

- GENERAL NOTES**
- EXISTING ZONING:** AG (Agricultural)
 - TOTAL AREA OF PROPERTY:** 6.049 Acres
TOTAL DEVELOPED AREA: Acres
 - TOTAL DISTURBANCE:** 95,498 sq. ft. / 2.192 Acres
 - THE PROPERTY SHOWN HEREON IS OWNED BY**
Owner: Terry E. Williams & Ellen R. Williams
Deed Reference: Liber 8285 Folio 300
Date: 10/30/2015
Grantor: Elaine Marie Wood & Richard Lee Wood
 - TAX MAP REFERENCE:** Tax Map 57 - Grid 11 - Parcel 412.
 - TOPOGRAPHY:** The outline shown hereon is based on The 2' Contours as shown hereon were developed using Carroll County LIDAR products and Carroll County does not warrant its accuracy for any purposes and supplemented by data field surveyed by BPR INC., dated 8-23-18.
 - FIRE PROTECTION SOURCE:** Location of nearest water supply Westminster.
 - EXISTING UTILITIES:** The location of existing utilities are approximate only. Contractor shall verify the existence, location, and depth of any existing utilities and shall notify the Engineer/Surveyor of any discrepancies prior to beginning work.
 - THE OWNER SHALL CONTACT THE FOLLOWING A MINIMUM OF 3 WORKING DAYS BEFORE BEGINNING CONSTRUCTION:**
B.G.E. (410) 850-4620
Miss Utility - toll free 1-800-257-7777
Carroll County Bureau of Permits and Inspections (410) 386-2674 or 1-888-302-8978 ext. 2674
 - PLAN DIMENSIONS:** The Contractor shall note that in case of a discrepancy between the scaled and figured dimensions shown on these plans, the figured dimensions shall govern.
 - CHANGES TO THE PLAN:** Any changes to this plan will require an Amended Site Development Plan to be approved by the Carroll County Planning and Zoning Commission.
 - SITE PLAN EXPIRATION:** This Site Plan shall become void eighteen months after the date of the approval if no building permit or zoning certificates has been issued for this project, unless an extension of this time limit is issued by the Department of Land and Resource Management.
- SITE DATA**
- PROPOSED USE:** Business, Contractor Equipment & Storage Yard - meat processing facility
 - BUILDING HEIGHT:** Front = TBD.
Rear = TBD
 - Floor Area = 6,880 sq.ft. Total **SIGNAGE:** No proposed addition of signage.
 - LIGHTING:**
 - FIRE PROTECTION:** This plan is in compliance with code of Local Laws & Ordinances of Carroll County, Maryland per Chapter 91 of The Fire Protection Ordinance. The owner shall maintain all fire alarms, extinguishers, lighting, and supervision in accordance with the State Fire Prevention Code.
 - STORMWATER MANAGEMENT:** This plan is in compliance with code of Local Laws & Ordinances of Carroll County, Maryland per Chapter 151 of The Stormwater Management Ordinance. The property contains a private stormwater management facility. A stormwater management easement and maintenance agreement shall be granted to the Carroll County Commissioners as an easement of access to the County Commissioners or authorized representatives by a deed to be recorded simultaneously herewith.
 - FOREST CONSERVATION:**
 - LANDSCAPE:**
 - WATER RESOURCE PROTECTION:** This plan is in compliance with code of Local Laws & Ordinances of Carroll County, Maryland per Chapter 154 of The Water Resource Management Ordinance. The area shown hereon as Water Resource Protection Easement, with a total acreage of ???, shall be granted to the Carroll County Commissioners by a deed to be recorded simultaneously herewith.
 - Designated Water Resource Protection Area(s):** This site lies within an Surface Water Protection area. This site is not located within a Wellhead Protection Area, or near any existing or potential municipal well sites or well site buffers.
 - Toxic Substances:** The development shown by this plan does not involve the storage, use, sale, or maintenance of any regulated substances, and no such activities are intended for this property. Regulated substances are prohibited.
 - PRIVATE WATER & SEWAGE SERVICE:** The proposed is being served by private well and septic.
 - ZONING CASES:**
BZA - CASE # - 6377 : DATED FEB. 24, 2022

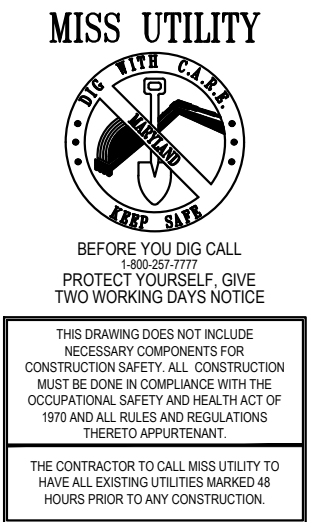
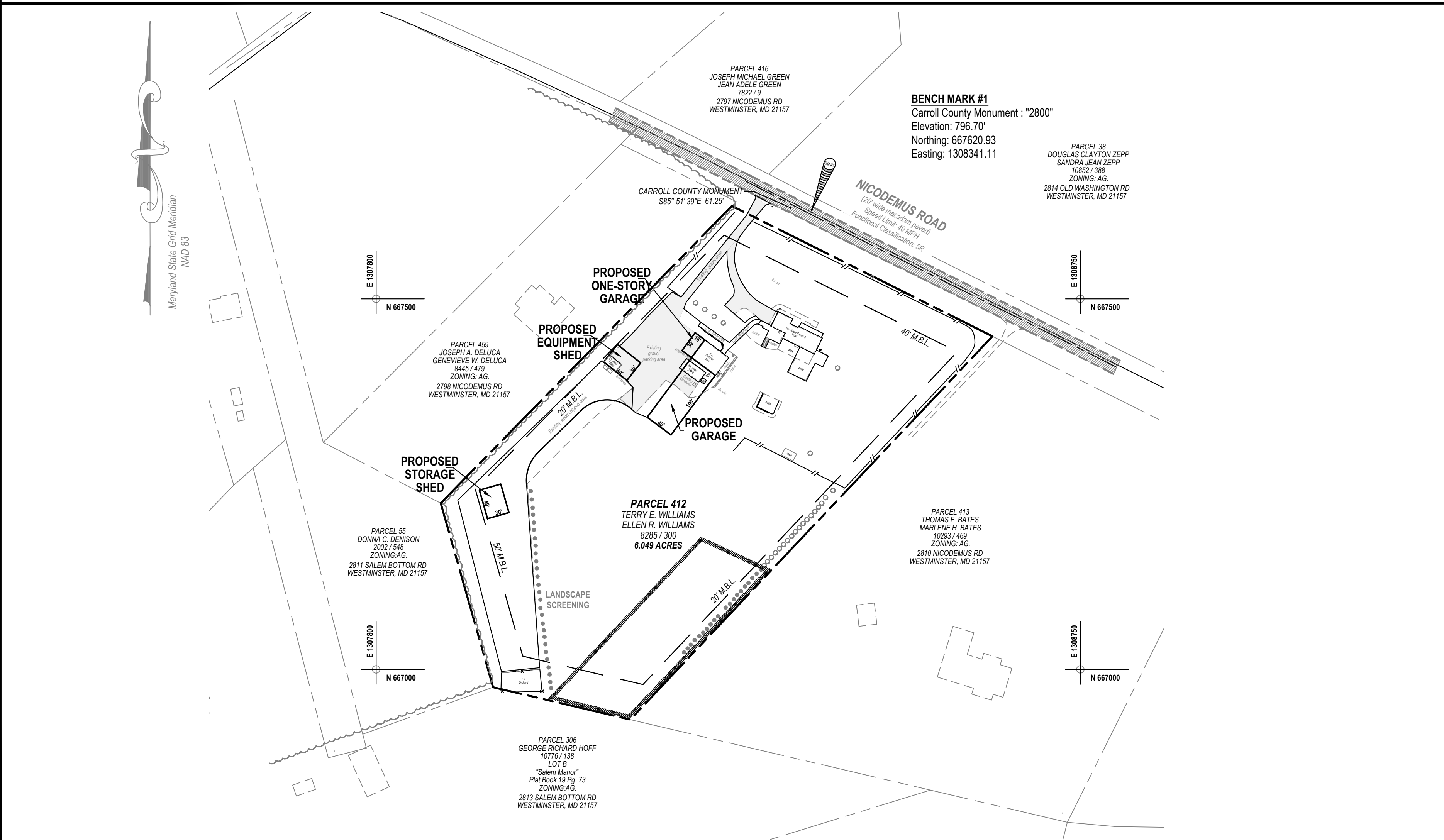
CONCEPT SITE DEVELOPMENT PLAN

BURNIE'S PROCESSING

2800 NICODEMUS ROAD

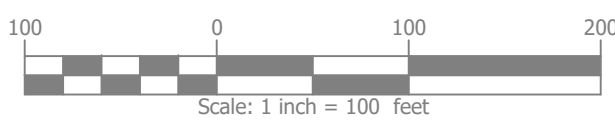
9th ELECTION DISTRICT - CARROLL COUNTY

TAX MAP - 57 BLOCK - 11 PARCEL - 412



GENERAL SITE MAP

SCALE: 1"=100'



ENGINEERS CERTIFICATION

I hereby certify that these construction drawings and associated computations were prepared by me or under my supervision and comply with all applicable standards and regulations of Carroll County. I have reviewed these documents with the Owner/Developer.

NAME (PRINTED) _____ DATE _____

MD REGISTRATION NO.: _____ EXP DATE: _____

SIGNATURE _____ DATE _____

OWNERS'S/DEVELOPER'S CERTIFICATION

I/WE hereby certify that all proposed work shown on these construction drawing(s) has been reviewed by me/us and that I/WE fully understand what is necessary to accomplish this work and that the work will be conducted in strict accordance with these plans. I/WE also understand that any changes to these plans will require an amended plan to be reviewed and approved by the Carroll County Planning and Zoning Commission before any change in the work is made.

Name(s) (Printed) _____ Date _____

Signed _____ Date _____

OWNER / DEVELOPER

TERRY WILLIAMS &
ELLEN R. WILLIAMS
2800 NICODEMUS ROAD
WESTMINSTER MD, 21157
TEL: 443-463-3761

- INSPECTION SEQUENCE NOTES**
- Contractor shall notify the Carroll County Bureau of Permits and Inspections at 410-386-2674, at least one (1) day prior to beginning any work.
 - Site Compliance Inspections are required the following stages during construction.
 - Proposed structures staked out in proper locations as shown on these approved plans.
 - Proposed foundations installed for all buildings shown on these approved plans.
 - Sub-grades established for all drives, parking lots, and surrounding grading.
 - Completion of all drives, parking lots, and surrounding grading.
 - Completion of all work shown on these plans.It is the contractor's responsibility to contact the Carroll County Bureau of Permits and Inspections at (410)-386-2674 upon completion of each phase of construction.
 - Contractor shall notify Carroll County Bureau of Resource Management, Environmental Inspection Services Division at (410)-386-2210 prior to beginning any work. All forest conservation plan devices must be in place prior to any construction.
 - Final landscaping inspection shall be arranged through Bureau of Resource Management Environmental Inspection Services Division at 410-386-2210 by the contractor/developer or agent. Written approval from the Landscape Review Specialist, Bureau of Resource Management, must be obtained for any deviations from the landscaping or forest conservation plans or modifications in the plant material.
 - The contractor shall not proceed to next phase of construction until given approval of prior phases.

LIST OF DRAWINGS

- TITLE SHEET
- EXISTING CONDITIONS PLAN
- ENVIRONMENTAL SITE & FOREST STAND DELINEATIONS, & FOREST CONSERVATION PLAN
- LAYOUT & GRADING PLAN
- STORMWATER MANAGEMENT -
- STORMWATER MANAGEMENT CONSTRUCTION DETAILS
- SEDIMENT CONTROL PLAN, NOTES & DETAILS
- DRAINAGE AREA MAP
- LANDSCAPE PLAN

CARROLL COUNTY SIGNATURE BLOCKS

CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY: _____ DATE: _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING

BY: _____ DATE: _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES

BY: _____ DATE: _____

CARROLL COUNTY HEALTH DEPARTMENT

BY: _____ DATE: _____

DATE REVISION BY

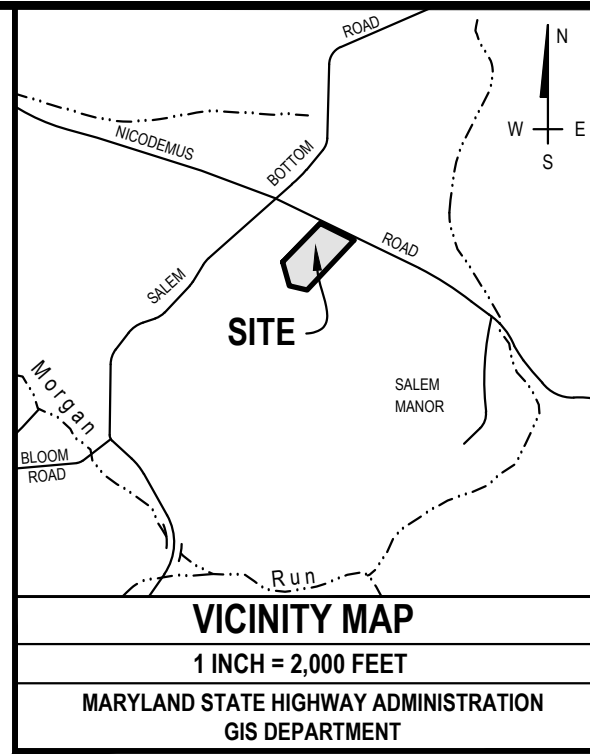
BPR LLC
LAND SURVEYING & CIVIL ENGINEERING
150 Airport Drive, Suite 4
Westminster, Maryland 21157
410 - 857 - 9030
WWW.BPRSURVEYING.COM

DFT: JWF CHK: BPR SCALE: AS SHOWN

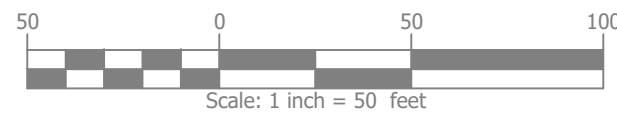
TITLE SHEET

BURNIES PROCCESSING


DATE: March 2025 BPR Job #: 22-1006 Co.File #S-23-0013 SHT.NO. : 1 OF 9

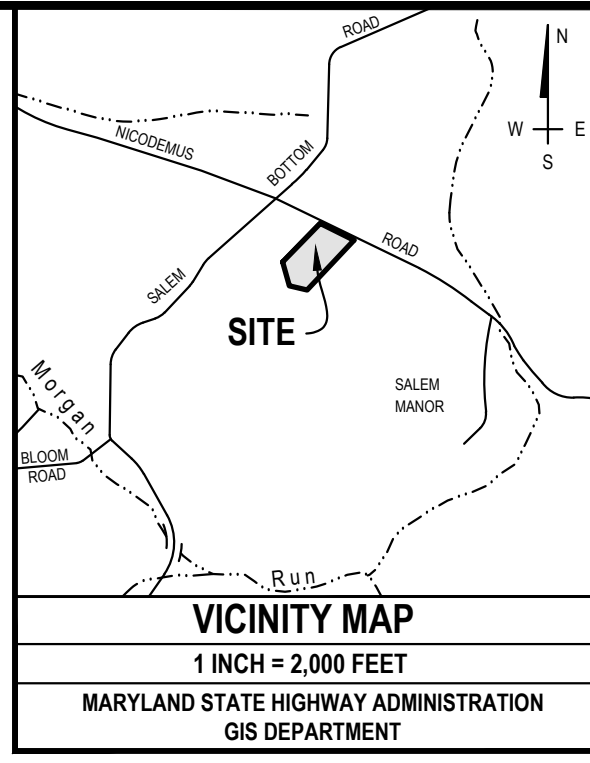
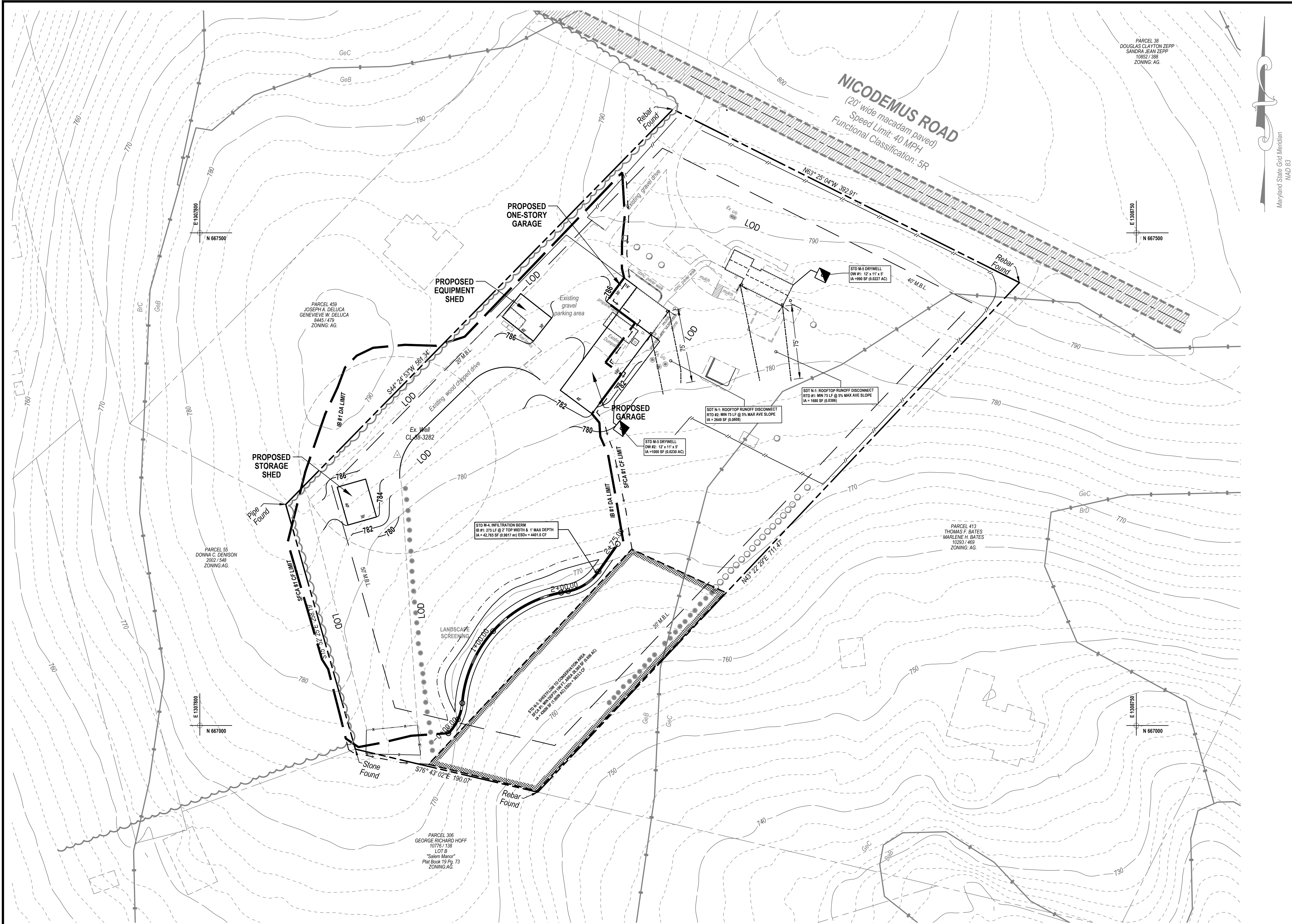


DATE		REVISION		BY
		<div>BPR LLC</div> <div><u>LAND SURVEYING & CIVIL ENGINEERING</u></div> <div>150 Airport Drive, Suite 4</div> <div>Westminster, Maryland 21157</div> <div>410 - 857 - 9030</div> <div>WWW.BPRSURVEYING.COM</div>		
DFT: JWF	CHK: BPR	SCALE: 1" = 50'		
EXISTING CONDITIONS				
BURNIES PROCESSING				
DATE: March 2025	BPR Job #: 22-1006	Co.File #:S-23-0013	SHT.NO.: 2 OF 9	

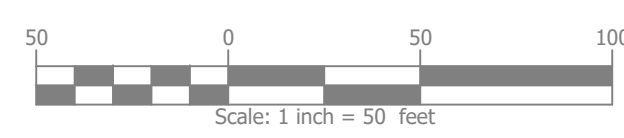




DATE	REVISION		
		 <p>BPR LLC</p> <p><u>LAND SURVEYING & CIVIL ENGINEERING</u></p> <p>150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 857 - 9030 www.bprsurveying.com</p>	
DFT: JWF	CHK: BPR	SCALE: 1" = 50'	
ENVIRONMENTAL SITE & FOREST STAND DELINEATIONS, & FOREST CONSERVATION PLAN			
BURNIES PROCESSING			
DATE: March 2025	BPR Job #: 22-1006	Co.File #: S-23-0013	SHT.NO.: 3 OF 9



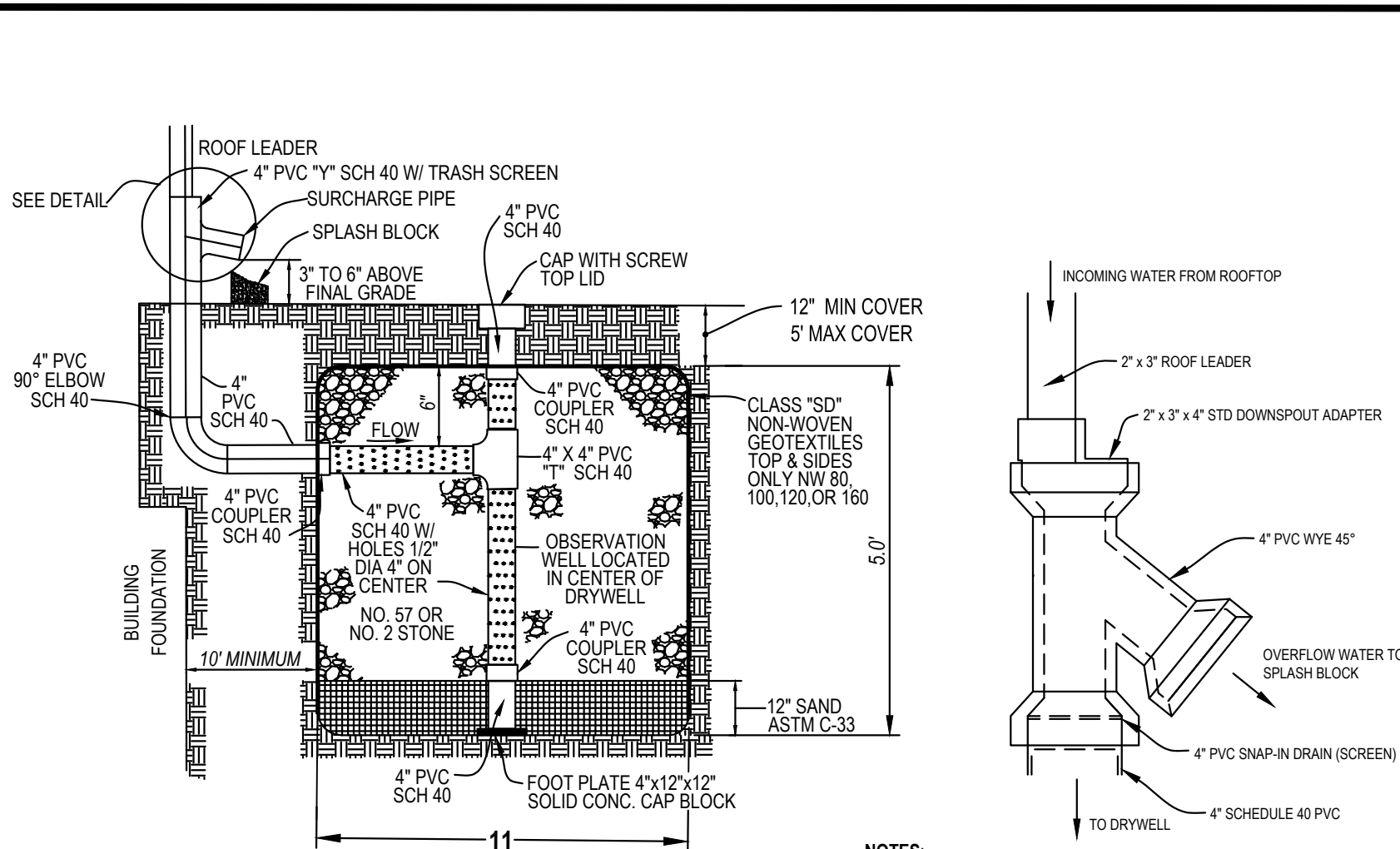
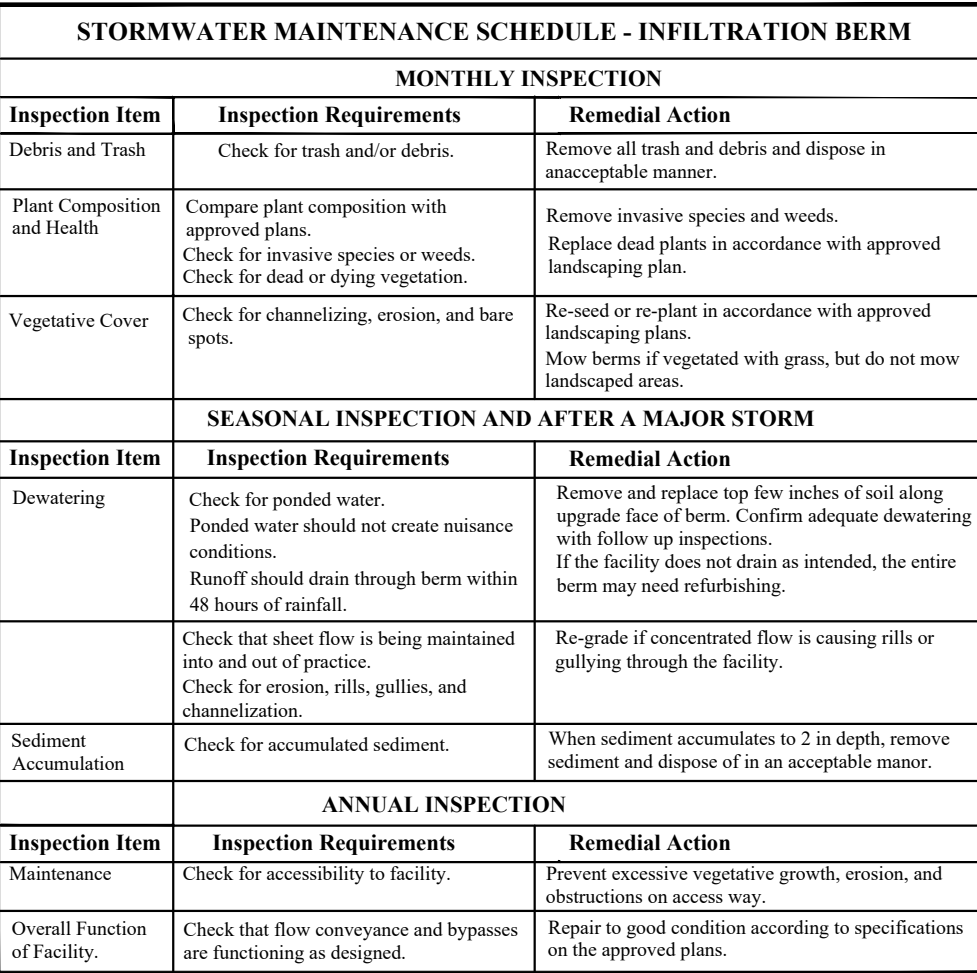
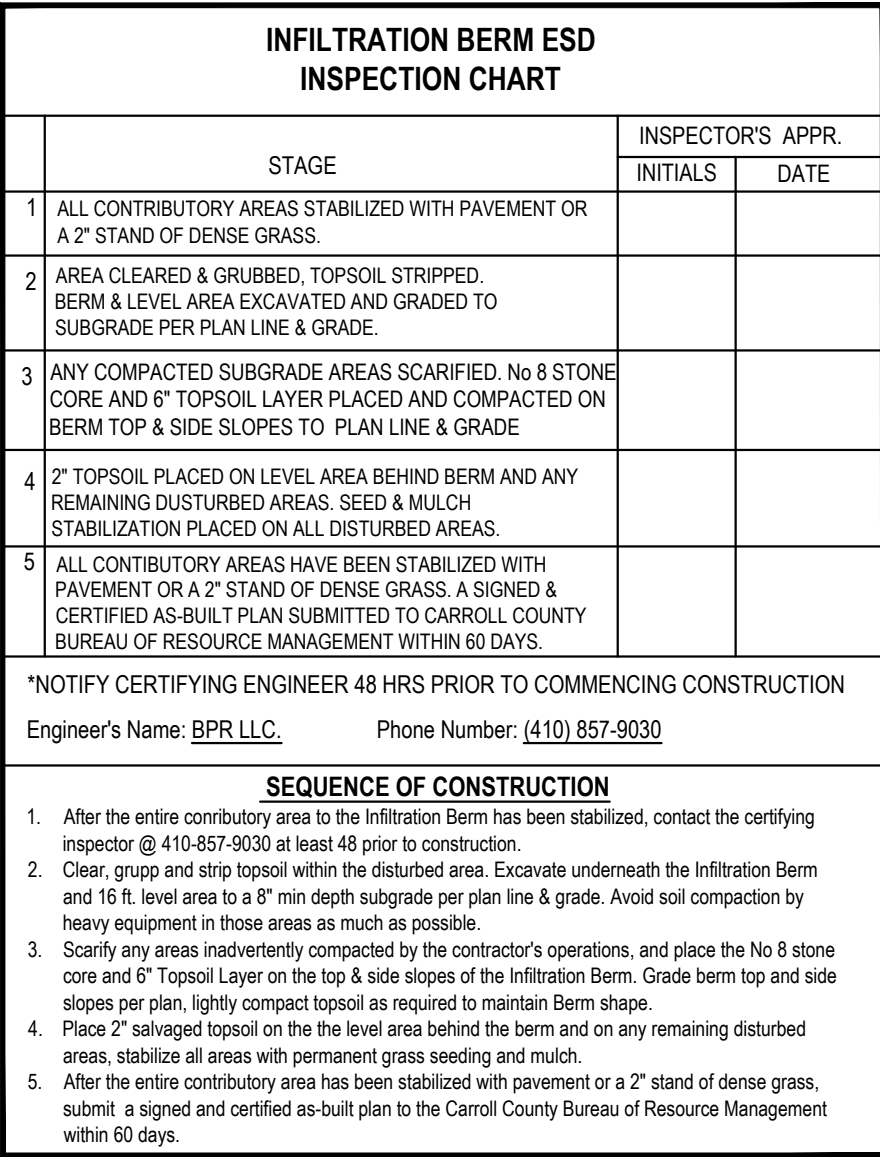
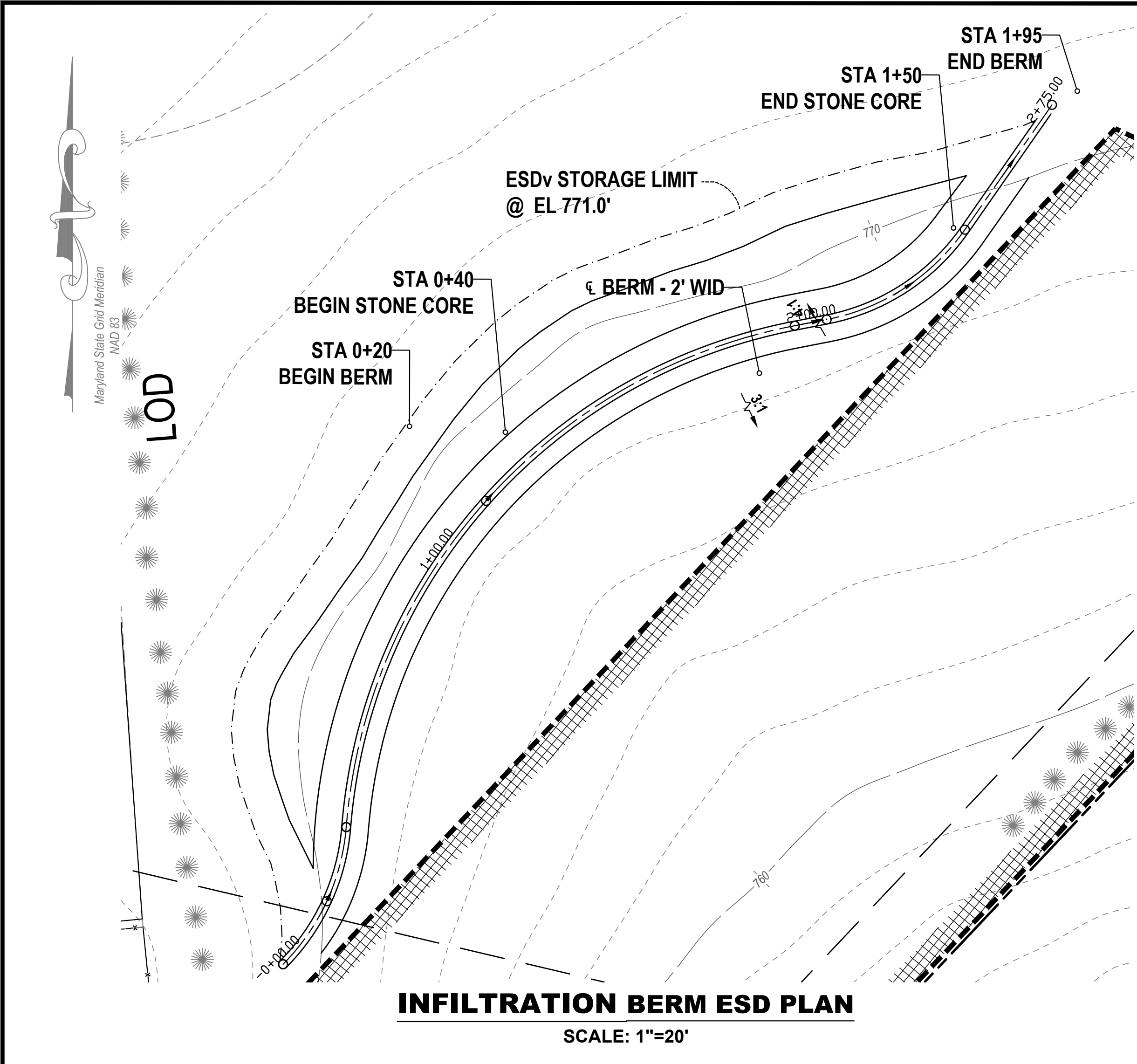
STORMWATER MANAGEMENT DEVELOPER'S/LANDOWNER'S CERTIFICATE We hereby certify that all proposed work shown on these construction drawing(s) will be conducted in strict accordance with these plans. I/We also understand that this is my/our responsibility to have the construction supervised and certified, including the submittal of "As-Built" plans certified by a registered Professional Engineer or Professional Land Surveyor within thirty (30) days of completion of work on the stormwater management facility/facilities. I/We hereby certify that this/these stormwater management facility/facilities will be inspected during construction by a Registered Professional Engineer or Professional Land Surveyor, as appropriate, in accordance with Section § 151.095 and § 151.096 of the Code of Public Local Laws and Ordinances of Carroll County. Signed: _____ Date: _____	
STORMWATER MANAGEMENT PROFESSIONAL'S DESIGN CERTIFICATION I hereby certify that these plans have been designed according to Chapter 151 of the Code of Public Local Laws and Ordinances of Carroll County and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Engineer or Professional Land Surveyor, as appropriate, under the laws of the State of Maryland. Signed: _____ Date: _____ License No.: _____ Expiration Date: _____	
STORMWATER MANAGEMENT PROFESSIONAL'S "AS-BUILT" CERTIFICATION I/We hereby certify that the facility/facilities shown on this/these plan(s) was/were constructed as shown on the "As-Built" plans and meets the approved plans and specifications. I also certify that this/these facilities were inspected in accordance with Section § 151.096 and § 151.096 of the Code of Public Local Laws and Ordinances of Carroll County and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Engineer or Professional Land Surveyor, as appropriate, under the laws of the State of Maryland. Signed: _____ Date: _____ License No.: _____ Expiration Date: _____	



OWNER / DEVELOPER

TERRY WILLIAMS &
ELLEN R. WILLIAMS
2800 NICODEMUS ROAD
WESTMINSTER MD. 21157
TEL: 443-463-3761

DATE		REVISION		BY
<div>BPR LLC LAND SURVEYING & CIVIL ENGINEERING 150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 857 - 9030 WWW.BPRSURVEYING.COM</div>				
DFT: JWF	CHK: BPR	SCALE: 1" = 50'		
STORMWATER MANAGEMENT PLAN				
BURNIES PROCCESING				
DATE: March 2025	BPR Job #: 22-1006	Co.File #: S-23-0013	SHT.NO. : 5 OF 9	

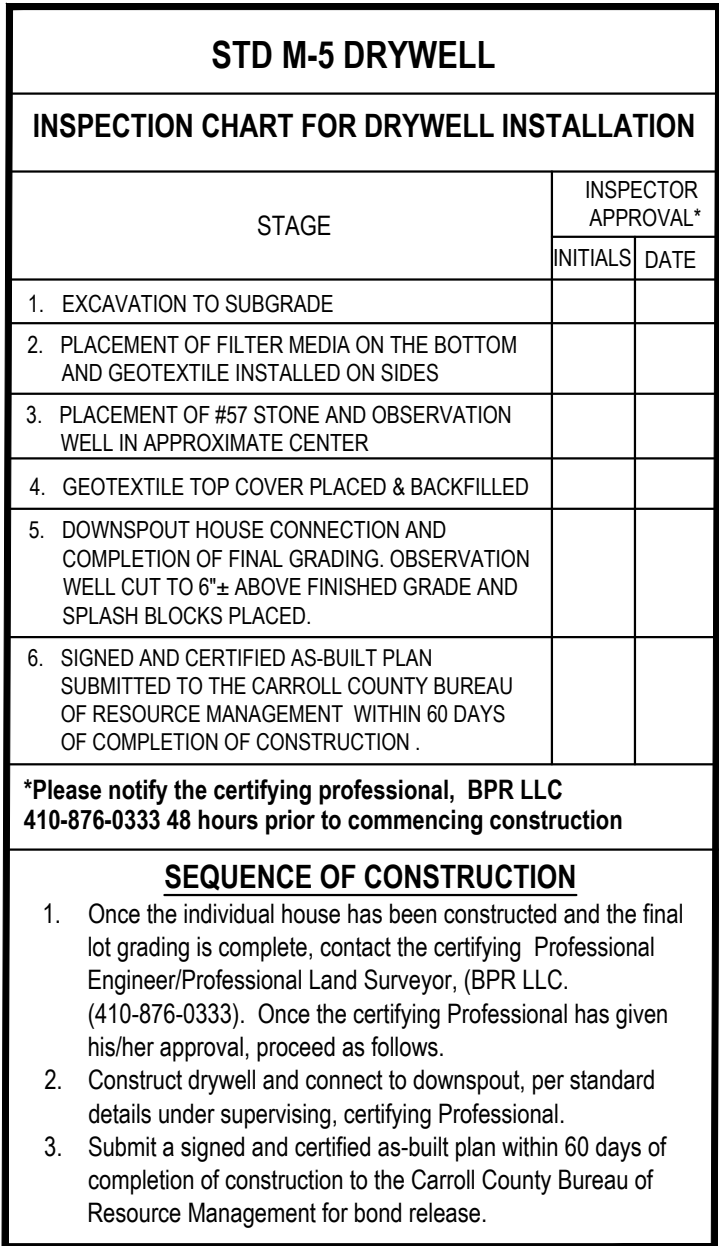


D.W. Denotes Standard Drywell

- NOTES:**
- IF USING ONE DRYWELL THE STANDARD DRYWELL IS 8' x 8' x 5' WITH SAND FILLING THE BOTTOM FOOT. THIS PROVIDES MINIMUM ESD (1') STORMWATER CONTROL FOR 1000 SQUARE FEET OF ROOFTOP. IF ADDITIONAL CONTROL IS REQUIRED TO PROVIDE TOTAL ESD TO MEP (UP TO 2.6') LARGER PRACTICES MAY BE USED. DRYWELLS LARGER THAN 216 OF STORAGE VOLUME MUST BE DESIGNED AS INFILTRATION FACILITIES.
 - MINIMUM SETBACKS:
 - A. 100 FT. FROM WELLS
 - B. 25 FT. FROM SEPTIC AREAS
 - C. 10 FT. FROM BUILDINGS
 - FROM THE DOWNSPOUT TO THE DRYWELL THE DRAIN PIPE MUST BE AT LEAST 6\"/>

SECTION
NTS

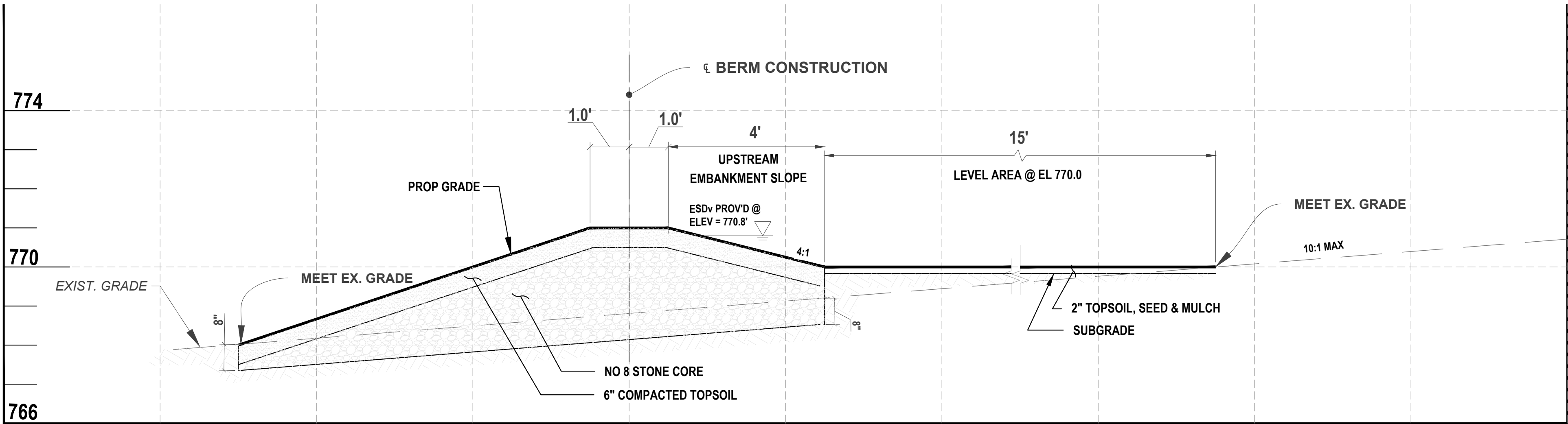
STANDARD No. M-5, DRYWELL(DW) - 11' x 12'x 5'



CARROLL COUNTY MATERIALS SPECIFICATIONS FOR INFILTRATION BERM			
MATERIAL	SPECIFICATION	SIZE	NOTES
Permanent Stabilization	Grass Seed - General Use Mix	N/A	Refer to the "Permanent Seeding Summary" table this sheet final stabilization.
Straw Mulch	MD Standards and Specifications 707.	N/A	Straw Mulch over seed bed.
Gravel Berm Core	AASHTO M-43 No. 8 Stone	3/4" - 1 1/2"	Stone must be clean and washed
Topsoil	Engineer Approved Loam with 20% or less Clay	N/A	

PERMANENT SEEDING SUMMARY							
SEED MIXTURE (FOR HARDNESS ZONE 6-a,b, FROM TABLE B.3)				FERTILIZER RATE (10-20-20)			LIME RATE
SPECIES	APPLICATION RATE (lb/1000 ft²)	SEEDING DATES	SEEDING DEPTHS	N	P₂O₅	K₂O	
TALL FESCUE	0.93	3/1 - 5/15	2" - 2"	2 LB/1000 SF	4 LB/1000 SF	4 LB/1000 SF	100 LB/1000 SF
PERENNIAL RYE GRASS	0.57	8/1 - 10/15	2" - 2"	2 LB/1000 SF	4 LB/1000 SF	4 LB/1000 SF	100 LB/1000 SF

STORMWATER FACILITY DATA TABLE						
OWNED & MAINTAINED BY	Terry & Ellen R Williams, Parcel 412 2800 Nicodemus Rd, Westminster, MD 21157					
STRUCTURE CLASSIFICATION	Non-Structural ESD Practices, MDE Standard ESD No's N-1,N-3, M-4, M-5 #02130907 Liberty Reservoir					
WATERSHED RECEIVING STREAM CLASSIFICATION	Use III-P					
TOTAL SITE(LOT) AREA	6.049 ac.					
DISTURBED AREA	ac.					
NEW IMPERVIOUS AREA	0.1579 ac					
TOTAL IMPERVIOUS AREA	1.2025 ac.					
ESD PRACTICE	N-3 Sheet Flow to Conservation Area #1	Infiltration Berm #1	Drywell #1	Drywell #2	Rooftop Runoff Disconnect #1	Rooftop Runoff Disconnect #1
CENTROID COORDS	N 667044 E 1308190	N 667124 E 1308158	N 667456 E 1308431	N 667301 E 1308227	N 667379 E 1308384	N 667370 E 1308277
DRAINAGE AREA	2.0018 ac.	1.7502 ac.	0.0227 ac.	0.0230 ac.	0.0386 ac.	0.0608 ac.
IMPERVIOUS AREA	1.0009 ac.	0.5445 ac.	0.0227 ac.	0.0230 ac.	0.0386 ac.	0.0608 ac.
PE DEPTH (REQ'D / PROV'D)	1.2" / 1.0"	1.2" / 1.2"	1.2" / 2.5"	1.2" / 2.5"	1.2" / 1.0"	1.2" / 1.0"
ESDv REQUIRED	4360.0 cf	2566.0 cf	94.0 cf	95.0 cf	159.6 cf	251.6 cf
ESDv PROVIDED	3633.3 cf	2566.0 cf	195.9 cf	197.9 cf	133.0 cf	209.7 cf



STD M-4, INFILTRATION BERM - TYPICAL SECTION
SCALE: 1" = 2' H & V

OWNER / DEVELOPER

TERRY WILLIAMS &
ELLEN R. WILLIAMS
2800 NICODEMUS ROAD
WESTMINSTER, MD, 21157
TEL: 443-463-3761

DATE	REVISION	BY
BPR LLC LAND SURVEYING & CIVIL ENGINEERING 150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 857 - 9030 WWW.BPRSURVEYING.COM		
DFT: JWF	CHK: BPR	SCALE: AS SHOWN
STORMWATER MANAGEMENT CONSTRUCTION DETAILS		
BURNIES PROCESSING		
DATE: March 2025	BPR Job #: 22-1006	Co.File #S-23-0013 SHT.NO. : 6 OF 9



VICINITY MAP

1 INCH = 2,000 FEET

MARYLAND STATE HIGHWAY ADMINISTRATION
GIS DEPARTMENT

PHASE 1 - Mass Grading, Overflow Storm Drain, and Sediment Trap Outfall Construction.

PHASE 1 - Mass Grading, Overflow Storm Drain, and Sediment Trap Outfall Construction.

1. Conduct the Carroll County Structural Control Inspector (LA10-368-2210) 24 hours prior to doing anything on the site to set up a pre-construction meeting and to make sure all local ordinance items are satisfied.
2. Construct the stabilization construction entrance along Buckshot Road. Install Phase I perimeter Silt Fence(S-PFI) and Super Silt Fence(S-SFPI) along the entire perimeter of the worksite in the locations and to the limits shown on the plan. Place Combination Interceptor Protection (CIPE) on the East. Solid Inlet within the Buckshot Road for a road side rain pipe. Construct Pipe Outlet Segment Trap #1 in conjunction with the existing manhole at the intersection of Buckshot Road and US Highway 70. Construct Micro-Mixer(MMR) overflow storm drain from the new curb-joint JB-1 to MRH-2 (Northwest) & JB-1 to Rstar A-4(Southeast). Backfill pipe trenching to Odell Street Bottom elev +72.0 and temporarily plug SWM basin track under openings in JB-1. Prepare temporary riser, and connect to connection in permanent SWM Riser #1. Permanently install Riser Track to Riser R-I-1 and extend Riser Id to EL 774.74 by placing "x" g.p.v pressure treated boards around it. Stabilize all disturbed areas outside the perimeter Silt Fence and within the Easement Area with Erosion Control Matting as work progresses.
3. Clear & Grub, Strip Topsoil, and Mass Grade the entire site in accordance with the grading design shown on the Plans 1 Layout & Grading Plate 2, including the easement area for the Use-In Common- Drive, but do not disturb the sidewalk and utility service installation areas within or along Buckshot Drive. Rough grade micro-concrete(MR) facilities and Construct MWR overflow storm drain pipes from Manhole M-2 to the existing manhole at the intersection of Buckshot Road and US Highway 70. Construct concrete pressure treated Riser R-1 through R-7 to underdrain TEE's, and temporarily cap riser pipes. Construct the concrete enclosures for anti-flooding on the outflow pipes to all the MNR Basins. Pipes, and backfill pipe trenching through MRB bas to subgrade or slightly lower.

1. Install Phase 1A Perimeter Silt Fence(SF-P2) around the storage building and access aisle area as shown on the plan. Contractor can make

1. Install Phase 1a Perimeter Self Force(SF-PZ) around the storage building and access aisle as shown on the plan. Contractor can make minor SF location adjustments wherever to create more space to construct the storage buildings & access aisles, and/or SWM.
2. Fine grade for the building pads and aislesways. Construct the foundation and/or floor slabs. Erect the Buildings A, 'B' & 'C'. Verify the downstream of Building 'B' and Building 'C' are not adjacent to the Bldg. foundation. Refer to Bldg. construction details and the plan. Construct sheet #9 for the full length of the Constructed Sequence the Individual Drywall. Construct the TDs and connect the TDs to the 12" outfall pipe. Construct/Install miscellaneous items including bollards, entry gate, privacy fence, sidewalk, door entry/styl pad, etc. Fine grade all paved areas within the site, and place full depth pavement for the access aisles and entrance. Contractor may stop pavement short where utility services include underground utility next step. Place stone paving for the outside storage areas to the inlet & grade shown on the plan. Permanently stabilize a vegetated area to use for the future parking lot.
3. Public Right of Use/Right of Easement. Constructed sidewalk, SWM Grass Shoulder, and install utility service connections within and along Buckholz Road and the Use-in-Common(UIC) Driveaway. Grade the Buckholz Road shoulder per plan line & grade and construct a "5 Concrete Sidewalk" and Handicapped Ramp in accordance with the Standard City of Westminster details, and as modified for this project. Grade the UIC SWM Width Shoulder and install underdrain and underdrain outlets as shown on the plan. Refer to the Use-in-Common Drive Construction plan sheet #5 for the special details for the UIC Driveaway. Construct the UIC Driveaway and Sanitary Sewer connection to the Buckholz Street. Construct the UIC Westminster standards, and extend to Row line. Install private utility connections (Gas, Electric, Phone, etc.) and extend to Row line. Verify entry locations in Bldg 'A' for all utility services, and extend services into building. Place UIC Driveway full depth pavement and complete on-site parking lot paving after utility services have been installed.
4. After all disturbed areas from steps 2 & 3 above have been stabilized with mulch pad, pavement, or a 2" dense strand of grass, fine grade and complete the perimeter Stormwater Management construction. Refer to the Micro-boretonrent & Bioswale construction details sheets #10 & #11 for the special details for the Micro-boretonrent and Bioswale. Construct the specific Construction Sequences of the individual UIC facilities. Start the Micro-boretonrent facility construction beginning at the upstream end and work downstream. Dewater each facility as the work progresses by pumping into the next downstream facility or directly into the Sediment Trap.
5. Construct the Carroll County Sediment Control Inspector prior to removing any final phase 1 measures. Advise the plan from the Sediment Control Inspector is required. After approval from Sediment Control Inspector, remove all Phase 1 SF & SFS, and the COP/ Inlet Protection. Remove the portion of Phase 1A SF from behind bldgs. A, 'B' & 'C', and along Bldg 'D' up to the end of the paved aisle. Permanently stabilize any disturbed areas with Phase 1A SF. Place temporary outside storage areas to the around the downstream side of Building 'C' to remain in place until the completion of Phase 2 s/work.

1. Place SCE anywhere off of the paved aisleway for Bldg 'F'. Inspect the condition of the existing Phase 1A SF, and repair or replace collapsed or

1. Place SCE anywhere off of the paved aisleway for Bldg F. Inspect the condition of the existing Phase 1A SF and repair or replace collapsed or otherwise damaged portions to the approval of the Sediment Control Inspector. Remove stored outside storage area and strip topsoil, haul away to off-site storage. Fine Grade for building pads and construct foot curb. Erosion Slope Bldg C through E. Verify the fine grade downward located at the end of the driveway from the building pad to the sidewalk. Review the approved plan sheet #6 and the Sequence of Construction for a more detailed description of the installation steps required by Dyrwells. Install miscellaneous items including bollards, etc. Fine grade all remaining paved areas within the site, and place full depth pavement for the access aprons.
2. Contact the Carroll County Sediment Control Inspector prior to removing any sediment control measures. Approval from the Sediment Control Inspector is required. After approval from Sediment Control Inspector, remove the remaining portions of Phase 1A SF, and permanently re-stabilize any disturbed areas.

Scope: Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 6 months.

Standards: The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.

For sites over 5 ac. soil tests will be performed. Soil tests will be conducted by the University of Maryland or a recognized commercial laboratory. Minimum soil conditions shall meet the requirements of section B-4-2-A-2-a, otherwise soil amendments or topsoil will need to be applied. Topsoiling may occur when soil conditions meet the minimum requirements as stated in section B-4-2-B. Soil amendments must meet the requirements as set forth in section B-4-2-C and must be applied as indicated by the soils tests.

Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates:

N = 45 lb. per acre (1 lb. per 1000 sq.ft.) P205 = 90 lb. per acre (2 lb. per 1000 sq.ft.)
K20 = 90 lb. per acre (2 lb. per 1000 sq.ft.)

Lime shall be applied at a rate of 2 tons per acre (90 lb. per 1000 sq.ft.)

Seed type, turfgrass or sod application shall meet the requirements in section B-4-5. Seed tags shall be made available to the inspector to verify the type and application rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c, and will be applied along with seed or immediately after seeding.

Seeding mixtures shall be selected from or will be equal to those on Table B-3. The seeding chart below will need to be placed on and filled in on the sediment control plan.

SEED MIXTURE (FOR HARDINESS ZONE 6-8)				FERTILIZER RATE (10-20-20)			LIME RATE
SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	N	P ₂ O ₅	K ₂ O	
TALL FESCUE	100	3/11 5/15 8/11 10/15	1/4 in	45 lb/ac (1.0 LB/ 1000 SF)	90 lb/ac (2 LB/ 1000 SF)	90 lb/ac (2 LB/ 1000 SF)	2 TONS/ac (90 LB/ 1000 SF)

Scope: Planting short term (no more than 6 Months) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.

Standards: The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2

For temporary stabilization, fertilizer shall consist of a mixture of 10-20-20 and be applied at a rate of 436 lb. per acre (10 lb. per 1000 sq. ft.) and will meet the requirements in section B-4-2. Lime shall be applied at a rate of 2 tons per acre (90 lb. per sq. ft.) and shall meet the requirements in section B-4-3 and B-4-4.

Seed type and application shall meet the requirements in section B-4-3 Seed tags shall be made available to the inspector to verify the type and rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c and will be applied along with the seed or immediately after seeding

Seeding mixtures shall be selected from or will be equal to those on Table B.1 (page B.20)

SEED MIXTURE (FOR HARDINESS ZONE 6-8)				FERTILIZER RATE (10-20-20)	LIME RATE
SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS		
Annual Ryegrass	40	3/11/5/15 8/11/10/15	1/2 in	436 lb/ac	2 TONS/ac
Barley	96	3/11/5/15 8/11/10/15	1 in		

SEED MIXTURE (FOR HARDINESS ZONE 6-8)				FERTILIZER RATE (10-20-20)			LIME RATE
SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	N	P ₂ O ₅	K ₂ O	
TALL FESCUE	100	3/11 5/15 8/11 10/15	1/4 in	45 lb/ac (1.0 LB/ 1000 SF)	90 lb/ac (2 LB/ 1000 SF)	90 lb/ac (2 LB/ 1000 SF)	2 TONS/ac (90 LB/ 1000 SF)

1. All erosion/sediment control measures shall comply with the "Maryland Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of the Environment, Water Management Administration in association with the Natural Resources Conservation Service and the Maryland Association of Soil Conservation Districts (referenced as the 2011 Standards and Specs).
2. Areas that have been graded and/or graded, but will not be constructed on or permanently vegetated for more than 7 days (3 days for sediment control measures and for steep slopes) must be stabilized with mulch or temporary stabilization. Any areas that are in temporary vegetation for over 6 months will need to be permanently vegetated.
3. For specifications on permanent or temporary stabilization, see B-4.4 and B-4.5.
4. Mulching only is restricted to use on disturbed areas as a temporary cover where vegetation is not feasible or where seedling germination cannot be completed because of weather conditions. For specifications see B-4.3, A.1.B
5. For specifications on the stabilization of cut and fill slopes steeper than 3 horizontal to 1 vertical, see Incremental Stabilization B-4.1
6. The existing topsoil on or off site that is used must meet the minimum specification in B-4.2
7. The required sequence of construction must be followed during site development. Any changes in the sequence of construction must be approved by the Soil Conservation District.
8. Any revisions to the sediment control plan, not covered under the list of plan modifications that can be approved by the sediment control inspector, need to be submitted to the Soil Conservation District for approval.
9. No proposed slope that is required to be seeded and/or mulched shall be steeper than 2:1. Slopes steeper than 2:1 shall require a engineered design for stabilization
10. All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 2011 Standards and Specs.
11. The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.
12. The first inspection for the sediment control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be resubmitted to the Soil Conservation District for review and re-approval. Any plans that are currently under construction after 2 years may be required to be resubmitted to the Soil Conservation District by the sediment control inspector.


CERTIFY THAT THIS PLAN OF SOIL EROSION AND SEDIMENT CONTROL WILL BE
 IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO
 THE DESIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN AND THAT ANY
 RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A
 CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED
 TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE
 BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE
 CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES.

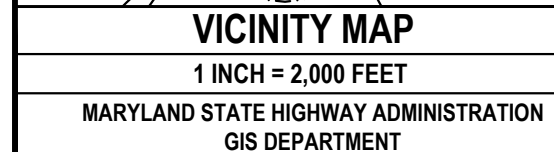
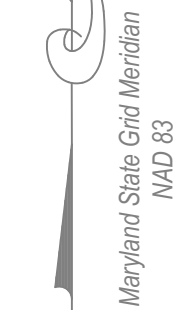
DEVELOPER

DATE

PRINTED NAME OF DEVELOPER

**TERRY WILLIAMS &
ELLEN R. WILLIAMS
2800 NICODEMUS ROAD
WESTMINSTER MD, 21157
TEL: 443-463-3761**

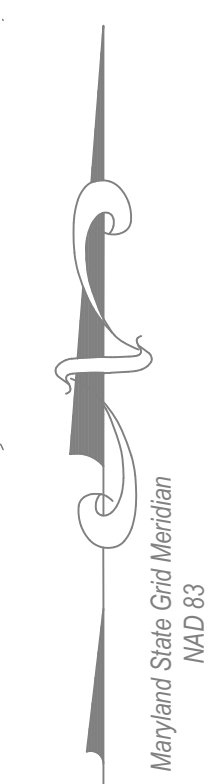
DATE	REVISION	
<div style="text-align: center;">  <p>BPR LLC</p> <p><u>LAND SURVEYING & CIVIL ENGINEERING</u></p> <p>150 Airport Drive, Suite 4 Westminster, Maryland 21157 410 - 857 - 9030 www.BPRSURVEYING.COM</p> </div>		
DFT: JWF	CHK: BPR	SCALE: AS SHOWN
SEDIMENT CONTROL PLAN, NOTES & DETAILS		
BURNIES PROCESSING		
DATE: March 2025	BPR Job #: 22-1006	Co.File #: S-23-0013
		SHT.NO. : 7 OF 9



BPR LLC
LAND SURVEYING & CIVIL ENGINEERING
150 Airport Drive, Suite 4
Westminster, Maryland 21157
410 - 857 - 9030
WWW.BPRSURVEYING.COM

BURNIES PROCESSING

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1. LOD = 00.000 SF (0.00 A.C.)
2. Because no existing trees are to remain, no tree preservation is proposed.
3. Per Section V.C.1.c., parking lot islands are not required for this project because having more than 12 parking spaces are proposed on the site.
4. Because the site is in an Industrial Park, Section V.C.1.d. of the City of Westminster Landscape Manual applies in lieu of Sections V.C.1.a. and V.C.1.b.i.
5. Landscape Modifications were granted on July 20, 2021 to Landscape Manual Section V.C.1.d. to allow the 30-foot wide landscape buffer to be reduced to 21 feet.
6. **SITE WATER CONSERVATION, XERISCAPE:** This site complies with the 2016 Development Design Preferences Manual for the incorporation of all or most Xeriscape principles into the Landscape design. The Landscaping limits the amount of grass turf areas by replacing these areas with drought resistant plantings or semi-submerged plantings within SWM bio facilities. The plantings are to be placed in the SWM bio facilities or SWM facility bottom areas having approved planting mixes or topsoil and a specified layer depth of mulch. No irrigation systems are necessary.

1. In areas where existing concrete or bituminous pavement removal is designated for permanent landscaping, remove full depth base & subbase materials down to the subgrade soils. Aerate and fill back to within 6" of finished grade with a well-drained planting subsoil mix. Bring to finished grade with 6" topsoil mix.
2. All permanent grassed areas shall be prepared and planted in accordance with the applicable portions of section B-4 of the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control.

Signature of Landscape Architect
Date

Signature of Owner
Date

Address

Groundcover

**TERRY WILLIAMS &
ELLEN R. WILLIAMS
2800 NICODEMUS ROAD
WESTMINSTER MD, 21157
TEL: 443-463-3761**

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