

Plotted By: Malco, James Sheet Set: Eldersburg Station Layout: C-000 COVER SHEET April 15, 2025 04:12:54pm Kimley-Horn.com \AT_BCO\BCO_DSA\160774062-Everbrook- Eldersburg Station \CAD\PlanSheets\Concept Plan\C-000 COVER SHEET.dwg This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL NOTES

- EXISTING ZONING: C-3
- TOTAL AREA OF SITE: 245,678 SF (5.64 AC)
- TOTAL DEVELOPED AREA: 117,465 SF (2.70 AC)
- EXISTING IMPERVIOUS AREA: 454 SF (0.01 AC)
- PROPOSED IMPERVIOUS AREA: 57,979 SF (1.33 AC)
- PROPOSED BUILDING AREA: 11,206 SF
- THE PROPERTY SHOWN HEREON IS OWNED BY MSMI, LLC BY DEED DATED 12/13/2007, RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY, MD IN LIBER 5416, FOLIO 391.
- TAX ACCOUNT NUMBER: 091063
- COMMISSIONER DISTRICT 5
- TAX MAP: 0073 / BLOCK: 0012 / PARCEL: 0782 PLAT REF: 0056/0206
- TOPOGRAPHY SHOWN HEREON IS FLOWN, DATED 1/2022, AND PREPARED BY SURVEYING AND MAPPING, LLC.
- LOCATION OF THE NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION: LONDONTOWN BLVD.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSION SHALL GOVERN.
- ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
- THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND LAND MANAGEMENT.
- THERE ARE NO APPLICABLE BOARD OF ZONING APPEALS CASES FOR THIS PROJECT.
- ALL CONSTRUCTION ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE "DESIGN MANUAL-VOLUME 1-ROADS AND STORM DRAINS", THE "BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES", "HIGHWAY DRAINAGE MANUAL" OF THE STATE HIGHWAY ADMINISTRATION, "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE, AND ALL ADDENDA AND ERRATA TO ALL OF THE ABOVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEERING OFFICE OF 443-884-5086 IN THE EVENT OF ANY DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIPS OF FINISHED GRADES TO EXISTING GRADES PRIOR TO THE BEGINNING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TRAFFIC ON ANY EXISTING ROADS.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK AS SHOWN ON THESE DRAWINGS:
 - ALLEGHENY POWER: 301-829-7009
 - BALTIMORE GAS & ELECTRIC: 410-234-6313
 - BUREAU OF RESOURCE MANAGEMENT: 410-386-2506
 - VERIZON: 410-876-9905
- ALL UTILITIES SHALL BE CLEARED BY A MINIMUM OF 1'0". ALL UTILITY POLES SHALL BE CLEARED BY A MINIMUM OF 2'0" OR TUNNELED IF REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR TUNNELING OR BRACING.
- CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY.
- ALL SAFETY MEASURES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE HORIZONTAL CONTROL SHOWN HEREON IS BASED ON THE MARYLAND COORDINATE SYSTEM" (NAD-83-91). THE VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
- IN FILL AREAS, THE COMPACTION SHALL BE FULL HEIGHT COMPACTION TO THE SPECIFIED ELEVATION. FILL SHALL BE PLACED IN EIGHT (8) INCH (PLUS OR MINUS TWO (2) INCHES), MEASURED LOOSE LIFTS AND EACH LIFT COMPACTED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) OF THE MAXIMUM DRY DENSITY AT PLUS OR MINUS TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE MODIFIED PROCTOR TEST (AASHTO T-99) UNLESS SPECIFIED OTHERWISE BY THE GEOTECHNICAL ENGINEER.
- ALL CUT/FILL QUANTITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED BY THE SEDIMENT CONTROL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL VERIFY SUCH CALCULATIONS TO HIS OWN SATISFACTION FOR BID CONTRACT PURPOSES.
- THE SITE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE MARYLAND ACCESSIBILITY CODE, COMAR 09.12.53, AS WELL AS THE 2010 ADA STANDARDS OF THE ACCESSIBILITY DESIGN (DEPARTMENT OF JUSTICE) A "FORM" INSPECTION IS REQUIRED ON ALL ACCESSIBLE ROUTES/RAMPS/CURB RAMPS PRIOR TO PLACEMENT OF FINAL MATERIAL. SLOPES OF RAMPS AND CURB RAMPS SHALL COMPLY WITH THE AFOREMENTIONED REGULATIONS/ STANDARDS. CONTRACTOR TO COORDINATE WITH COUNTY INSPECTOR.
- THE EXISTING USE OF THE LOT IS UNDEVELOPED LAND.
- THE PROPOSED USE IS A DAYCARE CENTER.
- THIS SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND SURFACE WATER MANAGEMENT AREA. IF HAZARDOUS OR REGULATED SUBSTANCES ARE STORED ONSITE, STORAGE WILL BE PROVIDED INSIDE THE BUILDING IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS INCLUDING THE CARROLL COUNTY WATER RESOURCE MANUAL.
- LONDONTOWN BOULEVARD IS BEING IMPROVED AS NOTED FROM THE 2014 CARROLL COUNTY MASTER PLAN AND THE 2018 FREEDOM COMMUNITY COMPREHENSIVE PLAN.
- FOR GENERAL NOTES-ROADS, SEE SHEET C-300
- THE AREA SHOWN HEREON AS A FORESTED () WATER RESOURCE PROTECTION EASEMENT SHALL BE GRANTED TO THE CARROLL COUNTY COMMISSIONERS BY DEED INTENDED TO BE RECORDED SIMULTANEOUSLY WITH THE THIRD AMENDED PLAT (AP-23-0038).
- THIS SITE DOES NOT RESIDE WITHIN A HIGH QUALITY TIER II WATERSHED AS DEFINED BY MDE.

PARKING TABULATION

PARKING REQUIRED: 1 SPACE PER EMPLOYEE ON THE MAXIMUM SHIFT + 1 PER 10 CHILDREN
1 SPACE X 27 EMPLOYEES = 27 SPACES
1/10 SPACES X 160 CHILDREN = 16 SPACES
TOTAL SPACES REQ'D = 43 SPACES
(2 ACCESSIBLE SPACES REQUIRED)
PARKING PROPOSED: 45 STANDARD SPACES PROVIDED
2 ACCESSIBLE SPACES PROVIDED
47 TOTAL SPACES PROVIDED

CARROLL SOIL CONSERVATION DISTRICT

THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT.

APPROVED CARROLL S.C.D./DATE

CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY DATE

THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS DESIGN MANUAL - VOLUME I ROAD AND STORM DRAINS. THE DESIGN ENGINEER OR ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE ACCURACY OF ALL DATA AND MODIFICATIONS FOR CONSTRUCTION

BY DATE

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES

BY DATE

CARROLL COUNTY HEALTH DEPARTMENT

COMMUNITY WATER SUPPLY AND/OR COMMUNITY SEWERAGE SYSTEMS ARE IN CONFORMANCE WITH THE CARROLL COUNTY MASTER PLAN

BY DATE

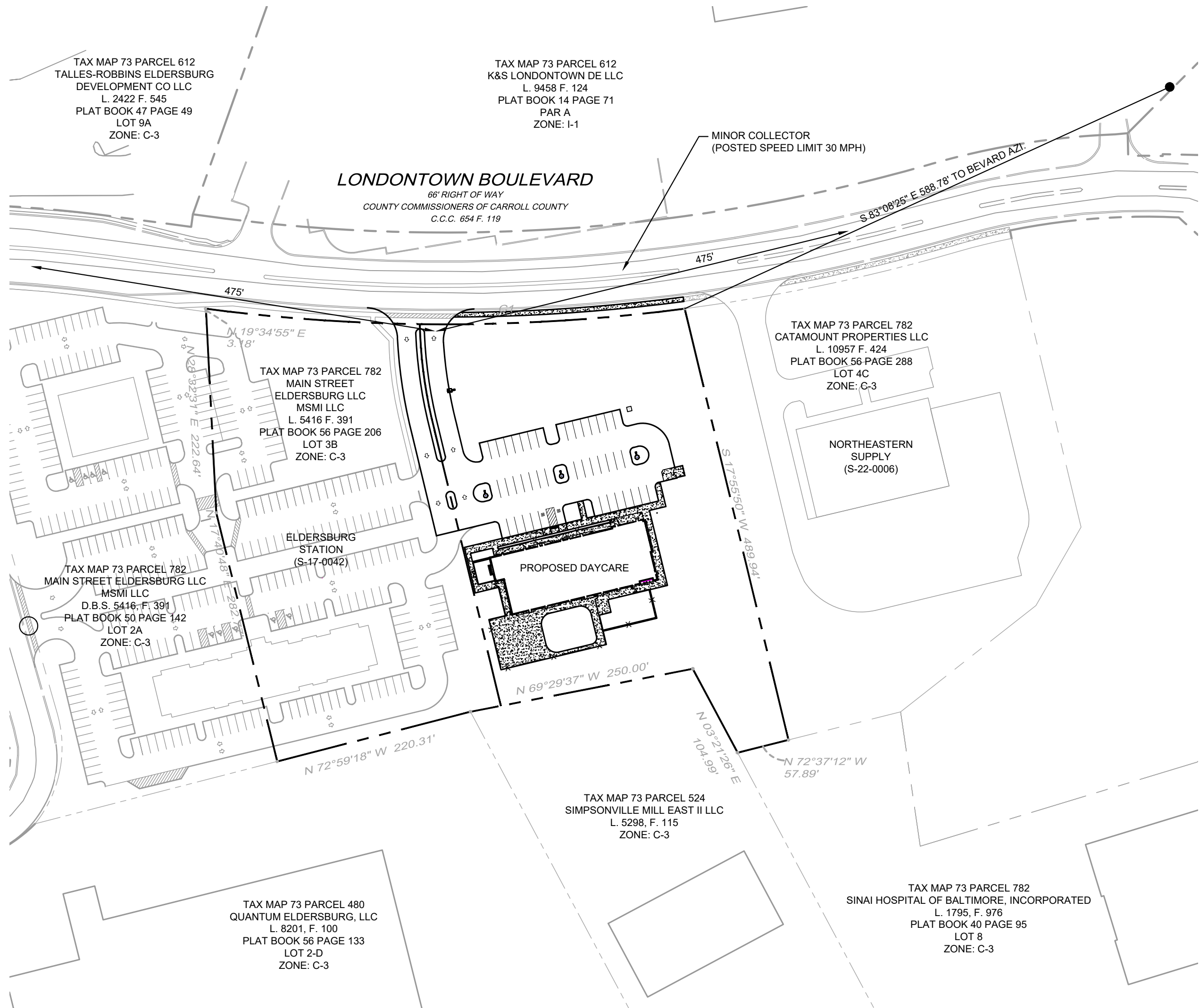
CALL 72 HOURS BEFORE YOU DIG



IT'S THE LAW! DIAL 811

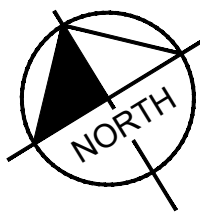
Know what's below. Call before you dig.

CONCEPT SITE PLAN FOR EVERBROOK ACADEMY LOT 3B ELDERSBURG STATION



LOCATION PLAN

SCALE: 1" = 100'



Sheet List Table	
Sheet Number	Sheet Title
01 OF 13	COVER SHEET
02 OF 13	EROSION CONTROL PLAN - INITIAL
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06 OF 13	SITE LAYOUT PLAN
07 OF 13	GRADING PLAN
08 OF 13	STORMWATER MANAGEMENT PLAN
09 OF 13	STORMWATER MANAGEMENT PLAN
10 OF 13	LANDSCAPE PLAN
11 OF 13	LANDSCAPE NOTES AND DETAILS
12 OF 13	LIGHTING PLAN
13 OF 13	BUILDING ELEVATIONS

TRIP GENERATION

11TH EDITION ITE 565 DAYCARE CENTER (11,206 S.F.)
534 WEEKDAY 24 HOUR
123 WEEKDAY AM PEAK HOUR
125 WEEKDAY PM PEAK HOUR
NOT OPEN ON WEEKENDS

SITE DEVELOPMENT PLAN INSPECTION SEQUENCE NOTES

- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
 - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL WORK SHOWN ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTIONS SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTIONS SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
- THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.

DEVELOPER'S CERTIFICATION

I HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I ALSO UNDERSTAND THAT IT IS MY RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY/FACILITIES. I ALSO CERTIFY THAT THESE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY.

SIGNED DATE

ENGINEER'S "AS-BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY/FACILITIES SHOWN ON THIS/THESE PLAN(S) WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT THIS/THESE FACILITIES WERE INSPECTED IN ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED DATE
LICENSE NO. EXPIRATION DATE

ENGINEER'S DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED DATE
LICENSE NO. EXPIRATION DATE

OWNER

MAIN STREET ELDERSBURG
MSMI LLC
2328 W. JOPPA ROAD, SUITE 200
LUTHERVILLE, MD 21093

DEVELOPER

OPPIDAN
ATTN: MARLEE BENSON
400 WATER STREET, SUITE 200
EXCELSIOR, MN 55331
TEL: 612-500-6732
EMAIL: MARLEE@OPPIDAN.COM

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
ATTN: JAMES MALICO
215 WASHINGTON AVENUE, SUITE 500
TOWSON, MD 21204
TEL: (443) 884-5086
EMAIL: JAMES.MALICO@KIMLEY-HORN.COM

ARCHITECT

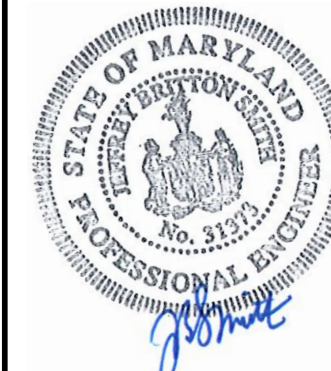
ADA ARCHITECTS
17710 DETROIT AVENUE
LAKEWOOD, OHIO 44107
TEL: (216) 921-5134
EMAIL: ADAARCHITECTS.COM

C.C. FILE NO.: S-23-0016

DESIGN & DRAWING BASED ON
MARYLAND COORDINATE SYSTEM:
HORIZONTAL NAD 83/91
VERTICAL NAVD 88

Kimley»Horn

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3904 BOSTON ST, SUITE 202, BALTIMORE, MD 21224
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WWW.KIMLEY-HORN.COM



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31373
EXPIRATION DATE 01/01/2022

KHA PROJECT 160774062
DATE 04/09/2025
SCALE
DESIGNED BY JPM
DRAWN BY NJC
CHECKED BY JPM

COVER SHEET

EVERBROOK ACADEMY
ELDERSBURG STATION
PREPARED FOR
OPPIDAN

MD

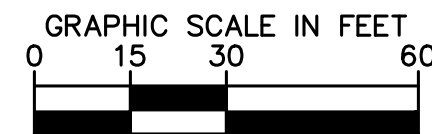
CARROLL COUNTY

SHEET NUMBER
01 OF 13

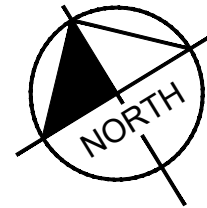
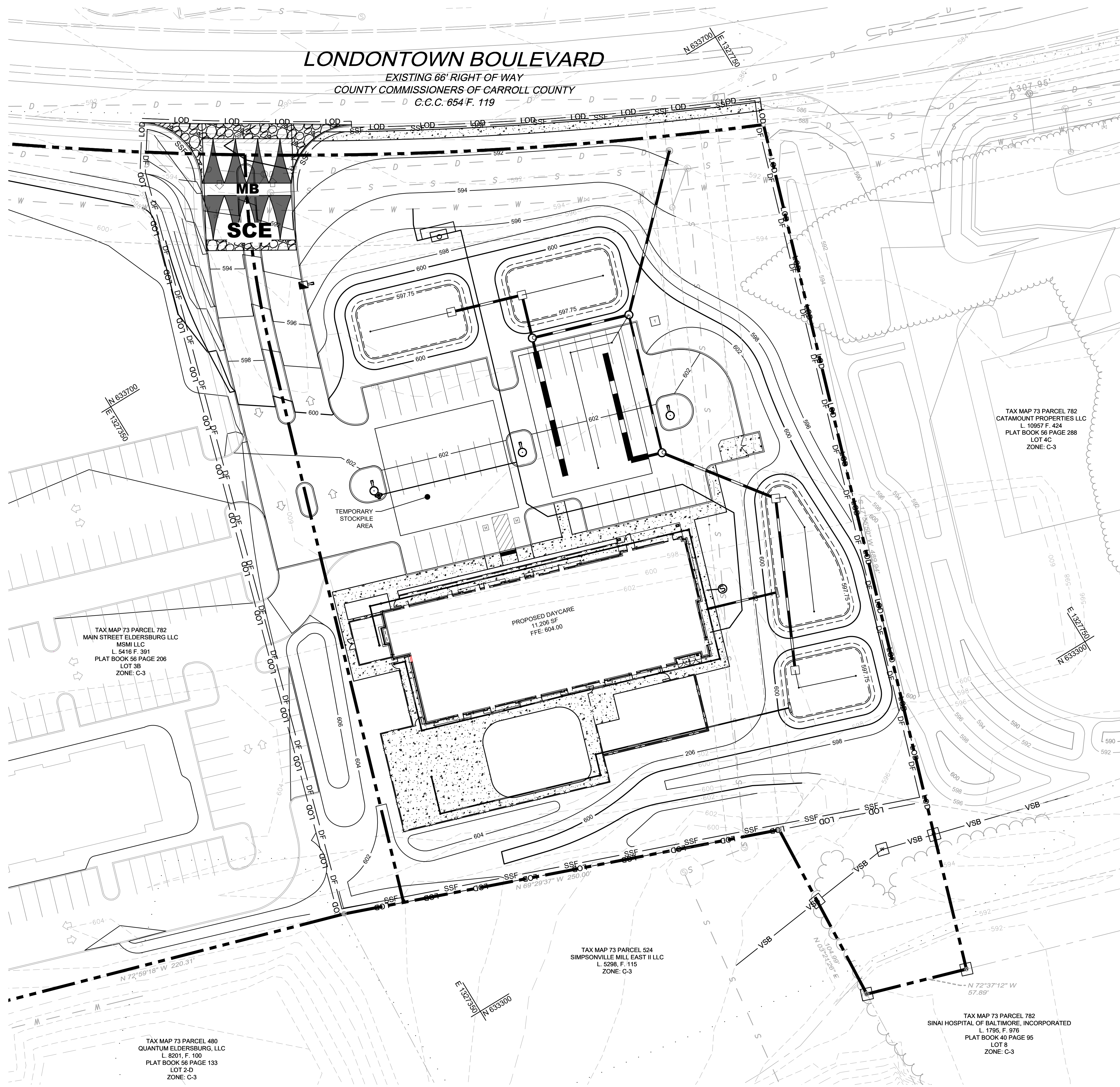
Plotted By: Malico, James Sheet Set: Eldersburg Station Layout: 24x36 April 15, 2025 08:08:35pm \\kimley-horn.com\AT-BCO\BCO-DS\160774062-Everbroke - Eldersburg Station\CAD\PlanSheets\Concept Plan C-210 EROSION CONTROL PLAN - FINAL.dwg
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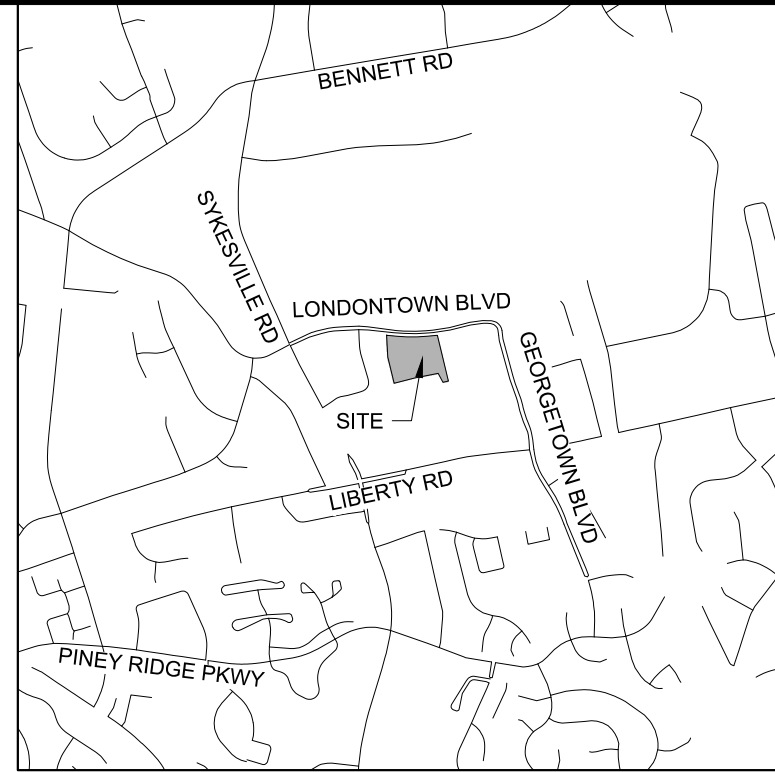
IT'S THE LAW!
DIAL 811



PLAN
SCALE: 1" = 30'



VICINITY MAP
SCALE: 1" = 2000'



EROSION CONTROL - FINAL LEGEND

- | | |
|--|--|
| | PROPERTY LINE |
| | LIMIT OF DISTURBANCE |
| | EXISTING EASEMENT |
| | ADJACENT PROPERTY LINE |
| | VARIABLE WIDTH STREAM BUFFER |
| | EXISTING BUILDING |
| | EXISTING ZONING BOUNDARY |
| | EXISTING CURB |
| | EXISTING TREE LINE |
| | EXISTING SIDEWALK |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | EXISTING SEWER |
| | EXISTING STORM DRAIN |
| | EXISTING WATER |
| | EXISTING INLET |
| | EXISTING STORM DRAIN MANHOLE |
| | EXISTING SEWER MANHOLE |
| | EXISTING WATER STRUCTURE |
| | EXISTING SOIL BOUNDARY |
| | PROPOSED BUILDING |
| | PROPOSED CURB |
| | PROPOSED FENCE |
| | PROPOSED PAVEMENT MARKING |
| | PROPOSED SIDEWALK |
| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | PROPOSED STORM DRAIN |
| | PROPOSED WATER |
| | PROPOSED SANITARY |
| | PROPOSED INLET |
| | PROPOSED STORM DRAIN MANHOLE |
| | PROPOSED SANITARY MANHOLE |
| | PROPOSED WATER FITTINGS |
| | PROPOSED FIRE HYDRANT |
| | STABILIZED CONSTRUCTION ENTRANCE
WITH TYPE 'B' MOUNTABLE BERM |
| | SUPER SILT FENCE |
| | SILT FENCE DIVERSION |
| | CURB INLET PROTECTION |
| | AT GRADE INLET PROTECTION |

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DESIGN & DRAWING BASED ON
MARYLAND COORDINATE SYSTEM:
HORIZONTAL NAD 83/91
VERTICAL NAVD 88

**EVERBROOKE ACADEMY
ELDERSBURG STATION**
PREPARED FOR
OPPIDAN

CARROLL COUNTY

**EROSION CONTROL
PLAN - FINAL**

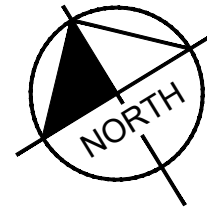
KHA PROJECT	160774062
DATE	04/09/2025
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DRAWN BY	NJC
CHECKED BY	JPM

PROFESSIONAL CERTIFICATION: I HEREBY
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LICENSE NO. 31373
EXPIRATION DATE 01/01/2027



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BY	
DATE	
REVISIONS	
No.	



PROPERTY LINE
LIMIT OF DISTURBANCE
EXISTING EASEMENT
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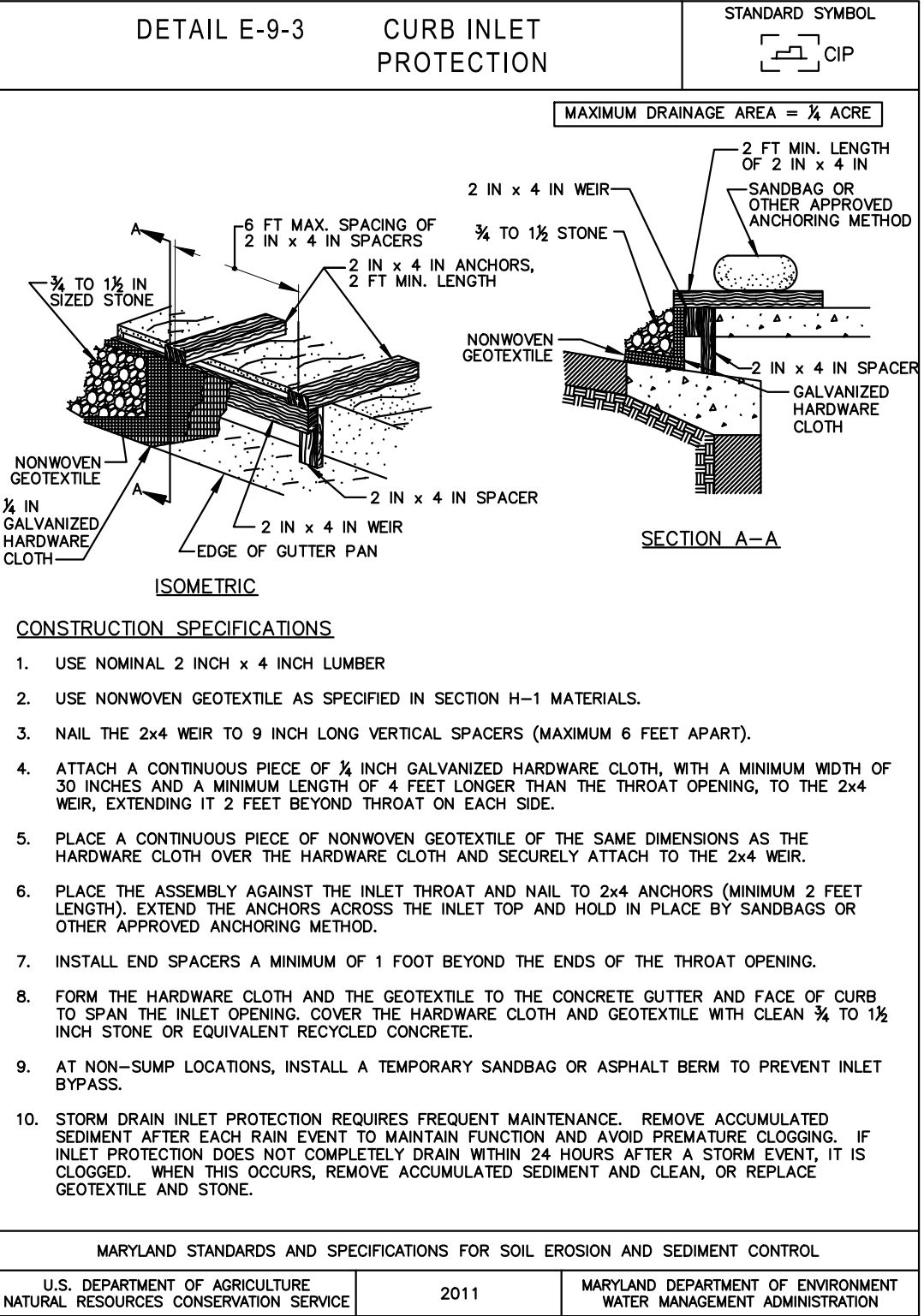
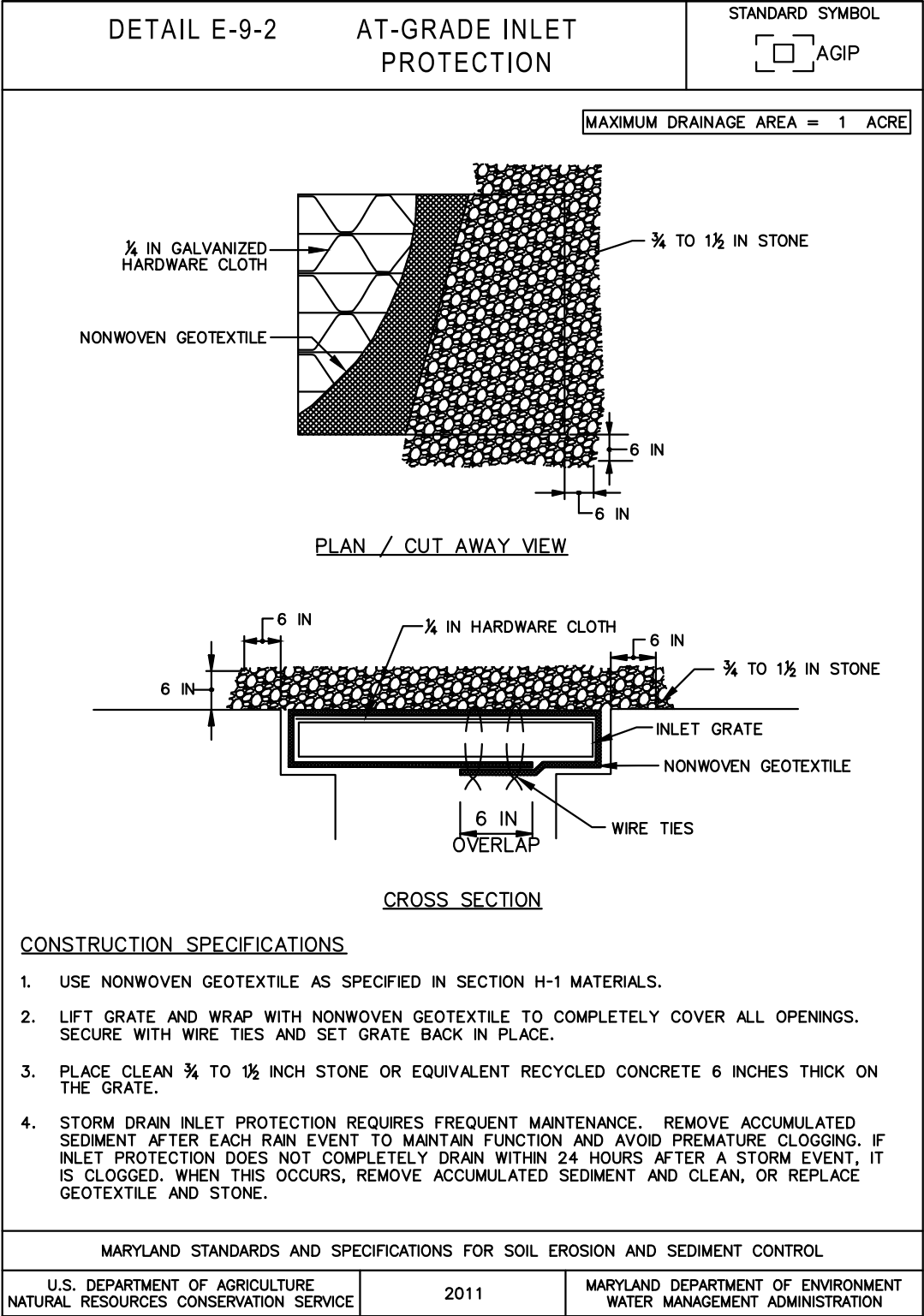
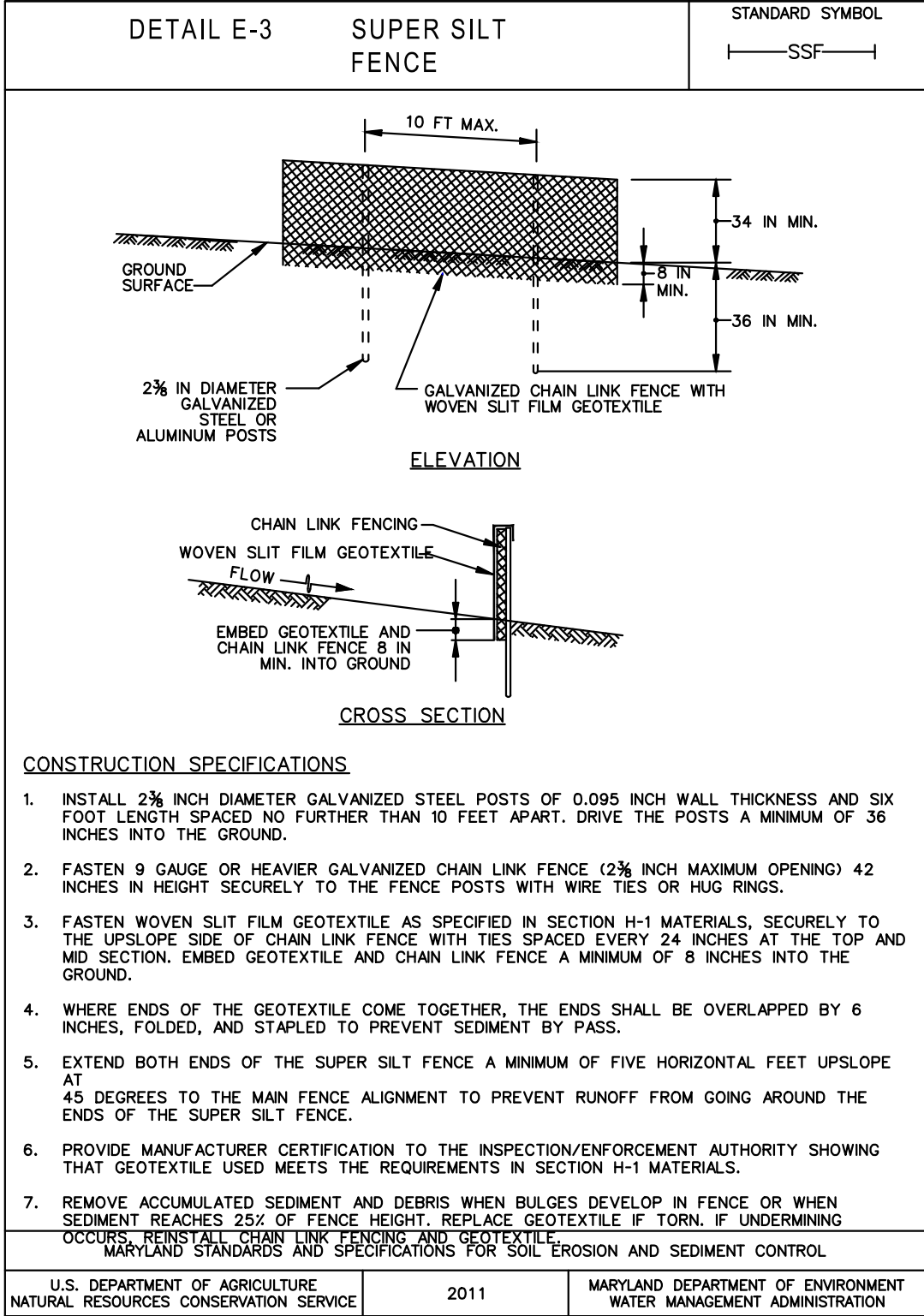
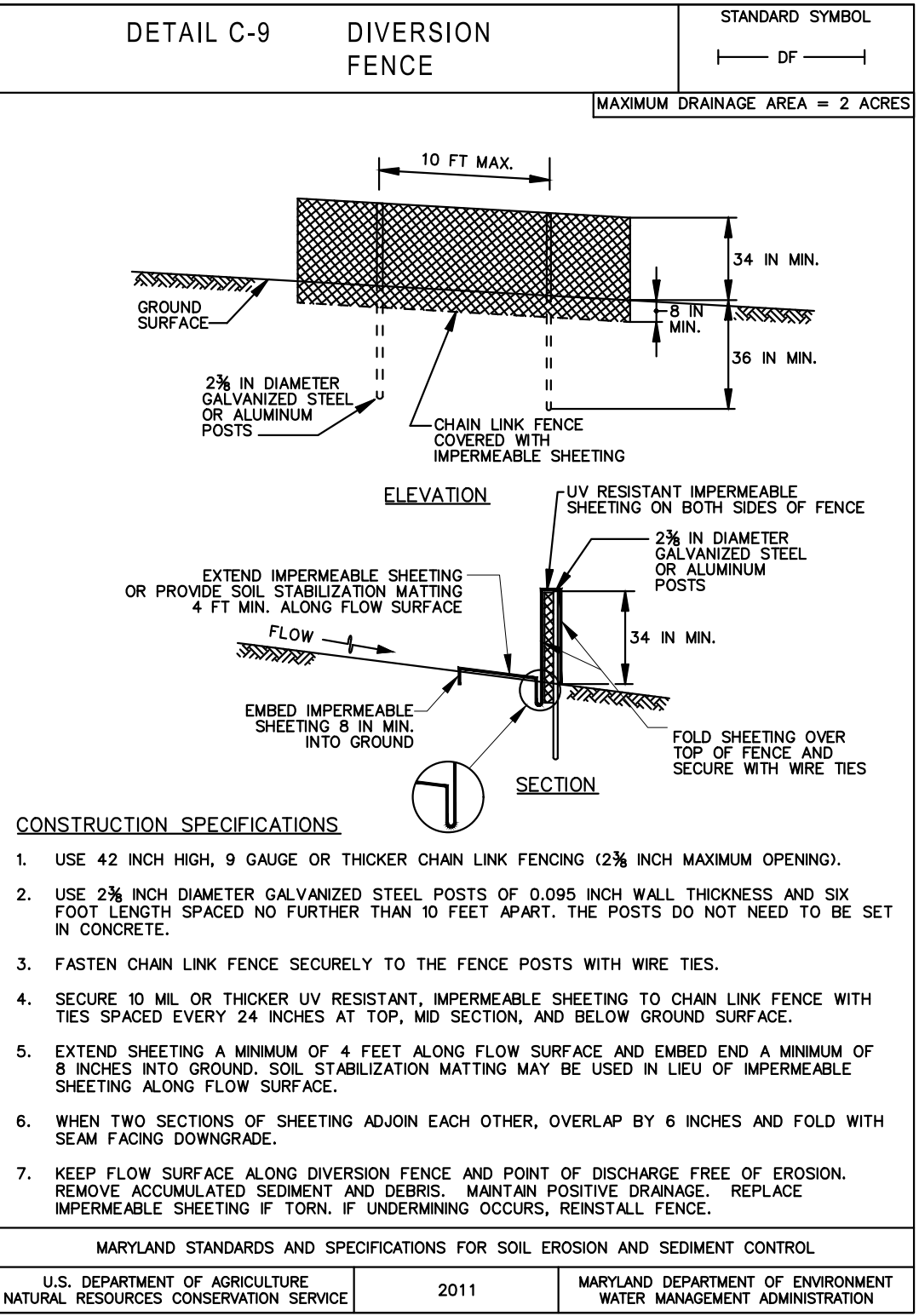
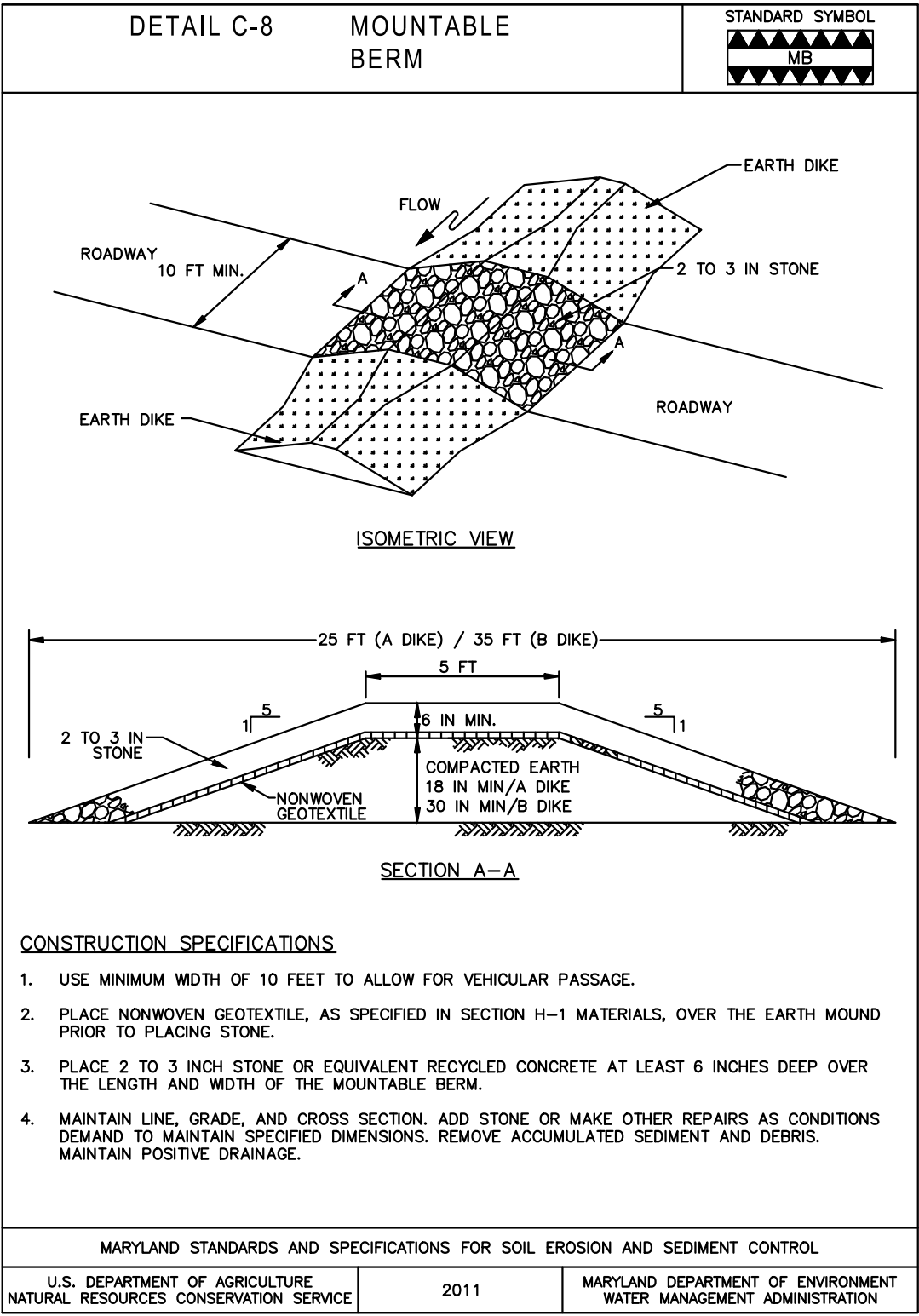
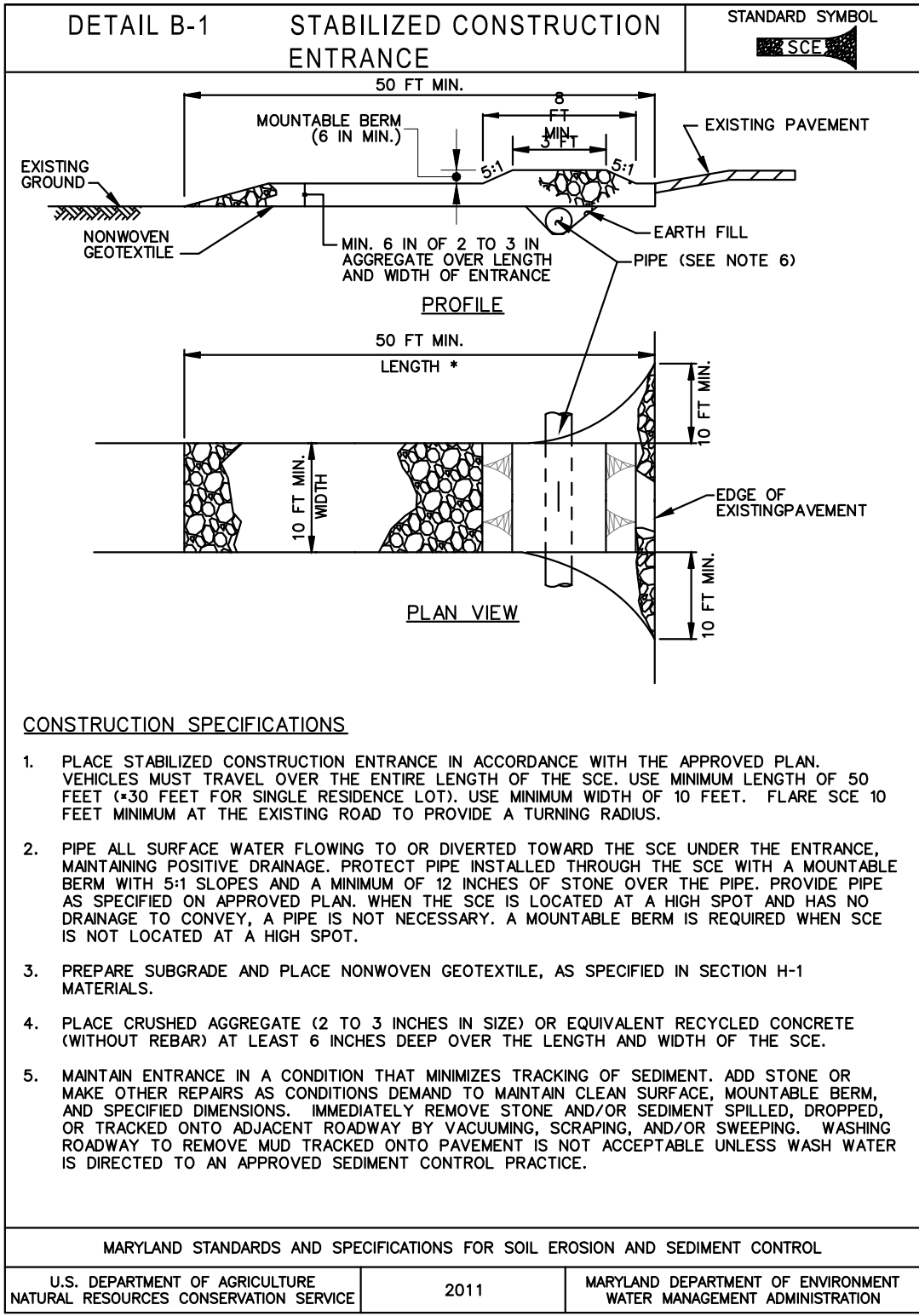
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No.	REVISIONS	DATE	BY
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Plotted By:Malico, James Sheet Set:Eldersburg Station Layout:C-220 EROSION CONTROL DETAILS Details April 15, 2025 04:21:12pm \\kimley-horn.com\AT-BCO\BCO_DVS\160774062-Everbroke - Eldersburg Station\CAD\PlanSheets\Concept\Plan\C-220 - C-221 EROSION CONTROL DETAILS AND NOTES.dwg This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



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DIAL 811

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400 WATER STREET, SUITE 200
EXCELSIOR, MN 55331
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C.C. FILE NO.: S-23-0016

DESIGN & DRAWING BASED ON
MARYLAND COORDINATE SYSTEM:
HORIZONTAL NAD 83/91
VERTICAL NAVD 88

EVERBROOKE ACADEMY
ELDERSBURG STATION
PREPARED FOR
OPPIDAN

CARROLL COUNTY

MD

Kimley»Horn

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PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

EXPIRATION DATE

01/01/2027

31373

01/01/2027

KHA PROJECT

160774062

DATE

04/09/2025

SCALE

JPM

DESIGNED BY

JPM

DRAWN BY

NJO

CHECKED BY

JPM

EROSION CONTROL
DETAILS

SHEET NUMBER

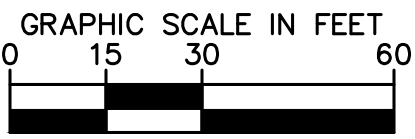
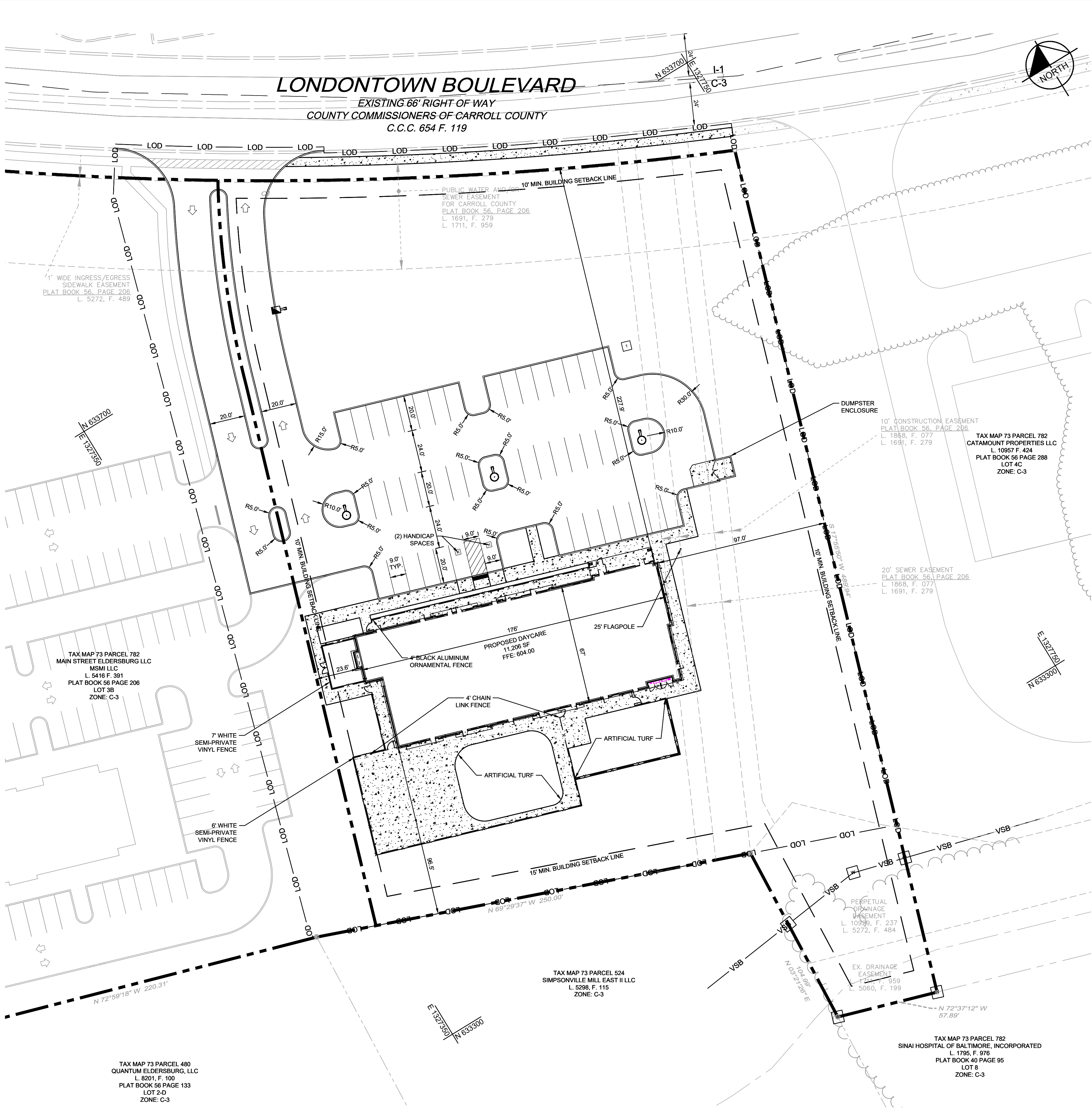
04 OF 13

REVISIONS

DATE

BY

Plotted By: Malco, James Sheet: Set: Eldersburg Station Layout: C-300 SITE LAYOUT PLAN April 15, 2025 04:14:59pm Kimley-Horn.com \AT-BCO\BCO-DS\160774062-Everbroke - Eldersburg Station\CAD\PlanSheets\Concept Plan\C-300 SITE PLAN.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PLAN
SCALE: 1" = 30'

CALL 72 HOURS BEFORE YOU DIG

IT'S THE LAW! DIAL 811

Know what's below. Call before you dig.

- GENERAL NOTES-ROADS**
- CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES:
 - DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
 - DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
 - BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
 - MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
 - MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.
 - ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.
 - THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
 - CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY INSPECTION DIRECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
 - LOCATIONS OF EXISTING UTILITIES ARE SHOWN ONLY AS NOTIFICATION TO CONTRACTOR OF THE PRESENCE OF UNDERGROUND UTILITIES. CARROLL COUNTY AND THE DESIGN ENGINEER DO NOT WARRANT OR GUARANTEE CORRECTNESS OR COMPLETENESS OF INFORMATION SHOWN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY AT 1-800-257-7777 FOR VERIFYING EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY DAMAGE TO EXISTING UTILITIES DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT CONTRACTORS EXPENSE.
 - DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.
 - IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
 - IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLIC WORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.
 - FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.
 - CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.
 - DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ON SITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO AND, APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.
 - INLET GRADES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.
 - PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
 - WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE ON ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED.
 - ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 10R AS NOTED IN THE UTILITY PERMIT. ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE. AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.
 - OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROWED MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.
 - THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.
 - PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.
 - CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY PUBLIC RIGHT-OF-WAY.

OWNER
MAIN STREET ELDERSBURG
MSMI LLC
2328 W. JOPPA ROAD, SUITE 200
LUTHERVILLE, MD 21093

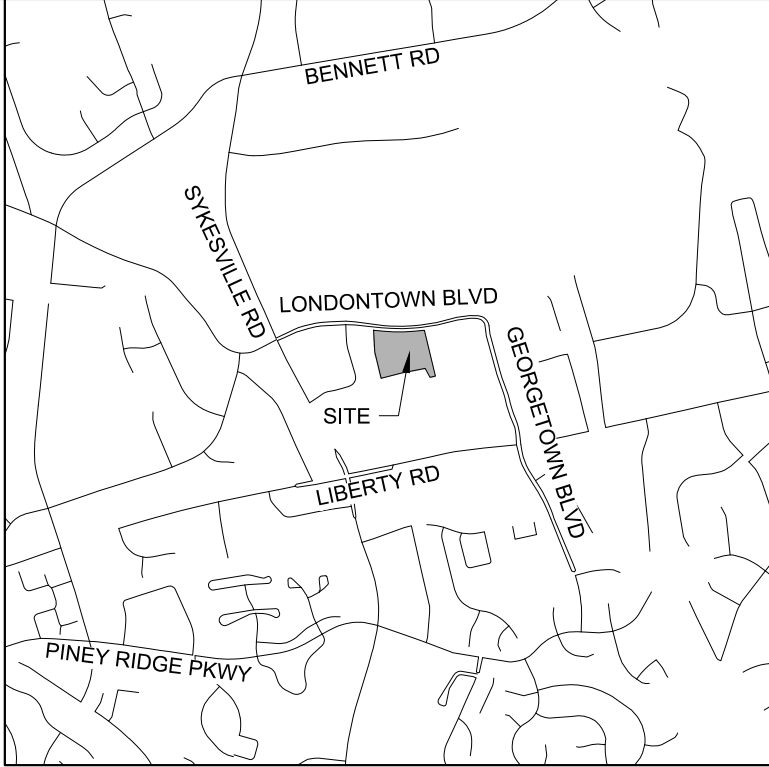
DEVELOPER
OPPIDAN
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EXCELSIOR, MN 55331
TEL: 612-500-8732
EMAIL: MARLEE@OPPIDAN.COM

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C.C. FILE NO.: S-23-0016

DESIGN & DRAWING BASED ON
MARYLAND COORDINATE SYSTEM:
HORIZONTAL NAD 83/91
VERTICAL NAVD 88



VICINITY MAP
SCALE: 1" = 2000'

SITE LEGEND

---	PROPERTY LINE
---	LIMIT OF DISTURBANCE
---	EXISTING EASEMENT
---	BUILDING SETBACK LINE
---	ADJACENT PROPERTY LINE
---	VARIABLE WIDTH STREAM BUFFER
---	EXISTING BUILDING
---	EXISTING ZONING BOUNDARY
---	EXISTING CURB
---	EXISTING TREE LINE
---	EXISTING SIDEWALK
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING SEWER
---	EXISTING STORM DRAIN
---	EXISTING WATER
---	EXISTING INLET
---	EXISTING STORM DRAIN MANHOLE
---	EXISTING SEWER MANHOLE
---	EXISTING WATER STRUCTURE
---	PROPOSED BUILDING
---	PROPOSED CURB
---	PROPOSED FENCE
---	PROPOSED PAVEMENT MARKING
---	PROPOSED SIDEWALK
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED STORM DRAIN
---	PROPOSED WATER
---	PROPOSED SANITARY
---	PROPOSED INLET
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER FITTINGS
---	PROPOSED FIRE HYDRANT

WATER RESOURCE PROTECTION SIGN DETAIL

W

WATER RESOURCE PROTECTION AREA

This area is being maintained to protect and enhance water quality.

Clean Water
For Your Future
Carroll County Government

PLACED APPROXIMATELY EVERY 100 FT.

BY	
DATE	
REVISIONS	
No.	

Kimley»Horn

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LICENSE NO. 31373
EXPIRATION DATE 01/01/2027

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
160774062	04/09/2025	JPM	NJO	JPM	

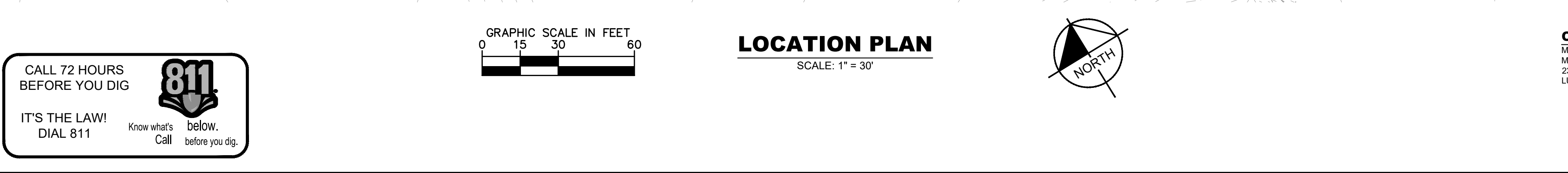
EVERBROOKE ACADEMY ELDERSBURG STATION

PREPARED FOR
OPPIDAN

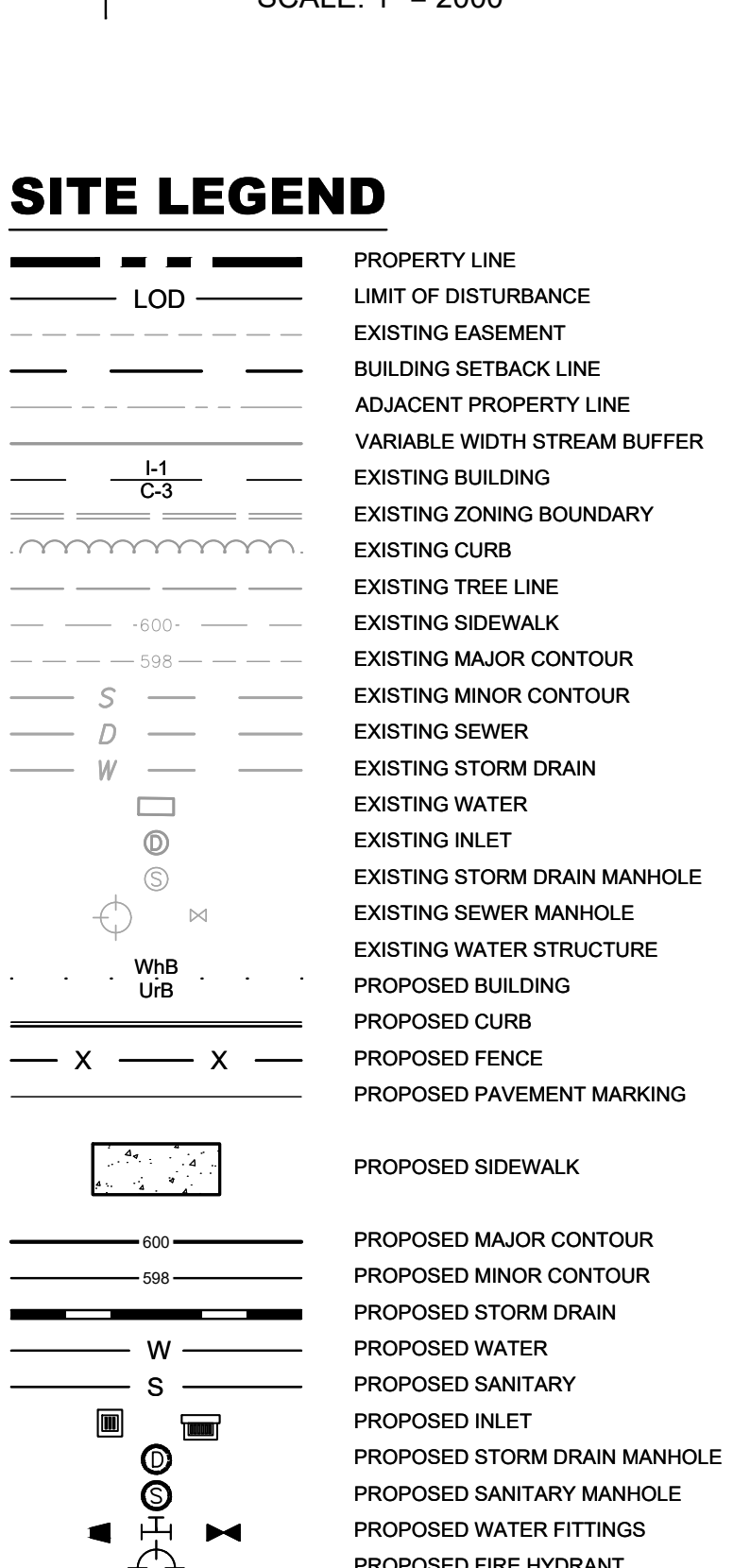
CARROLL COUNTY

MD

SHEET NUMBER
06 OF 13

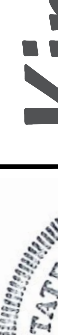


DEVELOPER OPPIDAN ATTN: MARLEE BENSON 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331 TEL: 612-500-6732 EMAIL: MARLEE@OPPIDAN.COM	CIVIL ENGINEER KIMLEY-HORN AND ASSOCIATES, INC. ATTN: JAMES MALICO 215 WASHINGTON AVENUE, SUITE 500 TOWSON, MD 21204 TEL: (443) 884-5086 EMAIL: JAMES.MALICO@KIMLEY-HORN.COM	ARCHITECT ADA ARCHITECTS 17710 DETROIT AVENUE LAKEWOOD, OHIO 44107 TEL: (216) 521-5134 EMAIL: ADAARCHITECTS.COM
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KHA PROJECT		21322
160774062	DATE	01/21/2027
04/09/2025	SCALE	
	DESIGNED BY	JPM
	DRAWN BY	NJO
	CHECKED BY	JPM
	EXPIRATION DATE	

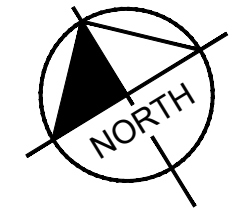
<p>EVERBROOKE ACADEMY ELDEBSBURG STATION PREPARED FOR OPPIDAN</p>	<p>GRADING PLAN</p>
<p>SHEET NUMBER 07 OF 13</p>	<p>CARROLL COUNTY MD</p>



PLAN
SCALE: 1" = 30'

DESIGN & DRAWING BASED ON
MARYLAND COORDINATE SYSTEM:
HORIZONTAL NAD 83/91
VERTICAL NAVD 88





LANDSCAPE KEYNOTES

CODE		BOTANICAL NAME	COMMON NAME	AS SHOWN	SIZE	ROOT
CANADIAN TREES						
XZ	3	ACER RUBRUM/ 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	AS SHOWN	2' CAL. MIN: 8'-10' HT.	B&B
GI		GLEDITSIA TRIACANTHOS INFIRMIS 'SKYLARK'	SKYLARK YEW-LOCUST	AS SHOWN	2' CAL. MIN: 8'-10' HT.	B&B
DECIDUOUS SHRUBS						
HI	19	COTONEASTER APICULATUS 'TOM THUMB'	TOM THUMB CRANBERRY COTONEASTER	4" D.C.	18" MIN. HT.	3 GAL.
HI	40	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	GARLEAF HYDRANGEA	3" D.C.	30" MIN. HT.	3 GAL.
Bn	33	VEIBURNUM DENTATUM/ 'BLUE MUFFIN'	SOUTHERN ARROWWOOD	3" D.C.	30" MIN. HT.	3 GAL.
ORNAMENTAL GRASSES						
FB	25	FESTUCA GLAUCA/ 'ELLIAM BLUE'	ELLIAM BLUE FESCUE	2" D.C.	1 GAL.	CONT.
Mm	28	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	PINK MUZZY GRASS	3" D.C.	30" MIN. HT.	3 GAL.
Pm	11	PANICUM VIRIDATUM/ 'SHENADOGH'	SHENADOGH SWITCHGRASS	2" D.C.	30" MIN. HT.	3 GAL.
PK	17	PERNETTUM ORIENTALE/ 'KARLEY ROSE'	KARLEY ROSE FLOUNDER GRASS	3" D.C.	18" MIN. HT.	CONT.
PERENNIALS						
FB	7	ECHINACEA PURPUREA	PURPLE CONEFLOWER	18" D.C.	12" MIN. HT.	CONT.
BT	29	RUBROG. FULGIDA/ 'GOLDSTURN'	BLACK-EYED SUSAN	18" D.C.	12" MIN. HT.	CONT.

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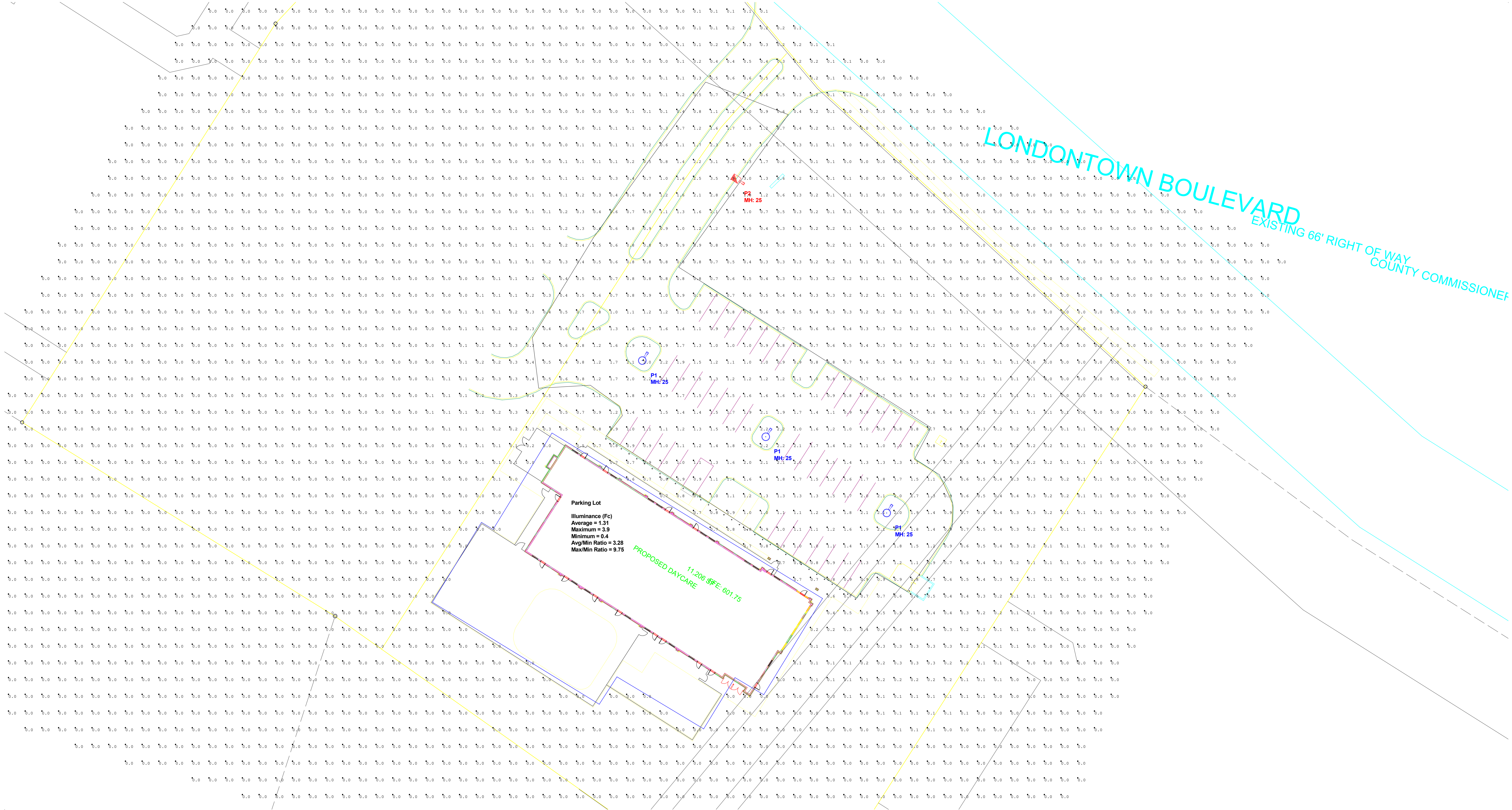
C.C. FILE NO.: S-23-0016

DESIGN & DRAWING BASED ON
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PLAN
SCALE: 1" = 30'

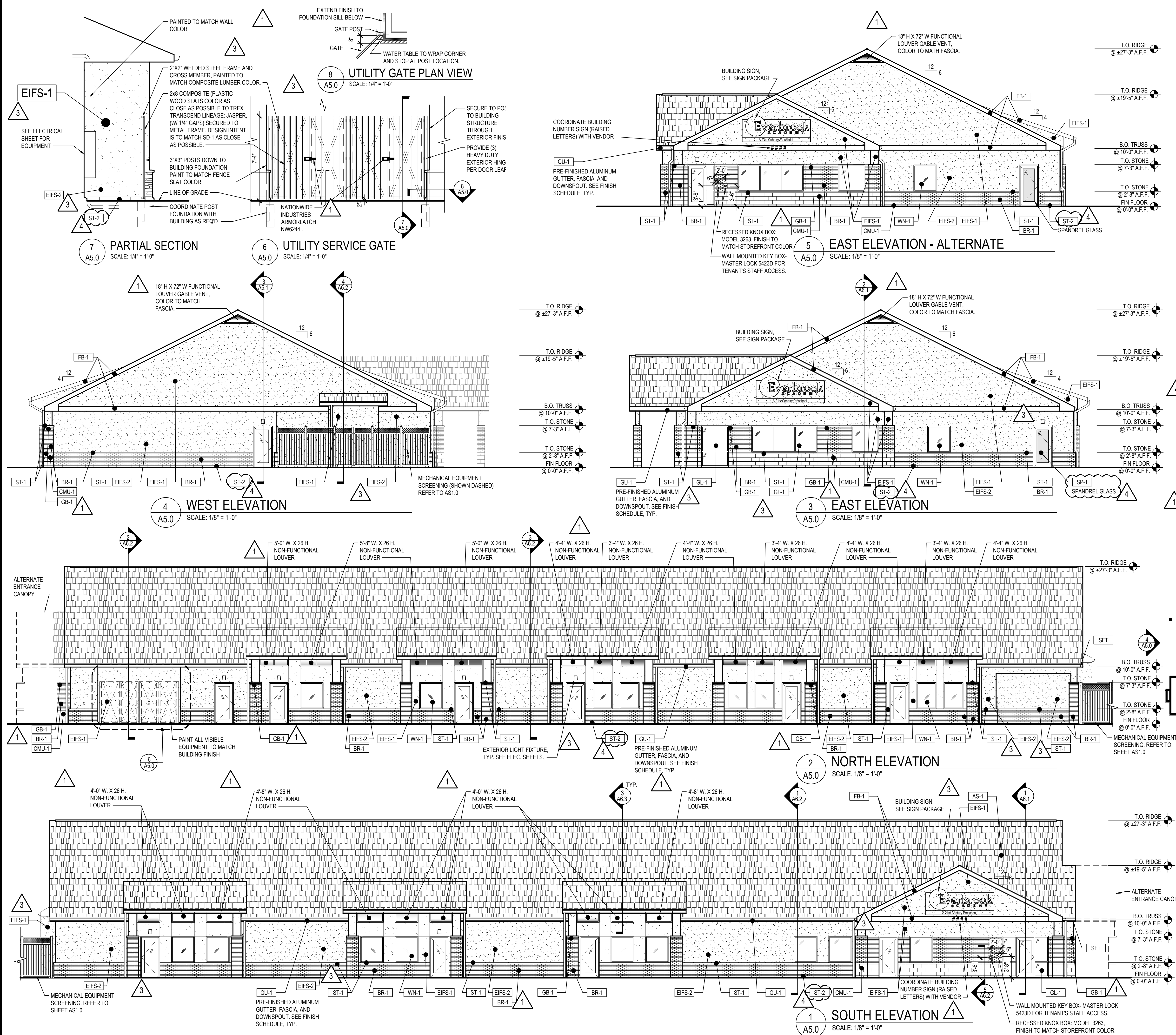
Luminaire Schedule							
Symbol	Qty	Type	Mounting Height	Lum. Watts	Luminaire Lumens	LLF	Description
	3	P1	25	122.2	19315	0.900	OPF-S-A06-740-T5W
	1	P2	25	90.68	15171	0.900	OPF-S-A04-740-T3M

Calculation Summary						
Project: Calculation						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Fc	1.31	3.9	0.4	3.28	9.75



DISCLAIMER: Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping or any other architectural elements unless noted.

Fixture nomenclature to be finalized by engineer and/or architect.
This drawings is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



EXTERIOR ELEVATIONS GENERAL NOTES	
1.	ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
2.	EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
3.	ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINTS AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
4.	PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
5.	REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.
6.	GC SHALL PAINT ANY EXPOSED PIPES, CONDUITS, OR UTILITY BOXES THAT ARE VISIBLE FROM THE SITE TO MATCH ADJACENT BUILDING EXTERIOR FINISH.

EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BR-1	BRICK: BELDEN, 671 VELOUR
CMU-1	OHIO SPLIT FACE CMU: WHITE BY ECHELON MASONRY OR APPROVED SIMILAR
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #111 PRAIRIE CLAY
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #142ST SPECTRUM BROWN
FB-1	FASCIA BOARD: HARDIE, COLOR: AGED PEWTER
GB-1	GLAZED BRICK: ACME BRICK - FUSION VELOUR SERIES, COLOR: CONCORDE
GL-1	CLEAR ANODIZED STOREFRONT SYSTEM, GLAZING COLOR: CLEAR
GU-1	PRE-FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR TO MATCH FASCIA (FB-1)
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. (AGED PEWTER) AS CLOSE AS POSSIBLE
ST-1	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
ST-2	GROUNDFAÇE-40YS BY EP HENRY OR EQUAL
WN-1	VINYL WINDOWS, COLOR: ALMOND
SP-1	INSULATED SPANDREL GLASS, APPLY SPANDREL COATING TO GLAZING SURFACE #3, COLOR MEDIUM GREY.
DOOR FRAMES	PAINT INTERIOR FACE OF H.M. DOORS COLOR: SW 7531 CANVAS TAN, U.N.O. PAINT EXTERIOR FACE OF H.M. DOORS AND FRAMES COLOR: TO MATCH THE GLAZED BRICK (GB-1)
DECORATIVE LOUVER	SURFACE MOUNTED PVC VENT - NON-FUNCTIONAL STANDARD LOUVER W/ NARROW FLAT TRIM BY "ARCHITECTURAL DEPOT" OR SIMILAR. PRIME & PAINT TO MATCH FASCIA COLOR. (VINYL SAFE 100% ACRYLIC LATEX PAINT)
MTL TRIMS AND FLASHING	PRE-FINISHED METAL: COLOR TO MATCH ADJACENT FINISH AS CLOSE AS POSSIBLE, U.N.O.

ADAArchitects

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V4 PROTOTYPE

CITY, STATE, ZIP

STREET ADDRESS

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#	DATE	REVISION
1	12/15/2023	PROTOTYPE UPDATES
2	02/01/2024	PROTOTYPE UPDATES
3	08/01/2023	PROTOTYPE UPDATES
4	11/17/2023	PROTOTYPE UPDATES
5		
6		
7		
8		
9		

EVERBROOK
EXTERIOR
ELEVATIONS

DATE 02/01/2022
JOB NO. 19516

A5.0E
SHEET 13 OF 13

C.C. FILE NO.: S-23-0016