	90 LBS/AC (2.0 LB/1000 SF)	90 LBS/AC (2.0 LB/1000 SF)	2 tons/ac (90 lb/ 1000 sf)
	IMPROVED PERENNIAL RYEGRASS	20	3/1-5/15 8/1-10/15	1/4"-1/2"				
	SWITCH GRASS (PANICUM VIRGATUM)	10	3/1-5/15 5/16-6/15	1/4"-1/2"				
1	CREEPING RED FESCUE (FESTUCA RUBRA)	15	3/1-5/15 5/16-6/15	1/4"-1/2"	45 LBS/AC (1.0 LB/1000 SF)	90 LBS/AC (2.0 LB/1000 SF)	90 LBS/AC (2.0 LB/1000 SF)	2 tons/ac (90 lb/ 1000 sf)
	PARTRIDGE PEA (CHAMAECRISTA FASCICUATA)	4	3/1-5/15 5/16-6/15	1/4"-1/2"				

## TRACKING NOTE

THE 8' HEIGHT CRITERIA.

## UTILITY CONSTRUCTION NOTES

1. PLACE AIL EXCAVATED MATERIAL ON THE HIGH SIDE OF THE TRENCH. 2. ONLY DO AS MUCH WORK AS CAN BE DONE IN ONE DAY SO BACKFILLING, FINAL GRADING, AND PERMANENT STABILIZATION CAN OCCUR. 3. ANY SEDIMENT CONTROL MEASURES DISTURBED BY THE UTILITY CONSTRUCTION WILL BE REPAIRED THE SAME DAY.

## STOCKPILE/TOPSOIL NOTES

1. STOCKPILING WILL NOT BE ALLOWED ON ANY IMPERVIOUS AREA.

- DIRECTED BY THE INSPECTOR IN THE FIELD.

### SCOPE: PLANTING PERMANENT, LONG LIVED VEGETATIVE COVER ON GRADED AND/OR CLEARED AREA AND AREAS THAT HAVE BEEN IN TEMPORARY VEGETATION FOR MORE THAN 6 MONTHS.

## SEED TYPE, TURFGRASS OR SOD APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4-5. SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY THE TYPE AND APPLICATION RATE OF SEED USED. MULCH TYPE AND INS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION

SEEDING MIXTURES SHALL BE LOCATED FROM OR WILL BE EQUAL TO THOSE ON TABLE B-3, THE SENDING CHART BELOW WILL NEED TO BE PLACED ON AND FILLED IN ON THE SEDIMENT CONTROL PLAN.

## 9 - USE 1 VARIETY ON THE MD/VA RECOMMENDED LIST (TT-77) 1 - USE 2-4 VARIETIES ON THE MD/VA RECOMMENDED LIST (TT-77)

ON AREAS WHERE THE SLOPE IS 3: 1 OR STEEPER AND THE HEIGHT IS 8' OR GREATER. CONTRACTOR SHALL TRACK THE SLOPE USING CLEATED DOZER PRIOR TO PLACING ASPHALT BINDER. DOZER SHALL RUN UP-AND-DOWN SO THAT CLEAT MARKS ARE HORIZONTAL. WHERE TRACKING IS REQUIRED, IT SHALL BE DONE FROM EXISTING GRADE LEVEL TO FINISHED GRADE LEVEL WITHIN THE LIMITS ESTABLISHED BY

2. ALL STOCKPILES LEFT AT THE END OF THE DAY WILL NEED TO BE TEMPORARILY STABILIZED UNTIL THEY ARE AGAIN DISTURBED, UNLESS THEY ARE WITHIN EXISTING PERIMETER SEDIMENT CONTROL. 3. ALL STOCKPILE AREAS SHALL BE CONFINED WITHIN PERIMETER CONTROLS. IN THE EVENT THAT STOCKPILE AREAS MUST BE LOCATED OUTSIDE DISTURBED AREAS, THE LOCATION SHALL BE AS

# OWNER MAIN STREET ELDERSBURG

MSMI LLC 2328 W. JOPPA ROAD, SUITE 200 LUTHERVILLE, MD 21093

OPPIDAN

SHEET N <b>05 0</b> 1	EVERBROOKE ACADEMY ELDERSBURG STATION	EROSION CONTROL	PROFESSIONAL CERTIFY CERTIFY THAT THESE D PREPARED OR APPROV AM A DULY LICENSED P ENGINEER UNDER THE OF MARYLAND. LICENSE NO. EXPIRATION DATE CONTRACTOR C	ALVES PLOTOSSION	Kimley» Horn				
		NOTER		IN NO STAN	© 2024 KIMLEY-HORN AND ASSOCIATES, INC.				
			MENT ( ME, SSIO OF 1	N N N N N N					
IR	OPPIDAN		S WEF AND T NAL	THE COLORY OF THE	WWW.KIMLEY-HORN.COM				
	CARROLL COUNTY MD		RE THAT I TATE			No.	REVISIONS	DATE BY	$\succ$

DEVELOPER

ATTN: MARLEE BENSON 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331 TEL: 612-500-6732 EMAIL: MARLEE@OPPIDAN.COM

# **CIVIL ENGINEER**

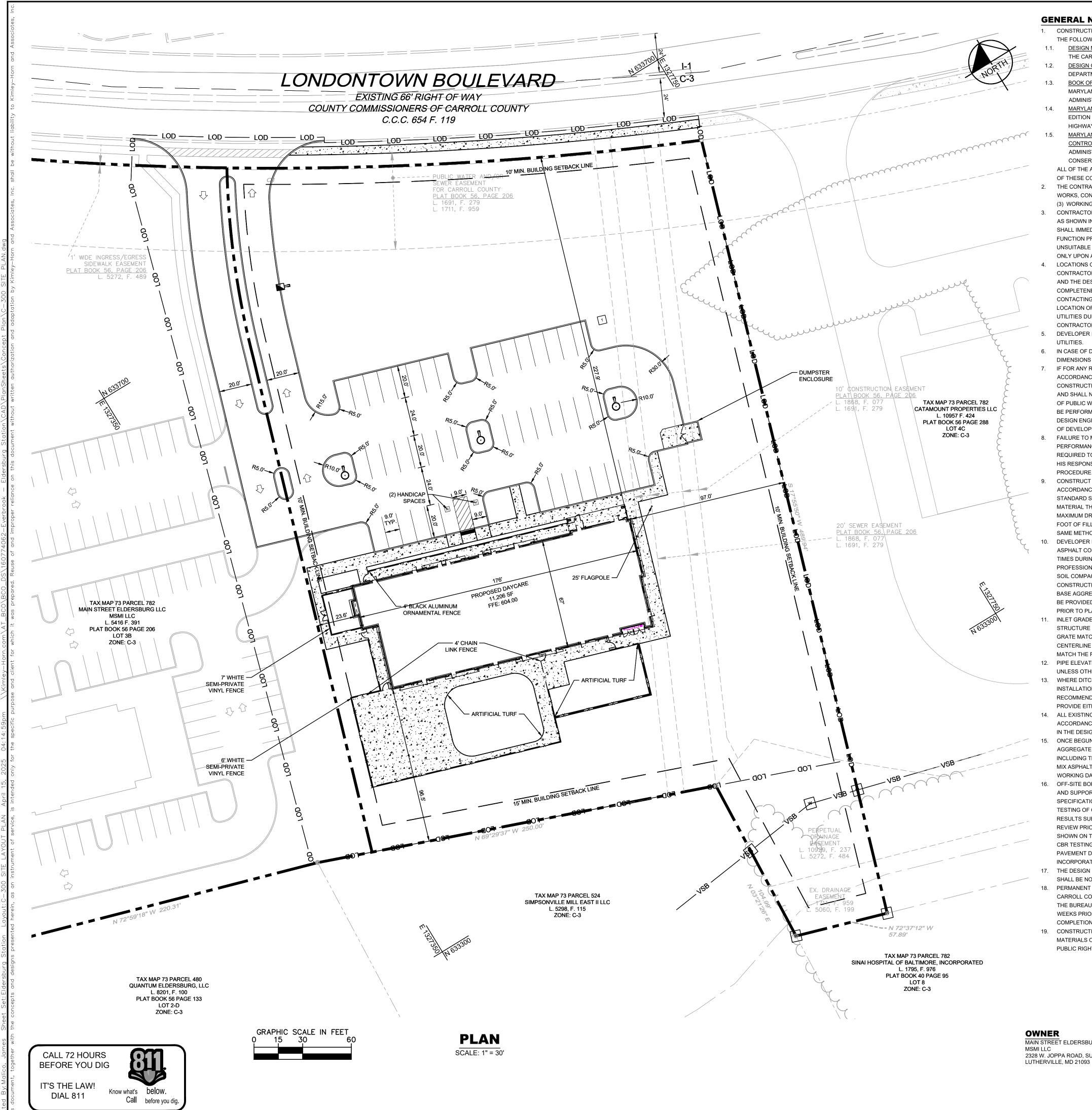
KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086 EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

# ARCHITECT

ADA ARCHITECTS 17710 DETROIT AVENUE LAKEWOOD, OHIO 44107 TEL: (216) 521-5134 EMAIL: ADAARCHITECTS.COM

C.C. FILE NO.: S-23-0016

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 VERTICAL NAVD 88





ADMINISTRATION.

HIGHWAY ADMINISTRATION.

CONSERVATION COMMITTEE

OF THESE CONSTRUCTION PLANS

CONTRACTORS EXPENSE.

DIMENSIONS SHALL GOVERN.

OF DEVELOPMENT REVIEW.

PROCEDURE.

SAME METHOD.

MATCH THE ROAD CROSS SLOPE.

UNLESS OTHERWISE NOTED.

WORKING DAYS.

COMPLETION OF WORK.

PUBLIC RIGHT-OF-WAY.

UTILITIES.

1.4.

OWNER MAIN STREET ELDERSBURG MSMI LLC 2328 W. JOPPA ROAD, SUITE 200 DEVELOPER OPPIDAN ATTN: MARLEE BENSON 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331 TEL: 612-500-6732 EMAIL: MARLEE@OPPIDAN.COM

CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES: DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY

DEPARTMENT OF PUBLIC WORKS. BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY

MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL

ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART

2. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.

3. CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY INSPECTION DIRECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED

ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR. 4. LOCATIONS OF EXISTING UTILITIES ARE SHOWN ONLY AS NOTIFICATION TO CONTRACTOR OF THE PRESENCE OF UNDERGROUND UTILITIES. CARROLL COUNTY

AND THE DESIGN ENGINEER DO NOT WARRANT OR GUARANTEE CORRECTNESS OR COMPLETENESS OF INFORMATION SHOWN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY AT 1-800-257-7777 FOR VERIFYING EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY DAMAGE TO EXISTING

UTILITIES DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT 5. DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING

6. IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED

7. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN

ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLIC WORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU

8. FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR

CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE

10. DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OF BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO AND, APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION

PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT. 11. INLET GRADES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL

12. PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS

13. WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE ON ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1.0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED.

14. ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1OR AS NOTED IN THE UTILITY PERMIT.

ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE. AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE

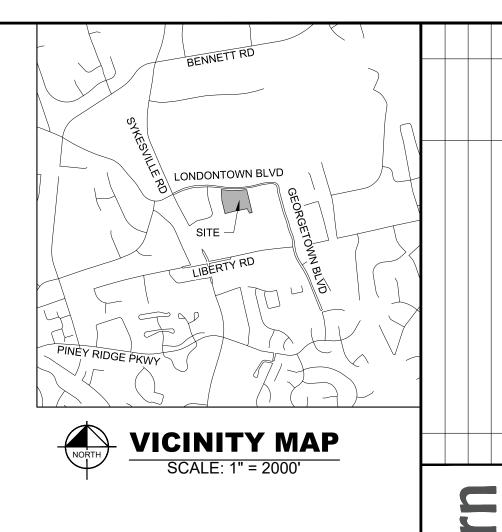
16. OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND AND APPROVED BY THE BUREAU OF DEVELOPMENT

REVIEW PRIOR TO DELIVERY OF THE MATERIAL, THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROWED MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.

THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.

PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO

19. CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY

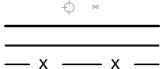


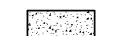
# SITE LEGEND

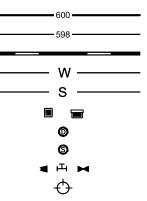
LIMIT OF DISTURBANCE \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_\_\_\_ ------ VSB -----

EXISTING TREE LINE









PROPERTY LINE EXISTING EASEMENT BUILDING SETBACK LINE ADJACENT PROPERTY LINE VARIABLE WIDTH STREAM BUFFER EXISTING BUILDING EXISTING ZONING BOUNDARY EXISTING CURB EXISTING SIDEWALK EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR EXISTING SEWER EXISTING STORM DRAIN EXISTING WATER

EXISTING INLET EXISTING STORM DRAIN MANHOLE EXISTING SEWER MANHOLE EXISTING WATER STRUCTURE PROPOSED BUILDING PROPOSED CURB

PROPOSED FENCE PROPOSED PAVEMENT MARKING PROPOSED SIDEWALK

PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR PROPOSED STORM DRAIN PROPOSED WATER PROPOSED SANITARY PROPOSED INLET PROPOSED STORM DRAIN MANHOLE PROPOSED SANITARY MANHOLE

PROPOSED WATER FITTINGS PROPOSED FIRE HYDRANT

# WATER RESOURCE **PROTECTION SIGN DETAIL**

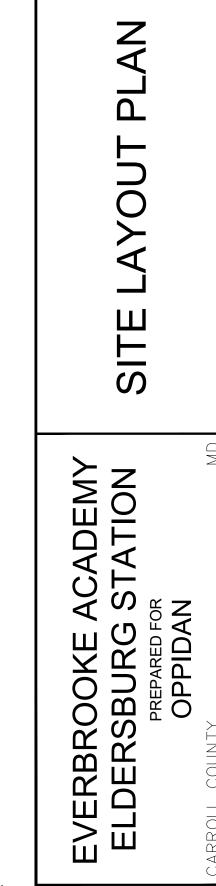




This area is being maintained to protect and enhance water quality.

Clean Water For Your Future Carroll County Government

> PLACED APPROXIMATELY EVERY 100 FT.



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ESSIONAL CERTIFICATION: I HEREB

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PARED OR APPROVED BY ME AND TH

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# **CIVIL ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086 EMAIL: JÁMES.MALICO@KIMLEY-HORN.COM

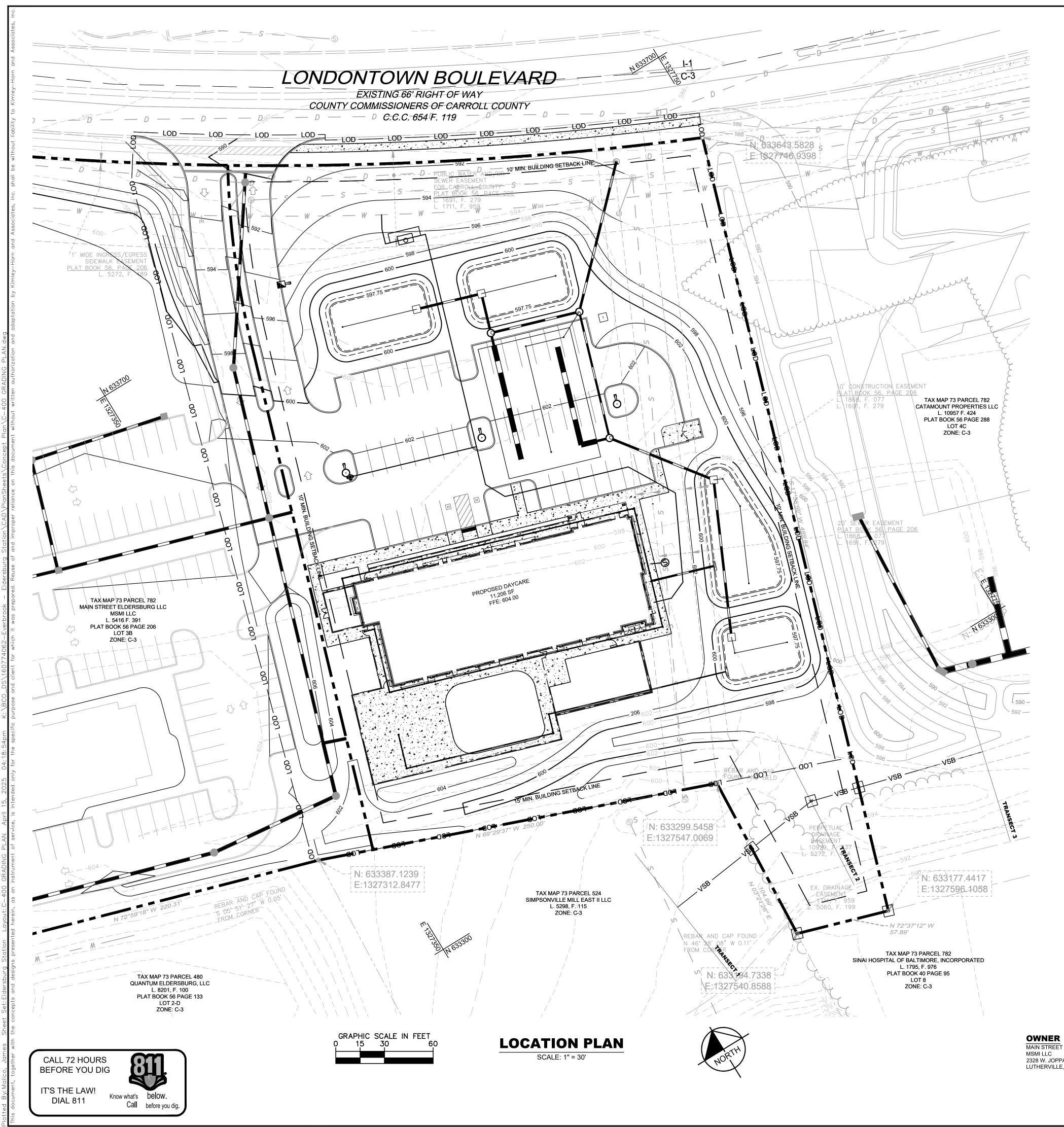
# ARCHITECT

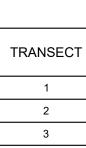
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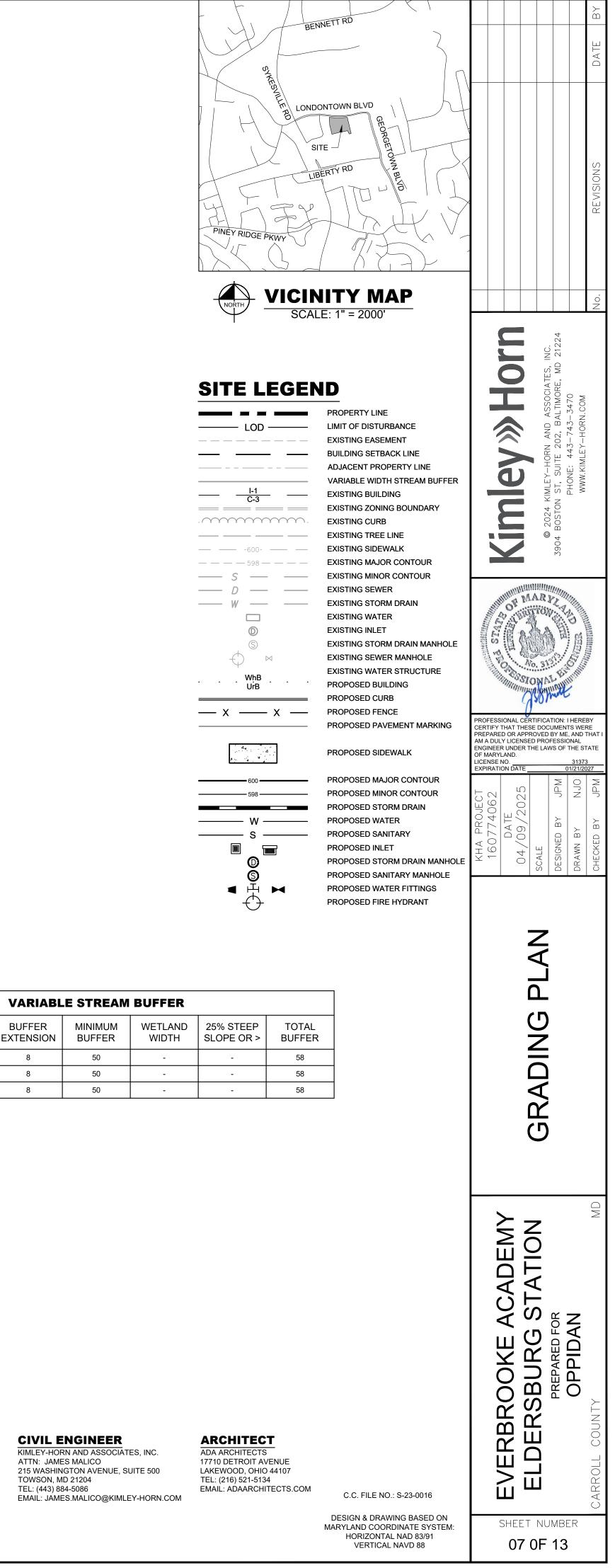
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 VERTICAL NAVD 88

SHEET NUMBER 06 0F 13





MAIN STREET ELDERSBURG MSMI LLC 2328 W. JOPPA ROAD, SUITE 200 LUTHERVILLE, MD 21093 OPPIDAN



# DEVELOPER

ATTN: MARLEE BENSON 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331 TEL: 612-500-6732 EMAIL: MARLEE@OPPIDAN.COM

# **CIVIL ENGINEER**

BUFFER

8

8

8

EXTENSION

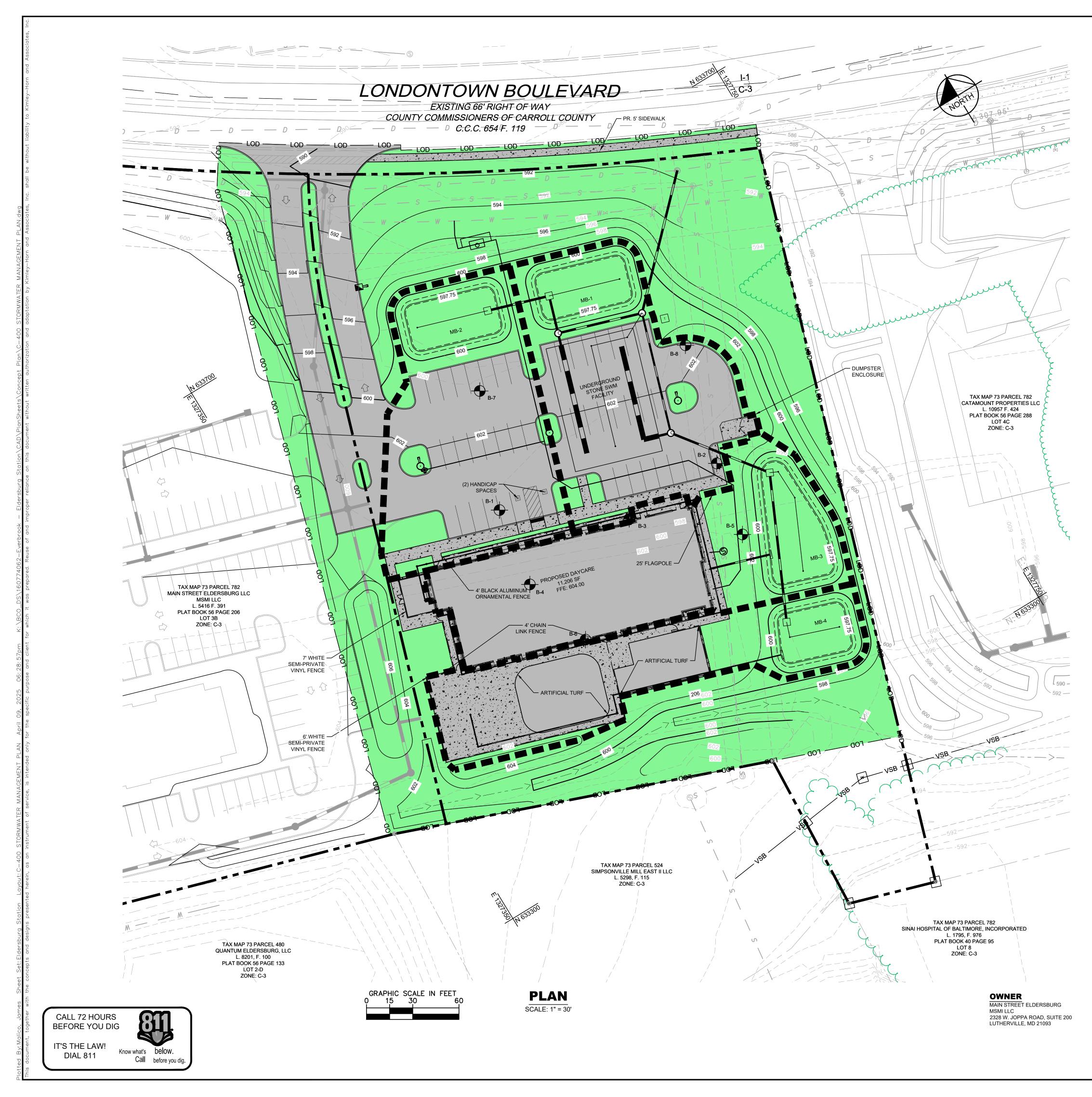
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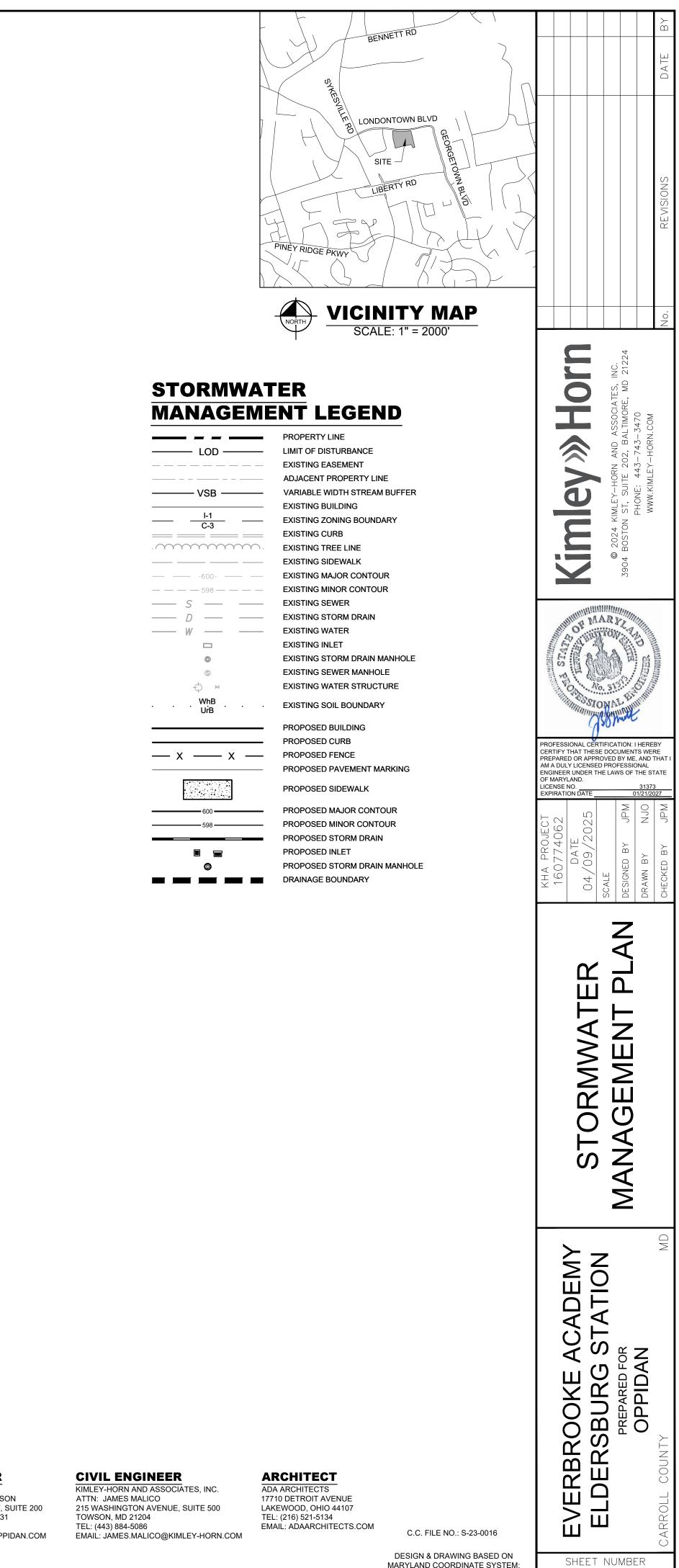
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KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086 EMAIL: JÁMES.MALICO@KIMLEY-HORN.COM



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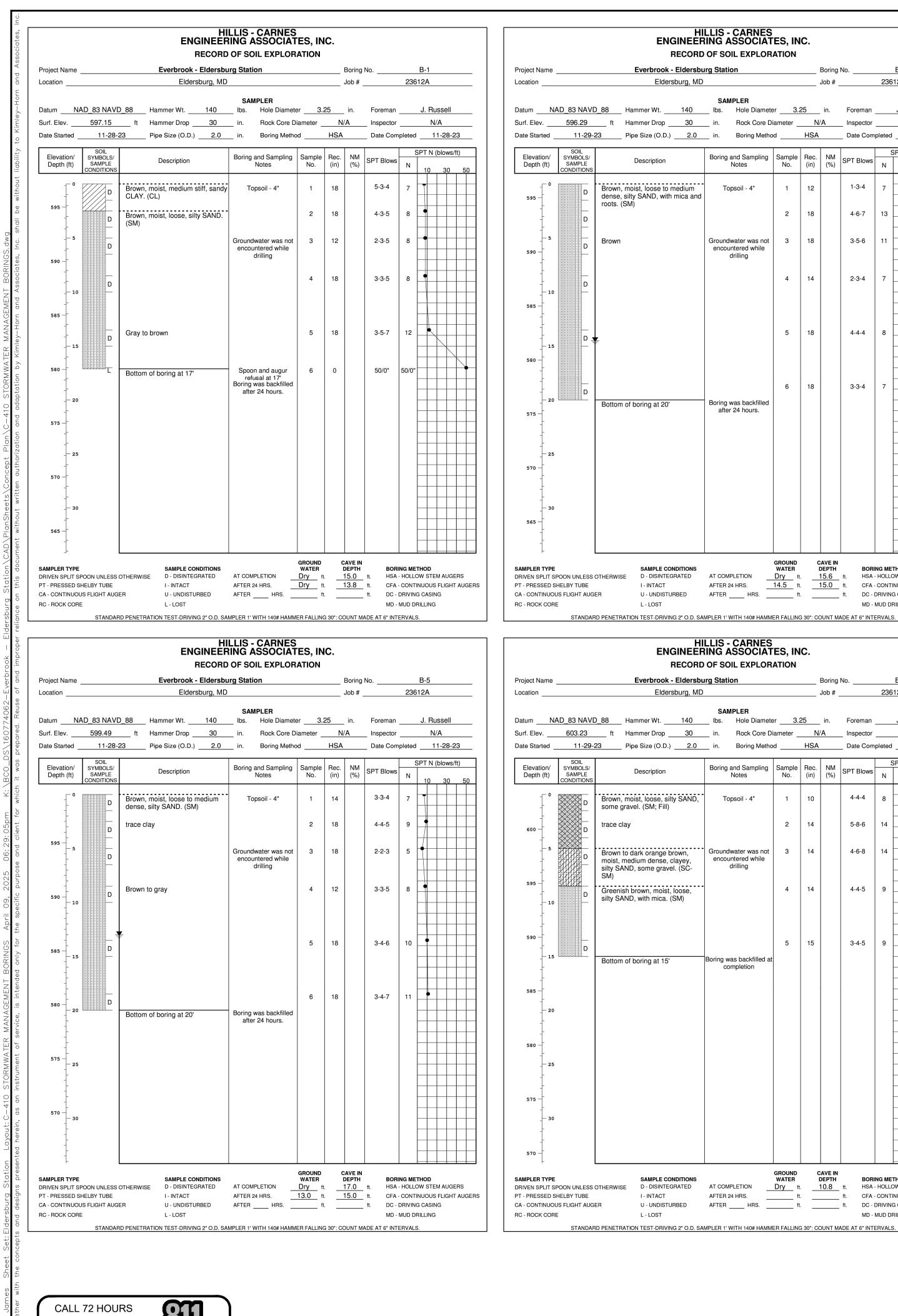


DEVELOPER

ATTN: MARLEE BENSON 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331 TEL: 612-500-6732 EMAIL: MARLEE@OPPIDAN.COM

> DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 VERTICAL NAVD 88

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81 BEFORE YOU DIG IT'S THE LAW! Know what's **below**. DIAL 811 Call before you dig.

ENGINEEF	ILLIS - CARNES RING ASSOCIAT	res, in	IC.						ENGINEER	LLIS - CARNES ING ASSOCIAT OF SOIL EXPLOR	'ES, IN	C.					
	urg Station		В	Boring No		B-2	Project Name					Borin	g No		B-3		
Eldersburg, MD	)		J	ob #	236	612A	Location		Eldersburg, MD			Job #	<u> </u>	236	612A		
ier Wt. 140	SAMPLER lbs. Hole Diamet	er 3.1	25	in. Foreman		J. Russell	Datum N	IAD 83 NAVI	D_88 Hammer Wt. 140	SAMPLER lbs. Hole Diamete	er 3.2	25 in.	Foreman		J. Ru	issell	
er Drop <u>30</u>		_				N/A	Surf. Elev.	596.91	ft Hammer Drop <u>30</u>	_ in. Rock Core D	iameter _	N/A	Inspector		N/		
Size (O.D.) 2.0	in. Boring Meth	od	HSA	Date Con	-	d <u>11-29-23</u>	Date Started	11-29-	- <u>23</u> Pipe Size (O.D.) <u>2.0</u>	_ in. Boring Metho	od	HSA	Date Con	-			
scription	Boring and Sampling Notes	Sample No.	Rec. (in)	NM (%) SPT Blows	S N	SPT N (blows/ft) 10 30 50	Elevation/ Depth (ft)	SOIL SYMBOLS/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Sample No.	Rec. NM (in) (%)		N		(blows/ft) 30	-
loose to medium AND, with mica and	Topsoil - 4"	1	12	1-3-4 4-6-7	7		595		Brown, moist, loose, silty SAND, trace clay, with roots. (SM; Fill) Brown, moist, loose to medium	Topsoil - 4"	1	12	3-3-4	7	•		
	Groundwater was not encountered while drilling	3	18	3-5-6	11		 5  590	D — — — — — —	dense, silty SAND, with mica. (SM)	Groundwater was not encountered while drilling	3	16	2-3-4	7			
		4	14	2-3-4	7	• •		D		-	4	18	3-5-7	12	•		
		5	18	4-4-4	8	•			¥ Dark brown		5	18	3-5-6	11	•		
ing at 20'	Boring was backfilled	6	18	3-3-4	7	•	580   2	D	Bottom of boring at 20'	Boring was backfilled	6	18	4-4-6	10	•		
	after 24 hours.						575	5		after 24 hours.							
							 570  										
							3  565 	)									
AMPLE CONDITIONS - DISINTEGRATED - INTACT - UNDISTURBED - LOST EST-DRIVING 2" O.D. SA			1. <u>1.</u> 1. <u>1.</u>	5.6         ft.         HSA           5.0         ft.         CFA           ft.         DC -           MD -	- CONT - DRIVIN - MUD D	LOW STEM AUGERS TINUOUS FLIGHT AUGERS NG CASING DRILLING	PT - PRESSED	SPOON UNLESS SHELBY TUBE DUS FLIGHT AUG RE	I - INTACT	AFTER 24 HRS AFTER HRS	WATER Dry ft 12.0 ft tt ER FALLINC	14.0	ft. HSA ft. CFA ft. DC - MD -	- CONT DRIVIN MUD D	OW STEI INUOUS IG CASIN RILLING		
ENGINEEF	ILLIS - CARNES RING ASSOCIAT OF SOIL EXPLOF	res, in	IC.						ENGINEER	LLIS - CARNES ING ASSOCIAT OF SOIL EXPLOR	'ES, IN	C.					
<mark>erbrook - Eldersbu</mark> Eldersburg, MD	urg Station					B-6 612A			Everbrook - Eldersbu Eldersburg, MD						B-7 612A		
	SAMPLER								D_88 Hammer Wt140	SAMPLER					J. Ru	العجمال	
er Wt140 er Drop30	Ibs. Hole Diamet in. Rock Core D								D_88 Hammer Wt. 140 ft Hammer Drop 30	—							
ize (O.D.) 2.0	in. Boring Methe	od	HSA	Date Con		d <u>11-29-23</u>	Date Started	11-29-	-23 Pipe Size (O.D.) 2.0	_ in. Boring Metho	od	HSA	Date Con	npleted	<u>1</u>	1-29-23	<u> </u>
scription	Boring and Sampling Notes	Sample No.	Rec. (in)	NM (%) SPT Blows	5 N	SPT N (blows/ft)	Elevation/ Depth (ft)	SOIL SYMBOLS/ SAMPLE	Description	Boring and Sampling Notes	Sample No.	Rec. NM (in) (%)	SPT Blows			(blows/ft)	
loose, silty SAND, (SM; Fill)	- Topsoil - 4"	1	10	4-4-4	8				Brown, moist, loose, clayey SAND, trace gravel, with roots. (SC)	Topsoil - 4"	1	10	3-5-5	10		30	50
orange brown, n dense, clayey,	Groundwater was not encountered while	3	14	5-8-6 4-6-8	14		595	D	Brown, moist, medium dense, clayey, silty SAND. (SC-SM) Brown, moist, loose to medium dense, silty SAND. (SM)	Groundwater was not encountered while	2 3	12	8-9-10 5-4-4	8			
ome gravel. (SC- vn, moist, loose, th mica. (SM)	drilling	4	14	4-4-5	9	• •	590 -	D	Gray to brown Bottom of boring at 10'	drilling Boring was backfilled at	4	15	5-7-8	15			
		5	15	3-4-5	9	•	585			completion							
ng at 15'	Boring was backfilled a completion	t					580 -	5									
							2	)									
																	_
							575	5									

GROUND WATER

CAVE IN DEPTH

 AFTER \_\_\_\_\_\_ HRS. \_\_\_\_\_\_ ft. \_\_\_\_\_ ft. DC - DRIVING CASING

BORING METHOD

MD - MUD DRILLING

HSA - HOLLOW STEM AUGERS

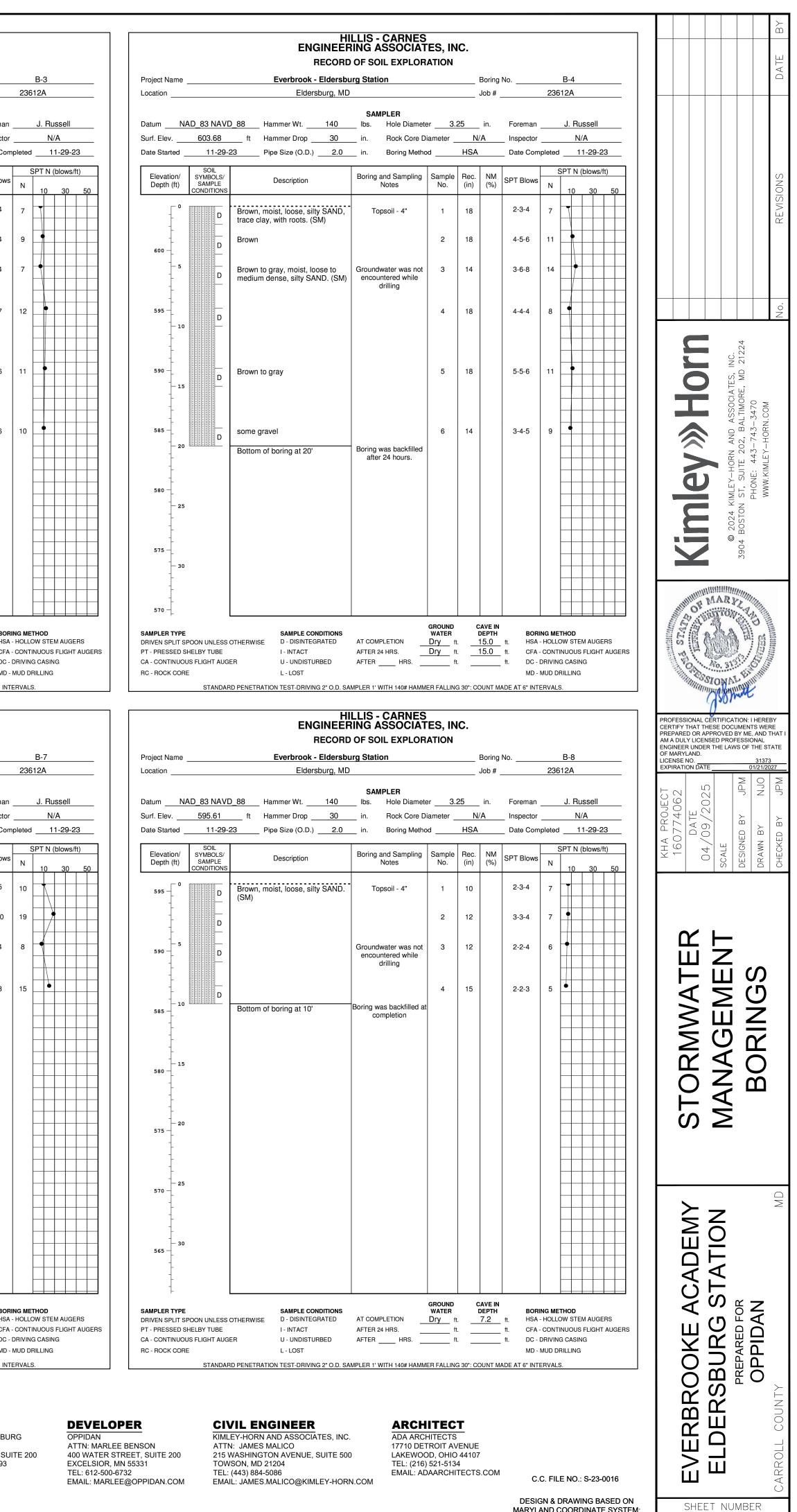
565 -GROUND WATER CAVE IN DEPTH SAMPLER TYPE SAMPLE CONDITIONS BORING METHOD DRIVEN SPLIT SPOON UNLESS OTHERWISE D - DISINTEGRATED AT COMPLETION Dry ft. 7.0 ft. HSA - HOLLOW STEM AUGERS ft. \_\_\_\_\_ ft. CFA - CONTINUOUS FLIGHT AUGERS AFTER 24 HRS. ft. ft. CFA - CONTINUOUS FLIGHT AUGERS PT - PRESSED SHELBY TUBE I - INTACT AFTER 24 HRS. CA - CONTINUOUS FLIGHT AUGER U - UNDISTURBED AFTER HRS. ft. CC - DRIVING CASING RC - ROCK CORE L - LOST MD - MUD DRILLING

STANDARD PENETRATION TEST-DRIVING 2" O.D. SAMPLER 1' WITH 140# HAMMER FALLING 30": COUNT MADE AT 6" INTERVALS.

OWNER

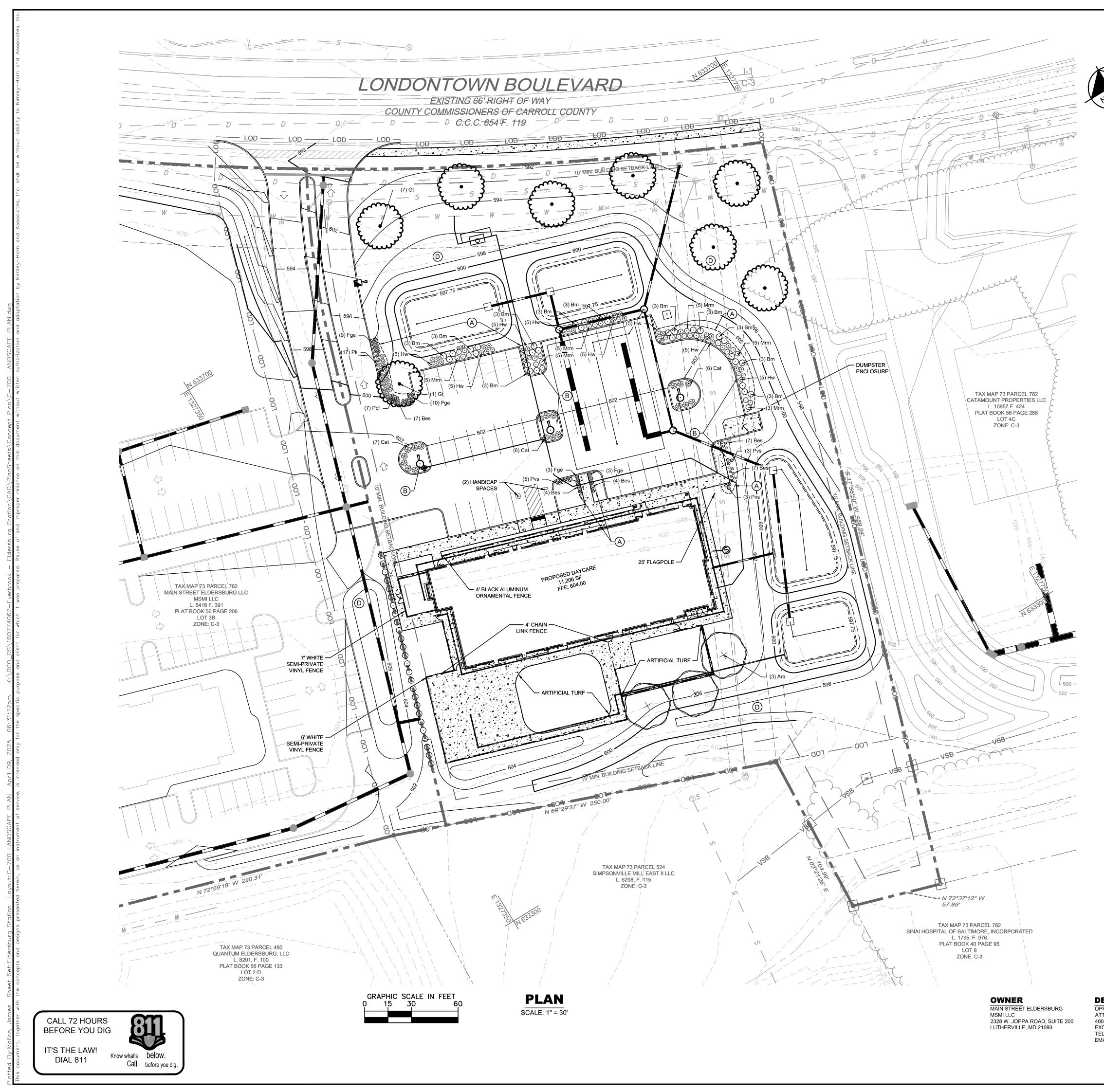
MAIN STREET ELDERSBURG MSMI LLC 2328 W. JOPPA ROAD, SUITE 200 LUTHERVILLE, MD 21093

OPPIDAN

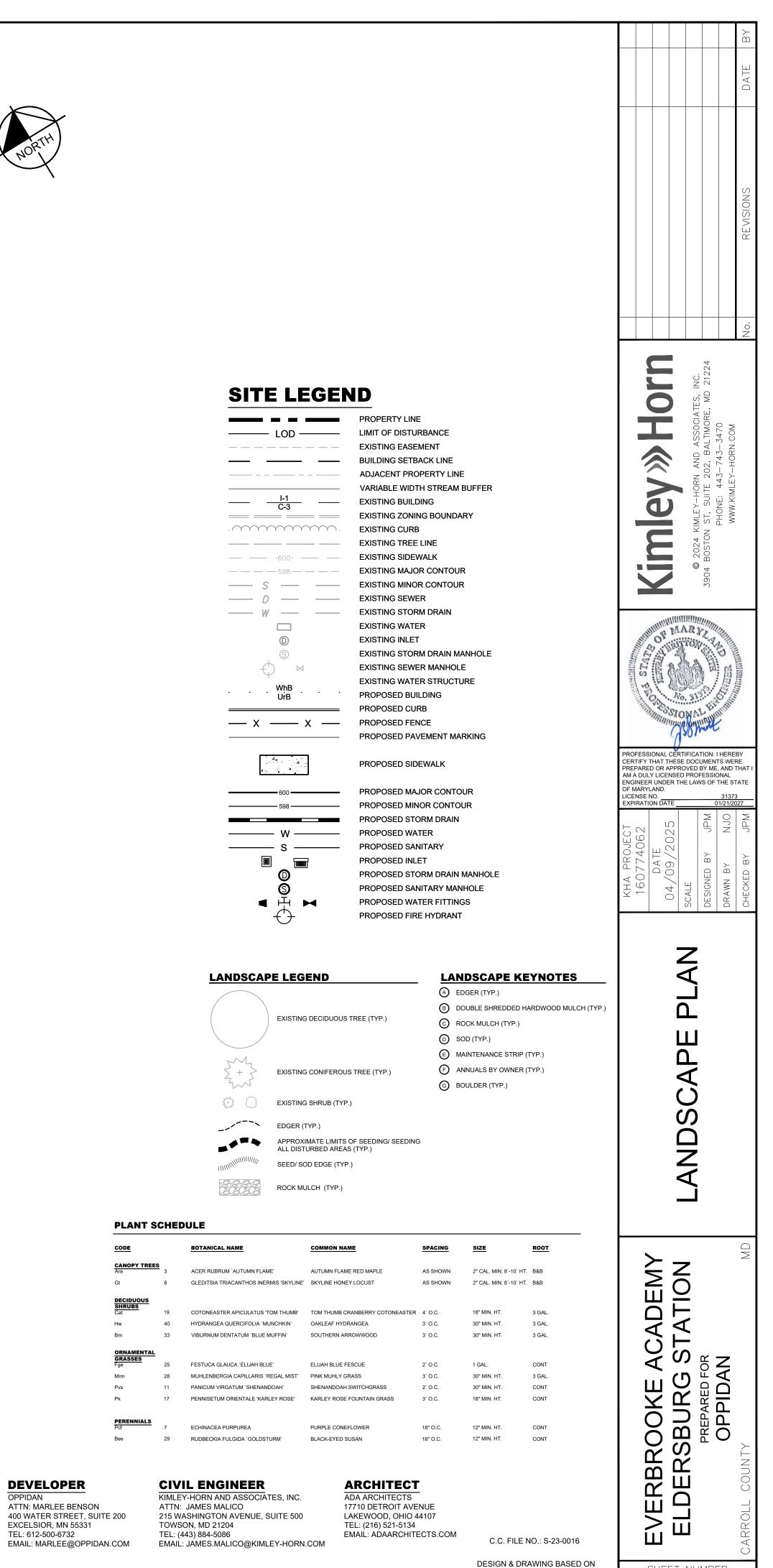


MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 VERTICAL NAVD 88

09 0F 13



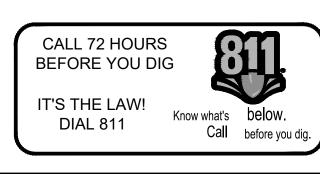
OPPIDAN



MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 VERTICAL NAVD 88

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SHEET NUMBER



# LANDSCAPING NOTES

1. ALL PLANT SPECIFICATIONS SHALL BE IDENTIFIED IN ACCORDANCE WITH THE LATEST GENERAL

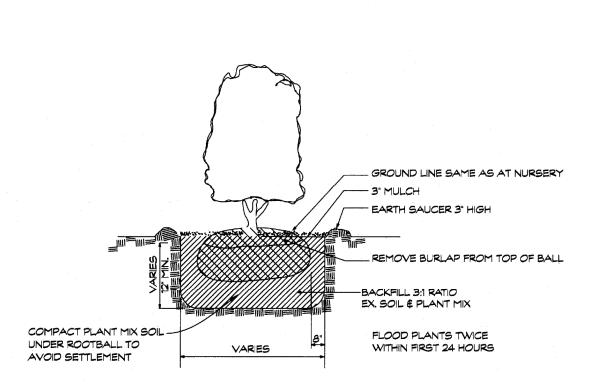
- EDITION OF HORTUS THIRD, BY "THE STAFF OF THE HORTORIUM". 2. ALL NURSERY STOCK SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN. INC. STANDARDS AS DESCRIBED IN AMERICAN STANDARDS FOR
- NURSERY STOCK, CURRENT ANSI A-300 SPECIFICATIONS. 3. LANDSCAPE SPECIFICATIONS SHALL CONFORM TO LANDSCAPE GUIDELINES FOR MARYLAND, WASHINGTON, D.C., AND VIRGINIA, LATEST EDITION. ALL NURSERY STOCK OR PROPER PROPORTIONS, PLANTS WHICH ARE WEAK OR THIN, AND PLANTS ARE NOT THE SPECIES OR SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GUIDELINES.
- 4. THREE (3) INCHES TOPSOIL ON ALL DISTURBED AREAS TO BE LANDSCAPED, SEEDED OR SODDED IS REQUIRED.
- 5. A SEPARATE PLAN LABELED "LANDSCAPE PLAN" (MAY BE COMBINED WITH FOREST CONSERVATION PLAN) IS REQUIRED. LANDSCAPE REQUIREMENTS MAY NOT BE COMBINED THE FOREST CONSERVATION PLAN.

MAINTENANCE RESPONSIBILITY

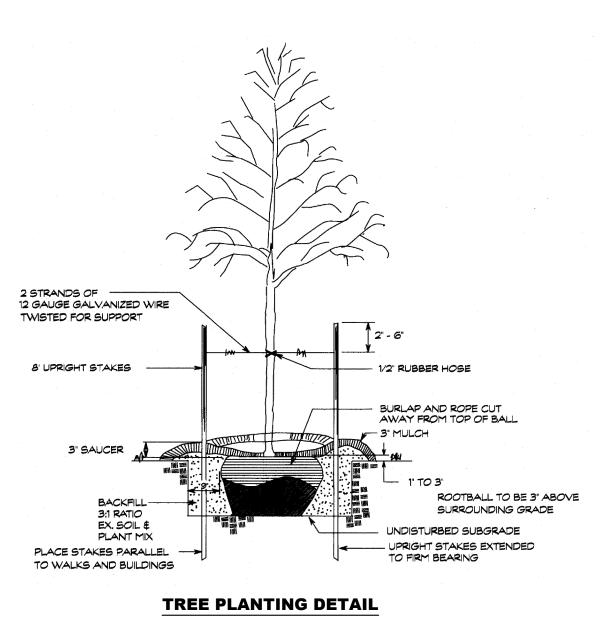
THE OWNER OF ANY PROPERTY ON WHICH LANDSCAPING HAS BEEN INSTALLED PURSUANT SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECT, DECAY, DAMAGED ROOTS, SUN-SCALD TO THIS CHAPTER SHALL MAINTAIN THE LANDSCAPING IN GOOD CONDITION IN PERPETUITY. INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECTS PEST'S EGGS, BORERS, AND FORMS OF A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE REQUIRED. FAILURE TO REPLACE DEAD OR DYING PUS IS A VIOLATION OF THIS CHAPTER.

## INSPECTIONS

- A MINIMUM OF TWO INSPECTIONS WILL BE REQUIRED:
- A. INITIAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED WHEN PLANTING IS COMPLETED TO VERIFY COMPLIANCE WITH THE APPROVED PLANTING PLAN. THE INSPECTION SHALL BEE PERFORMED BY A LANDSCAPE ARCHITECT. A COMPLETED AND SEALED LANDSCAPE CERTIFICATION SHALL BE PROVIDED WITH PHOTOGRAPHS OR OTHER VISUAL DOCUMENTATION. THE 12 MONTH SURVIVAL PERIOD WILL BEGIN UPON RECEIPT OF THE LANDSCAPE CERTIFICATION.
- B. FINAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY 12 MONTHS AFTER CERTIFICATION OF THE INITIAL PLANTING.
- C. ACCEPTABLE PLANT SURVIVAL SHALL BE DEFINED AS NOT MORE THAN  $\frac{1}{3}$  MORTALITY. A 12 MONTH INSPECTION WILL BE PERFORMED BY THE COUNTY. NO INSPECTION SHALL BE FINALIZED FROM NOVEMBER 1 TO MARCH 1.



SHRUB PLANTING DETAIL NOT TO SCALE



NOT TO SCALE

# LANDSCAPE PLANTING SPECIFICATIONS

PLANT MATERIALS SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK SPONSORED BY AMERICAN ASSOCIATION OF NURSERYMAN, INC.

PLANTS SHALL BE SUBJECT TO INSPECTION BY THE CARROLL COUNTY OFFICE OF LANDSCAPE AND FOREST CONSERVATION FOR QUALITY, SIZE, COLOR, AND TRUENESS TO SPECIES. PLANTS LACKING COMPACTNESS VARIETY CALLED FOR IN THE PLANT LIST WILL NOT BE ACCEPTED. RIGHT IS RESERVED TO REJECT PLANTS THAT ARE CONSIDERED UNSATISFACTORY. REJECTED PLANTS SHALL BE REMOVED FROM THE SITE AND REPLACED WITH PLANTS SPECIFIED. PRUNING PLANTS PRIOR TO DELIVERY SHALL BE PROHIBITED.

SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT THE CONSENT OF THE CARROLL COUNTY OFFICE OF LANDSCAPE AND FOREST CONSERVATION. IF PROOF IS SUBMITTED THAT SPECIFIC PLANTS OR SIZES ARE UNOBTAINABLE, PROPOSALS WILL BE CONSIDERED FOR THE NEAREST EQUIVALENT SIZE OR VARIETY WITH EQUITABLE ADJUSTMENT TO THE CONTRACT PRICE.

PLANTS SHALL HAVE NORMAL. WELL DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEM. THEY INFESTATIONS AND OBJECTIONABLE DISFIGUREMENTS.

AT LEAST 2 YEARS PRIOR TO THE DATE OF THE PLANTING CONTRACT.

## REFERENCES

- 1. ALL PLANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH HORTUS THIRD, BY L.H. BAILEY, 1976. 2. 2. ALL NURSERY STOCK SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- STANDARDS FOR NURSERY STOCK, PUBLICATION ANSI Z60.1-1980 LATEST EDITION. 3. LANDSCAPE SPECIFICATIONS SHALL CONFORM TO LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN THE GUIDELINES.

PLANTING PROCEDURES

PLANTS SHALL BE FRESHLY DUG AT TIME OF DELIVERY. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF ADEQUATE SIZE, THE BALLS SECURELY WRAPPED WITH BURLAP OR CANVAS, TIGHTLY BOUND WITH ROPE OR WIRE.

- THE PLANTING SEASONS FOR PLANT MATERIAL SHALL BE AS FOLLOWS: DECIDUOUS TREES AND SHRUBS: OCTOBER 15 THRU DECEMBER 15 APRIL 1 THRU MAY 15
- EVERGREEN TREES, SHRUBS AND VINES: SEPTEMBER 1 THRU NOVEMBER 15 APRIL 1 THRU MAY 15

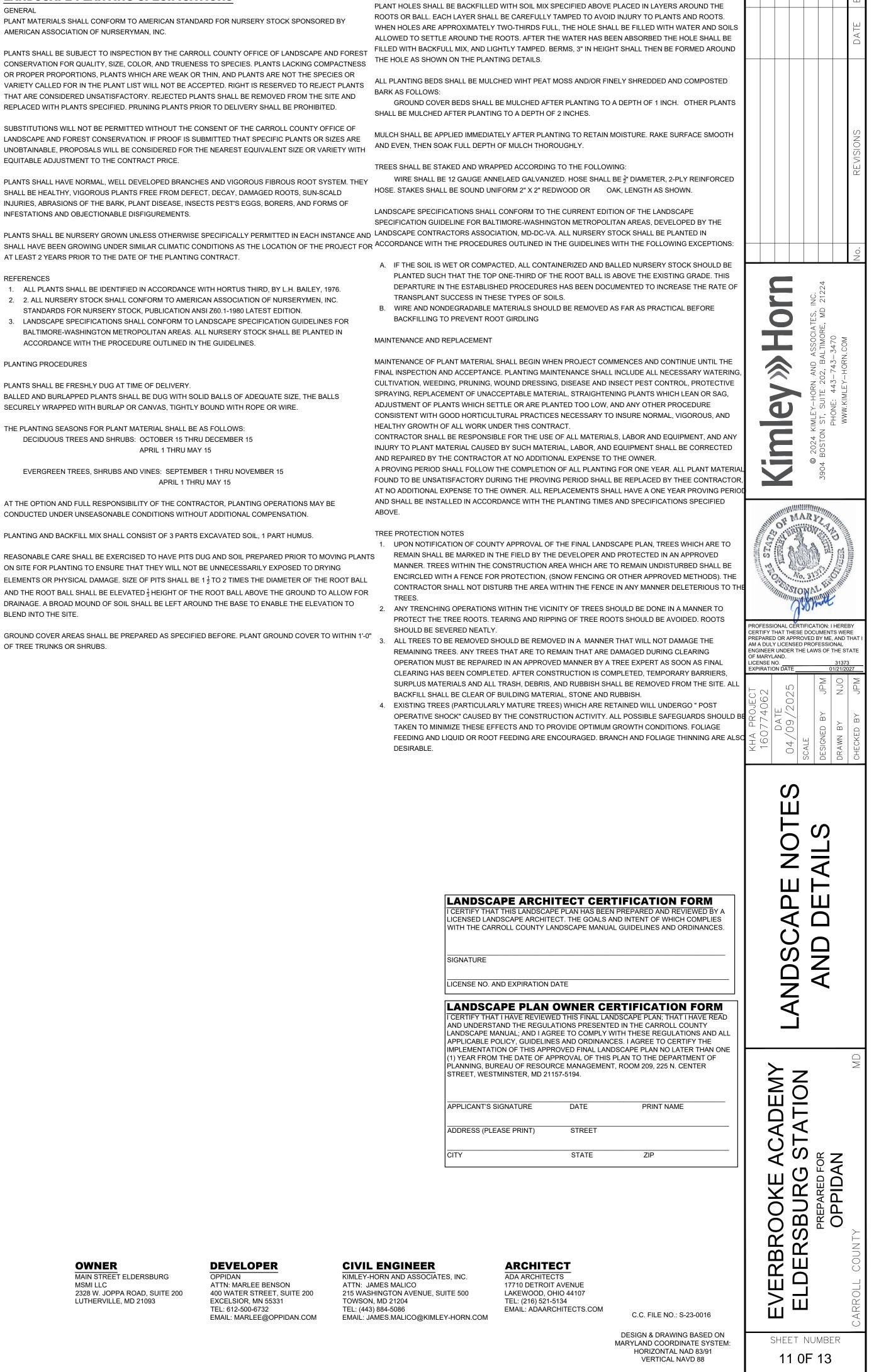
AT THE OPTION AND FULL RESPONSIBILITY OF THE CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS WITHOUT ADDITIONAL COMPENSATION.

PLANTING AND BACKFILL MIX SHALL CONSIST OF 3 PARTS EXCAVATED SOIL, 1 PART HUMUS.

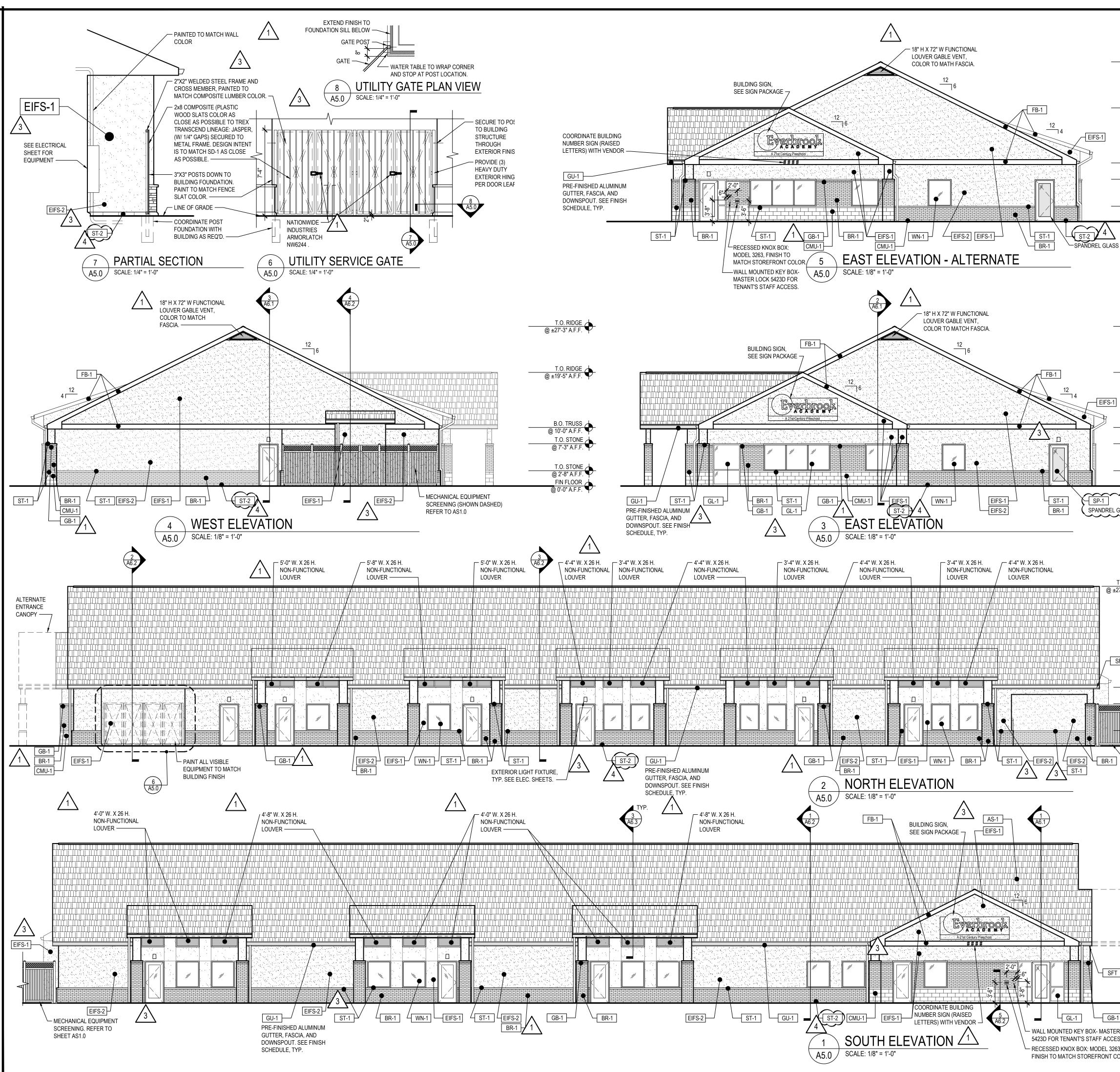
REASONABLE CARE SHALL BE EXERCISED TO HAVE PITS DUG AND SOIL PREPARED PRIOR TO MOVING PLANTS ON SITE FOR PLANTING TO ENSURE THAT THEY WILL NOT BE UNNECESSARILY EXPOSED TO DRYING ELEMENTS OR PHYSICAL DAMAGE. SIZE OF PITS SHALL BE 1 1 TO 2 TIMES THE DIAMETER OF THE ROOT BALL AND THE ROOT BALL SHALL BE ELEVATED  $\frac{1}{3}$  HEIGHT OF THE ROOT BALL ABOVE THE GROUND TO ALLOW FOR DRAINAGE. A BROAD MOUND OF SOIL SHALL BE LEFT AROUND THE BASE TO ENABLE THE ELEVATION TO BLEND INTO THE SITE.

GROUND COVER AREAS SHALL BE PREPARED AS SPECIFIED BEFORE. PLANT GROUND COVER TO WITHIN 1'-0" OF TREE TRUNKS OR SHRUBS.

## **OWNER** MAIN STREET ELDERSBURG MSMI LLC 2328 W. JOPPA ROAD, SUITE 200 LUTHERVILLE, MD 21093



Luminaire Schedule	Τι μο ο	NA				Description		ulation Summa						
Symbol Qty	Туре	Mounting Height	Lum. Watts	Luminaire Lumens	LLF	Description	Proj Lab	ect: Calculation	Units	Avg	Max	Min	Avg/Min	Max/Min
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	P2	25	90.68	15171	0.900	OPF-S-A04-740-T3M								
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CLAIMER: Based on the inf wn represent recommende		-												
vary due to changes in ele	ctrical voltag	je, tolerance in LE	Ds and other											
able field conditions. Calcu				ings,										
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drawings is for photometr		• • •												
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		EXTE	RIOR ELEVATIONS GENERAL NOTES		
	T.O. RIDGE @ ±27'-3" A.F.F.	BE REFERRE 2. EIFS SHALL E REINFORCIN MECHANICAI EXTERIOR SI 3. ALL EIFS SH/ FLASHING, A	D TO THE ARCHITECT. BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, G MESH BASE & FINISH COATS SHALL BE PROVIDED OVER EPS INSULATION BOARD, LLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER HEATHING. ALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, ND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH		
	T.O. RIDGE @ ±19'-5" A.F.F.	<ol> <li>PROVIDE BLO</li> <li>REFER TO EI</li> <li>GC SHALL PA</li> </ol>	DCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE. LECTRICAL DRAWINGS FOR LIGHTING INFORMATION. AINT ANY EXPOSED PIPES, CONDUITS, OR UTILITY BOXES THAT ARE VISIBLE FROM		
	@ 10'-0" A.F.F. T.O. STONE				
	@ 7'-3" A.F.F. Ψ	BR-1	BRICK: BELDEN, 671 VELOUR		
	@ 2'-8" A.F.F. 🕎 FIN FLOOR 📥	CMU-1			<b>N</b> 1
	₩ U -U A.F.F. Ψ SS	EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR,		io 4410
	-	EIFS-2			ood, Oh com com
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		GB-1			enue -5134 adaarc
	T.O. RIDGE @ ±27'-3" A.F.F.	GL-1			troit Ave (16) 521
	F	GU-1			710 De lone (2
	T.O. RIDGE @ ±19'-5" A.F.F.	SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD.		
SHEET AS1.0  T.O. RIDGE UCATION FOR CO'S  T.O. STONE UCATION FOR CO'S  T.O		ST-1	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF		
SHEET AS1.0  T.O. RIDGE UCATION FOR COTS  T.O. STONE UCATION FOR COTS T.O. STONE UCATION FOR COTS T.O.	B.O. TRUSS	ST-2			E, ZIP
SHEET AS1.0  T.O. RIDGE UCATION FOR COTS  T.O. STONE UCATION FOR COTS T.O. STONE UCATION FOR COTS T.O.	T.O. STONE	WN-1	VINYL WINDOWS, COLOR: ALMOND		STATI NC. DN IN M
SHEET AS1.0  T.O. RIDGE UCATION FOR CD'S  T.O. STONE UCATION FOR CD'S  T.O	T.O. STONE @ 2'-8" A.F.F.	SP-1		111	CITY, ECTS, II ED UPC
SHEET AS1.0  T.O. RIDGE UCATION FOR CD'S  T.O. STONE UCATION FOR CD'S  T.O	© 0'-0" A.F.F.		PAINT EXTERIOR FACE OF H.M. DOORS AND FRAMES COLOR: TO MATCH THE	ЪЕ Н	A ARCHITE
SHEET AS1.0       ASU         Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 LOCATION FOR CO'S       Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 LOCATION FOR CO'S         Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 LOCATION FOR CO'S       Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 LOCATION FOR CO'S         Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 LOCATION FOR CO'S       Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 SCALE: N.T.S.         Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 DO TO BED Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 DI COLUMN 2000 DESIGNER NOTE: NOT					TO AD
SHEET AS1.0  T.O. RIDGE UCATION FOR COTS  T.O. STONE UCATION FOR COTS T.O. STONE UCATION FOR COTS T.O.	$\frac{\sqrt{3}}{\sqrt{3}}$	<u> </u>	TO MATCH FASCIA COLOR. (VINYL SAFE 100% ACRYLIC LATEX PAINT)		IETARY
SHEET AS1.0 T.O. RIDGE @ ±27-3*AF.F. T.O. RIDGE @ ±27-3*AF.F. T.O. RIDGE @ ±27-3*AF.F. T.O. RIDGE @ ±19-5*AF.F. ALTERNATE ENTRANCE CAMOPY B.O. TRUSS @ 100*0*AF.F. T.O. STONE @ 100*0*AF.F. T.O. STONE @ 100*0*AF.F. T.O. STONE @ 100*0*AF.F. T.O. STONE @ 00*0*AF.F. T.O. STONE					PROPRI LY PRC
SHEET AS1.0  TO. RIDGE  TO. STORE	<u>T.O. RIDGE</u> ±27'-3" A.F.F.				ATION F
SHEET AS1.0       ASU         Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 LOCATION FOR CO'S       Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 LOCATION FOR CO'S         Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 LOCATION FOR CO'S       Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 LOCATION FOR CO'S         Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 LOCATION FOR CO'S       Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 SCALE: N.T.S.         Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 DO TO BED Image: Designer NOTE: MOVE KEY PLAN TO ELEVATION 5 DI COLUMN 2000 DESIGNER NOTE: NOT				U O	IFORM. S IS EX
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TO. RIDGE     Image: State in the image:	SCREENING. REFER TO		1 A5.0		
TO.RIDGE     Image: State in the image:			æ	REVISIONS	<b>I</b>
T.O. RIDGE         @ ±19'-5" A.F.F.         ALTERNATE         ENTRANCE CANOPY         =       B.O. TRUSS         @ 10'-0" A.F.F.         I       T.O. STONE         I       I         I       T.O. STONE         I       I         I       D.O. TRUSS         I       I         I       I         I       I         I       I         I       I         I       I         I       I         I       I         I       I         I       I         I       I         I       I         I       I         I       I         I       I         I       I         I <t< td=""><td></td><td></td><td>PLAN TO ELEVATION 5</td><td>ស ស ស</td><td>ល</td></t<>			PLAN TO ELEVATION 5	ស ស ស	ល
T.O. RIDGE         @ ±19'-5" A.F.F.         ALTERNATE         ENTRANCE CANOPY         =       B.O. TRUSS         @ 10'-0" A.F.F.         I       T.O. STONE         I       T.O. STONE         I       T.O. STONE         I       T.O. STONE         I       I         I       T.O. STONE         I       I         I       T.O. STONE         I       I         I <td< td=""><td>T.O. RIDGE @ ±27'-3" A.F.F.</td><td>1</td><td></td><td>UPDATE UPDATE UPDATE</td><td>UPDATE</td></td<>	T.O. RIDGE @ ±27'-3" A.F.F.	1		UPDATE UPDATE UPDATE	UPDATE
T.O. RIDGE         @ ±19'-5" A.F.F.         ALTERNATE         ENTRANCE CANOPY         =       B.O. TRUSS         @ 10'-0" A.F.F.         I       T.O. STONE         I       T.O. STONE         I       T.O. STONE         I       T.O. STONE         I       I         I       T.O. STONE         I       I         I       T.O. STONE         I       I         I <td< td=""><td></td><td></td><td></td><td>PE /ISION JTOTYPE JTOTYPE</td><td>ОТОТҮРЕ</td></td<>				PE /ISION JTOTYPE JTOTYPE	ОТОТҮРЕ
ALTERNATE ENTRANCE CANOPY B.O. TRUSS 0 10'.0" AF.F. 0 10'.0" AF.F. 1 10 1 10'.0" AF.F. 1 10 1 10'.0" AF.F. 1 10'.0" A	T.O. RIDGE @ ±19-5" A.F.F.				
B.O. TRUSS       EVERBROOK         I.O. STONE       EXTERIOR         I.O. STONE       ELEVATIONS         I.O. STONE       I.O. STONE         I.O. STONE       I.O.				DATE 12/15/20 02/10/20 02/21/20 08/01/20	11/17/20
Image: Construction of the second	ENTRANCE CANOPY				
T.O. STONE       ELEVATIONS         @ 2'-8" A.F.F.       DATE       02/01/2022         JOB NO.       19516	= ─ ─ ─ @ 10'-0" A.F.F. Ψ				
© 2'-8" A.F.F. FIN FLOOR © 0'-0" A.F.F. DATE 02/01/2022 JOB NO. 19516 RLOCK	T       T.O. STONE				
JOB NO. 19516	───── @ 2'-8" A.F.F. ♥ FIN FLOOR ↓				
	B-1 1 ER LOCK			JOB NO. 1	9516
	ESS. 263,				5.0E
C.C. FILE NO.: S-23-0016 SHEET 13 OF 13	COLOR.		C.C. FILE NO.: S-23-0016	SHEE	T 13 0F 13