

# CONCEPT SITE PLAN FOR EVERBROOK ACADEMY LOT 3B ELDERSBURG STATION

## GENERAL NOTES

- EXISTING ZONING: C-3
- TOTAL AREA OF SITE: 245,678 SF (5.64 AC)
- TOTAL DEVELOPED AREA: 117,465 SF (2.70 AC)
- EXISTING IMPERVIOUS AREA: 454 SF (0.01 AC)
- PROPOSED IMPERVIOUS AREA: 57,979 SF (1.33 AC)
- PROPOSED BUILDING AREA: 11,206 SF
- PARKING REQUIRED: 1 SPACE PER EMPLOYEE ON THE MAXIMUM SHIFT + 1 PER 10 CHILDREN  
1 SPACE X 27 EMPLOYEES = 27 SPACES  
1/10 SPACES X 160 CHILDREN = 16 SPACES  
TOTAL SPACES REQ'D = 43 SPACES  
(2 ACCESSIBLE SPACES REQUIRED)
- PARKING PROVIDED: 47 STANDARD SPACES PROVIDED  
2 ACCESSIBLE SPACES PROVIDED  
49 TOTAL SPACES PROVIDED
- THE PROPERTY SHOWN HEREON IS OWNED BY MSM, LLC BY DEED DATED 12/13/2007, RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY, MD IN LIBER 5416, FOLIO 391.
- TAX ACCOUNT NUMBER: 091063
- COMMISSIONER DISTRICT 5
- TAX MAP: 0073 / GRID: N/A / BLOCK: 0012 / PARCEL: 0782. PLAT REF: 0056/0206.
- TOPOGRAPHY SHOWN HEREON IS FLOWN, DATED 1/2022, AND PREPARED BY SURVEYING AND MAPPING, LLC.
- LOCATION OF THE NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION: LONDONTOWN BLVD.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSION SHALL GOVERN.
- ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
- THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING.
- THERE ARE NO APPLICABLE BOARD OF ZONING APPEALS CASES FOR THIS PROJECT.
- ALL CONSTRUCTION ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE "DESIGN MANUAL-VOLUME 1-ROADS AND STORM DRAINS", THE "BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES", "HIGHWAY DRAINAGE MANUAL" OF THE STATE HIGHWAY ADMINISTRATION, "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE, AND ALL ADDENDA AND ERRATA TO ALL OF THE ABOVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEERING OFFICE OF 443-884-5086 IN THE EVENT OF ANY DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIPS OF FINISHED GRADES TO EXISTING GRADES PRIOR TO THE BEGINNING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TRAFFIC ON ANY EXISTING ROADS.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK AS SHOWN ON THESE DRAWINGS:  
ALLEGHENY POWER: 301-829-7009  
BALTIMORE GAS & ELECTRIC: 410-234-6313  
BUREAU OF RESOURCE MANAGEMENT: 410-386-2506  
VERIZON: 410-876-9905
- ALL UTILITIES SHALL BE CLEARED BY A MINIMUM OF 1'0". ALL UTILITY POLES SHALL BE CLEARED BY A MINIMUM OF 2'0" OR TUNNELED IF REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR TUNNELING OR BRACING.
- CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY.
- ALL SAFETY MEASURES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE HORIZONTAL CONTROL SHOWN HEREON IS BASED ON THE MARYLAND COORDINATE SYSTEM\* (NAD-83-91). THE VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
- IN FILL AREAS, THE COMPACTION SHALL BE FULL HEIGHT COMPACTION TO THE SPECIFIED ELEVATION. FILL SHALL BE PLACED IN EIGHT (8) INCH (PLUS OR MINUS TWO (2) INCHES), MEASURED LOOSE LIFTS AND EACH LIFT COMPACTED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) OF THE MAXIMUM DRY DENSITY AT PLUS OR MINUS TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE MODIFIED PROCTOR TEST (AASHTO T-180) UNLESS SPECIFIED OTHERWISE BY THE GEOTECHNICAL ENGINEER.
- ALL CUT/FILL QUANTITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED BY THE SEDIMENT CONTROL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL VERIFY SUCH CALCULATIONS TO HIS OWN SATISFACTION FOR BID CONTRACT PURPOSES.
- THE SITE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE MARYLAND ACCESSIBILITY CODE, COMAR 09.12.53, AS WELL AS THE 2010 ADA STANDARDS OF THE ACCESSIBILITY DESIGN (DEPARTMENT OF JUSTICE). A "FORM" INSPECTION IS REQUIRED ON ALL ACCESSIBLE ROUTES/RAMPS/CURB RAMPS PRIOR TO PLACEMENT OF FINAL MATERIAL. SLOPES OF RAMPS AND CURB RAMPS SHALL COMPLY WITH THE AFOREMENTIONED REGULATIONS/ STANDARDS. CONTRACTOR TO COORDINATE WITH COUNTY INSPECTOR.
- THE EXISTING USE OF THE LOT IS UNDEVELOPED LAND.
- THE PROPOSED USE IS A DAYCARE CENTER.
- THIS SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND SURFACE WATER MANAGEMENT AREA. IF HAZARDOUS OR REGULATED SUBSTANCES ARE STORED ONSITE, STORAGE WILL BE PROVIDED INSIDE THE BUILDING IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS INCLUDING THE CARROLL COUNTY WATER RESOURCE MANUAL.
- LONDONTOWN BOULEVARD IS BEING IMPROVED AS NOTED FROM THE 2014 CARROLL COUNTY MASTER PLAN AND THE 2018 FREEDOM COMMUNITY COMPREHENSIVE PLAN.
- FOR GENERAL NOTES-ROADS, SEE SHEET C-300
- THE AREA SHOWN HEREON AS A FORESTED ( ) WATER RESOURCE PROTECTION EASEMENT SHALL BE GRANTED TO THE CARROLL COUNTY COMMISSIONERS BY DEED INTENDED TO BE RECORDED SIMULTANEOUSLY WITH THE THIRD AMENDED PLAT (AP-23-0038).
- THIS SITE DOES NOT RESIDE WITHIN A HIGH QUALITY TIER II WATERSHED AS DEFINED BY MDE.

## CARROLL SOIL CONSERVATION DISTRICT

THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT.

APPROVED \_\_\_\_\_ CARROLL S.C.D./DATE \_\_\_\_\_

## CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS DESIGN MANUAL - VOLUME I ROAD AND STORM DRAINS. THE DESIGN ENGINEER OR ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE ACCURACY OF ALL DATA AND MODIFICATIONS FOR CONSTRUCTION

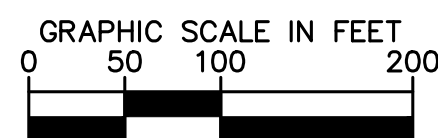
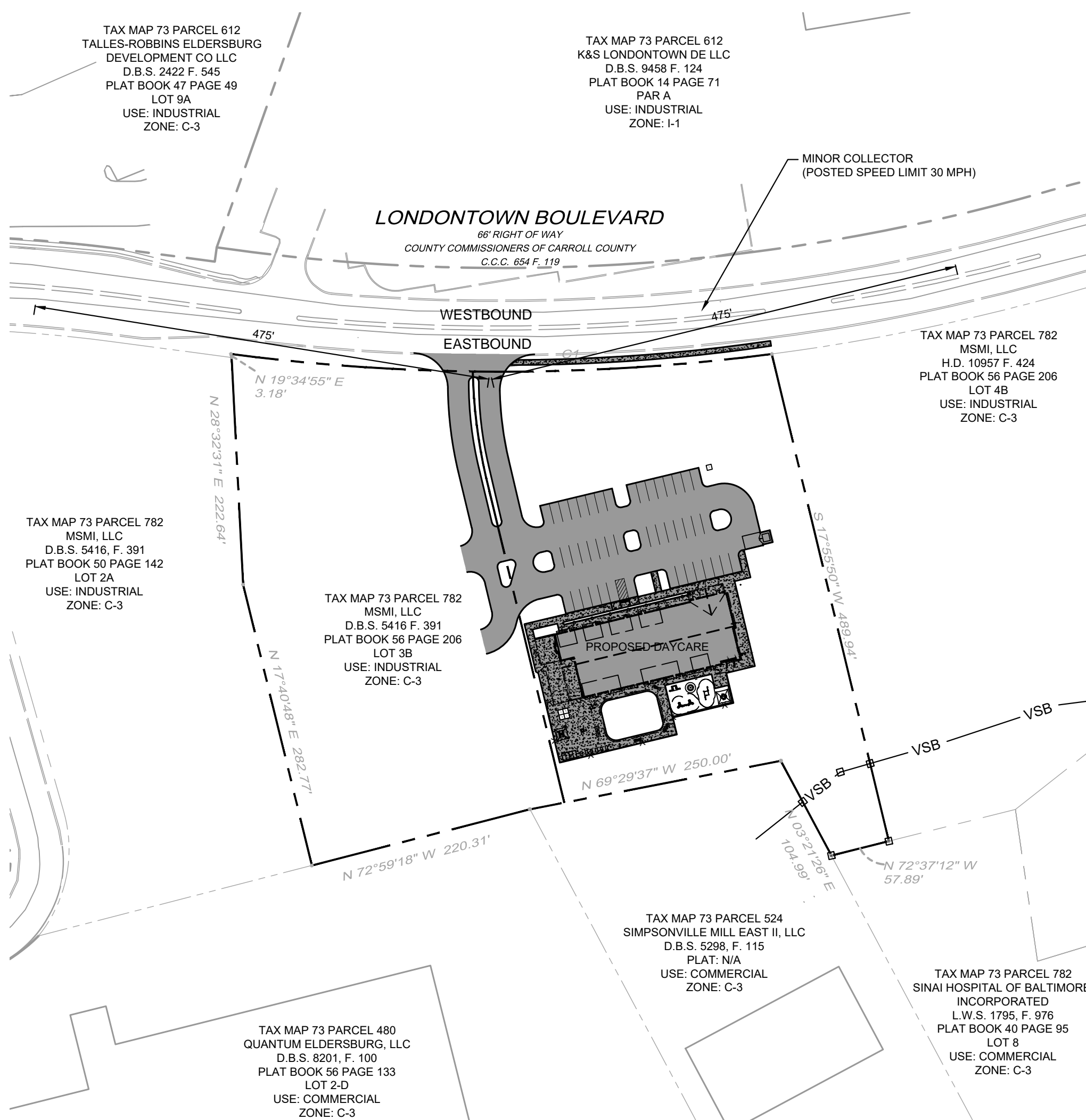
## CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES

BY \_\_\_\_\_ DATE \_\_\_\_\_

## CARROLL COUNTY HEALTH DEPARTMENT

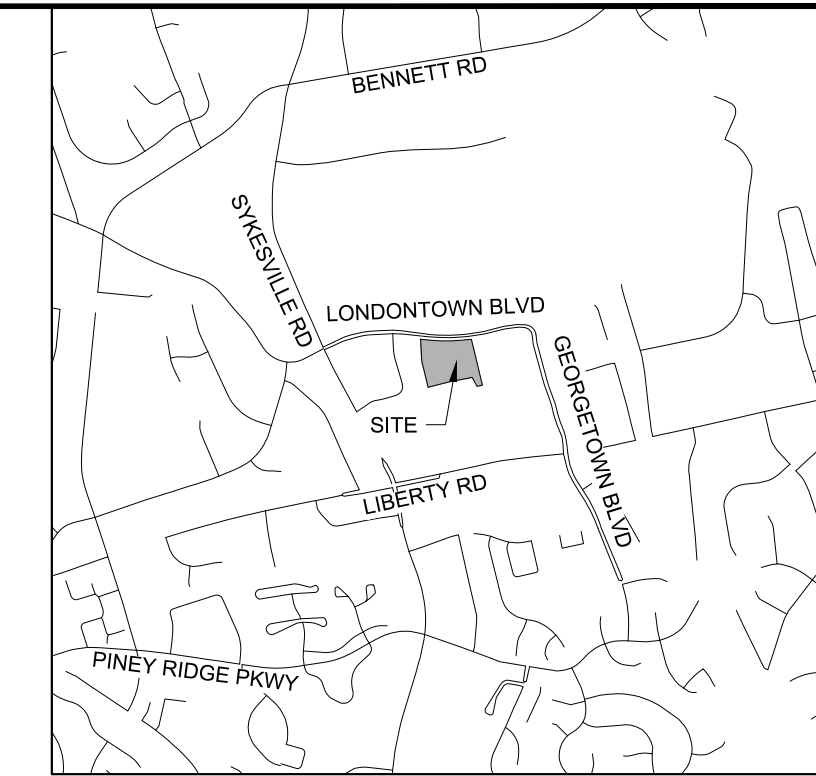
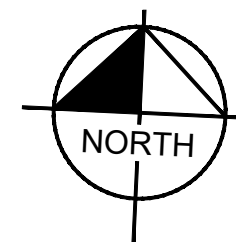
COMMUNITY WATER SUPPLY AND/OR COMMUNITY SEWERAGE SYSTEMS ARE IN CONFORMANCE WITH THE CARROLL COUNTY MASTER PLAN

BY \_\_\_\_\_ DATE \_\_\_\_\_



## LOCATION PLAN

SCALE: 1" = 100'



**VICINITY MAP**  
SCALE: 1" = 2000'

Sheet List Table	
Sheet Number	Sheet Title
C-000	COVER SHEET
C-200	EROSION CONTROL PLAN - INITIAL
C-210	EROSION CONTROL PLAN - FINAL
C-220	EROSION CONTROL DETAILS
C-221	EROSION CONTROL NOTES
C-300	SITE LAYOUT PLAN
C-400	STORMWATER MANAGEMENT PLAN
C-500	BUILDING ELEVATIONS
C-600	LANDSCAPE PLAN
C-700	LIGHTING PLAN

## TRIP GENERATION

ITE TRIP GENERATION MANUAL (11TH EDITION)  
DAYCARE  
BASED ON 160 STUDENTS  
114 AM PEAK HOUR TRIPS  
111 PM PEAK HOUR TRIPS  
617 AVERAGE DAILY TRIPS

## SITE DEVELOPMENT PLAN INSPECTION SEQUENCE NOTES

- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
  - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
  - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
  - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
  - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
  - COMPLETION OF ALL WORK SHOWN ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTIONS SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTIONS SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
- THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.

## DEVELOPER'S CERTIFICATION

I HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I ALSO UNDERSTAND THAT IT IS MY RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY/FACILITIES. I ALSO CERTIFY THAT THESE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH SECTIONS § 151.096 AND § 151.099 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

## ENGINEER'S "AS-BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY/FACILITIES SHOWN ON THIS/THESE PLAN(S) WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT THIS/THESE FACILITIES WERE INSPECTED IN ACCORDANCE WITH SECTIONS § 151.096 AND § 151.099 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_  
LICENSE NO. \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_

## ENGINEER'S DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_  
LICENSE NO. \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_

## PROPERTY OWNER

OPPIDAN  
ATTN: MARLEE BENSON  
400 WATER STREET, SUITE 200  
EXCELSIOR, MN 55331  
TEL: 612-500-6732  
EMAIL: MARLEE@OPPIDAN.COM

## LANDSCAPE ARCHITECT/ CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: JAMES MALICO  
215 WASHINGTON AVENUE, SUITE 500  
TOWSON, MD 21284  
TEL: (443) 884-5086  
EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

## ARCHITECT

ADA ARCHITECTS  
17710 DETROIT AVENUE  
LAKEWOOD, OHIO 44107  
TEL: (216) 521-5134  
EMAIL: ADAARCHITECTS.COM

C.C. FILE NO.: S-23-0016

DESIGN & DRAWING BASED ON  
MARYLAND COORDINATE SYSTEM.  
HORIZONTAL NAD 83/91  
VERTICAL NAVD 88

**Kimley»Horn**

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3904 BOSTON ST., SUITE 202, BALTIMORE, MD 21224  
PHONE: 443-743-7470  
WWW.KIMLEY-HORN.COM



KHA PROJECT	160774062
DATE	08/29/2024
SCALE	JPM
DESIGNED BY	JPM
DRAWN BY	NUJ
CHECKED BY	JPM
EXPIRATION DATE	31373 02/29/2024

COVER SHEET

EVERBROOK ACADEMY  
ELDERSBURG STATION  
PREPARED FOR  
OPPIDAN

SHEET NUMBER  
C-000

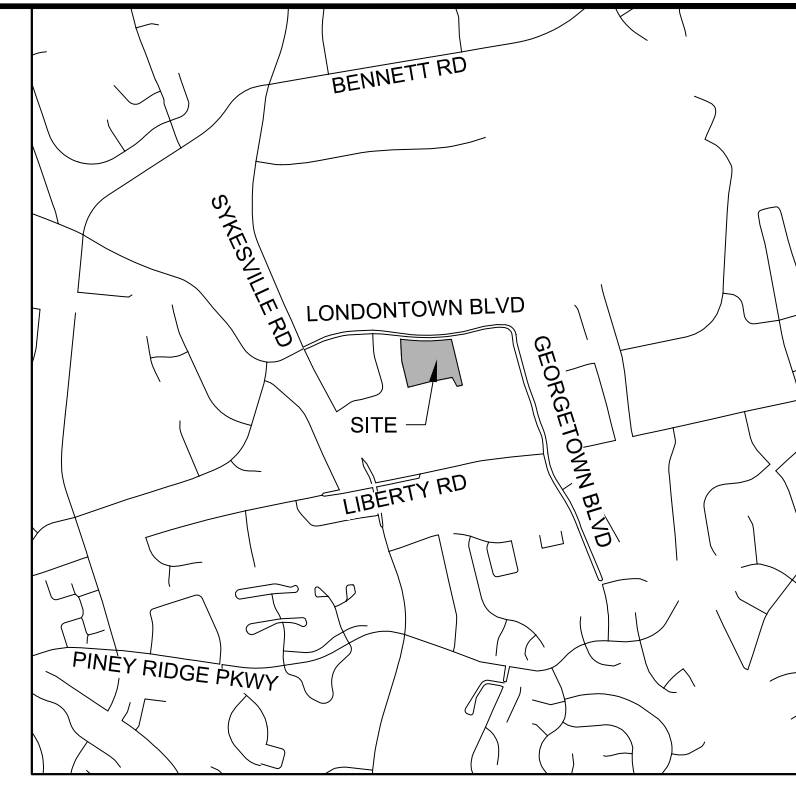
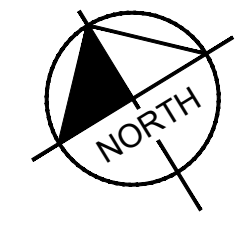
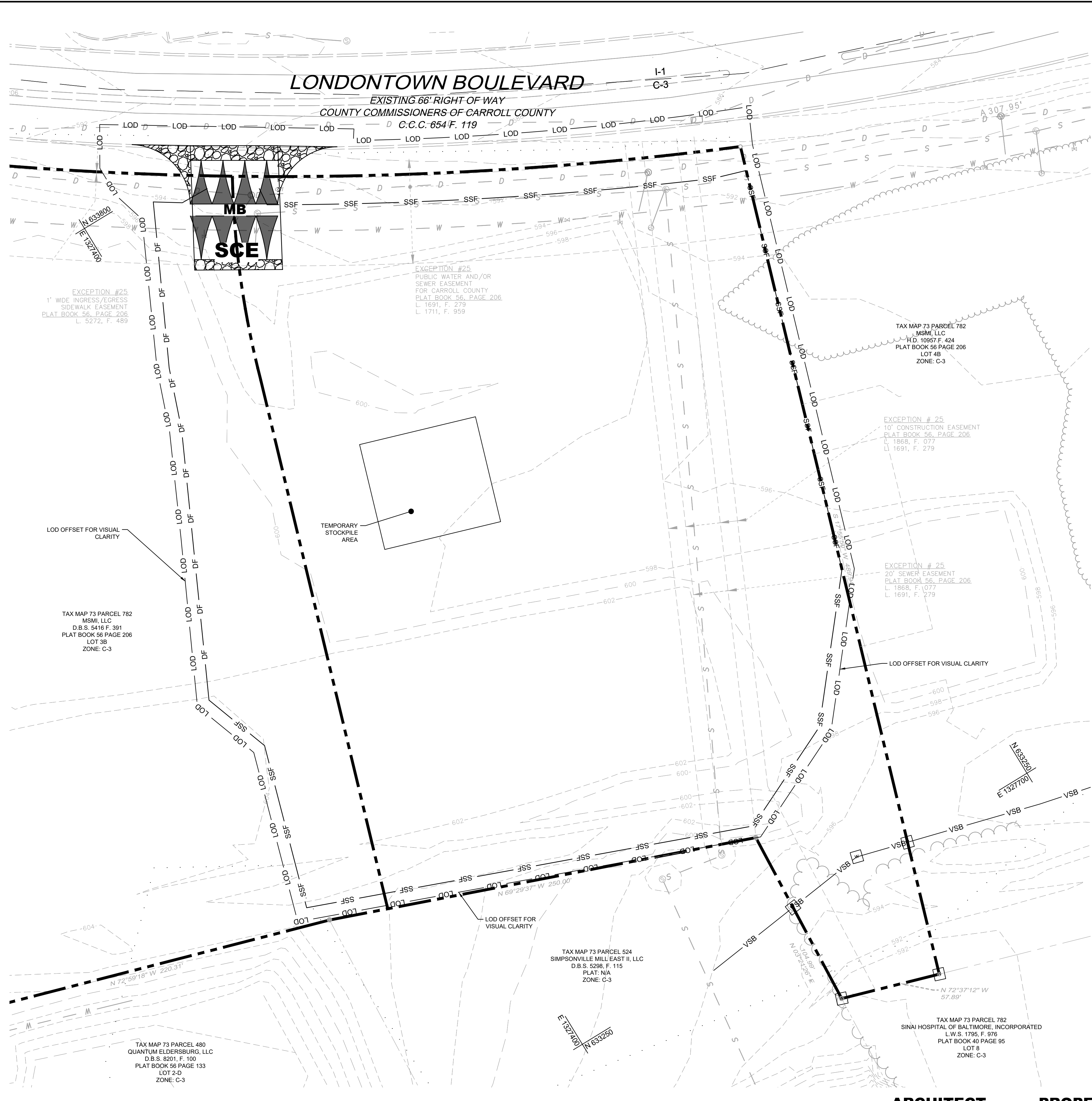
NO. \_\_\_\_\_ REVISIONS \_\_\_\_\_ DATE \_\_\_\_\_

MD

CARROLL COUNTY



Plotted By: Malico, James Sheet: Eldersburg Station Layout: 24x36 September 06, 2024 11:50:50am \\Kimley-Horn.com\AT-BCO\BCO-DS\160774062-Everbrook - Eldersburg Station\CAD\PlanSheets\Concept-Plan\C-200 EROSION CONTROL PLAN - INITIAL.dwg - INITIAL.dwg  
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**EROSION CONTROL - INITIAL LEGEND**

- PROPERTY LINE
- LOD LIMIT OF DISTURBANCE
- EXISTING EASEMENT
- ADJACENT PROPERTY LINE
- VSB VARIABLE WIDTH STREAM BUFFER
- EXISTING BUILDING
- EXISTING ZONING BOUNDARY
- EXISTING CURB
- EXISTING TREE LINE
- EXISTING SIDEWALK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SEWER
- EXISTING STORM DRAIN
- EXISTING INLET
- EXISTING STORM DRAIN MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING WATER STRUCTURE
- EXISTING SOIL BOUNDARY
- STABILIZED CONSTRUCTION ENTRANCE WITH TYPE 'B' MOUNTABLE BERM
- SSF SUPER SILT FENCE
- DF SILT FENCE DIVERSION

**NOTES**

PROPOSED SIDEWALK AND ASSOCIATED RAMP ALONG THE FRONT OF THE BUILDING AS WELL AS THE ROAD FRONTAGE SIDEWALK SHALL COMPLY WITH ALL APPLICABLE ADA ACCESSIBILITY GUIDELINES.

CONTRACTORS SHALL TEST PIT TO VERIFY ALL UTILITY LOCATIONS INCLUDING STORM DRAIN, WATER AND SEWER.

ALL SPOTS ALONG FACE OF CURB ARE TO FLOW LINE.

**SOILS DATA**

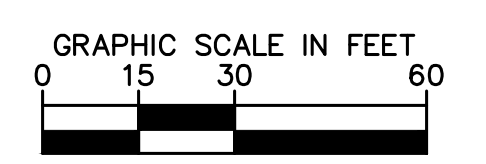
SYMBOL	SOIL SERIES	SLOPE	HYDRIC	K	HIGHLY ERODIBLE?	HYDROLOGIC CLASSIFICATION	WITHIN LOD?
WhB	WHEATON-GLENELG COMPLEX	0-8%	NO	.37	YES	B	Y
WhC	WHEATON-GLENELG COMPLEX	8-15%	NO	.37	YES	B	Y
GhB	GLENVILLE SILT LOAM	3-8%	YES	.37	YES	D	Y

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**811**

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Know what's below. Call before you dig.



**PLAN**  
SCALE: 1" = 30'

**ARCHITECT**  
 ADA ARCHITECTS  
 17710 DETROIT AVENUE  
 LAKEWOOD, OHIO 44107  
 TEL: (216) 521-5134  
 EMAIL: ADAARCHITECTS.COM

**PROPERTY OWNER**  
 OPPIDAN  
 ATTN: MARLEE BENSON  
 400 WATER STREET, SUITE 200  
 EXCELSIOR, MN 55331  
 TEL: 612-500-6732  
 EMAIL: MARLEE@OPPIDAN.COM

**LANDSCAPE ARCHITECT/  
CIVIL ENGINEER**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 ATTN: JAMES MALICO  
 215 WASHINGTON AVENUE, SUITE 500  
 TOWSON, MD 21204  
 TEL: (443) 884-5086  
 EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

C.C. FILE NO.: S-23-0016  
 DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM. HORIZONTAL NAD 83/91 VERTICAL NAVD 88

NO.	REVISIONS	DATE	BY

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 PHONE: 443-743-4470  
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PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 51727  
 EXPIRATION DATE 02/28/2026

KHA PROJECT	160774062	DATE	08/29/2024	DESIGNED BY	JPM	DRAWN BY	NJC	CHECKED BY	JPM
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**EROSION CONTROL PLAN - INITIAL**

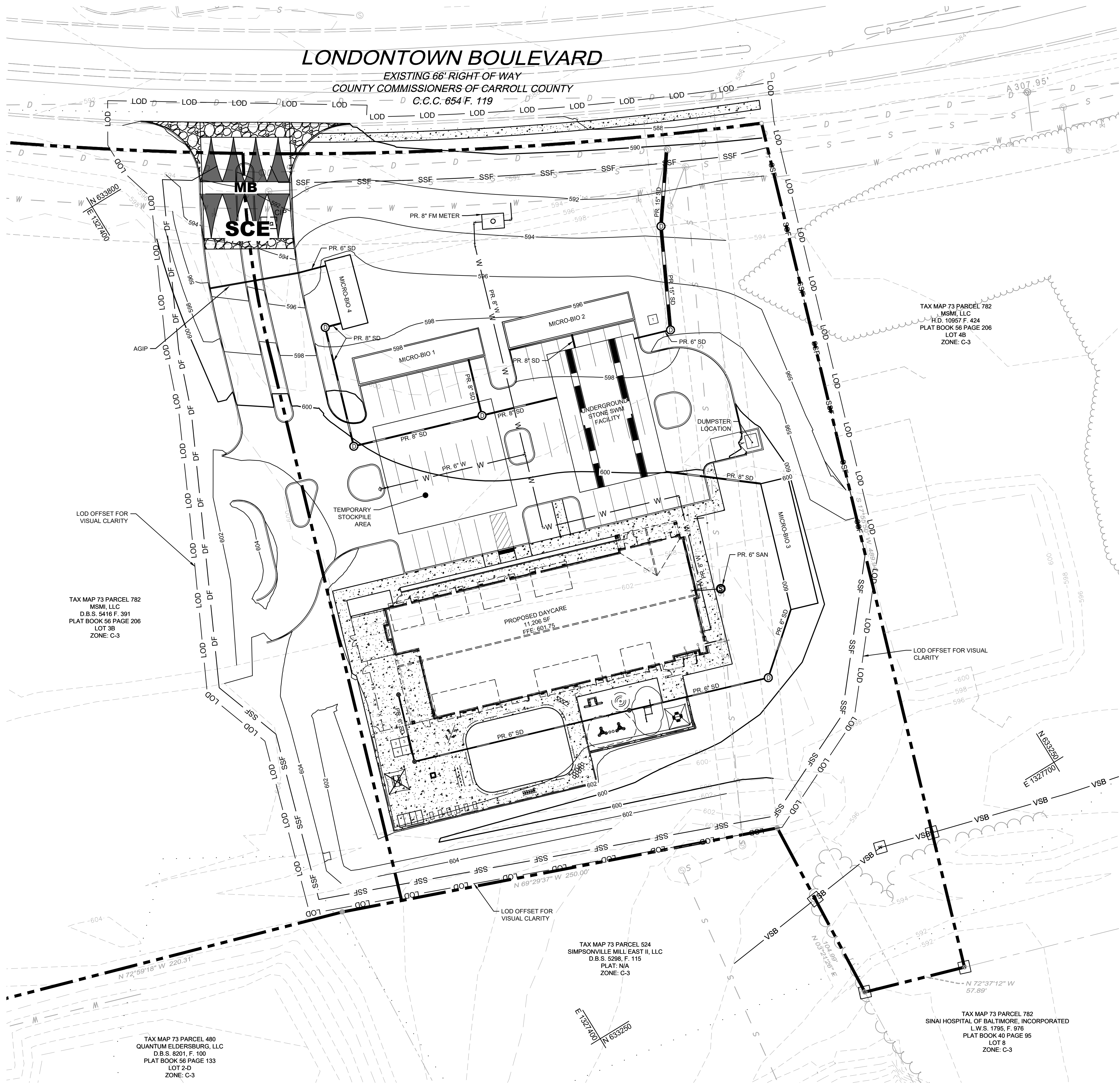
**EVERBROOKE ACADEMY  
ELDERSBURG STATION**  
 PREPARED FOR  
**OPPIDAN**

CARROLL COUNTY, MD

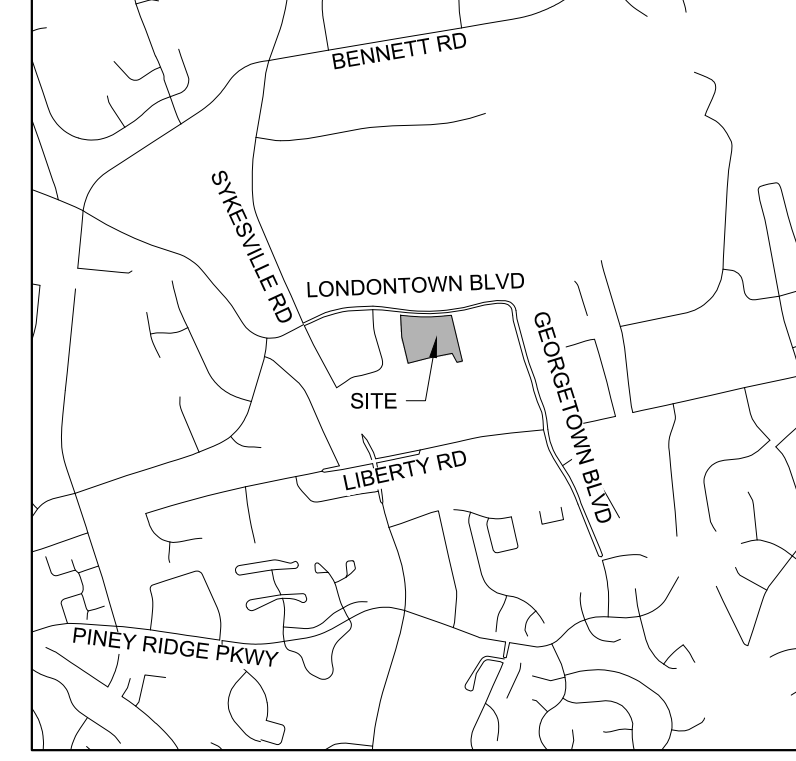
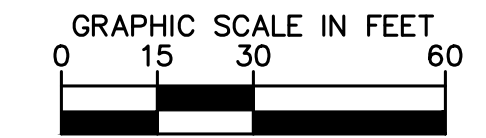
SHEET NUMBER  
**C-200**



Plotted By: Malico, James. Sheet: Eldersburg Station. Layout: 24x36. September 05, 2024. 11:51:12am. \\kimley-horn.com\ATL\BRO\BRO\_DS\160774062-Everbrook - Eldersburg Station\CAD\PlanSheets\Concept Plan\C-210 EROSION CONTROL PLAN - FINAL.dwg  
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**PLAN**  
 SCALE: 1" = 30'



**VICINITY MAP**  
 SCALE: 1" = 2000'

**EROSION CONTROL - FINAL LEGEND**

- PROPERTY LINE
- LOD
- EXISTING EASEMENT
- ADJACENT PROPERTY LINE
- VSB
- EXISTING BUILDING
- EXISTING ZONING BOUNDARY
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- EXISTING WATER
- EXISTING INLET
- EXISTING STORM DRAIN MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING WATER STRUCTURE
- EXISTING SOIL BOUNDARY
- PROPOSED BUILDING
- PROPOSED CURB
- PROPOSED FENCE
- PROPOSED PAVEMENT MARKING
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED WATER
- PROPOSED SANITARY
- PROPOSED INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER FITTINGS
- PROPOSED FIRE HYDRANT
- STABILIZED CONSTRUCTION ENTRANCE WITH TYPE 'B' MOUNTABLE BERM
- SUPER SILT FENCE
- SILT FENCE DIVERSION
- CURB INLET PROTECTION
- AT GRADE INLET PROTECTION

TAX MAP 73 PARCEL 782  
 MSM, LLC  
 D.B.S. 5416 F. 391  
 PLAT BOOK 56 PAGE 206  
 LOT 3B  
 ZONE: C-3

TAX MAP 73 PARCEL 490  
 QUANTUM ELDERSBURG, LLC  
 D.B.S. 8201 F. 100  
 PLAT BOOK 56 PAGE 133  
 LOT 2A  
 ZONE: C-3

TAX MAP 73 PARCEL 524  
 SIMPSONVILLE MILL EAST II, LLC  
 D.B.S. 5298 F. 115  
 PLAT: N/A  
 ZONE: C-3

TAX MAP 73 PARCEL 782  
 SINAI HOSPITAL OF BALTIMORE, INCORPORATED  
 L.W.S. 1795 F. 976  
 PLAT BOOK 40 PAGE 95  
 LOT 8  
 ZONE: C-3

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 Know what's below. Call before you dig.

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 ADA ARCHITECTS  
 17710 DETROIT AVENUE  
 LAKEWOOD, OHIO 44107  
 TEL: (216) 521-5134  
 EMAIL: ADAARCHITECTS.COM

**PROPERTY OWNER**  
 OPPIDAN  
 ATTN: MARLEE BENSON  
 400 WATER STREET, SUITE 200  
 EXCELSIOR, MN 55331  
 TEL: 612-500-6732  
 EMAIL: MARLEE@OPPIDAN.COM

**LANDSCAPE ARCHITECT/  
 CIVIL ENGINEER**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
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 TOWSON, MD 21204  
 TEL: (443) 884-5086  
 EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

C.C. FILE NO.: S-23-0016  
 DESIGN & DRAWING BASED ON  
 MARYLAND COORDINATE SYSTEM.  
 HORIZONTAL NAD 83/91  
 VERTICAL NAVD 88

NO.	REVISIONS	DATE	BY

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KHA PROJECT	160774062	DATE	08/29/2024	DESIGNED BY	JPM	DRAWN BY	NJC	CHECKED BY	JPM
LICENSE NO.	31373	EXPIRATION DATE	01/27/2026						

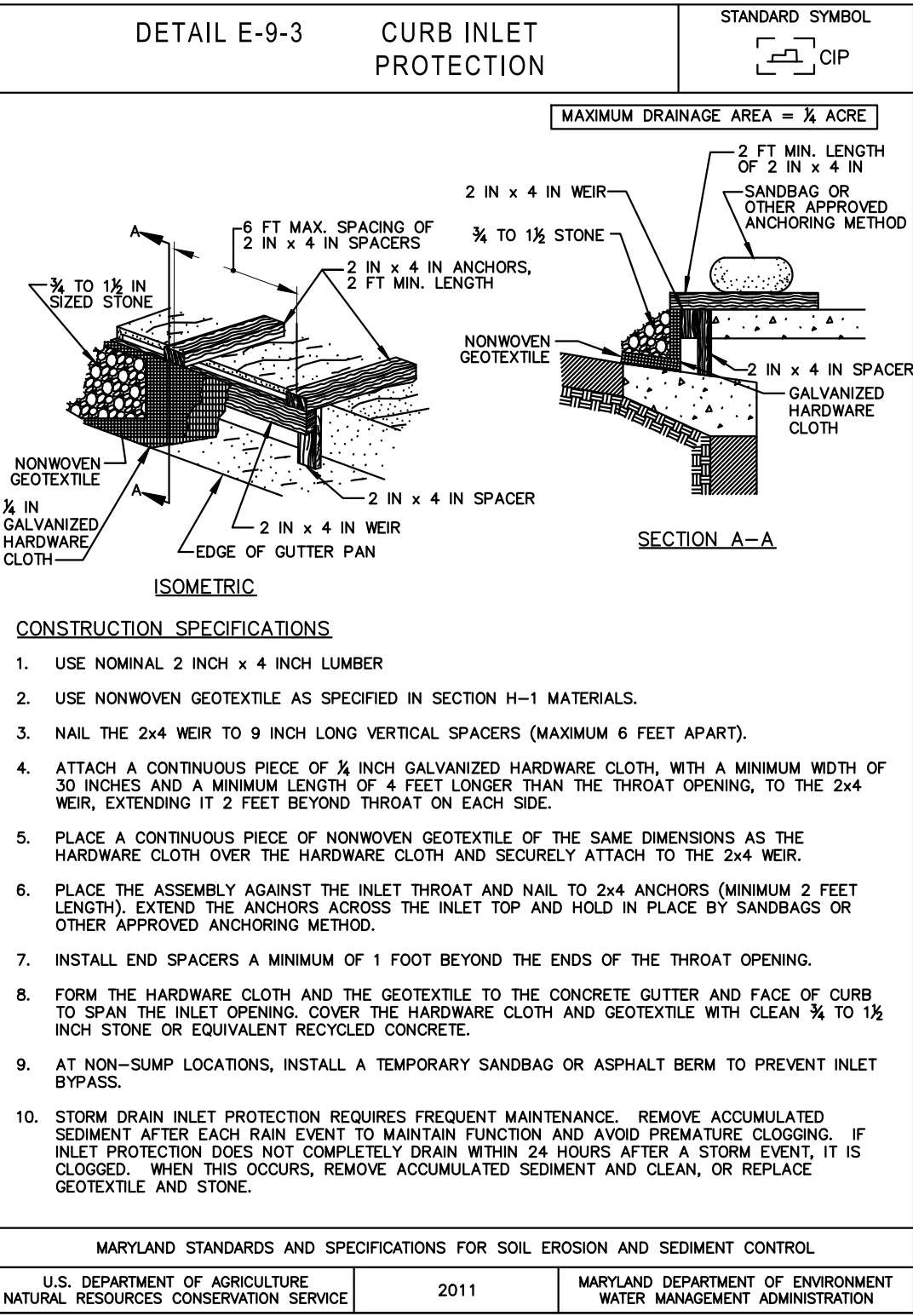
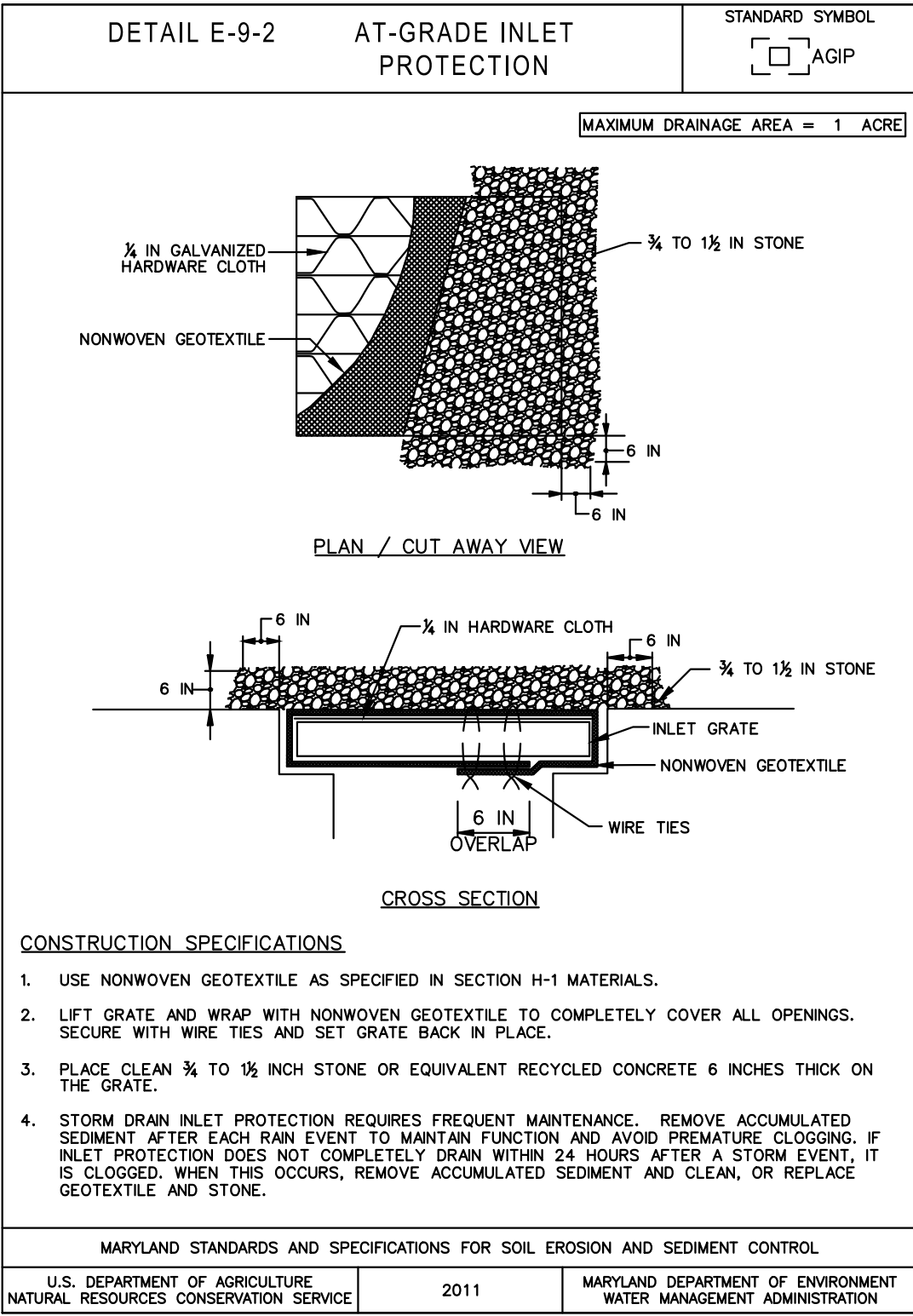
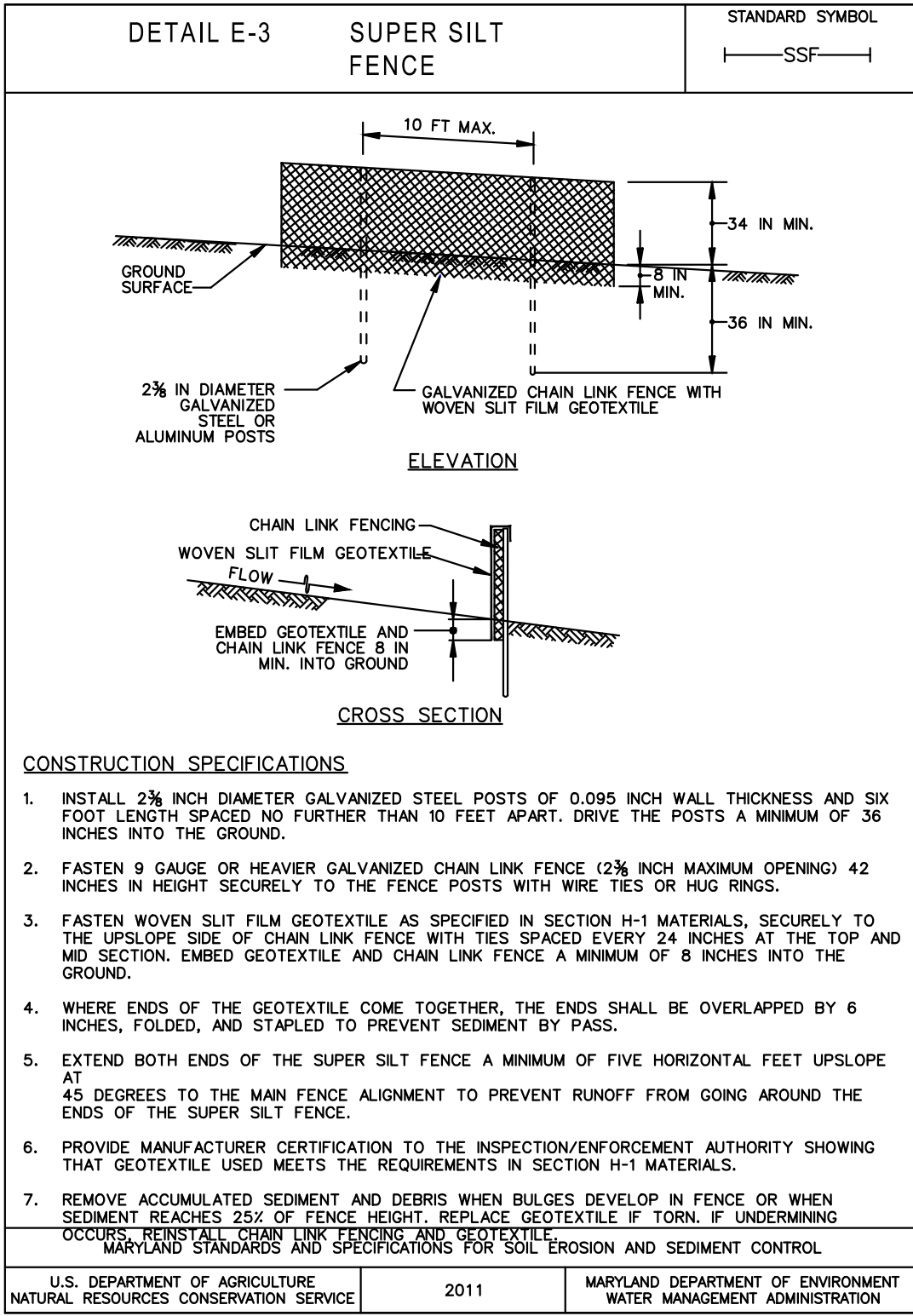
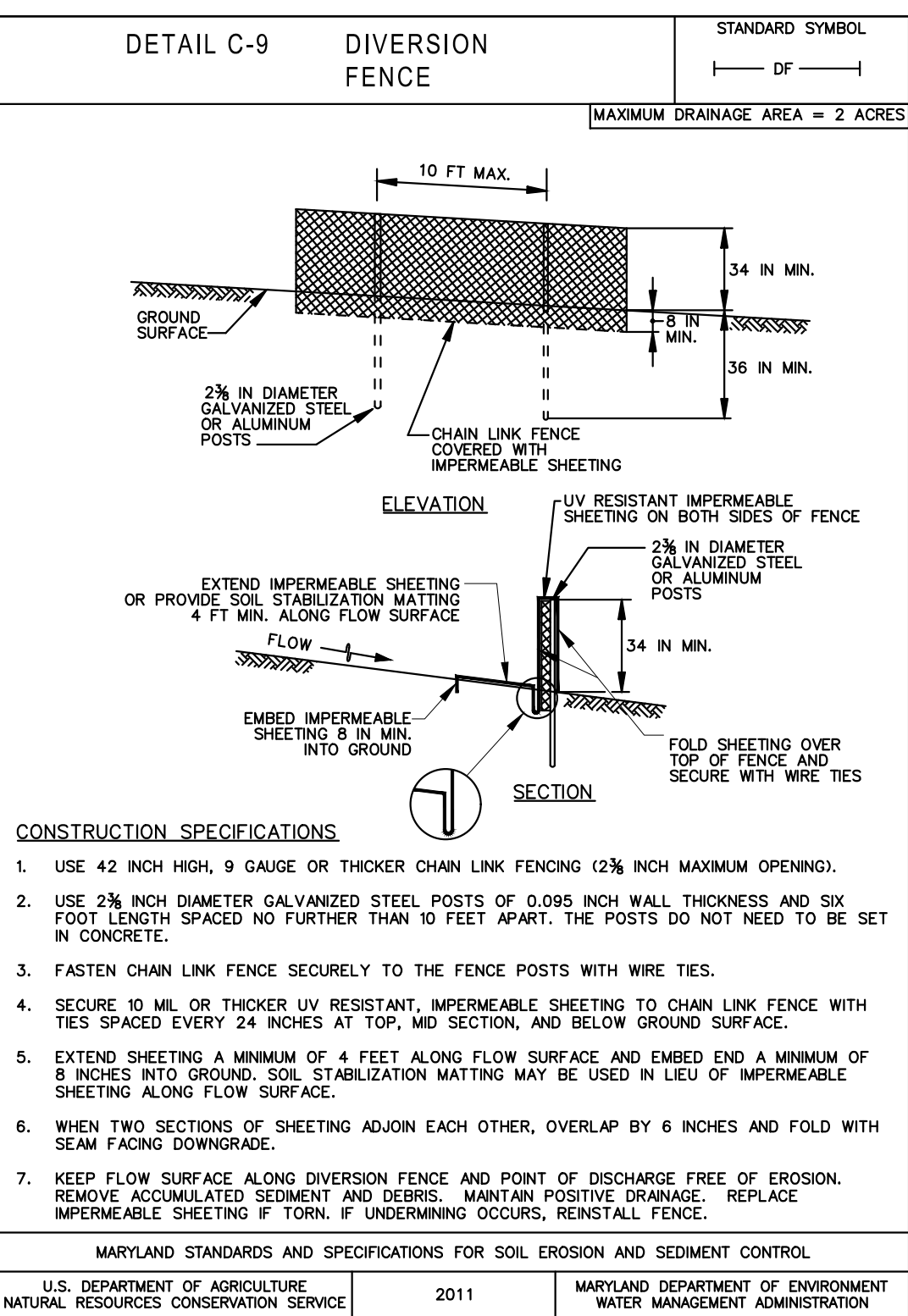
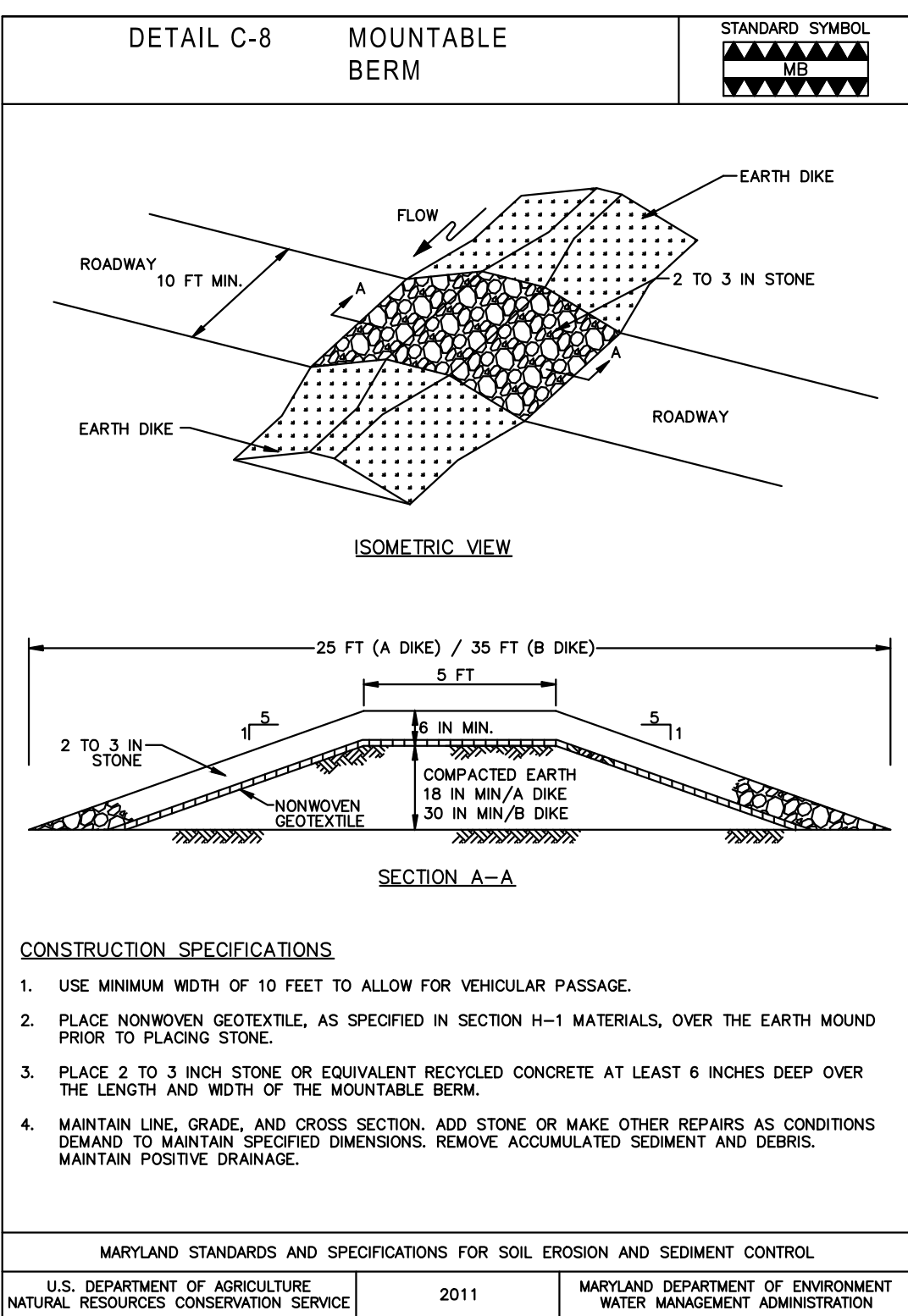
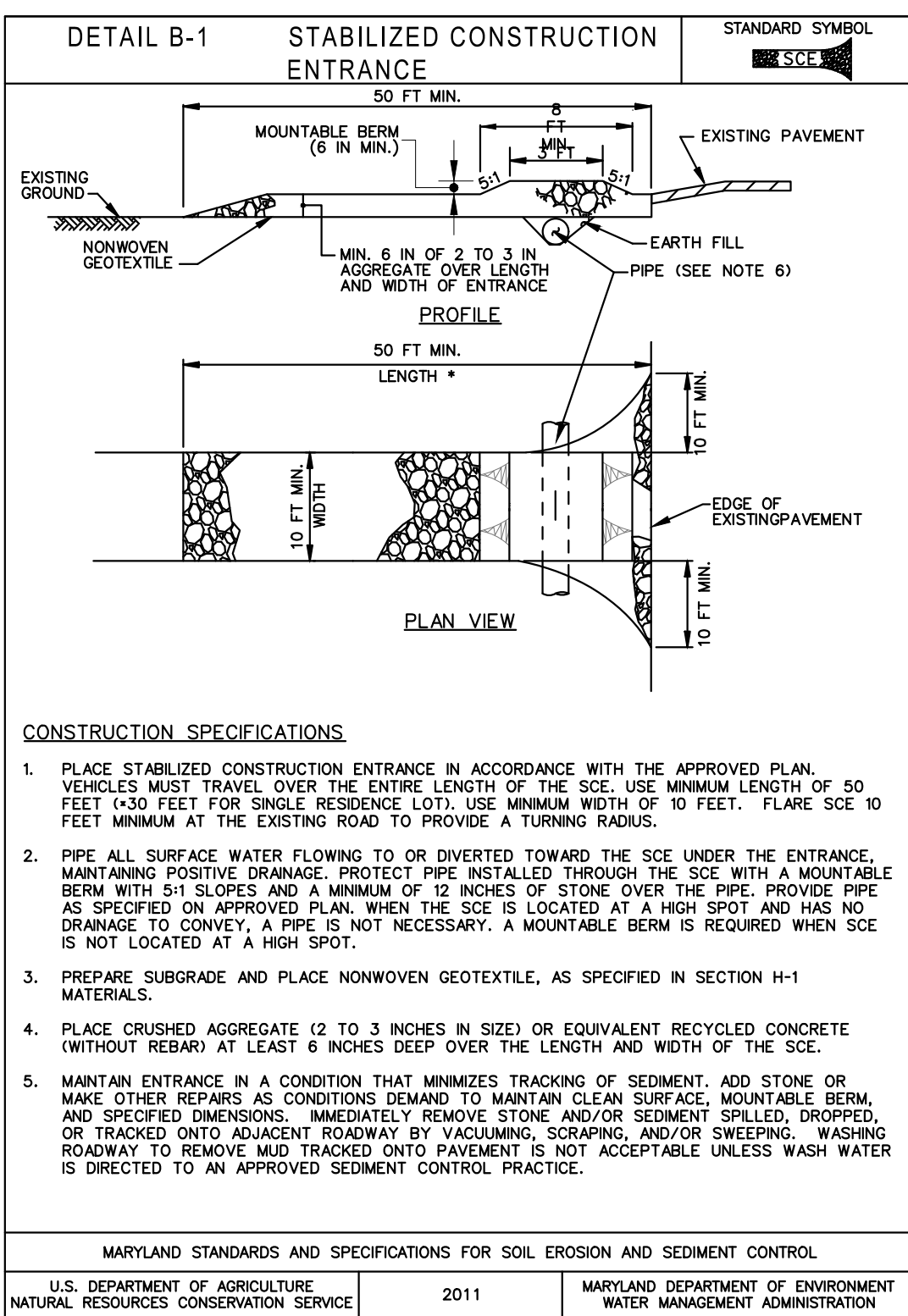
**EROSION CONTROL  
 PLAN - FINAL**

**EVERBROOKE ACADEMY  
 ELDERSBURG STATION**  
 PREPARED FOR  
**OPPIDAN**  
 CARROLL COUNTY, MD

SHEET NUMBER  
**C-210**



Plotted By: Malico, James - Sheet: Eidersburg Station - Layout: C-220 EROSION CONTROL DETAILS - Everbrook - September 06, 2024 - 11:51:22am - Kimley-Horn.com \A\_T\_BCO\_BCO\_DSL16D74D62-Everbrook - Eidersburg Station CAD\PlanSheets\Concept\Plan\_C-220 - C-220 EROSION CONTROL DETAILS AND NOTES.dwg  
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 LICENSE NO.: 31373

KHA PROJECT: 160774062  
 DATE: 08/29/2024  
 SCALE:  
 DESIGNED BY: JPM  
 DRAWN BY: INJ  
 CHECKED BY: JPM

EROSION CONTROL DETAILS

SHEET NUMBER  
**C-220**

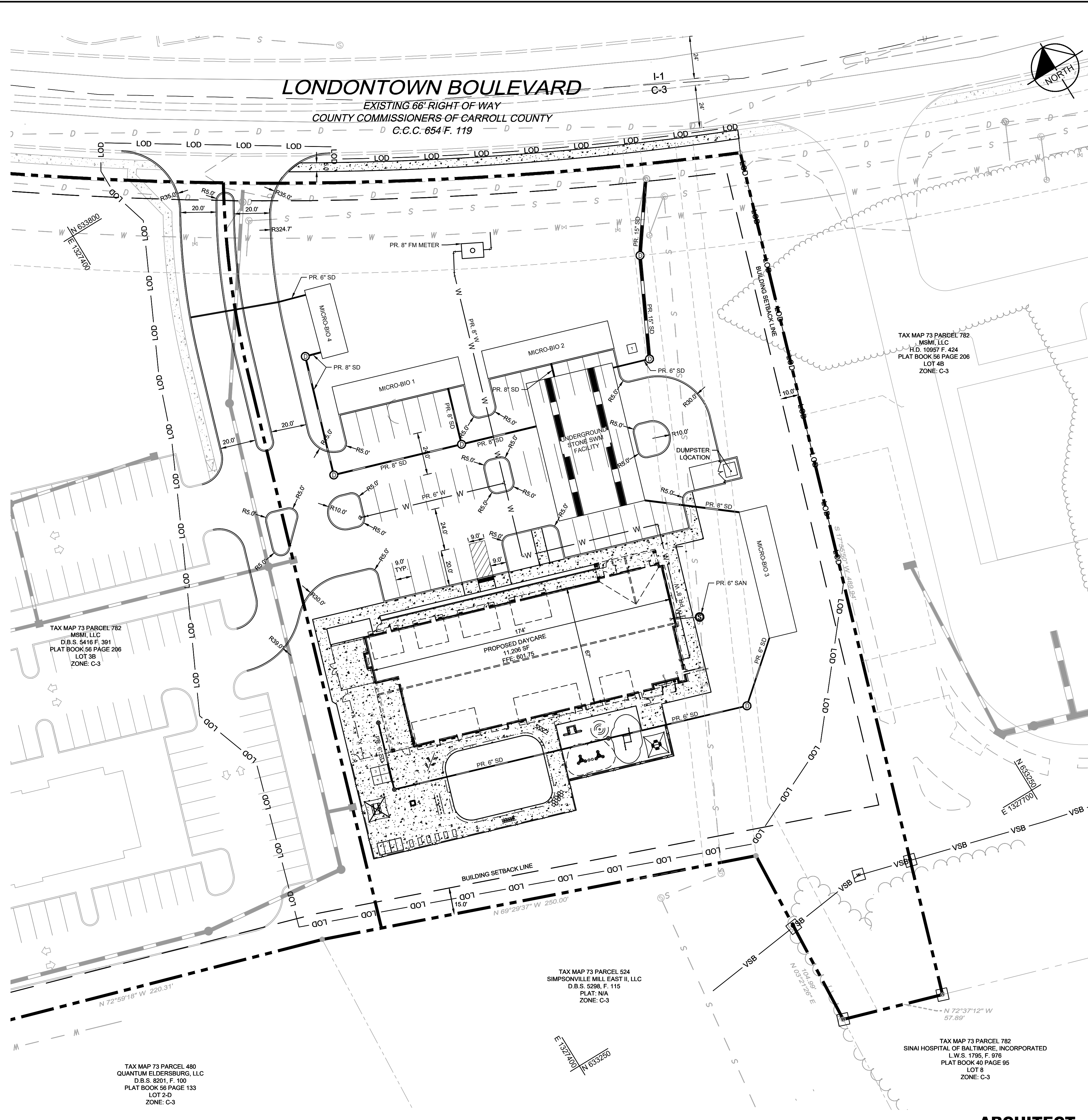
NO. REVISIONS DATE BY



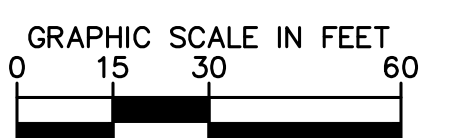
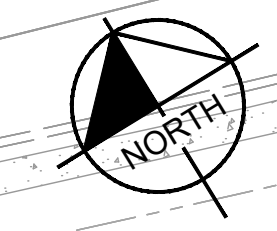




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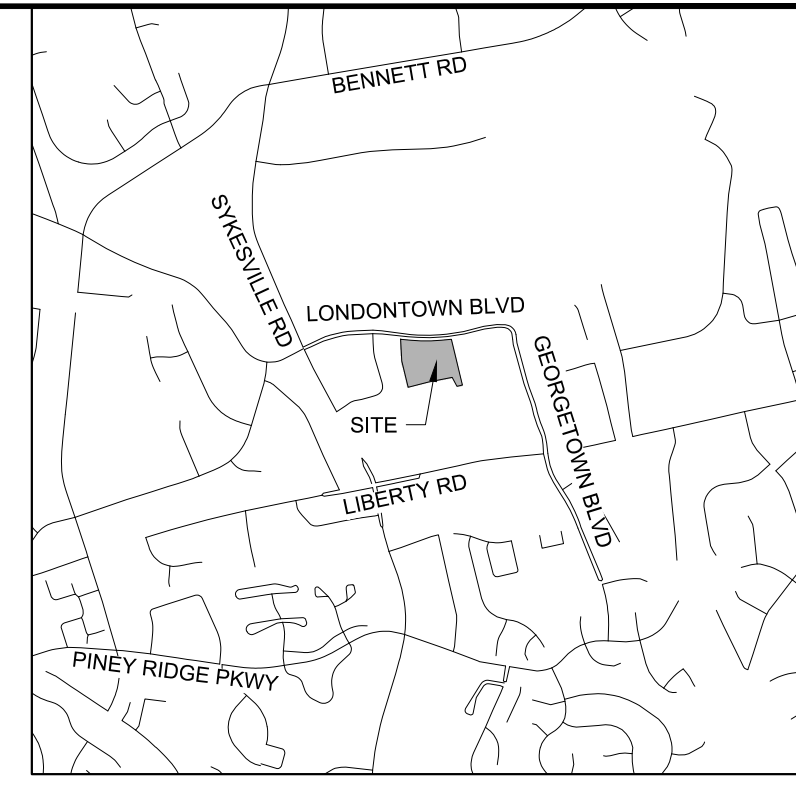
**LONDONTOWN BOULEVARD**  
 EXISTING 66' RIGHT OF WAY  
 COUNTY COMMISSIONERS OF CARROLL COUNTY  
 C.C.C. 654 F. 119



**PLAN**  
 SCALE: 1" = 30'

**GENERAL NOTES-ROADS**

- CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES:  
 1.1. DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.  
 1.2. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.  
 1.3. BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.  
 1.4. MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.  
 1.5. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.
- ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.
- THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
- CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY INSPECTION DIRECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
- LOCATIONS OF EXISTING UTILITIES ARE SHOWN ONLY AS NOTIFICATION TO CONTRACTOR OF THE PRESENCE OF UNDERGROUND UTILITIES. CARROLL COUNTY AND THE DESIGN ENGINEER DO NOT WARRANT OR GUARANTEE CORRECTNESS OR COMPLETENESS OF INFORMATION SHOWN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY AT 1-800-257-7777 FOR VERIFYING EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY DAMAGE TO EXISTING UTILITIES DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT CONTRACTORS EXPENSE.
- DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.
- IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
- IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLIC WORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.
- FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.
- CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.
- DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.
- INLET GRADES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.
- PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
- WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE ON ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1.0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED.
- ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED IN THE UTILITY PERMIT.
- ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE. AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.
- OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROWED MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.
- THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.
- PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.
- CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY PUBLIC RIGHT-OF-WAY.

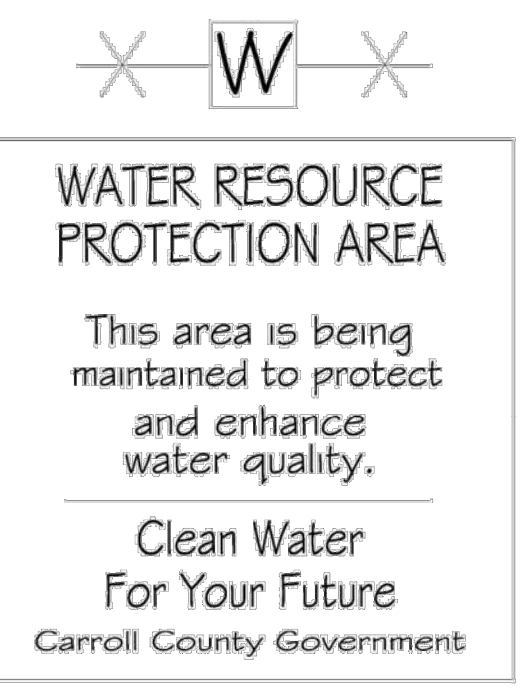


**VICINITY MAP**  
 SCALE: 1" = 2000'

**SITE LEGEND**

	PROPERTY LINE
	LIMIT OF DISTURBANCE
	EXISTING EASEMENT
	BUILDING SETBACK LINE
	ADJACENT PROPERTY LINE
	VARIABLE WIDTH STREAM BUFFER
	EXISTING BUILDING
	EXISTING ZONING BOUNDARY
	EXISTING CURB
	EXISTING TREE LINE
	EXISTING SIDEWALK
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SEWER
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING INLET
	EXISTING STORM DRAIN MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING WATER STRUCTURE
	PROPOSED BUILDING
	PROPOSED CURB
	PROPOSED FENCE
	PROPOSED PAVEMENT MARKING
	PROPOSED SIDEWALK
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED STORM DRAIN
	PROPOSED WATER
	PROPOSED SANITARY
	PROPOSED INLET
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER FITTINGS
	PROPOSED FIRE HYDRANT

**WATER RESOURCE PROTECTION SIGN DETAIL**



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 EXPIRATION DATE: 02/29/2026

KHA PROJECT: 160774062  
 DATE: 08/29/2024  
 SCALE: AS SHOWN  
 DESIGNED BY: JPM  
 DRAWN BY: NJC  
 CHECKED BY: JPM

**EVERBROOKE ACADEMY  
 ELDERSBURG STATION**  
 PREPARED FOR  
**OPPIDAN**  
 CARROLL COUNTY, MD

SHEET NUMBER  
**C-300**

NO.	REVISIONS	DATE	BY



Plotted By: Malico, James. Sheet: Eldersburg Station. Layout: C-400. STORMWATER MANAGEMENT PLAN. September 05, 2024. 11:52:22am. \\Kimley-Horn.com\AT\BICO\BICO-DS\160774062-Everbrook - Eldersburg Station\CAD\PlanSheets\Concept\Plan\C-400. STORMWATER MANAGEMENT PLAN.dwg  
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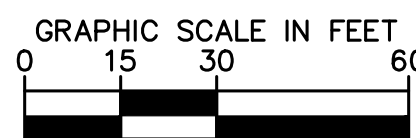


TAX MAP 73 PARCEL 782  
 MSM, LLC  
 D.B.S. 5416 F. 391  
 PLAT BOOK 58 PAGE 206  
 LOT 3B  
 ZONE: C-3

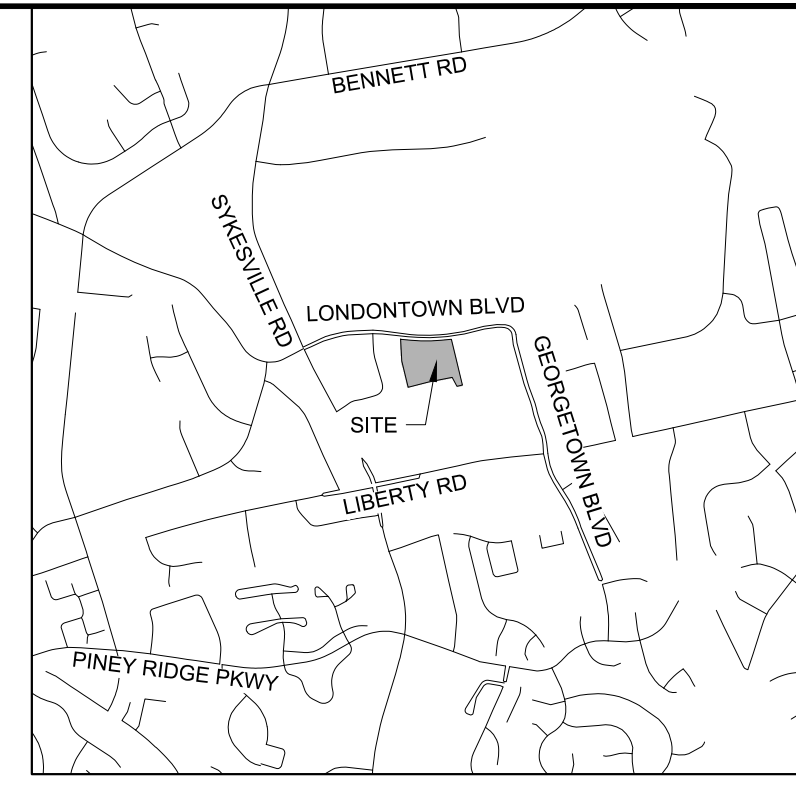
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 QUANTUM ELDERSBURG, LLC  
 D.B.S. 8201, F. 100  
 PLAT BOOK 56 PAGE 133  
 LOT 2-D  
 ZONE: C-3

TAX MAP 73 PARCEL 524  
 SIMPSONVILLE MILL EAST II, LLC  
 D.B.S. 5298, F. 115  
 PLAT: N/A  
 ZONE: C-3

TAX MAP 73 PARCEL 782  
 SINAI HOSPITAL OF BALTIMORE, INCORPORATED  
 L.W.S. 1795, F. 978  
 PLAT BOOK 40 PAGE 95  
 LOT 8  
 ZONE: C-3



**PLAN**  
 SCALE: 1" = 30'



**VICINITY MAP**  
 SCALE: 1" = 2000'

**STORMWATER  
 MANAGEMENT LEGEND**

	PROPERTY LINE
	LIMIT OF DISTURBANCE
	EXISTING EASEMENT
	ADJACENT PROPERTY LINE
	VARIABLE WIDTH STREAM BUFFER
	EXISTING BUILDING
	EXISTING ZONING BOUNDARY
	EXISTING CURB
	EXISTING TREE LINE
	EXISTING SIDEWALK
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SEWER
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING INLET
	EXISTING STORM DRAIN MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING WATER STRUCTURE
	EXISTING SOIL BOUNDARY
	PROPOSED BUILDING
	PROPOSED CURB
	PROPOSED FENCE
	PROPOSED PAVEMENT MARKING
	PROPOSED SIDEWALK
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED STORM DRAIN
	PROPOSED INLET
	PROPOSED STORM DRAIN MANHOLE
	DRAINAGE BOUNDARY

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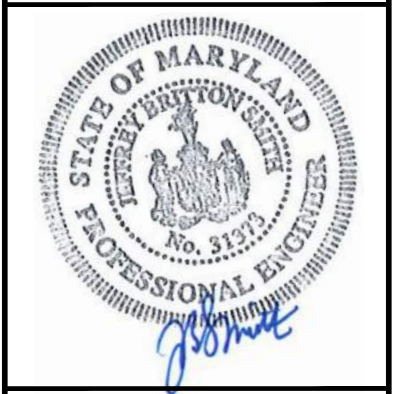
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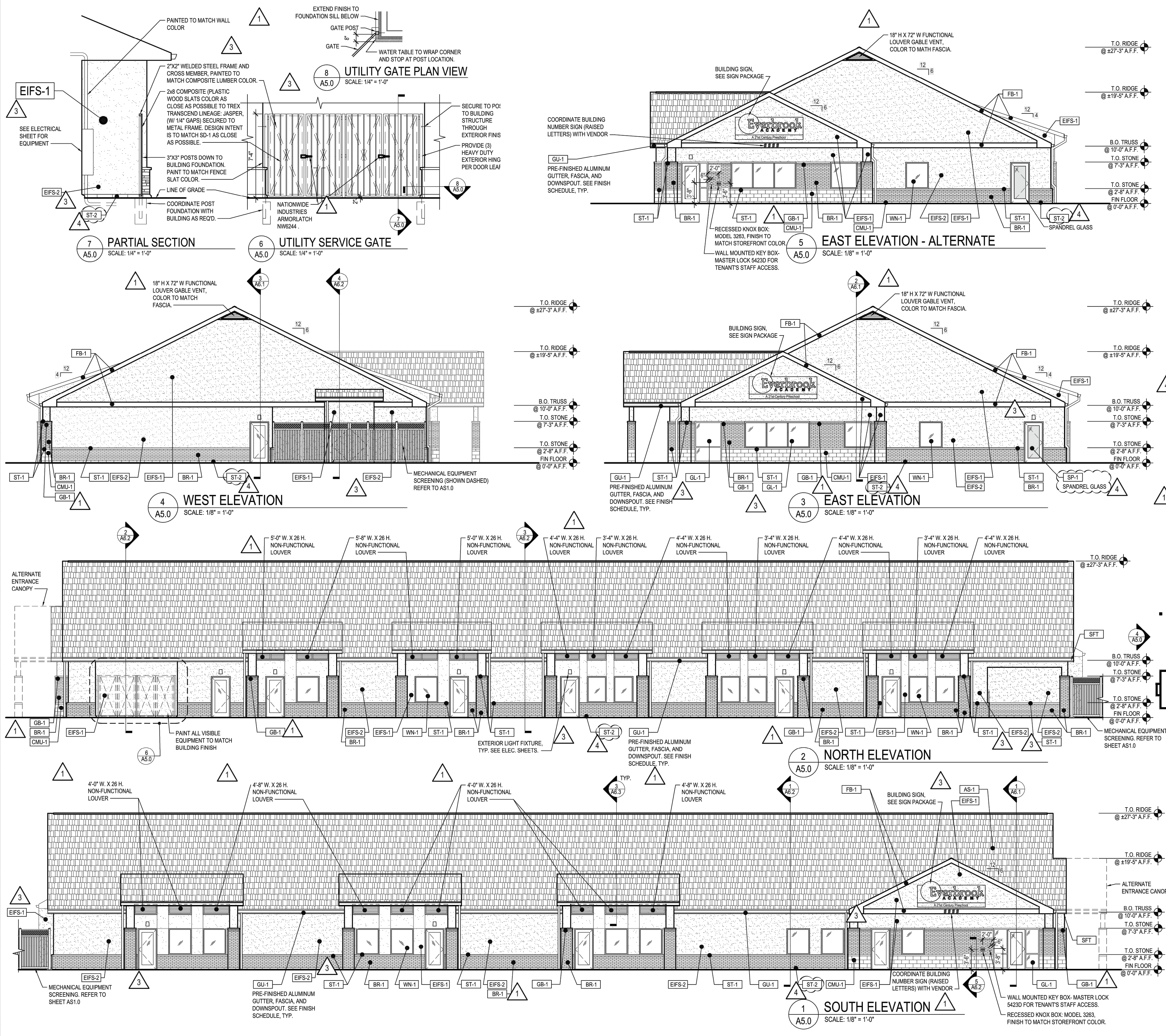
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KHA PROJECT	160774062	DATE	08/29/2024
SCALE	JPM	DRAWN BY	JPM
EXPIRATION DATE	08/29/2024	CHECKED BY	JPM

**EVERBROOKE ACADEMY  
 ELDERSBURG STATION  
 MANAGEMENT PLAN**

PREPARED FOR  
**OPPIDAN**  
 CARROLL COUNTY, MD  
 SHEET NUMBER  
**C-400**





**EXTERIOR ELEVATIONS GENERAL NOTES**

1. ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
2. EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
3. ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
4. PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.
6. GC SHALL PAINT ANY EXPOSED PIPES, CONDUITS, OR UTILITY BOXES THAT ARE VISIBLE FROM THE SITE TO MATCH ADJACENT BUILDING EXTERIOR FINISH.

**EXTERIOR FINISH LEGEND**

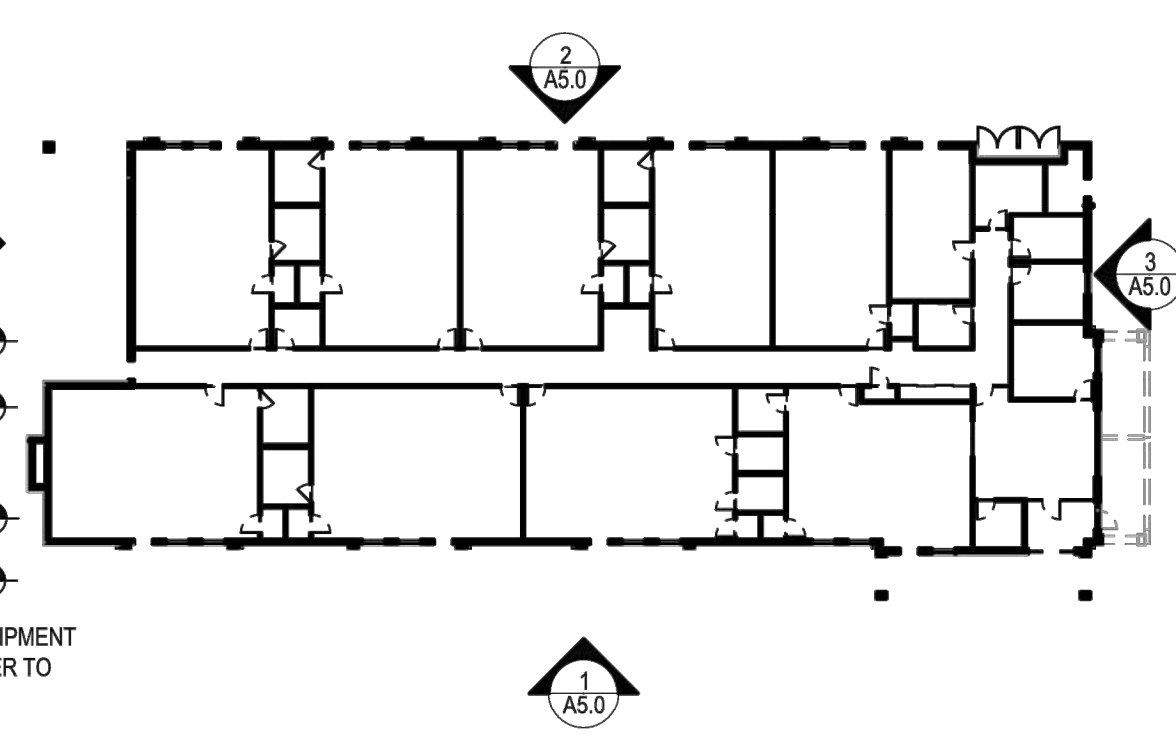
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BR-1	BRICK: BELDEN, 671 VELOUR
CMU-1	OHIO SPLIT FACE CMU: WHITE BY ECHELON MASONRY OR APPROVED SIMILAR
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #111 PRAIRIE CLAY
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #142ST SPECTRUM BROWN
FB-1	FASCIA BOARD: HARDIE, COLOR: AGED PEWTER
GB-1	GLAZED BRICK: ACME BRICK - FUSION VELOUR SERIES, COLOR: CONCORDE
GL-1	CLEAR ANODIZED STOREFRONT SYSTEM, GLAZING COLOR: CLEAR
GU-1	PRE-FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR TO MATCH FASCIA. (FB-1)
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. (AGED PEWTER) AS CLOSE AS POSSIBLE
ST-1	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
ST-2	GROUNDFAÇE-40YS BY EP HENRY OR EQUAL
WN-1	VINYL WINDOWS, COLOR: ALMOND
SP-1	INSULATED SPANDREL GLASS. APPLY SPANDREL COATING TO GLAZING SURFACE #3. COLOR MEDIUM GREY.
DOOR FRAMES	PAINT INTERIOR FACE OF H.M. DOORS COLOR: SW 731 CANVAS TAN, U.N.O. PAINT EXTERIOR FACE OF H.M. DOORS AND FRAMES COLOR: TO MATCH THE GLAZED BRICK (GB-1)
DECORATIVE LOUVER	SURFACE MOUNTED PVC VENT - NON-FUNCTIONAL STANDARD LOUVER W/ NARROW FLAT TRIM BY "ARCHITECTURAL DEPOT" OR SIMILAR. PRIME & PAINT TO MATCH FASCIA COLOR. (VINYL SAFE 100% ACRYLIC LATEX PAINT)
MTL TRIMS AND FLASHING	PRE-FINISHED METAL: COLOR TO MATCH ADJACENT FINISH AS CLOSE AS POSSIBLE, U.N.O.



Lakewood, Ohio 44107  
17710 Detroit Avenue  
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**REVISIONS**

#	DATE	REVISION
1	12/15/2023	PROTOTYPE UPDATES
2	02/01/2022	PROTOTYPE UPDATES
3	02/27/2023	PROTOTYPE UPDATES
4	08/01/2023	PROTOTYPE UPDATES
5	11/17/2023	PROTOTYPE UPDATES
6		
7		
8		
9		

**EVERBROOK EXTERIOR ELEVATIONS**

DATE 02/01/2022  
JOB NO. 19516

**A5.0E**  
SHEET NO.







Plotted By: Malico, James Sheet Set: Eldersburg Station Layout: C-610 LANDSCAPE NOTES AND DETAILS September 06, 2024 11:53:27am \\Kimley-Horn.com\AT\_BCO\_BCO\_DS\160774062-Everbrook - Eldersburg Station\CA01\PlanSheets\Concept\Plan\C-600 LANDSCAPE PLAN.dwg  
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**LANDSCAPING NOTES**

1. ALL PLANT SPECIFICATIONS SHALL BE IDENTIFIED IN ACCORDANCE WITH THE LATEST EDITION OF HORTUS THIRD, BY "THE STAFF OF THE HORTORIUM".
2. ALL NURSERY STOCK SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN, INC. STANDARDS AS DESCRIBED IN AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT ANSI A-300 SPECIFICATIONS.
3. LANDSCAPE SPECIFICATIONS SHALL CONFORM TO LANDSCAPE GUIDELINES FOR MARYLAND, WASHINGTON, D.C., AND VIRGINIA, LATEST EDITION. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GUIDELINES.
4. THREE (3) INCHES TOPSOIL ON ALL DISTURBED AREAS TO BE LANDSCAPED, SEEDED OR SODDED IS REQUIRED.
5. A SEPARATE PLAN LABELED "LANDSCAPE PLAN" (MAY BE COMBINED WITH FOREST CONSERVATION PLAN) IS REQUIRED. LANDSCAPE REQUIREMENTS MAY NOT BE COMBINED THE FOREST CONSERVATION PLAN.

**MAINTENANCE RESPONSIBILITY**

THE OWNER OF ANY PROPERTY ON WHICH LANDSCAPING HAS BEEN INSTALLED PURSUANT TO THIS CHAPTER SHALL MAINTAIN THE LANDSCAPING IN GOOD CONDITION IN PERPETUITY. A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE REQUIRED. FAILURE TO REPLACE DEAD OR DYING PUS IS A VIOLATION OF THIS CHAPTER.

**INSPECTIONS**

A MINIMUM OF TWO INSPECTIONS WILL BE REQUIRED:

- A. INITIAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED WHEN PLANTING IS COMPLETED TO VERIFY COMPLIANCE WITH THE APPROVED PLANTING PLAN. THE INSPECTION SHALL BEE PERFORMED BY A LANDSCAPE ARCHITECT. A COMPLETED AND SEALED LANDSCAPE CERTIFICATION SHALL BE PROVIDED WITH PHOTOGRAPHS OR OTHER VISUAL DOCUMENTATION. THE 12 MONTH SURVIVAL PERIOD WILL BEGIN UPON RECEIPT OF THE LANDSCAPE CERTIFICATION.
- B. FINAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY 12 MONTHS AFTER CERTIFICATION OF THE INITIAL PLANTING.
- C. ACCEPTABLE PLANT SURVIVAL SHALL BE DEFINED AS NOT MORE THAN 1/3 MORTALITY. A 12 MONTH INSPECTION WILL BE PERFORMED BY THE COUNTY. NO INSPECTION SHALL BE FINALIZED FROM NOVEMBER 1 TO MARCH 1.

**LANDSCAPE PLANTING SPECIFICATIONS**

**GENERAL**

PLANT MATERIALS SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK SPONSORED BY AMERICAN ASSOCIATION OF NURSERYMAN, INC.

PLANTS SHALL BE SUBJECT TO INSPECTION BY THE CARROLL COUNTY OFFICE OF LANDSCAPE AND FOREST CONSERVATION FOR QUALITY, SIZE, COLOR, AND TRUENESS TO SPECIES. PLANTS LACKING COMPACTNESS OR PROPER PROPORTIONS, PLANTS WHICH ARE WEAK OR THIN, AND PLANTS ARE NOT THE SPECIES OR VARIETY CALLED FOR IN THE PLANT LIST WILL NOT BE ACCEPTED. RIGHT IS RESERVED TO REJECT PLANTS THAT ARE CONSIDERED UNSATISFACTORY. REJECTED PLANTS SHALL BE REMOVED FROM THE SITE AND REPLACED WITH PLANTS SPECIFIED. PRUNING PLANTS PRIOR TO DELIVERY SHALL BE PROHIBITED.

SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT THE CONSENT OF THE CARROLL COUNTY OFFICE OF LANDSCAPE AND FOREST CONSERVATION. IF PROOF IS SUBMITTED THAT SPECIFIC PLANTS OR SIZES ARE UNOBTAINABLE, PROPOSALS WILL BE CONSIDERED FOR THE NEAREST EQUIVALENT SIZE OR VARIETY WITH EQUITABLE ADJUSTMENT TO THE CONTRACT PRICE.

PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEM. THEY SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECT, DECAY, DAMAGED ROOTS, SUN-SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECTS PESTS EGGS, BORERS, AND FORMS OF INFESTATIONS AND OBJECTIONABLE DISFIGUREMENTS.

PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFICALLY PERMITTED IN EACH INSTANCE AND SHALL HAVE BEEN GROWING UNDER SIMILAR CLIMATIC CONDITIONS AS THE LOCATION OF THE PROJECT FOR AT LEAST 2 YEARS PRIOR TO THE DATE OF THE PLANTING CONTRACT.

**REFERENCES**

1. ALL PLANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH HORTUS THIRD, BY L.H. BAILEY, 1976.
2. ALL NURSERY STOCK SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN, INC. STANDARDS FOR NURSERY STOCK, PUBLICATION ANSI Z60.1-1980 LATEST EDITION.
3. LANDSCAPE SPECIFICATIONS SHALL CONFORM TO LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN THE GUIDELINES.

**PLANTING PROCEDURES**

PLANTS SHALL BE FRESHLY DUG AT TIME OF DELIVERY. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF ADEQUATE SIZE, THE BALLS SECURELY WRAPPED WITH BURLAP OR CANVAS, TIGHTLY BOUND WITH ROPE OR WIRE.

**THE PLANTING SEASONS FOR PLANT MATERIAL SHALL BE AS FOLLOWS:**

DECIDUOUS TREES AND SHRUBS: OCTOBER 15 THRU DECEMBER 15  
 APRIL 1 THRU MAY 15

EVERGREEN TREES, SHRUBS AND VINES: SEPTEMBER 1 THRU NOVEMBER 15  
 APRIL 1 THRU MAY 15

AT THE OPTION AND FULL RESPONSIBILITY OF THE CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS WITHOUT ADDITIONAL COMPENSATION.

PLANTING AND BACKFILL MIX SHALL CONSIST OF 3 PARTS EXCAVATED SOIL, 1 PART HUMUS.

REASONABLE CARE SHALL BE EXERCISED TO HAVE PITS DUG AND SOIL PREPARED PRIOR TO MOVING PLANTS ON SITE FOR PLANTING TO ENSURE THAT THEY WILL NOT BE UNNECESSARILY EXPOSED TO DRYING ELEMENTS OR PHYSICAL DAMAGE. SIZE OF PITS SHALL BE 1 1/2 TO 2 TIMES THE DIAMETER OF THE ROOT BALL AND THE ROOT BALL SHALL BE ELEVATED 1/2 HEIGHT OF THE ROOT BALL ABOVE THE GROUND TO ALLOW FOR DRAINAGE. A BROAD MOUND OF SOIL SHALL BE LEFT AROUND THE BASE TO ENABLE THE ELEVATION TO BLEND INTO THE SITE.

GROUND COVER AREAS SHALL BE PREPARED AS SPECIFIED BEFORE. PLANT GROUND COVER TO WITHIN 1' OF TREE TRUNKS OR SHRUBS.

PLANT HOLES SHALL BE BACKFILLED WITH SOIL MIX SPECIFIED ABOVE PLACED IN LAYERS AROUND THE ROOTS OR BALL. EACH LAYER SHALL BE CAREFULLY TAMPED TO AVOID INJURY TO PLANTS AND ROOTS. WHEN HOLES ARE APPROXIMATELY TWO-THIRDS FULL, THE HOLE SHALL BE FILLED WITH WATER AND SOILS ALLOWED TO SETTLE AROUND THE ROOTS. AFTER THE WATER HAS BEEN ABSORBED THE HOLE SHALL BE FILLED WITH BACKFILL MIX, AND LIGHTLY TAMPED. BERMS, 3" IN HEIGHT SHALL THEN BE FORMED AROUND THE HOLE AS SHOWN ON THE PLANTING DETAILS.

ALL PLANTING BEDS SHALL BE MULCHED WITH PEAT MOSS AND/OR FINELY SHREDDED AND COMPOSTED BARK AS FOLLOWS:  
 GROUND COVER BEDS SHALL BE MULCHED AFTER PLANTING TO A DEPTH OF 1 INCH. OTHER PLANTS SHALL BE MULCHED AFTER PLANTING TO A DEPTH OF 2 INCHES.

MULCH SHALL BE APPLIED IMMEDIATELY AFTER PLANTING TO RETAIN MOISTURE. RAKE SURFACE SMOOTH AND EVEN, THEN SOAK FULL DEPTH OF MULCH THOROUGHLY.

TREES SHALL BE STAKED AND WRAPPED ACCORDING TO THE FOLLOWING:

- A. IF THE SOIL IS WET OR COMPACTED, ALL CONTAINERIZED AND BALLED NURSERY STOCK SHOULD BE PLANTED SUCH THAT THE TOP ONE-THIRD OF THE ROOT BALL IS ABOVE THE EXISTING GRADE. THIS DEPARTURE IN THE ESTABLISHED PROCEDURES HAS BEEN DOCUMENTED TO INCREASE THE RATE OF TRANSPLANT SUCCESS IN THESE TYPES OF SOILS.
- B. WIRE AND NONDEGRADABLE MATERIALS SHOULD BE REMOVED AS FAR AS PRACTICAL BEFORE BACKFILLING TO PREVENT ROOT GIRDLING MAINTENANCE AND REPLACEMENT

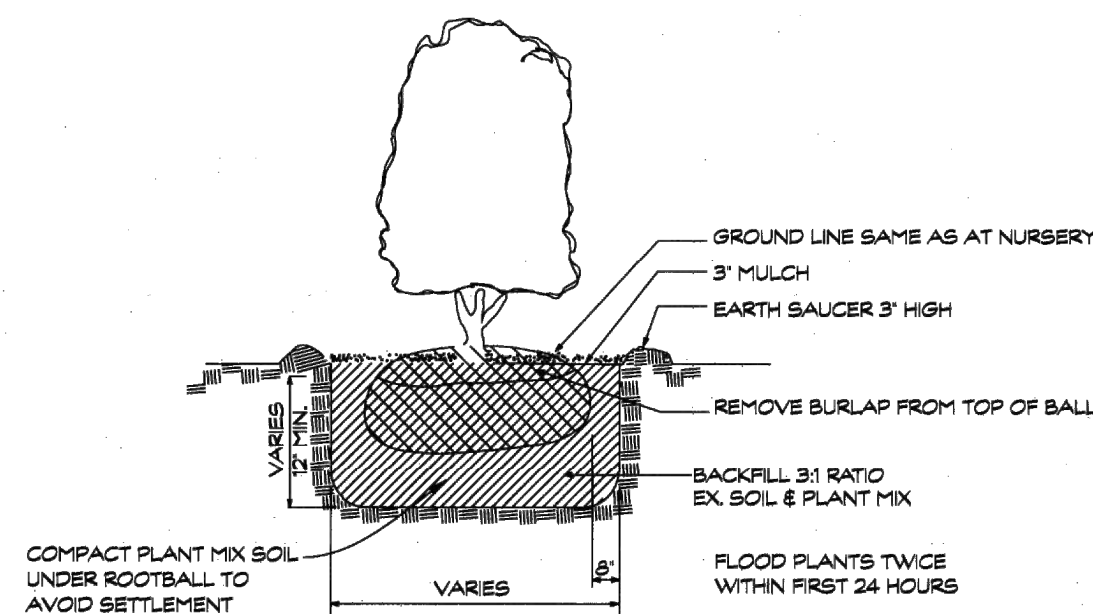
MAINTENANCE OF PLANT MATERIAL SHALL BEGIN WHEN PROJECT COMMENCES AND CONTINUE UNTIL THE FINAL INSPECTION AND ACCEPTANCE. PLANTING MAINTENANCE SHALL INCLUDE ALL NECESSARY WATERING, CULTIVATION, WEEDING, PRUNING, WOUND DRESSING, DISEASE AND INSECT PEST CONTROL, PROTECTIVE SPRAYING, REPLACEMENT OF UNACCEPTABLE MATERIAL, STRAIGHTENING PLANTS WHICH LEAN OR SAG, ADJUSTMENT OF PLANTS WHICH SETTLE OR ARE PLANTED TOO LOW, AND ANY OTHER PROCEDURE CONSISTENT WITH GOOD HORTICULTURAL PRACTICES NECESSARY TO INSURE NORMAL, VIGOROUS, AND HEALTHY GROWTH OF ALL WORK UNDER THIS CONTRACT.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE USE OF ALL MATERIALS, LABOR AND EQUIPMENT, AND ANY INJURY TO PLANT MATERIAL CAUSED BY SUCH MATERIAL, LABOR, AND EQUIPMENT SHALL BE CORRECTED AND REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

A PROVING PERIOD SHALL FOLLOW THE COMPLETION OF ALL PLANTING FOR ONE YEAR. ALL PLANT MATERIAL FOUND TO BE UNSATISFACTORY DURING THE PROVING PERIOD SHALL BE REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER. ALL REPLACEMENTS SHALL HAVE A ONE YEAR PROVING PERIOD AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING TIMES AND SPECIFICATIONS SPECIFIED ABOVE.

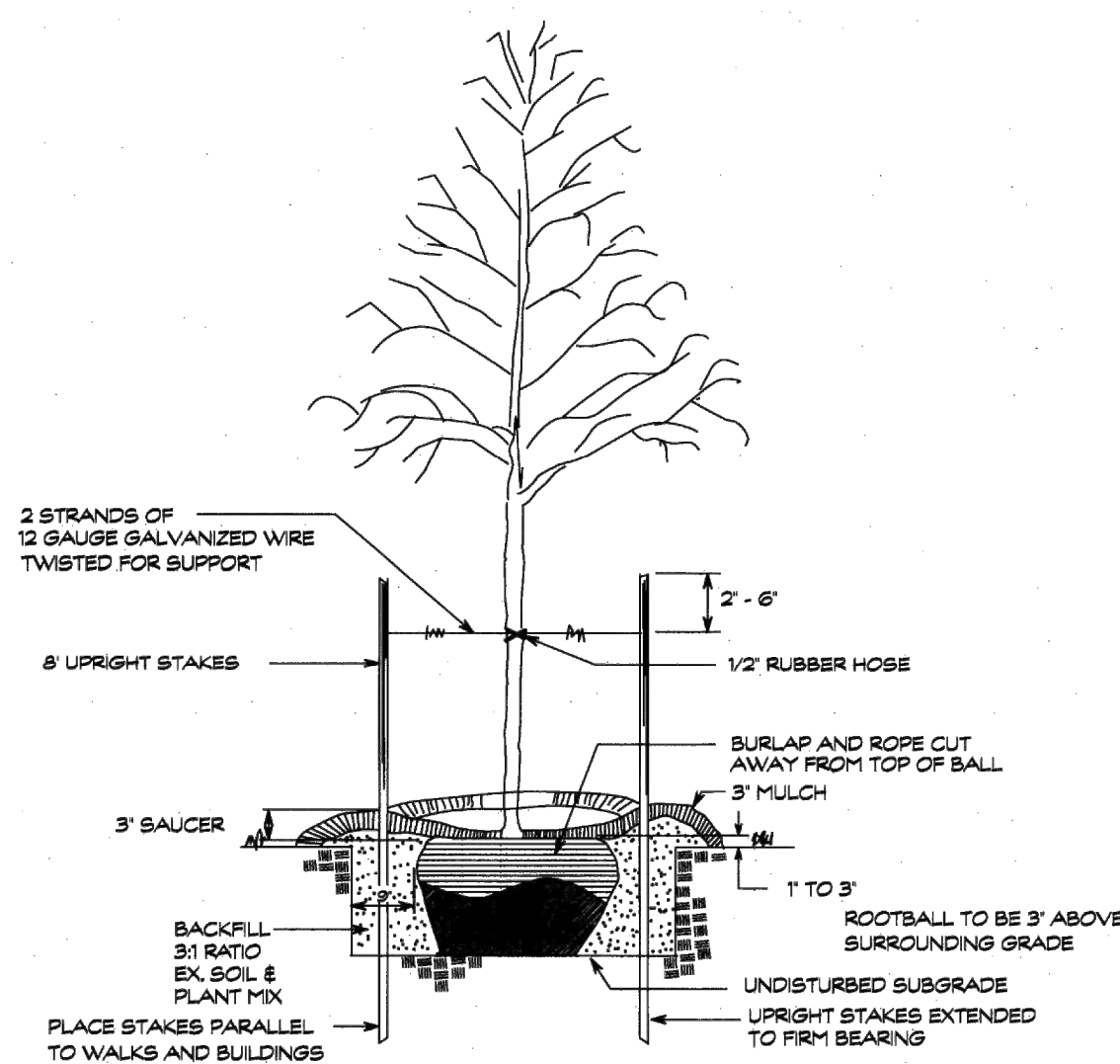
**TREE PROTECTION NOTES**

1. UPON NOTIFICATION OF COUNTY APPROVAL OF THE FINAL LANDSCAPE PLAN, TREES WHICH ARE TO REMAIN SHALL BE MARKED IN THE FIELD BY THE DEVELOPER AND PROTECTED IN AN APPROVED MANNER. TREES WITHIN THE CONSTRUCTION AREA WHICH ARE TO REMAIN UNDISTURBED SHALL BE ENCIRCLED WITH A FENCE FOR PROTECTION. (SNOW FENCING OR OTHER APPROVED METHODS). THE CONTRACTOR SHALL NOT DISTURB THE AREA WITHIN THE FENCE IN ANY MANNER DELETERIOUS TO THE TREES.
2. ANY TRENCHING OPERATIONS WITHIN THE VICINITY OF TREES SHOULD BE DONE IN A MANNER TO PROTECT THE TREE ROOTS. TEARING AND RIPPING OF TREE ROOTS SHOULD BE AVOIDED. ROOTS SHOULD BE SEVERED NEATLY.
3. ALL TREES TO BE REMOVED SHOULD BE REMOVED IN A MANNER THAT WILL NOT DAMAGE THE REMAINING TREES. ANY TREES THAT ARE TO REMAIN THAT ARE DAMAGED DURING CLEARING OPERATION MUST BE REPAIRED IN AN APPROVED MANNER BY A TREE EXPERT AS SOON AS FINAL CLEARING HAS BEEN COMPLETED. AFTER CONSTRUCTION IS COMPLETED, TEMPORARY BARRIERS, SURPLUS MATERIALS AND ALL TRASH, DEBRIS, AND RUBBISH SHALL BE REMOVED FROM THE SITE. ALL BACKFILL SHALL BE CLEAR OF BUILDING MATERIAL, STONE AND RUBBISH.
4. EXISTING TREES (PARTICULARLY MATURE TREES) WHICH ARE RETAINED WILL UNDERGO "POST OPERATIVE SHOCK" CAUSED BY THE CONSTRUCTION ACTIVITY. ALL POSSIBLE SAFEGUARDS SHOULD BE TAKEN TO MINIMIZE THESE EFFECTS AND TO PROVIDE OPTIMUM GROWTH CONDITIONS. FOLIAGE FEEDING AND LIQUID OR ROOT FEEDING ARE ENCOURAGED. BRANCH AND FOLIAGE THINNING ARE ALSO DESIRABLE.



**SHRUB PLANTING DETAIL**

NOT TO SCALE



**TREE PLANTING DETAIL**

NOT TO SCALE

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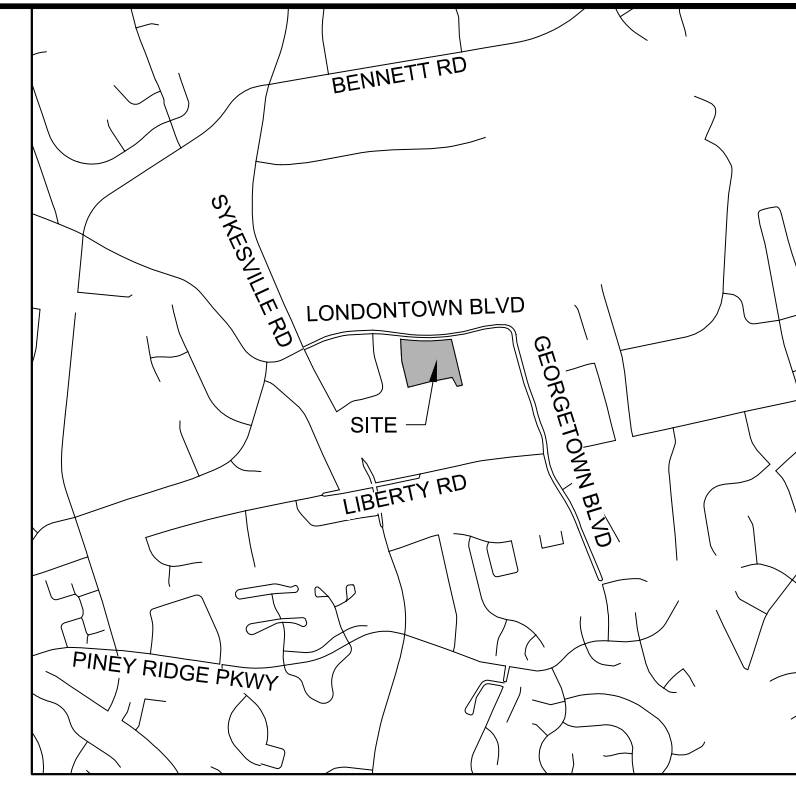
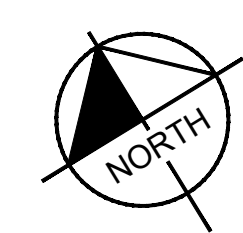
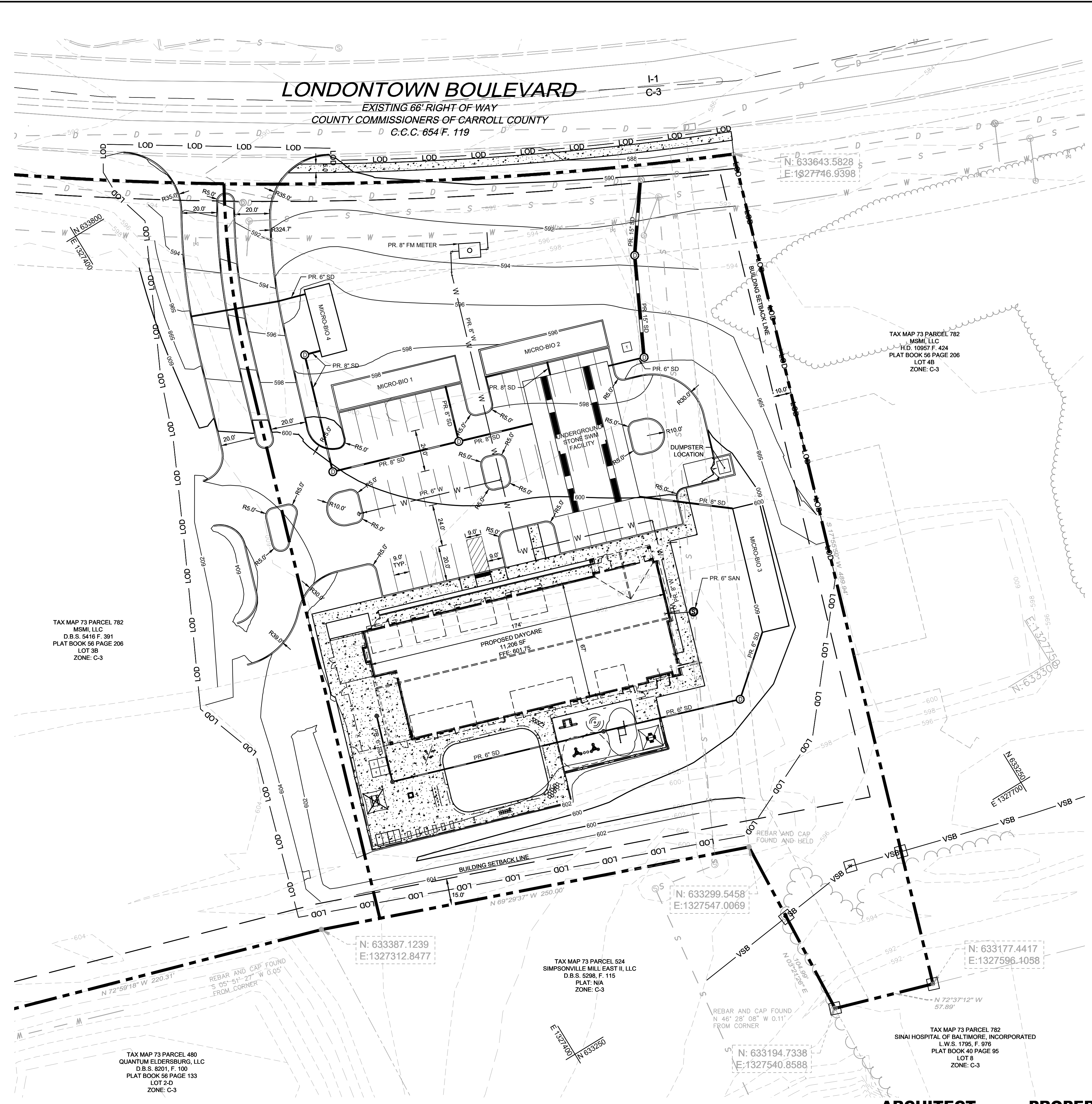
PROJECT NO.	160774062
DATE	08/29/2024
SCALE	AS SHOWN
DESIGNED BY	JPM
DRAWN BY	NUJ
CHECKED BY	JPM
LICENSE NO.	33373
EXPIRATION DATE	01/01/2028

**LANDSCAPE NOTES AND DETAILS**

EVERBROOKE ACADEMY  
 ELDERSBURG STATION  
 PREPARED FOR  
 OPPIDAN  
 CARROLL COUNTY, MD



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**VICINITY MAP**  
SCALE: 1" = 2000'

**SITE LEGEND**

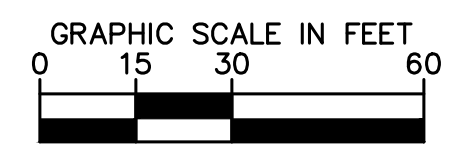
- PROPERTY LINE
- LIMIT OF DISTURBANCE
- EXISTING EASEMENT
- BUILDING SETBACK LINE
- ADJACENT PROPERTY LINE
- VARIABLE WIDTH STREAM BUFFER
- EXISTING BUILDING
- EXISTING ZONING BOUNDARY
- EXISTING CURB
- EXISTING TREE LINE
- EXISTING SIDEWALK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SEWER
- EXISTING STORM DRAIN
- EXISTING WATER
- EXISTING INLET
- EXISTING STORM DRAIN MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING WATER STRUCTURE
- PROPOSED BUILDING
- PROPOSED CURB
- PROPOSED PAVEMENT MARKING
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED WATER
- PROPOSED SANITARY
- PROPOSED INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER FITTINGS
- PROPOSED FIRE HYDRANT

TAX MAP 73 PARCEL 782  
MSML LLC  
D.B.S. 5416 F. 391  
PLAT BOOK 56 PAGE 206  
LOT 38  
ZONE: C-3

TAX MAP 73 PARCEL 782  
MSML LLC  
D.B.S. 10857 F. 424  
PLAT BOOK 56 PAGE 206  
LOT 4B  
ZONE: C-3

TAX MAP 73 PARCEL 524  
SIMPSONVILLE MILL EAST II, LLC  
D.B.S. 5628 F. 115  
PLAT: N/A  
ZONE: C-3

TAX MAP 73 PARCEL 480  
QUANTUM ELDERSBURG, LLC  
D.B.S. 8201 F. 100  
PLAT BOOK 56 PAGE 133  
LOT 7-D  
ZONE: C-3



**PLAN**  
SCALE: 1" = 30'

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DESIGN & DRAWING BASED ON  
MARYLAND COORDINATE SYSTEM.  
HORIZONTAL NAD 83/91  
VERTICAL NAVD 88

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KHA PROJECT	160774062	DATE	08/29/2024	DESIGNED BY	JPM	IN/C	JPM	CHECKED BY	JPM
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LIGHTING PLAN

EVERBROOKE ACADEMY  
ELDERSBURG STATION

PREPARED FOR  
**OPPIDAN**  
 CARROLL COUNTY, MD

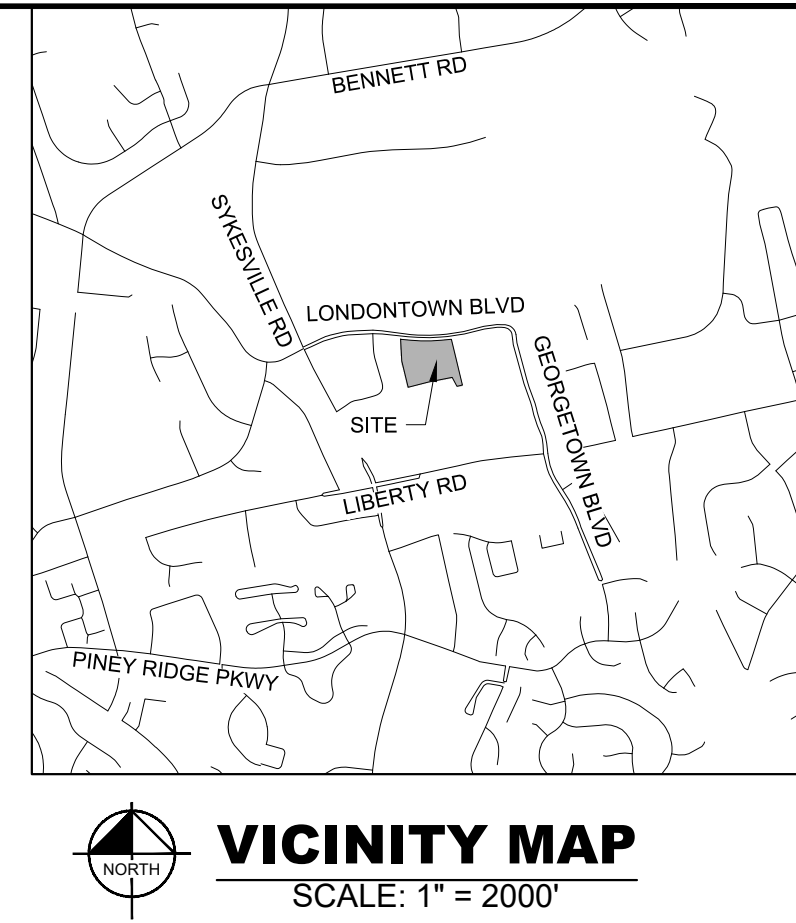
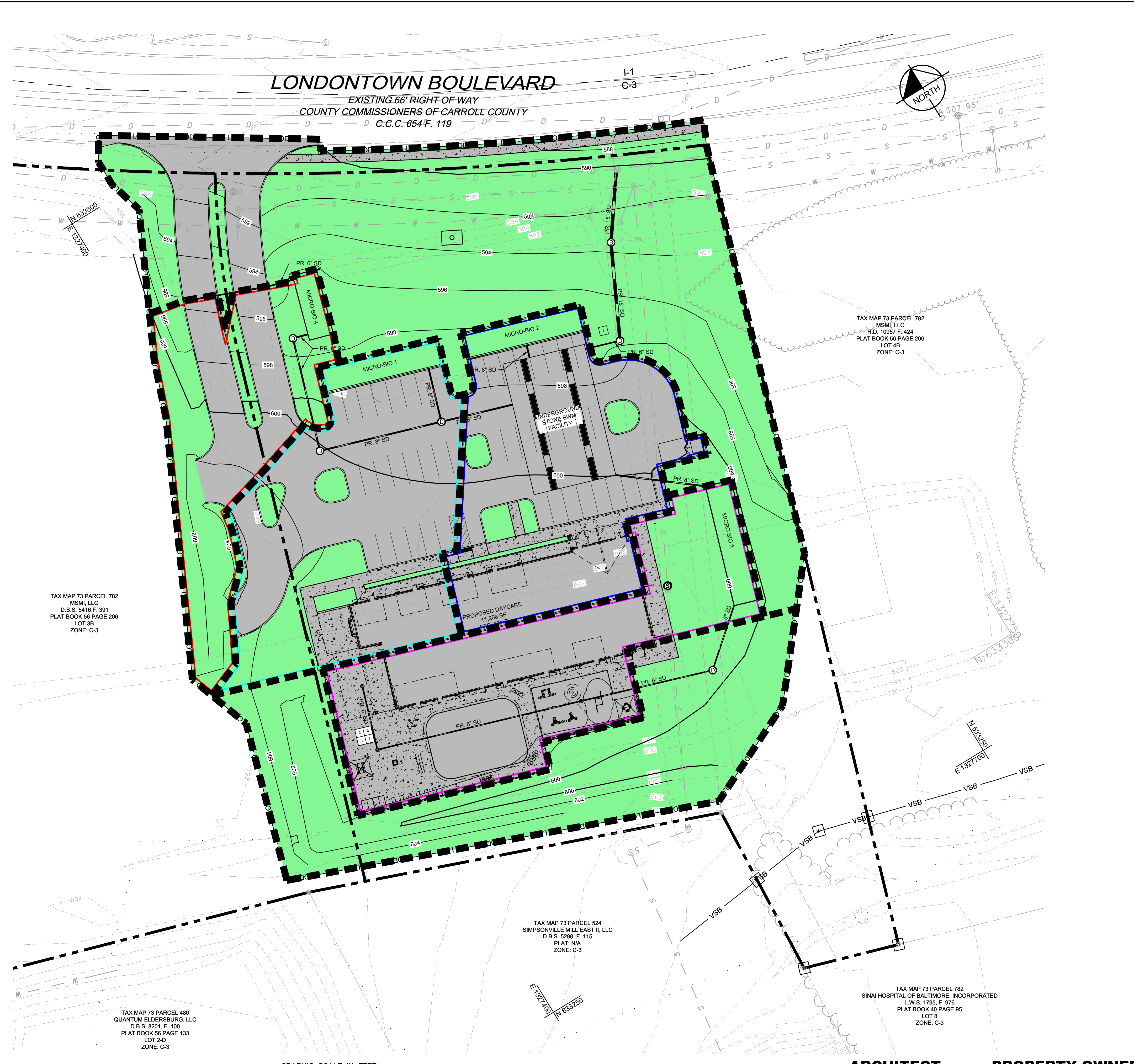
SHEET NUMBER  
C-700







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**POST-DEVELOPMENT DAM LEGEND**

- LOD — PROPERTY LINE
- LIMIT OF DISTURBANCE
- - - EXISTING EASEMENT
- - - ADJACENT PROPERTY LINE
- - - EXISTING BUILDING
- - - EXISTING ZONING BOUNDARY
- - - EXISTING CURB
- - - EXISTING TREE LINE
- - - EXISTING SIDEWALK
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- - - EXISTING SEWER
- - - EXISTING STORM DRAIN
- - - EXISTING WATER
- - - EXISTING INLET
- - - EXISTING STORM DRAIN MANHOLE
- - - EXISTING SEWER MANHOLE
- - - EXISTING WATER STRUCTURE
- - - EXISTING SOIL BOUNDARY
- - - PROPOSED BUILDING
- - - PROPOSED CURB
- - - PROPOSED FENCE
- - - PROPOSED PAVEMENT MARKING
- - - PROPOSED SIDEWALK
- - - PROPOSED MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR
- - - PROPOSED STORM DRAIN
- - - PROPOSED INLET
- - - PROPOSED STORM DRAIN MANHOLE
- - - DRAINAGE BOUNDARY
- - - TIME OF CONCENTRATION (Tc) PATH
- - - IMPERVIOUS AREA
- ★ POINT OF INVESTIGATION (POI)
- DA-X DRAINAGE AREA IDENTIFIER

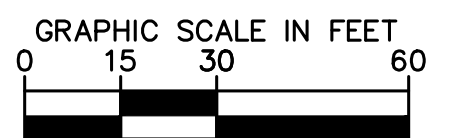
TAX MAP 73 PARCEL 782  
MSM, LLC  
D.B.S. 5418 F. 391  
PLAT BOOK 58 PAGE 206  
LOT 3B  
ZONE: C-3

TAX MAP 73 PARCEL 782  
MSM, LLC  
H.D. 10957 F. 424  
PLAT BOOK 56 PAGE 206  
LOT 4B  
ZONE: C-3

TAX MAP 73 PARCEL 524  
SIMPSONVILLE MILL EAST II, LLC  
D.B.S. 5298, F. 115  
PLAT: N/A  
ZONE: C-3

TAX MAP 73 PARCEL 782  
SINAI HOSPITAL OF BALTIMORE, INCORPORATED  
L.W.S. 1795, F. 978  
PLAT BOOK 40 PAGE 95  
LOT 8  
ZONE: C-3

TAX MAP 73 PARCEL 480  
QUANTUM ELDERSBURG, LLC  
D.B.S. 8201, F. 100  
PLAT BOOK 56 PAGE 133  
LOT 2-D  
ZONE: C-3



**PLAN**  
SCALE: 1" = 30'

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C.C. FILE NO.: S-23-0016  
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LICENSE NO.	31373	EXPIRATION DATE	02/28/2026								

**PROPOSED  
CONDITIONS  
DRAINAGE AREA MAP**

**EVERBROOKE ACADEMY  
ELDERSBURG STATION**  
PREPARED FOR  
OPPIDAN

CARROLL COUNTY, MD

SHEET NUMBER  
**C-400**