

FREEDOM VILLAGE TACO BELL

CONCEPT SITE DEVELOPMENT PLAN

MAP 0073, GRID 0012, PARCEL 0731

ELDERSBURG

CARROLL COUNTY, MARYLAND

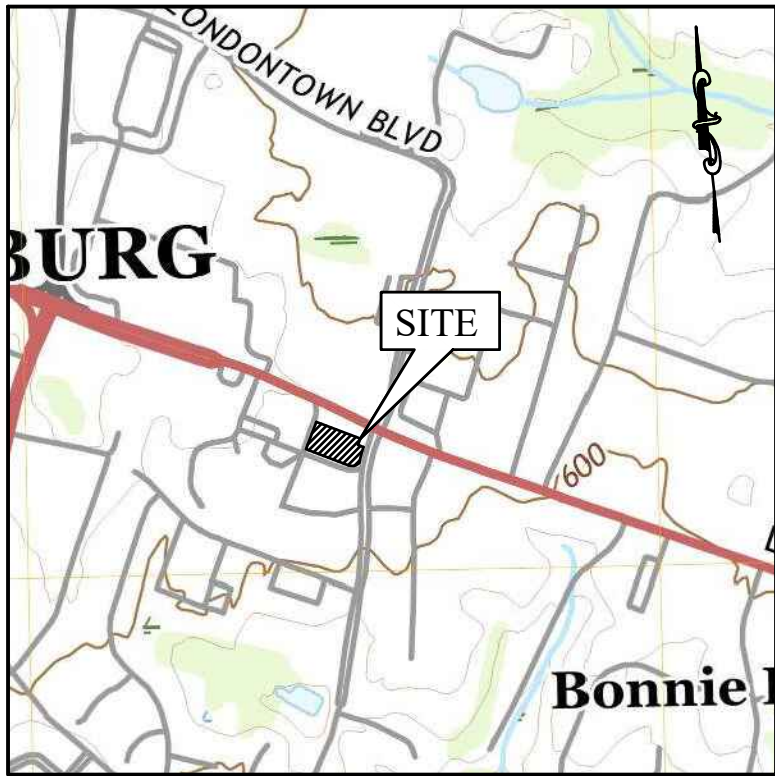
GENERAL NOTES

- COUNTY FILES S-22-0048 - FREEDOM VILLAGE TACO BELL & P-24-0009 FREEDOM VILLAGE RESUBDIVISION LOT 2B.
- EXISTING ZONING: C-3 COMMERCIAL HIGH INTENSITY DISTRICT
- TOTAL AREA OF SITE: 41,117.43 SF (0.944 AC)
- TOTAL DEVELOPED AREA: 41,117.43 SF (0.944 AC)
- THE PROPERTY SHOWN HEREON IS OWNED BY FREEDOM VILLAGE SHOPPING CENTER, LLC, BY DEED DATED APRIL 8TH, 1998, RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY IN LIBER 2029, FOLIO 445-448.
- TAX MAP/BLOCK/PARCEL 0073/0012/0731. PLAT REFERENCE BOOK 52, PAGE 168.
- TOPOGRAPHY SHOWN HEREON IS FIELD RUN, DATED AUGUST 15, 2022, PREPARED BY PENNONI ASSOCIATES, INC.
- THE LOCATION OF THE NEAREST WATER SUPPLY FOR FIRE PROTECTION IS A WATER MAIN AND FIRE HYDRANT LOCATED ON THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF THE EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
- THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING.
- EXISTING USE: TACO BELL RESTAURANT (COUNTY FILE NO. S-91-010)
- PROPOSED USE: TACO BELL RESTAURANT
- TOTAL MAXIMUM NUMBER OF EMPLOYEES: 8 PER SHIFT
- NO FRESHWATER WETLANDS EXIST ON THE SITE, AS REFERENCED BY THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY.
- THE PROPERTY DOES NOT FALL WITHIN A FLOOD PLAIN ZONE ACCORDING TO THE MOST RECENT FEMA FIRM MAP 24013C0314D.
- THE SITE IS LOCATED WITHIN THE SOUTH BRANCH OF THE PATAPSCO RIVER WATERSHED, WHICH IS NOT A TIER II WATERSHED.
- THE SITE IS LOCATED WITHIN A WELLHEAD PROTECTION AREA. THE SITE DOES NOT LIE WITHIN ANY WELLHEAD BUFFERS. THIS PROJECT DOES NOT INCLUDE THE STORAGE OR USE OF ANY REGULATED SUBSTANCES.
- THERE ARE CURRENTLY NO KNOWN DEED RESTRICTIONS OR COVENANTS ASSOCIATED WITH THE SUBJECT PROPERTY.
- THE SITE IS IN COMPLIANCE WITH THE CODE OF PUBLIC LOCAL LAWS & ORDINANCES OF CARROLL COUNTY, MARYLAND PER CHAPTER 150 OF THE FOREST CONSERVATION ORDINANCE. PROPOSED DISTURBANCE FOR THIS PROJECT IS LESS THAN 40,000 SF AND IS THEREFORE EXEMPT FROM FOREST CONSERVATION REQUIREMENTS PER SECTION 150.21(B)(1).
- THE PROPERTY DOES NOT FALL WITHIN A TIER II HIGH QUALITY WATER, AS REFERENCED ON MARYLAND'S TIER II HIGH QUALITY WATERS (2022) MAP.
- RIDENOUR WAY, WHICH RUNS THROUGH THE SUBJECT PROPERTY, IS CLASSIFIED AS A PLANNED NEIGHBORHOOD CONNECTION.

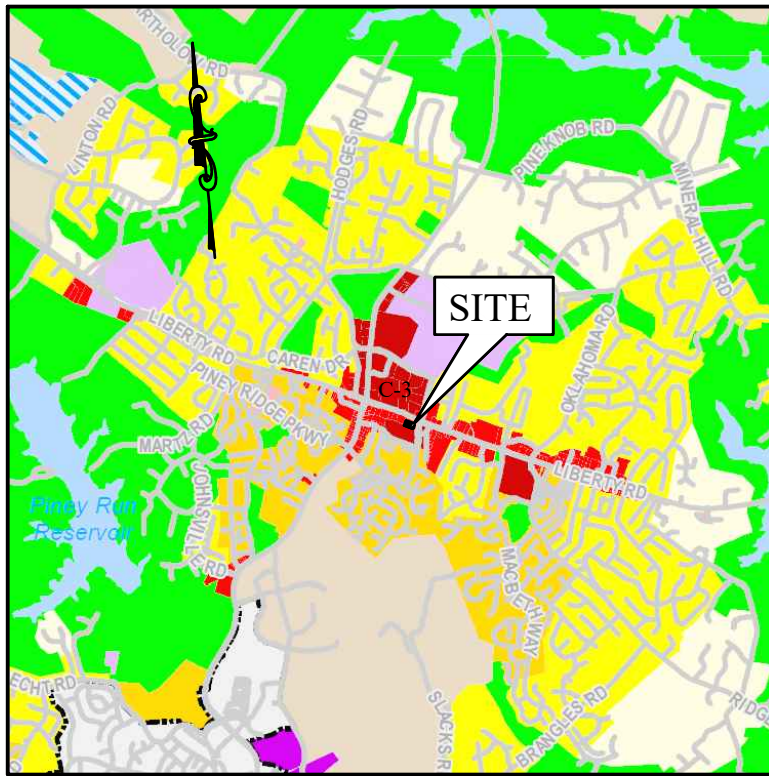
SITE DEVELOPEMENT PLAN INSPECTION SEQUENCE NOTES:

- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
 - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS AS SHOWN ON THESE APPROVED PLANS.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL WORK SHOWN ON PLANS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2647 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.



U.S.G.S. QUAD MAP
SCALE: 1" = 1,000'



ZONING MAP
NOT TO SCALE



SHOPPING CENTER MAP
SCALE: 1" = 200'

PREPARED FOR:

DEVELOPER:
MARYLAND CANTINA, LLC
PO BOX 429
CONSHOHOCKEN, PA 19428
(610) 520-1000

OWNER:
FREEDOM VILLAGE SHOPPING CENTER, LLC
C/O CONTINENTAL REALTY CORP.
1427 CLARKVIEW RD., SUITE 500
BALTIMORE, MD 21209
(443) 921-4346

PREPARED BY:



THE PETTIT GROUP, LLC
Engineering • Architecture • Planning

497 Center Street • Sewell, NJ 08080
Tel: 856-464-9600 Fax: 856-464-9606
www.pettitgroup.com

OWNER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE. I/WE CERTIFY THAT PUBLIC WATER AND/OR PUBLIC SEWER WILL BE AVAILABLE TO ALL LOTS OFFERED FOR SALE.

NAME(S) PRINTED _____ DATE _____

SIGNED _____ DATE _____

CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY _____ DATE _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING

BY _____ DATE _____

CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES

BY _____ DATE _____


CARROLL COUNTY HEALTH DEPARTMENT

COMMUNITY WATER SUPPLY AND/OR COMMUNITY SEWERAGE SYSTEMS ARE IN CONFORMANCE WITH THE CARROLL COUNTY MASTER PLAN.

BY _____ DATE _____

INDEX OF DRAWINGS

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REVISIONS		
NO.	DESCRIPTION	DATE
1	PER COUNTY REVIEW	09/04/24
2	PER COUNTY REVIEW	11/18/24
3	NEW BUILDING	01/12/25
4	PER COUNTY SWM REVIEW	04/10/25

FOR APPROVAL PURPOSES ONLY

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSES INTENDED WILL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE PETTIT GROUP, LLC AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK OUT SERVICE (1-800-722-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

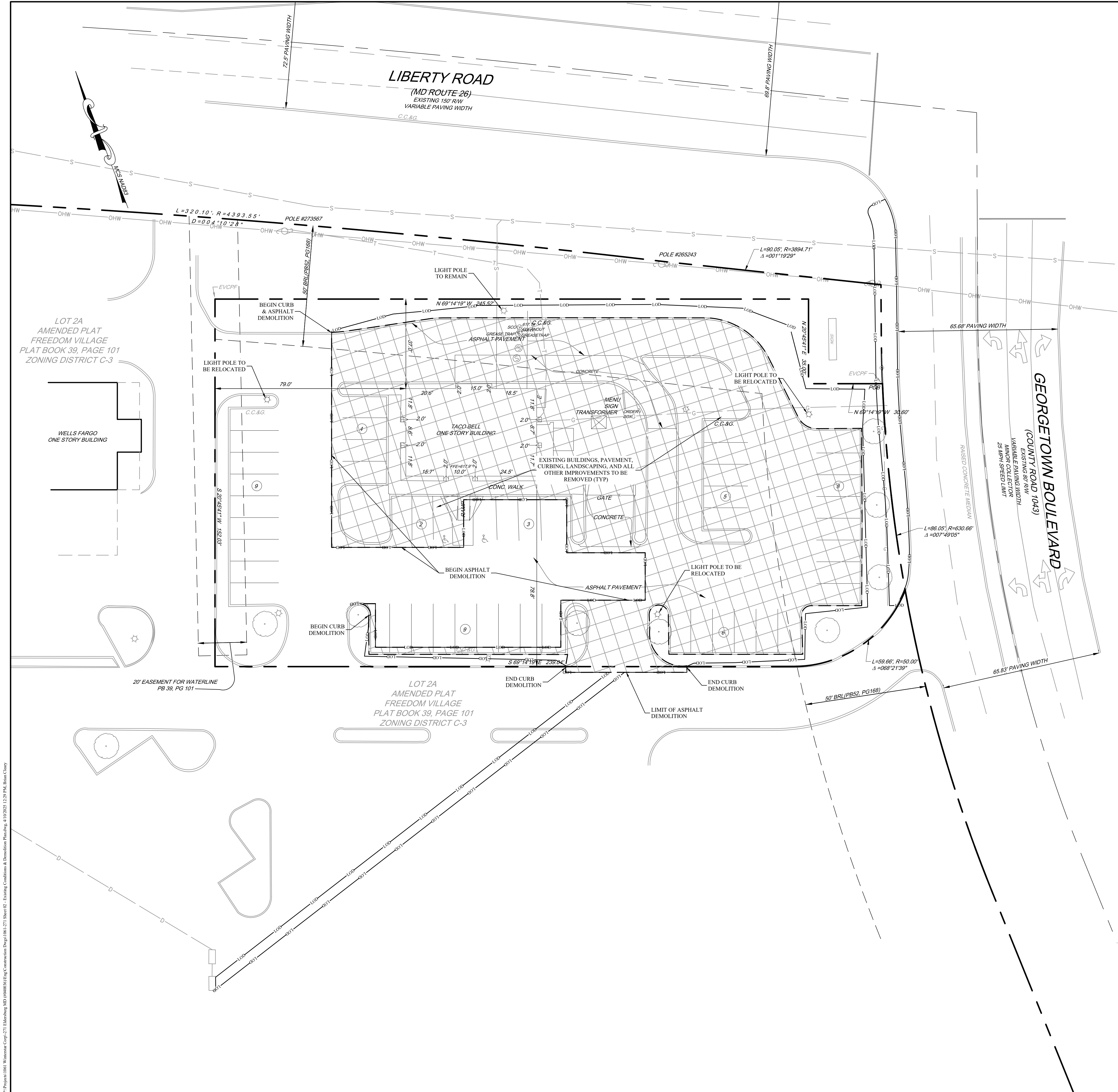
DESIGNED BY: CBI	JOB NO: 1061-271
DRAWN BY: CBI	DATE: 05/22/24
CHECKED BY: BWC	SCALE: NO SCALE

**TACO BELL**
CONCEPT SITE
DEVELOPMENT PLAN
1429 LIBERTY ROAD
MAP 0073, GRID 0012, PARCEL 0731
TAX ACCOUNT ID: 0705059968
STORE #040036
ELDERSBURG, MD
ELECTION DISTRICT 05-004
CARROLL COUNTY
STATE OF MARYLAND
FOR
MARYLAND CANTINA, LLC
PO BOX 429
CONSHOHOCKEN, PA 19428

**BRIAN W. CLEARY, PE**
Professional Engineer
Maryland • License # 24411

COVER SHEET

1 of 10



DEMOLITION NOTES:

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN TAKEN FROM VARIOUS SOURCES AND IS SHOWN FOR DESIGN AND ESTIMATING PURPOSES ONLY. ACTUAL LOCATIONS OF UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES OR APPARENT CONFLICTS SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER FOR INTERPRETATION. ANY ALL DISCREPANCIES SHALL BE REPORTED TO ENGINEER IN WRITING PRIOR TO ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS & UTILITIES. A WRITTEN NOTICE SHALL BE FORWARDED TO THE OWNER SETTING FORTH THE DATE OF CONTACT. CONTRACTORS ARE ADVISED TO CALL 1-800-272-1000 BEFORE COMMENCING FOR A MARKOUT OF EXISTING UTILITIES.
2. CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES PRIOR TO DEMOLITION.
3. CONTRACTOR TO COORDINATE ALL UTILITY REMOVAL(S) AND SHUT-OFF(S), (TYPICAL).
4. CONTRACTOR TO COORDINATE WITH ALL APPLICABLE AGENCIES DURING THE DEMOLITION OF EXISTING BUILDINGS.
5. TEST PITS SHALL BE EXCAVATED PRIOR TO CONSTRUCTION TO LOCATE UNDERGROUND UTILITIES.
6. ANY REQUIRED UTILITY POLE RELOCATIONS FOR THE PROPOSED IMPROVEMENTS SHALL BE COMPLETED AT NO EXTRA COST TO THE OWNER. CONTRACTOR SHALL PROVIDE ALL NECESSARY ARRANGEMENTS FOR UTILITY POLE RELOCATION.
7. THE CONTRACTORS ARE ADVISED THAT ANY REQUIRED UNDERGROUND UTILITY RELOCATIONS INCLUDING GAS MAINS AND SERVICES, WATER MAINS AND SERVICES, SEWER MAINS AND SERVICES, ELECTRIC AND TELEPHONE LINES SHALL BE COMPLETED AT NO COST TO THE OWNER UNLESS SPECIFICALLY NOTED OTHERWISE.
8. EXISTING UTILITIES INCLUDING VALVE BOXES, CLEAN OUTS, CURB STOPS, MANHOLES, ETC., SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADE. STORM DRAINAGE STRUCTURES SHALL NOT BE ADJUSTED UNLESS SPECIFICALLY CALLED FOR. NO TRENCHES SHALL REMAIN OPEN OVERNIGHT.
9. SUPPORT AND STABILIZATION OF REMAINING STRUCTURES SHALL CONFORM TO IBC 2009.
10. ALL DEMOLITION TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
11. NO DISTURBANCES SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER(S) DIRECTLY AFFECTED.
12. CONTRACTOR SHALL CLEAN ADJACENT STRUCTURES AFFECTED BY DEMOLITION, CONTRACTOR TO RETURN ADJACENT AREAS TO CONDITIONS EXISTING PRIOR TO START OF WORK.
13. THE CONTRACTOR SHALL PROPERLY DISPOSE OF SPOILS AND EXCAVATED MATERIALS. NO CONSTRUCTION DEBRIS, CUT VEGETATION, TREE STUMPS, OR ANY OTHER SOLID WASTE EXISTING ON SITE IS TO BE BURIED ON SITE. NO ON SITE BURIAL OR BURNING OF CONSTRUCTION DEBRIS IS PERMITTED. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OFF SITE. ALL MATERIALS REMOVED FROM SITE ARE TO BE DISPOSED OF AT AN APPROVED FACILITY.
14. EXISTING TOPSOIL ON SITE IS TO BE PROTECTED. NO TOPSOIL IS TO BE SOLD OR REMOVED FROM THE SITE OR USED AS SPOIL, UNLESS APPLICATION IS MADE TO THE APPROVING AUTHORITY AND APPROVAL IS GRANTED.
15. PROJECT SITE TO BE CLEARED ONLY AS REQUIRED. EXISTING TREES SHALL BE PROTECTED ALONG WITH ALL EXCAVATION AND CONSTRUCTION LIMITS.
16. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIAL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION, CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY APPLICABLE UTILITY COMPANIES TO ENSURE CONTINUATION OF SERVICE.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES TO BE REMOVED. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH LOCAL MUNICIPAL & MUA SPECIFICATIONS.
19. EXISTING BUILDING SHALL BE DEMOLISHED INCLUDING ALL BASEMENT FOOTINGS AND FOUNDATION WALLS & MATERIALS. (BASEMENT MATERIAL SHALL BE REMOVED FROM SITE AND NOT USED FOR FILL).

SITE SOILS			
NAME	SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP
URBAN LAND-UDORTHERENTS	U/B	0 TO 5 PERCENT SLOPES	D

TOTAL AREA OF DISTURBANCE: 0.634 ACRES (27,599 SF)
ESDv TARGET AREA OF DISTURBANCE: 0.614 ACRES (26,759 SF)

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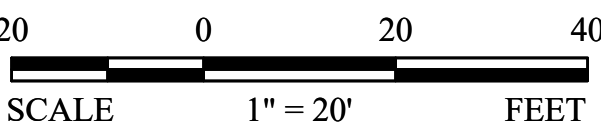
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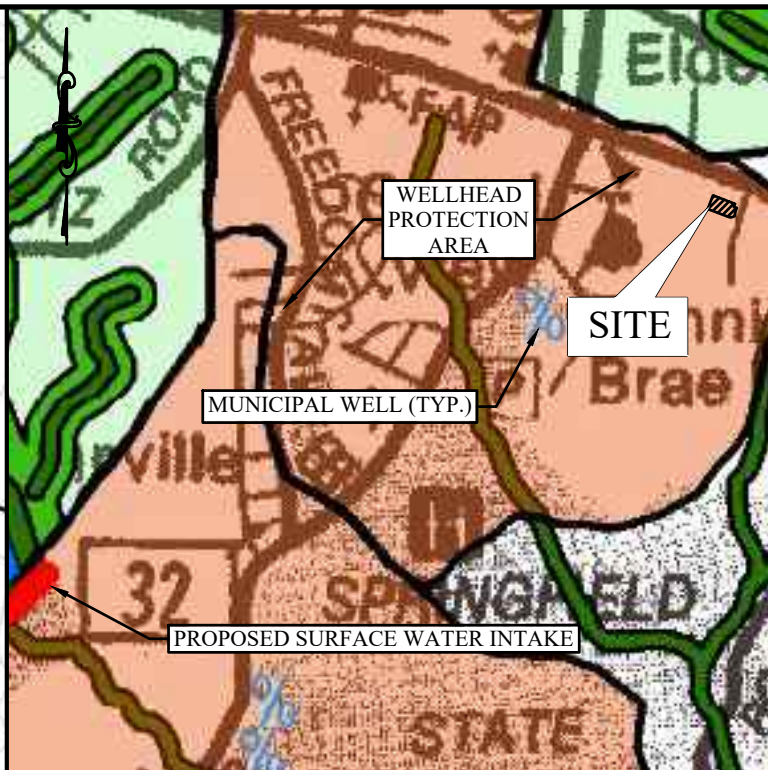
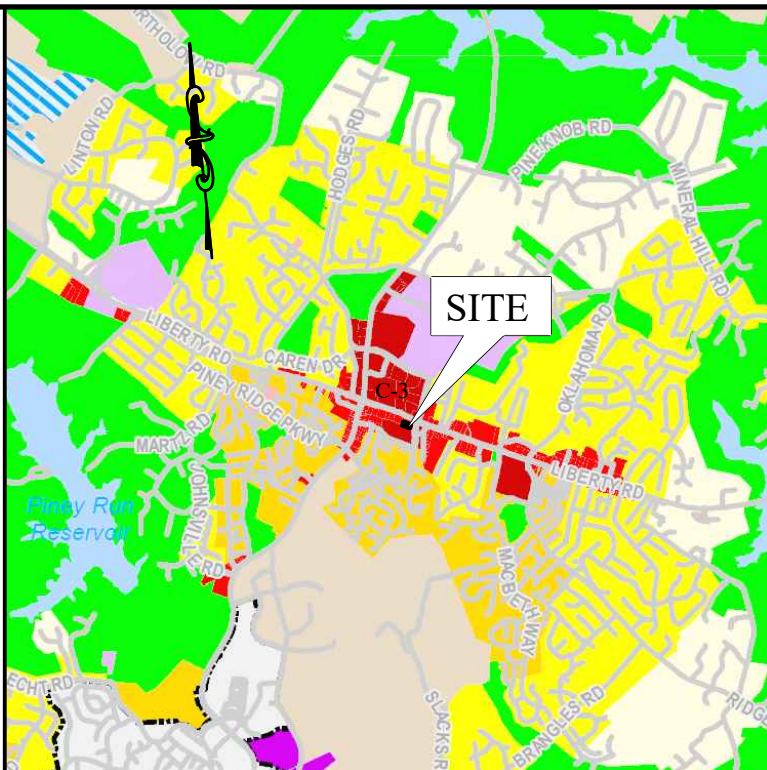
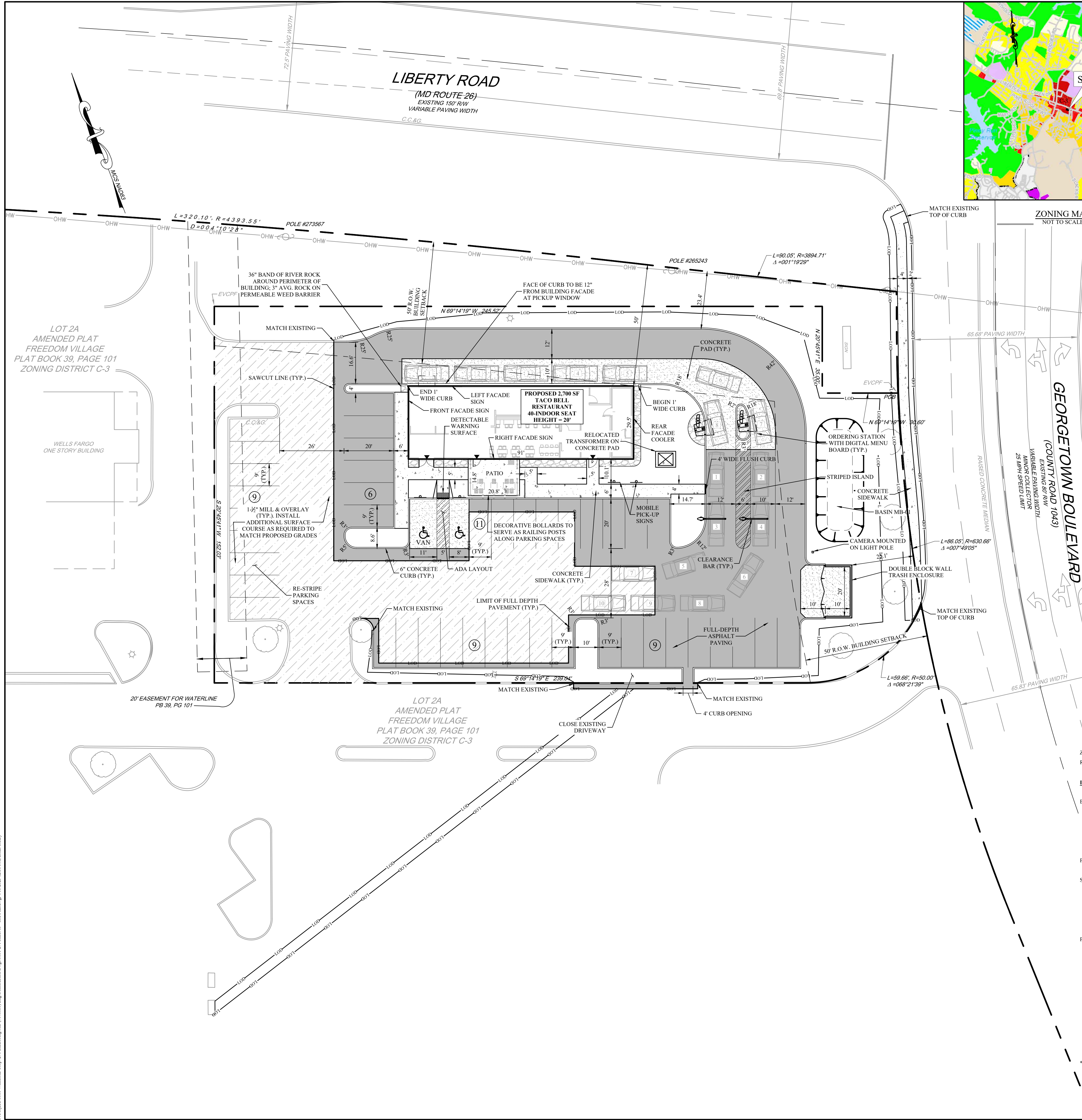
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EXISTING
CONDITIONS &
DEMOLITION PLAN

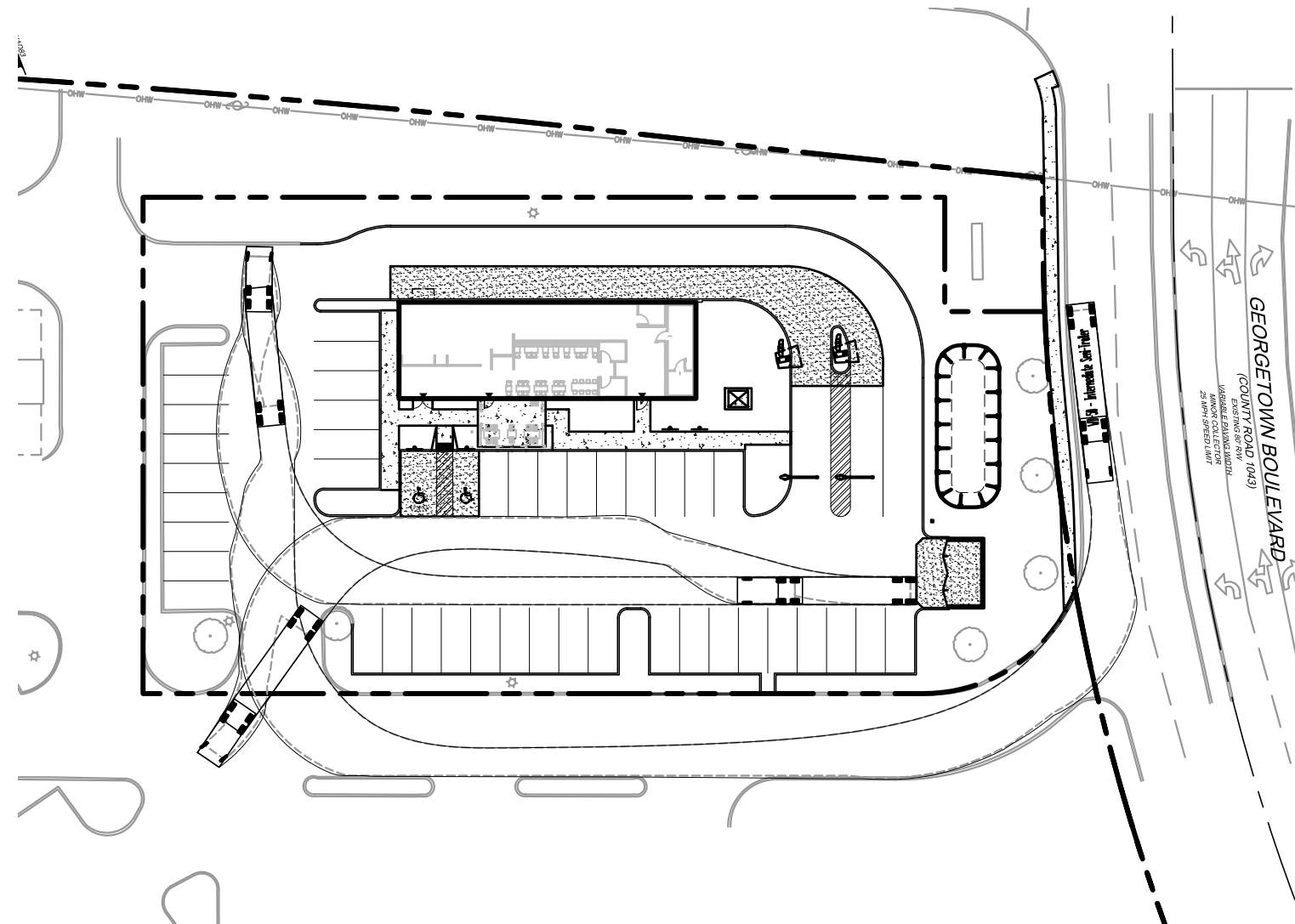




ZONING MAP
NOT TO SCALE

VICINITY MAP
SCALE: 1" = 2,000'

WATER RESOURCE MAP
SCALE: 1" = 2,000'



WB-50 TURNING TEMPLATE
SCALE: 1" = 50'

SITE SOILS			
NAME	SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP
URBAN LAND-UDORTHENTS	U/B	0 TO 8 PERCENT SLOPES	D

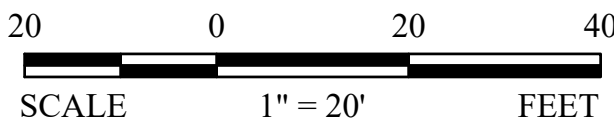
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ITE TRIP GENERATION TABLE						
Land Use	Size	AM Peak Hour	PM Peak Hour	Weekday Daily Trips	Weekend Peak Hour	Weekend Daily Trips
Fast Food Restaurant with Drive Through Window	1989 SF (Existing Taco Bell)	102	103	937	110	1226
Fast Food Restaurant with Drive Through Window	2700 SF (Proposed Taco Bell)	140	141	1286	151	1683
	741	38	38	349	41	457

CARROLL COUNTY ZONING SCHEDULE

ITEM	REQUIRED	EXISTING	PROPOSED	ORDINANCE
BUILDING SETBACKS & HEIGHT:				
MIN. SETBACK FROM PUBLIC STREET R.O.W. LINE (FT)	50	58.1	49.2 **	\$155.094(C)(1)(a)
MIN. FRONT YARD (FT)	10	58.1	49.2	\$158.084(C)(1)(a)
MIN. SIDE YARD (FT)	10	> 10	> 10	\$158.084(C)(1)(b)
MIN. REAR YARD (FT)	15	> 15	> 15	\$158.084(C)(1)(c)
MAX. BLDG HEIGHT (FT)	50	16' - 10 1/2"	20	\$158.084(C)(1)(d)
PARKING SETBACKS:				
FROM PUBLIC STREET RIGHT-OF-WAY (FT)	15	22	23.4	\$155.078(C)(3)
SIGNAGE:				
MAX. TOTAL SIGN AREA CALCULATION	4 SF PER 1 LF OF TENANT FRONT	-	91 LF	\$155.14(C)
MAX. TOTAL SIGN AREA (SF)	364	214.94	85.5	\$155.14(C)
PARKING & QUEUING REQUIREMENTS				
PARKING:				
MIN. STANDARD SPACE SIZE (FT)	9 x 20	9 x 20	9 x 20	\$155.078(A)
MIN. AISLE WIDTH (90 DEGREE PARKING) (FT)	24	25	26	\$158.064(C)(1)(c)
PARKING CALCULATION FOR RESTAURANT	1 FOR EVERY 3 PERSONS, BASED ON MAXIMUM CAPACITY	-	46 PERSONS	\$158.063
MINIMUM NUMBER OF SPACES	16	48	44	
PARKING CALCULATION AS PART OF A PLANNED COMMERCIAL CENTER	5.5 SPACES PER 1,000 SF OF BUILDING AREA	-	2,700 SF	\$158.063
MINIMUM NUMBER OF SPACES	15	48	44	
MINIMUM NUMBER OF QUEUING SPACES	7 SPACES PER TRANSACTION STATION (5 APPROACHING EACH ORDER BOARD)	-	1 TRANSACTION STATION	\$158.064(C)(1)(b)(5)
TOTAL NUMBER OF QUEUING SPACES	7 (10)	-	8 (10)	

** DENOTES PROPOSED NON-CONFORMANCE



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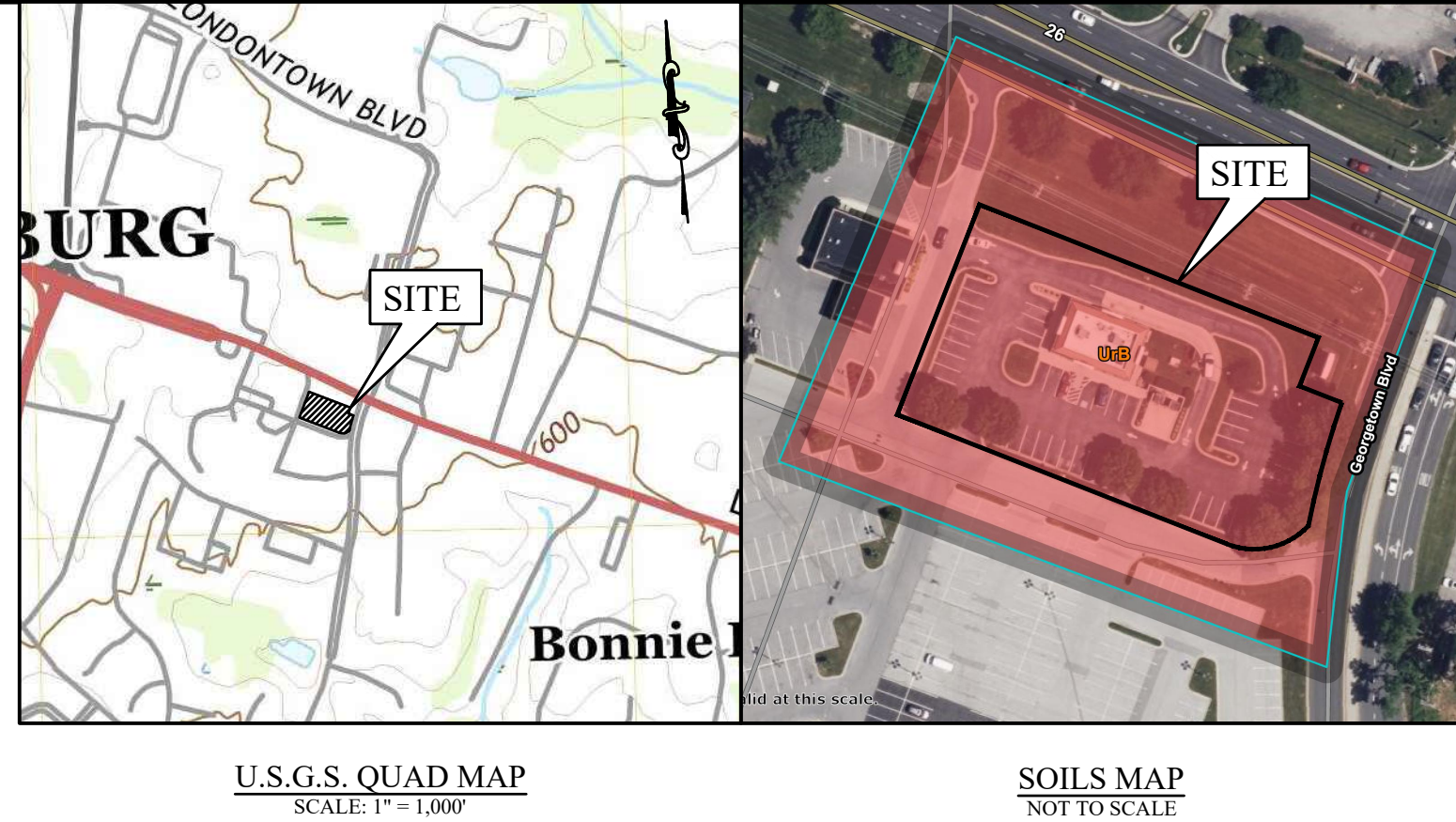
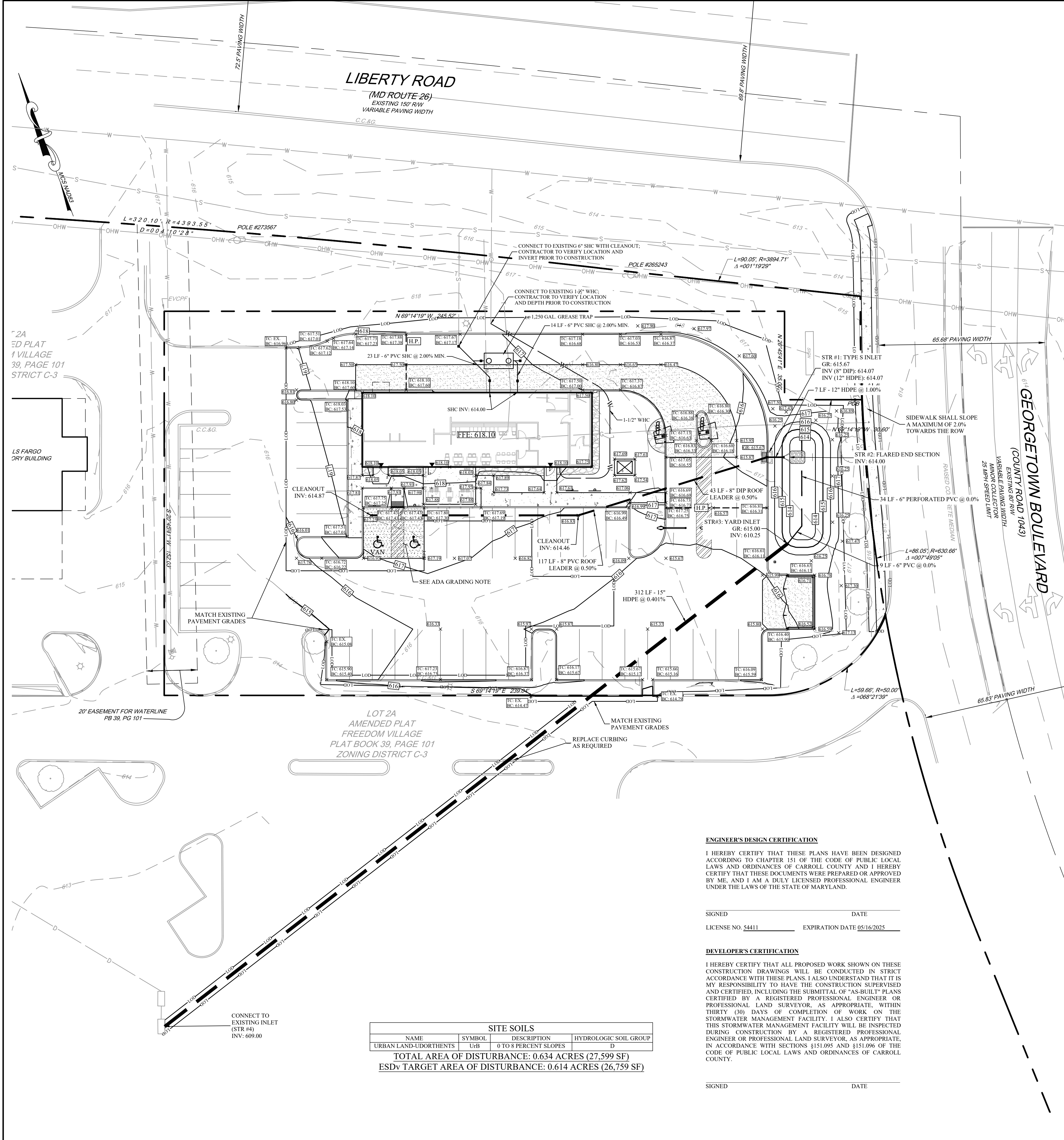
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FOR
MARYLAND CANTINA, LLC
PO BOX 429
CONSHOHOCKEN, PA 19428

BRIAN W. CLEARY, PE
Professional Engineer
Maryland License # 24411

SITE PLAN

3 of 10



CARROLL COUNTY BOU NOTES:

GENERAL NOTES

- THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES "REGULATIONS, STANDARD SPECIFICATIONS AND DESIGN DETAILS FOR WATER AND SEWERAGE CONSTRUCTION IN CARROLL COUNTY, MARYLAND" LATEST EDITION ARE HEREBY MADE A PART OF THESE DOCUMENTS, INCLUDING ALL SUBSEQUENT ADDENDA OR MODIFICATIONS HERETO.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING COMPANIES AT LEAST 72 HOURS PRIOR TO STARTING ANY CONSTRUCTION:
BALTIMORE GAS & ELECTRIC 410-293-3147
VERIZON 410-393-5793
MISS UTILITY 410-257-7777
CARROLL COUNTY BUREAU OF UTILITIES 410-386-2164
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OFFICE OF THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIP OF FINISHED GRADES AND EXISTING GRADES PRIOR TO START OF CONSTRUCTION.
- THE LOCATION OF EXISTING UTILITIES IS SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE BUREAU OF UTILITIES (BOU), CARROLL COUNTY OR THE ENGINEER DO NOT WARRANT OR GUARANTEE THE CORRECTNESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES TO HIS OWN SATISFACTION.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- ALL SAFETY MEASURES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- HOUSE CONNECTIONS SHALL BE LOCATED AS SHOWN. IF ANY ADJUSTMENT TO THESE LOCATIONS IS PROMISED BY THE FIELD ENGINEER OR CONTRACTOR, THE DEVELOPER OR HIS ENGINEER SHALL BE CONSULTED TO THE PROPOSED CHANGE BEFORE INSTALLATION.
- THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT FROM THE BUREAU OF ROADS OPERATIONS PRIOR TO BEGINNING WORK IN A COUNTY ROAD RIGHT OF WAY. CONTACT BUREAU OF ROADS OPERATION AT 410-386-4717 A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION.
- THE PUBLIC PORTION OF THE (WHC) AND/OR (SHC) FROM THE (WATER MAIN AND/OR (SEWER MAIN) TO THE (METER VAULT AND/OR CLEAN OUT) AT THE RIGHT OF WAY OR EASEMENT LINE FALLS UNDER THE PURVIEW OF BOU. CONTRACTOR SHALL CONTACT THE BUREAU AT 410-386-2164 TO SCHEDULE PRE-CONSTRUCTION MEETING AND INSPECTION A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR MUST BE PRE-QUALIFIED WITH DEPARTMENT OF PUBLIC WORKS TO CONSTRUCT PUBLIC WATER AND SEWER UTILITY WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUPPLYING WATER TO SITE DURING CONSTRUCTION. THE BUREAU OF UTILITIES BULK WATER SERVICE CAN BE UTILIZED AT THE CONTRACTOR'S EXPENSE. METER HYDRANTS AND CONNECTION TO EXISTING INFRASTRUCTURE IS PROHIBITED. CONTACT UTILITIES AT 410-386-2164 FOR BULK WATER SERVICE INFO.
- THE PRIVATE PORTION OF THE (WHC) AND/OR (SHC) FROM THE (PRIVATE METER VAULTS AND/OR PRIVATE CLEAN OUT) TO THE (HOUSE OR BUILDING) FALLS UNDER THE PURVIEW OF BUREAU OF PERMITS AND INSPECTIONS. THE PLUMBING INSPECTOR SHALL INSPECT THE PRIVATE PORTION OF THE (WHC) AND/OR (SHC). CONTRACTOR SHALL CONTACT BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 TO OBTAIN REQUIRED PLUMBING PERMIT. INSPECTION OF PRIVATE WATER AND SEWER MAINS AND INFRASTRUCTURE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR.
- MAINTENANCE OF PRIVATE ON-SITE WATER AND SEWER BEYOND RIGHT-OF-WAY AND/OR UTILITY EASEMENT SHALL BE RESPONSIBILITY OF PROPERTY OWNER.

WATER NOTES

- ALL PUBLIC WATER MAIN PIPE SHALL BE DUCTILE IRON PIPE (DIP) CLASS 52 OR C-900 AND APPROVED BY BOU. WATER MAIN PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES "REGULATIONS, STANDARD SPECIFICATIONS AND DESIGN DETAILS FOR WATER AND SEWERAGE CONSTRUCTION IN CARROLL COUNTY, MARYLAND" LATEST EDITION.
- THE BUREAU OF UTILITIES PROHIBITS THE MANIPULATION OF VALVES BY ANY PARTY OTHER THAN BUREAU OF UTILITIES STAFF.
- CONTRACTOR SHALL TUNNEL PAST EXISTING UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DISRUPTIONS OF ANY SERVICES.
- CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY A MINIMUM OF 72 HOURS PRIOR TO THE INTERRUPTION. WATER CONNECTIONS TO EXISTING MAINS SHALL BE MADE DURING THE HOURS OF 10:00 AM AND 3:00 PM AND UNDER THE SUPERVISION OF BOU PERSONNEL.
- IF WATER HOUSE CONNECTIONS CROSS SEWER HOUSE CONNECTIONS, THERE SHALL BE A MINIMUM 1'-0" VERTICAL CLEARANCE BETWEEN WATER AND SEWER UNLESS OTHERWISE SPECIFIED. WATER SHALL BE ABOVE THE SEWER.

SEWER NOTES

- ALL PUBLIC SEWER PIPES SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM D-3034 STANDARD SPECIFICATION FOR TYPE PSM POLY VINYL CHLORIDE (PVC) SEWER PIPE AND FITTINGS. ALL PUBLIC GRAVITY SEWER SHALL BE MINIMUM SDR-26 TYPE OR EQUIVALENT FOR STANDARD DEPTHS UP TO 16'. SEWER PIPE AND FITTINGS SHALL UTILIZE A RUBBER RING JOINT. MAINLINE SHALL BE MINIMUM 8" INSIDE DIAMETER AND SHC'S SHALL BE MINIMUM 6" INSIDE DIAMETER. SEWER PIPE SHALL HAVE ASTM EMBEDDED MATERIAL CLASSIFICATION OF CL-1, 6" OF NO. 57 STONE ALL AROUND PIPE TO 6" ABOVE TOP.
- SEWER HOUSE CONNECTIONS (SHC) SHALL BE MINIMUM 6" PVC SDR-26 FOR THE PUBLIC PORTION. SHC'S SHALL BE PER SPECIFICATIONS NOTED ABOVE AND CONSTRUCTED IN ACCORDANCE WITH BOU STANDARD DETAILS S-15, S-16 AND S-21 LATEST VERSION.
- SEWER HOUSE CONNECTIONS (SHC) SHALL BE LOCATED AS SHOWN ON THE APPROVED WATER AND SEWER PLANS. SHEETS PROVIDE SHEET NUMBERS WITH RESPECT TO WATER SERVICE LOCATIONS AND MEET CLEARANCE REQUIREMENTS, ETC., AS DESCRIBED BELOW AND IN THE DESIGN MANUAL NOTED IN ITEM NO.1 OF GENERAL NOTES. ANY PROPOSED CHANGE TO THESE LOCATIONS MUST BE APPROVED BY THE BOU DESIGN ENGINEER AND DEVELOPER.
- ALL APPURTENANCES TO THE PUBLIC SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH BOU STANDARD DETAILS CITED IN THE APPROVED WATER AND SEWER CONSTRUCTION PLANS. IN THE CASE OF MANHOLES, (PROVIDE TYPE AND DETAIL NO.)
- IN ADDITION TO THE CLEARANCES DESCRIBED IN THE DESIGN MANUAL REGULATIONS, THE SEWER LINES SHALL BE LOCATED A MINIMUM 3'-0" CLEAR OF THE FACE OF ANY CURBS, POLES, UTILITY BOXES, GUIDE RAIL, ETC.
- SEWER MANHOLES SHALL BE SET TO FINISHED GRADE UPON INSTALLATION AND TAPERED WITH BLACK TOP TO MEET BASE PAVING GRADE UNTIL FINAL PAVING IS INSTALLED. PROTECTION OF ALL WATER AND SEWER APPURTENANCES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL PUBLIC ROADS ARE CONVEYED TO CARROLL COUNTY.
- UPON INSTALLATION OF SEWER MAINS AND HOUSE CONNECTIONS AND AFTER PLACEMENT OF THE COMPACTED BACK FILL TO ORIGINAL GROUND LINE OR PROPOSED PAVING SUBGRADE, THE SEWER SHALL BE TESTED FOR ACCEPTABILITY. THE PROCEDURES FOR TESTING SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF INDICATED SUBSECTIONS OF THE DESIGN MANUAL AS FOLLOWS:
 - TESTS FOR ACCEPTABILITY OF SEWERS - SUBSECTION 5-14.
 - ELEVATION AND ALIGNMENT CHECKS - SUBSECTION 5-15.
 - CLEANING OF PIPELINES - SUBSECTION 5-16.
 - AIR TEST OF SEWER FOR ACCEPTABILITY - 5-17.

ENGINEER'S DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED _____ DATE _____
LICENSE NO. 54411 EXPIRATION DATE 05/16/2025

DEVELOPER'S CERTIFICATION

I HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I ALSO CERTIFY THAT IT IS MY RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY. I ALSO CERTIFY THAT THIS STORMWATER MANAGEMENT FACILITY WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH SECTIONS §151.095 AND §151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY.

SIGNED _____ DATE _____

SITE SOILS			
NAME	SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP
URBAN LAND-UDORTHENTS	U/B	0 TO 8 PERCENT SLOPES	D

TOTAL AREA OF DISTURBANCE: 0.634 ACRES (27,599 SF)
ESDv TARGET AREA OF DISTURBANCE: 0.614 ACRES (26,759 SF)

GRADING & UTILITY NOTES:

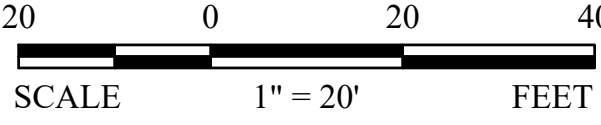
- ALL GRADING SHALL PROMOTE POSITIVE DRAINAGE FROM BUILDINGS AND STRUCTURES TO DRAINAGE FACILITIES WITHOUT LOW SPOTS THAT CAUSE PONDING.
- THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 0.75%.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES SHOWN. THE CONTRACTOR SHALL EMPLOY ALL MEANS NECESSARY, INCLUDING TEST PITS, TO LOCATE AND AVOID DAMAGE TO ALL EXISTING UTILITIES WITHIN THE VICINITY OF THE PROPOSED IMPROVEMENTS. SHOULD ANY EXISTING UTILITY BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS, THE CONTRACTOR SHALL REPORT THE CONFLICT TO THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH ANY CONSTRUCTION.
- ALL ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION AND OTHER PUBLIC UTILITY LINES SHALL BE INSTALLED UNDERGROUND. MINIMUM HORIZONTAL CLEARANCE BETWEEN PUBLIC UTILITY LINES AND WATER OR SEWER MAINS SHALL BE THREE (3) FEET.
- THE CONTRACTOR SHALL BACKFILL HIS TRENCH AND PROTECT THE PUBLIC FROM THE WORK AREA AT THE END OF EACH WORKING DAY. NO TRENCHES SHALL REMAIN OPEN OVERNIGHT.
- ALL GRAVITY SANITARY SEWER MAIN AND LATERALS SHALL BE PVC PIPE, SDR-35 CONFORMING TO ASTM D-3034 WITH PUSH-ON JOINTS. UNLESS OTHERWISE SPECIFIED, MINIMUM COVER OVER PVC AND DUCTILE IRON SANITARY SEWER MAINS AND LATERALS SHALL BE THREE (3) FEET. ALL SEWERS SHALL BE CONSTRUCTED WITH BEDDING AS DETAILED.
- WATER MAINS AND SANITARY SEWER SHALL BE SEPARATED BY 10 FEET HORIZONTALLY WHEREVER POSSIBLE. OTHERWISE, THE SEWER AND WATER SHALL BE IN SEPARATE TRENCHES WITH THE SEWER 18" BELOW THE BOTTOM OF THE WATER MAIN. AT WATER AND SEWER CROSSINGS, THE SEWER SHALL BE 18" MINIMUM BELOW THE WATER OR SEWER MAIN SHALL BE C.L.D.P. WITH SLIP-ON JOINTS AND ENCASED IN CONCRETE FOR 10 FEET MINIMUM ON EACH SIDE OF THE CROSSING. WHERE SANITARY SEWER CROSS OVER OR WITHIN 18" UNDER A STORM PIPE, THE SANITARY SEWER SHALL BE C.L.D.P. WITH SLIP-ON JOINTS AND ENCASED IN CONCRETE FOR 10 FEET EACH SIDE OF THE CROSSING.
- REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.
- ALL INLET GRATES SHALL BE BICYCLE-SAFE GRATES.
- BACKFILL AROUND ALL PROPOSED UTILITIES, AND ASSOCIATED STRUCTURES, SHALL BE COMPACTED TO 90 PERCENT, MINIMUM, OF THE MAXIMUM DENSITY DETERMINED BY THE "MODIFIED PROCTOR" COMPACTION TEST, ASTM D 1557.
- ADA GRADING NOTE: ADA PARKING SPACES SHALL BE GRADED WITH A 2% MAXIMUM SLOPE IN ANY DIRECTION. ADA WALKWAYS SHALL BE GRADED WITH A MAXIMUM CROSS SLOPE OF 2% AND MAXIMUM RUNNING SLOPE OF 5%.
- MAINTENANCE OF PRIVATE ON-SITE WATER BEYOND THE WATER METER VAULT AND ON-SITE BEYOND THE RIGHT-OF-WAY OF LIBERTY ROAD SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND INSPECTION SHALL BE BY BUREAU OF PERMITS AND INSPECTIONS. MAINTENANCE AND INSPECTION OF PUBLIC WATER AND SEWER SHALL BE RESPONSIBILITY OF BUREAU OF UTILITIES.

SHOULD THESE PLANS NOT DEPICT THE PROPOSED ELECTRIC, GAS, AND TELECOMM UTILITY SERVICE DESIGNS, THE CONTRACTOR SHALL COORDINATE THE SCOPE OF THE PROPOSED UTILITY SERVICE DESIGNS IN CONSULTATION WITH THE RESPECTIVE UTILITY PROVIDERS AND SHALL ENSURE THAT THE INSTALLATION OF ELECTRIC, GAS, AND TELECOMM UTILITY SERVICES ARE ADDRESSED WITHIN THE SCOPE OF THEIR BID.

SHOULD THESE PLANS DEPICT FEASIBLE LOCATIONS FOR PROPOSED ELECTRIC, GAS, AND TELECOMM UTILITY SERVICE CONNECTIONS, THEY SHALL ONLY BE UTILIZED FOR BIDDING PURPOSES. THE CONTRACTOR SHALL NOTE THAT THE FINAL UTILITY SERVICE DESIGNS MUST BE COORDINATED WITH THE RESPECTIVE UTILITY PROVIDERS AND THEREFORE, ARE SUBJECT TO CHANGE BASED UPON THE PREFERENCE OF THE UTILITY PROVIDER.

STORMWATER MANAGEMENT NOTE:

- STORMWATER RUNOFF FROM THE SUBJECT SITE IS CURRENTLY CREATED BY A COMMUNITY DETENTION POND FOR THE FREEDOM VILLAGE SHOPPING CENTER. EXISTING IMPERVIOUS COVER OF THE SUBJECT SITE, WITHIN THE LIMIT OF DISTURBANCE, IS 24,589 SF. PROPOSED IMPERVIOUS COVER OF THE SUBJECT SITE, WITHIN THE LIMIT OF DISTURBANCE, IS 24,589 SF. THE PROPOSED IMPROVEMENTS WILL RESULT IN A INCREASE OF 130 SF OF IMPERVIOUS COVER, RESULTING IN A SLIGHT INCREASE OF RUNOFF VOLUME AND RATE OF DISCHARGE FROM THE SITE. THE ENTIRE SITE CONSISTS OF URBAN LAND-UDORTHENTS SOIL. WITH A HYDROLOGIC SOIL GROUP RATING OF D, AND A GEOTECHNICAL INVESTIGATION PERFORMED DURING THE DESIGN OF THE COMMUNITY DETENTION POND DETERMINED THAT INFILTRATION IS NOT FEASIBLE. THERE ARE NO UNDERGROUND STORMWATER PIPE NETWORKS ON-SITE OR WITHIN THE IMMEDIATE VICINITY TO CONNECT TO, SO NO FURTHER STORMWATER TREATMENT IS PROPOSED.



THE PETTIT GROUP, LLC
Engineering • Architecture • Planning
497 Center Street • Sevell, NJ 08080
Tel: 856-464-9600 Fax: 856-464-9606
www.pettitgroup.com
Certificate of Authorization No. 246A28131400

REVISIONS		
NO.	DESCRIPTION	DATE
1	PER COUNTY REVIEW	09/04/24
2	PER COUNTY REVIEW	11/18/24
3	NEW BUILDING	01/12/25
4	PER COUNTY SWM REVIEW	04/10/25

FOR APPROVAL PURPOSES ONLY

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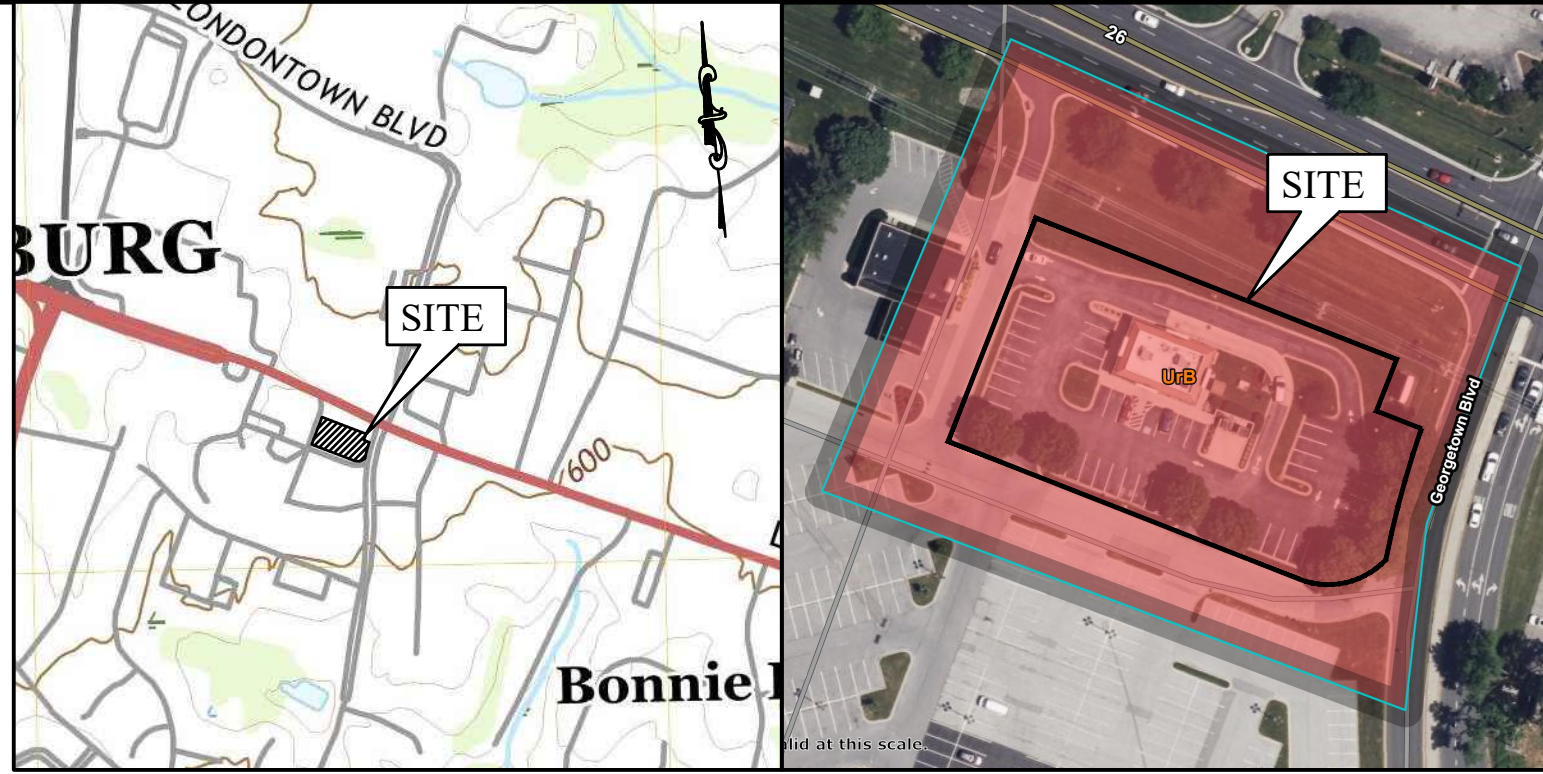
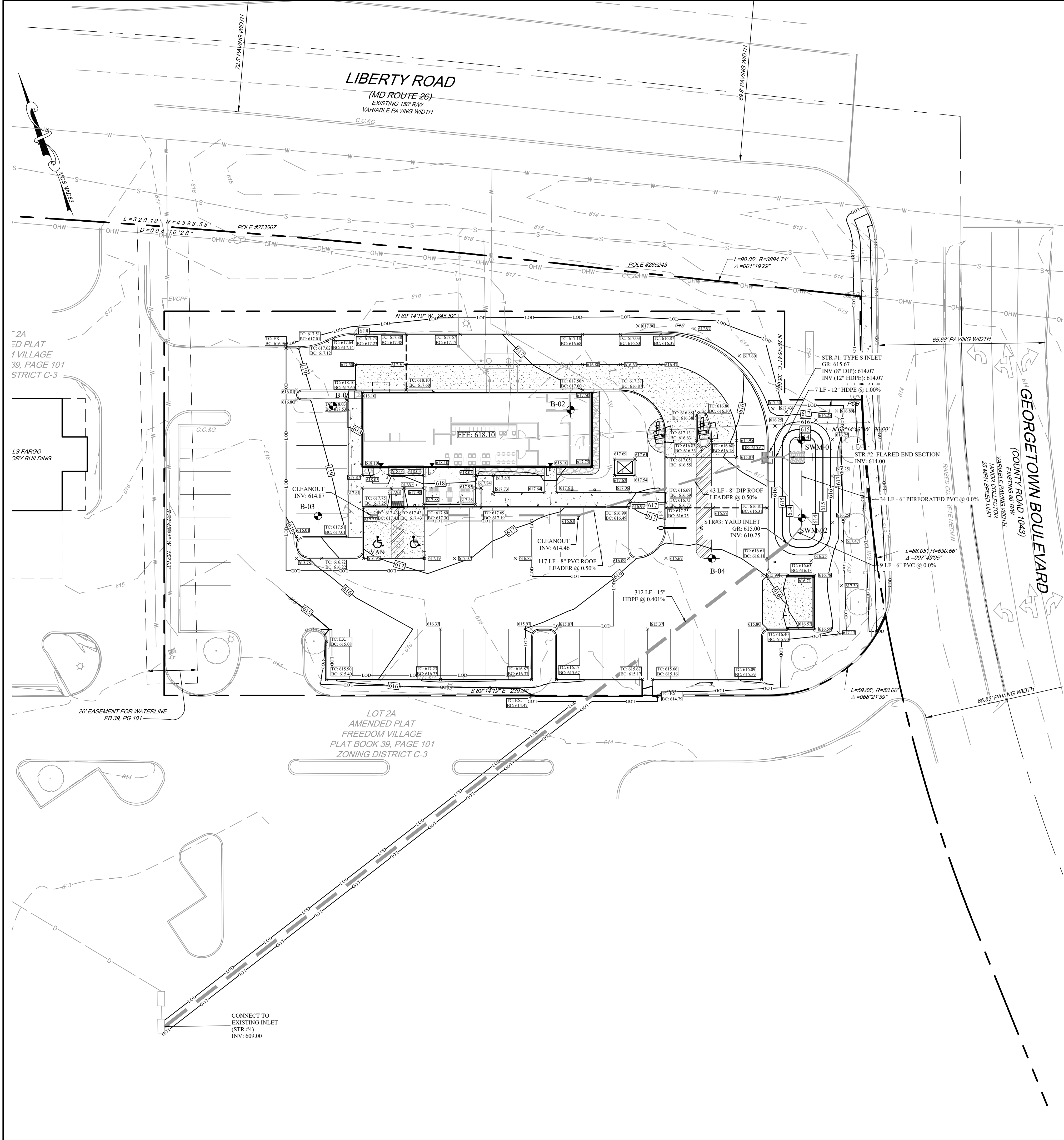
DESIGNED BY: CBJ JOB NO: 1061-271
DRAWN BY: CBJ DATE: 05/22/24
CHECKED BY: BWC SCALE: 1" = 20'

TACO BELL
CONCEPT SITE
DEVELOPMENT PLAN
1429 LIBERTY ROAD
MAP 0073, GRID 0012, PARCEL 0731
TAX ACCOUNT ID: 0705059968
STORE #400036
ELECTION DISTRICT 05-004
CARROLL COUNTY
STATE OF MARYLAND
FOR
MARYLAND CANTINA, LLC
PO BOX 429
CONSHOHOCKEN, PA 19428



BRIAN W. CLEARY, PE
Professional Engineer
Maryland License # 54411

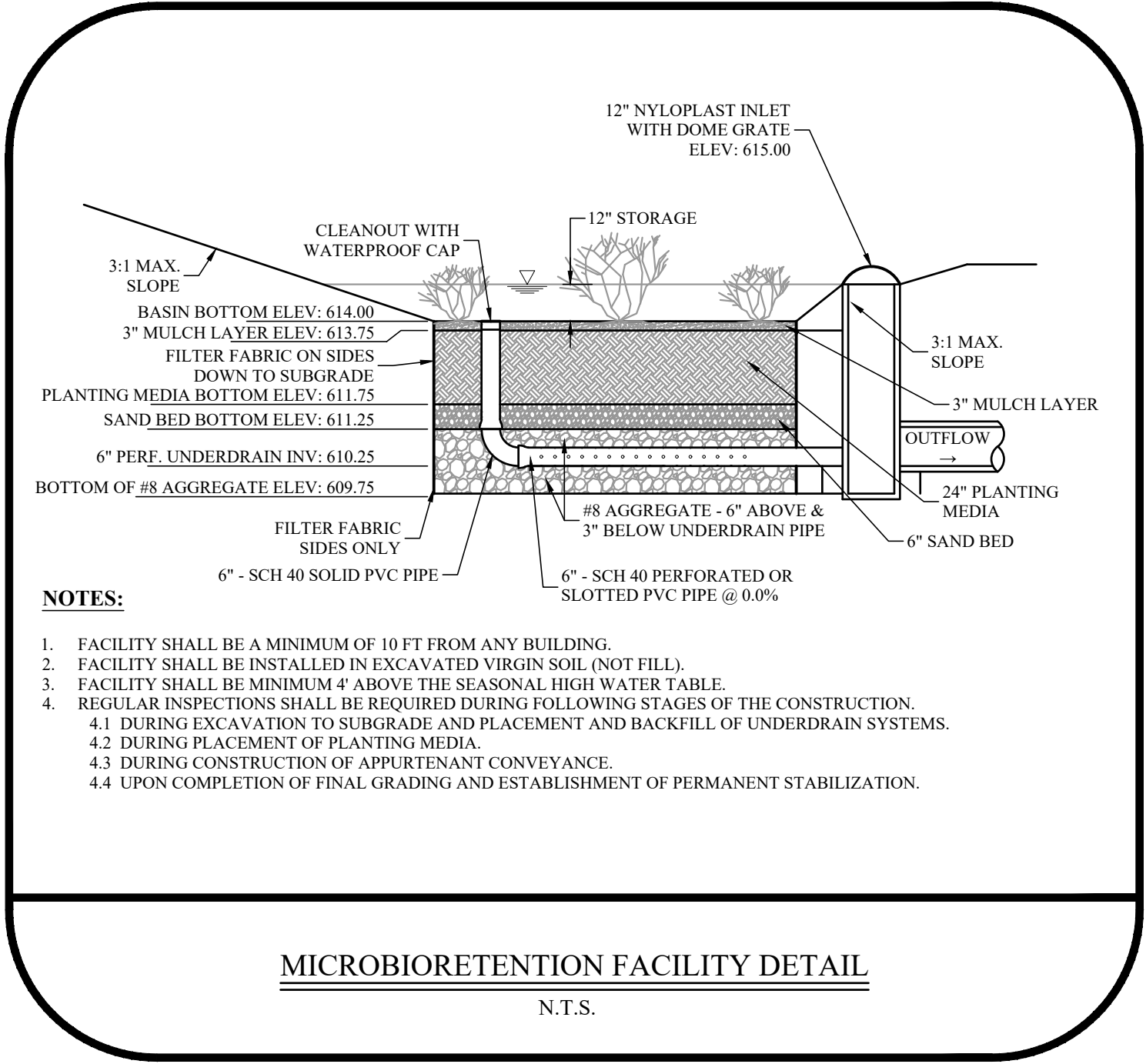
GRADING & UTILITY PLAN



U.S.G.S. QUAD MAP
SCALE: 1" = 1,000'

SOILS MAP
NOT TO SCALE

SITE SOILS			
NAME	SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP
URBAN LAND-UDORHTENTS	UdB	0 TO 8 PERCENT SLOPES	D
TOTAL AREA OF DISTURBANCE: 0.634 ACRES (27,599 SF)			
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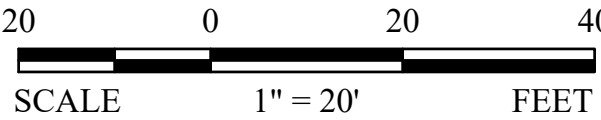
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DRAWN BY: CBJ	DATE 05/22/24
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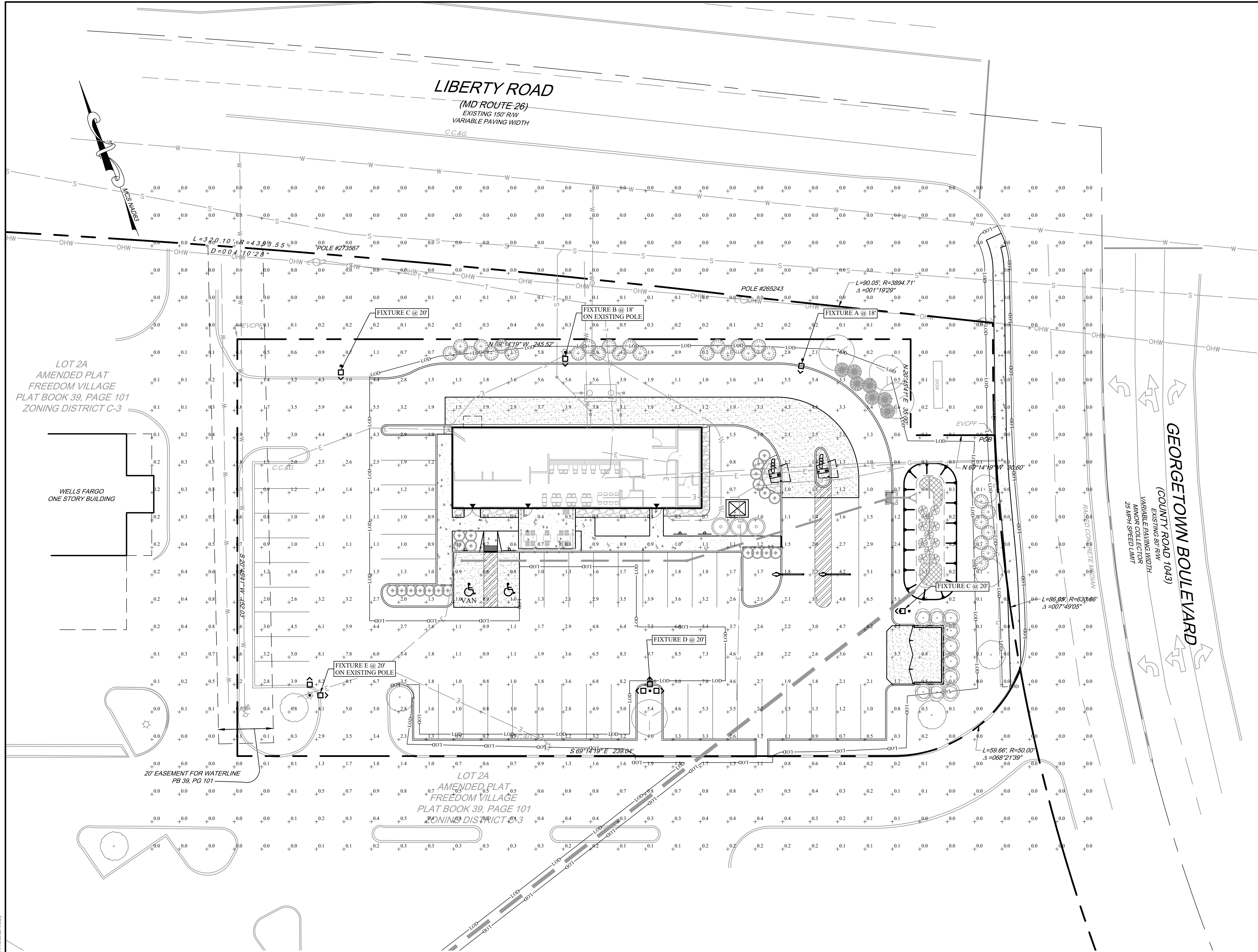
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BRIAN W. CLEARY, PE
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**CONCEPT
SWM PLAN**

5 of 10

COUNTY FILE #: S-22-0048

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LIGHTING NOTES:

1. THIS PLAN ILLUSTRATES LUMINAIRE LOCATIONS AND ILLUMINATION LEVELS ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
2. ALL SUBSTITUTIONS TO THE FIXTURES SPECIFIED MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.

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






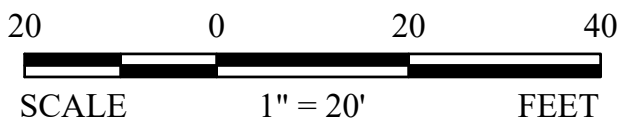
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CONSHOHOCKEN, PA 19428

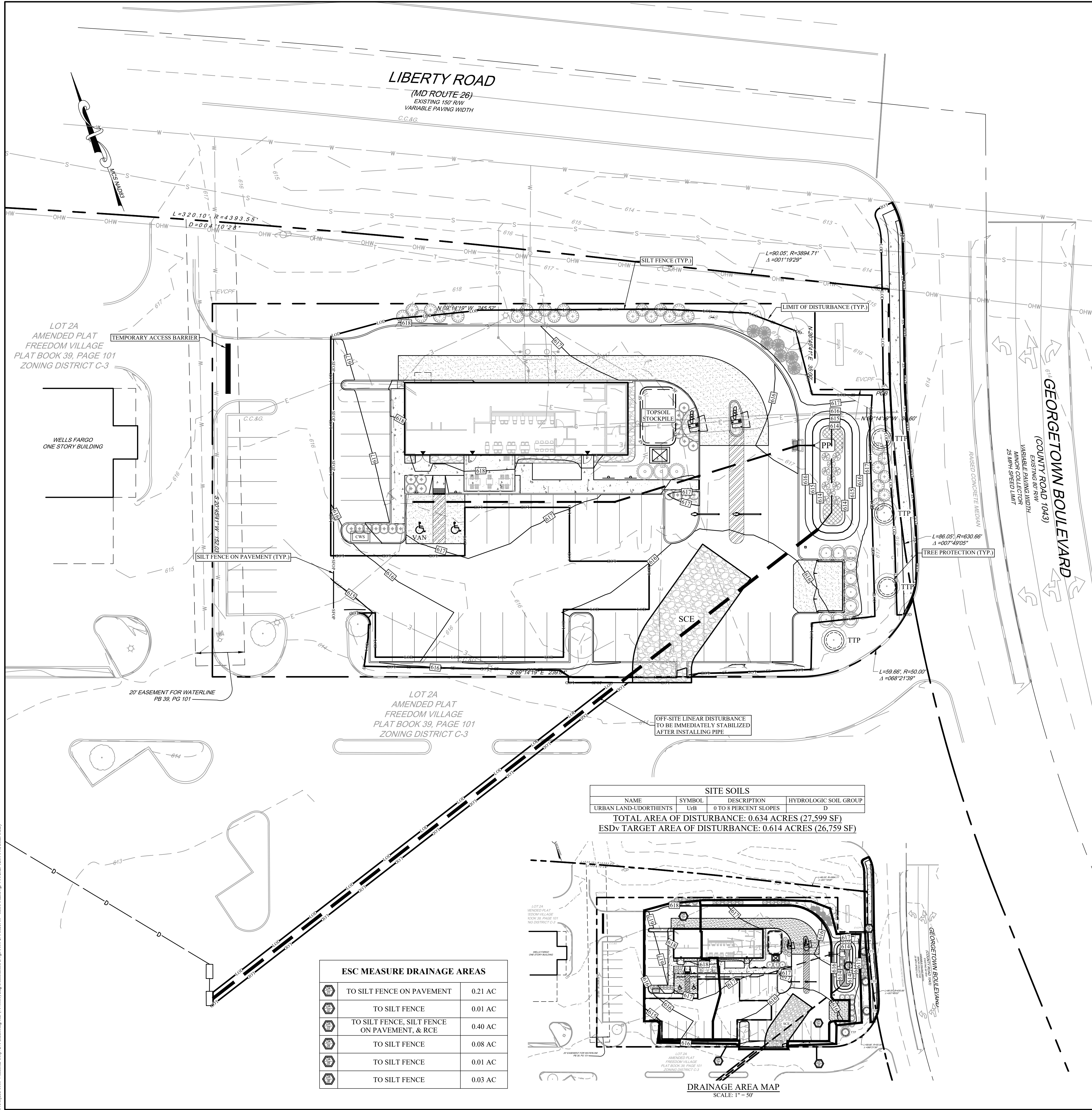


BRIAN W. CLEARY, PE
Professional Engineer
Maryland License # 24411

LIGHTING PLAN

Schedule									
Symbol	Label	QTY	Height	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF Input Power
	A	1	18'-0"	RAB LIGHTING INC.	ALED84TN	60W @ 4000K	1	7895	1 58.1
	B	1	18'-0"	RAB LIGHTING INC.	ALEDM3TN	78W/10,000 lm @ 4000K	1	10765	1 76
	C	2	20'-0"	RAB LIGHTING INC.	ALEDM4TN	90W/12,000 lm @ 4000K	1	12911	1 91.3
	D	1	20'-0"	RAB LIGHTING INC.	ALEDM4TN	78W/10,000 lm @ 4000K	1	10750	1 224.4
	E	1	20'-0"	RAB LIGHTING INC.	ALEDM4TN	78W/10,000 lm @ 4000K	1	10750	1 149.6
Statistics									
Description	Symbol	Avg	Max	Mn	Max/Min	Avg/Min			
Calc Zone #1	+	1.1 fc	10.6 fc	0.0 fc	N/A	N/A			





CARROLL COUNTY SESC NOTES

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION IN ASSOCIATION WITH THE NATURAL RESOURCES CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS (REFERENCED AS THE 2011 STANDARDS AND SPECS).
- AREAS THAT HAVE BEEN CLEARED AND/OR GRADED, BUT WILL NOT BE CONSTRUCTED ON OR PERMANENTLY VEGETATED FOR MORE THAN 5 DAYS (3 DAYS FOR SEDIMENT CONTROL MEASURES AND FOR STEEP SLOPES) MUST BE STABILIZED WITH MULCH OR TEMPORARY STABILIZATION. ANY AREAS THAT ARE IN TEMPORARY VEGETATION FOR OVER 6 MONTHS WILL NEED TO BE PERMANENTLY VEGETATED.
- FOR SPECIFICATIONS ON PERMANENT OR TEMPORARY STABILIZATION, SEE B-4-4 AND B-4-5.
- MULCHING ONLY IS RESTRICTED TO USE ON DISTURBED AREAS AS A TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING GERMINATION CANNOT BE COMPLETED BECAUSE OF WEATHER CONDITIONS. FOR SPECIFICATIONS SEE B-4-3, A.1.B.
- FOR SPECIFICATIONS ON THE STABILIZATION OF CUT AND FILL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1 VERTICAL, SEE INCREMENTAL STABILIZATION B-4-1.
- THE EXISTING TOPSOIL FROM ON OR OFF SITE THAT IS USED MUST MEET THE MINIMUM SPECIFICATIONS IN B-4-2.
- THE REQUIRED SEQUENCE OF CONSTRUCTION MUST BE FOLLOWED DURING SITE DEVELOPMENT. ANY CHANGES IN THE SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ANY REVISIONS TO THE SEDIMENT CONTROL PLAN, NOT COVERED UNDER THE LIST OF PLAN MODIFICATIONS THAT CAN BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR, NEED TO BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR APPROVAL.
- NO PROPOSED SLOPE THAT IS REQUIRED TO BE SEEDED AND/OR MULCHED SHALL BE STEEPER THAN 2:1. SLOPES STEEPER THAN 2:1 SHALL REQUIRE AN ENGINEERED DESIGN FOR STABILIZATION.
- ALL SEDIMENT CONTROL MEASURES WILL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL AND WILL BE REPAIRED, AS NEEDED, SO THAT THE STRUCTURE MEETS THE MINIMUM SPECIFICATIONS AS SHOWN IN THE 2011 STANDARDS AND SPECS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- THE DISTRICT APPROVAL FOR THIS SEDIMENT CONTROL PLAN IS GOOD FOR 2 YEARS. AT THE END OF 2 YEARS, IF CONSTRUCTION OF THE PLAN HAS NOT STARTED, THE PLAN WILL NEED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR REVIEW AND RE-APPROVAL. ANY PLANS THAT ARE CURRENTLY UNDER CONSTRUCTION AFTER 2 YEARS MAY BE REQUIRED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT BY THE SEDIMENT CONTROL INSPECTOR.

SESC LEGEND

SILT FENCE	—SF—
STABILIZED CONSTRUCTION ENTRANCE	—SCE—
CONCRETE WASHOUT STRUCTURE	[CWS]
LIMIT OF DISTURBANCE	—LOD—
CURB INLET PROTECTION	[CIP]
AT-GRADE INLET PROTECTION	[AGIP]
TEMPORARY TREE PROTECTION	[TTP]
PLUNGE POOL	[PP]

OWNER/DEVELOPER

I CERTIFY THAT THIS PLAN OF SOIL EROSION & SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES.

SIGNATURE
ROBERT J. NASUTI
MARYLAND CANTINA, LLC
(610) 520-1000

DATE

ENGINEER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL SOIL CONSERVATION DISTRICT.

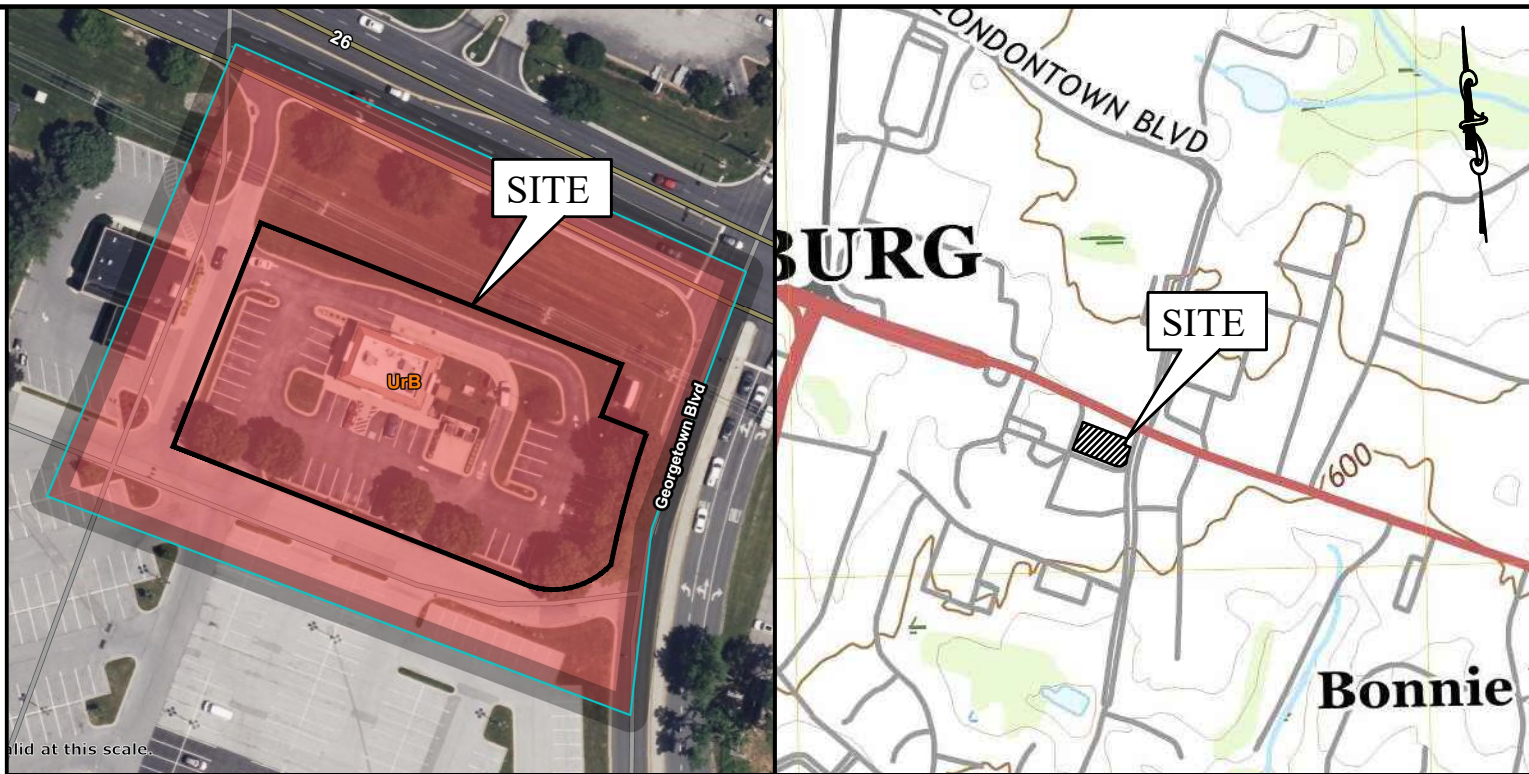
SIGNATURE
BRIAN W. CLEARY, PE
THE PETTIT GROUP, LLC
(856) 464-9600

DATE

SOIL CONSERVATION DISTRICT

THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE SOIL CONSERVATION DISTRICT.

APPROVED
CARROLL S.C.D./DATE



SOILS MAP
NOT TO SCALE

U.S.G.S. QUAD MAP
SCALE: 1" = 1,000'

THE PETTIT GROUP, LLC
Engineering • Architecture • Planning
497 Center Street • Sewell, NJ 08080
Tel: 856-464-9600 Fax: 856-464-9606
www.pettitgroup.com
Certificate of Authorization No. 246A28131400

REVISIONS		
NO.	DESCRIPTION	DATE
1	PER COUNTY REVIEW	09/04/24
2	PER COUNTY REVIEW	11/18/24
3	NEW BUILDING	01/12/25
4	PER COUNTY SWM REVIEW	04/10/25

FOR APPROVAL
PURPOSES ONLY

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PERSONS INTENDED WILL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE PETTIT GROUP, LLC AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK OUT SERVICE (1-800-572-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

DESIGNED BY: CBJ	JOB NO.: 1061-271
DRAWN BY: CBJ	DATE: 05/22/24
CHECKED BY: BWC	SCALE: 1" = 20'

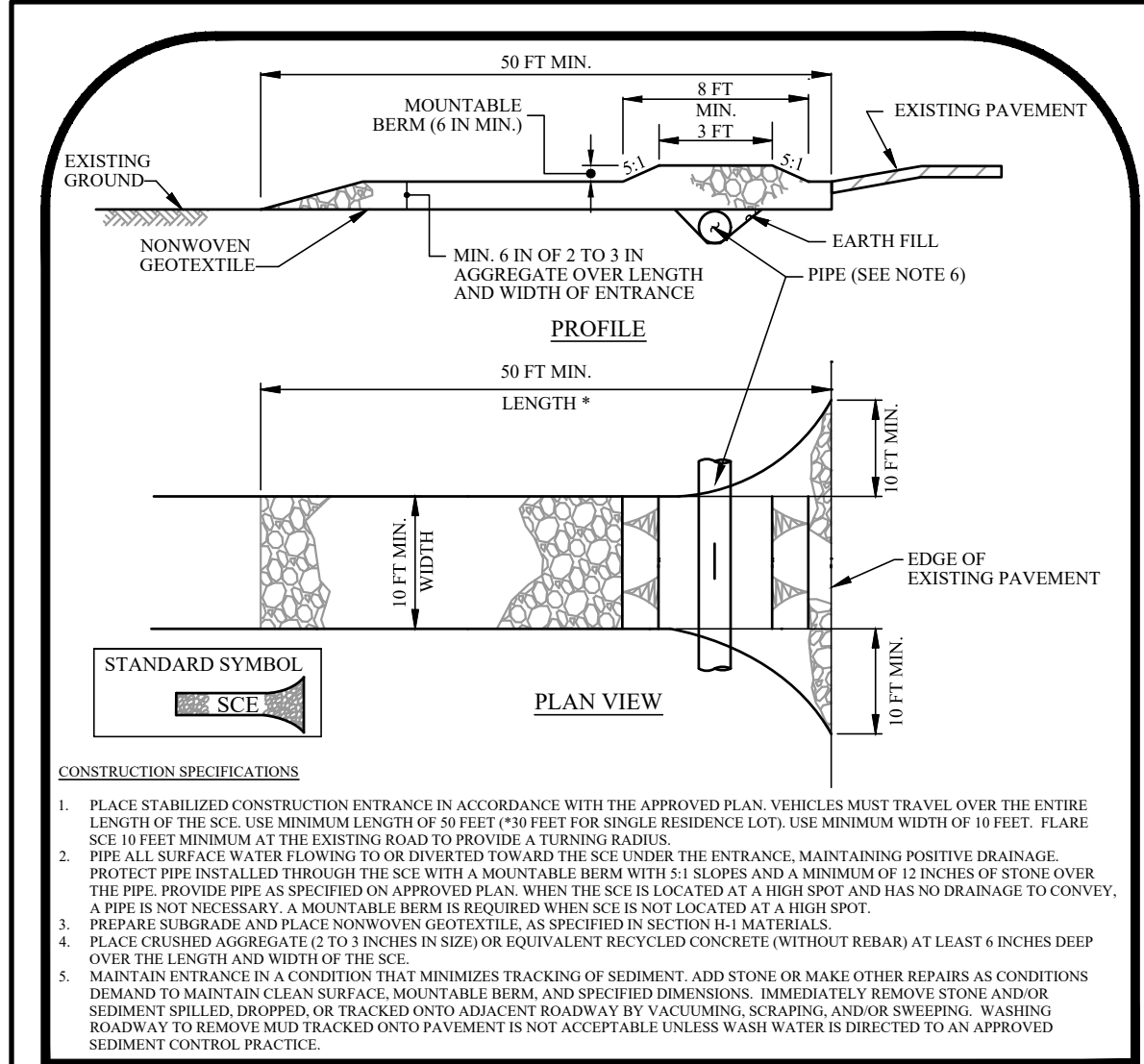
TACO BELL
CONCEPT SITE
DEVELOPMENT PLAN
1429 LIBERTY ROAD
MAP 0073, GRID 0012, PARCEL 0731
TAX ACCOUNT ID: 0705059968
STORE #400036
ELDENSBURG
ELECTION DISTRICT 05-004
CARROLL COUNTY
STATE OF MARYLAND

FOR
MARYLAND CANTINA, LLC
PO BOX 429
CONSHOHOCKEN, PA 19428



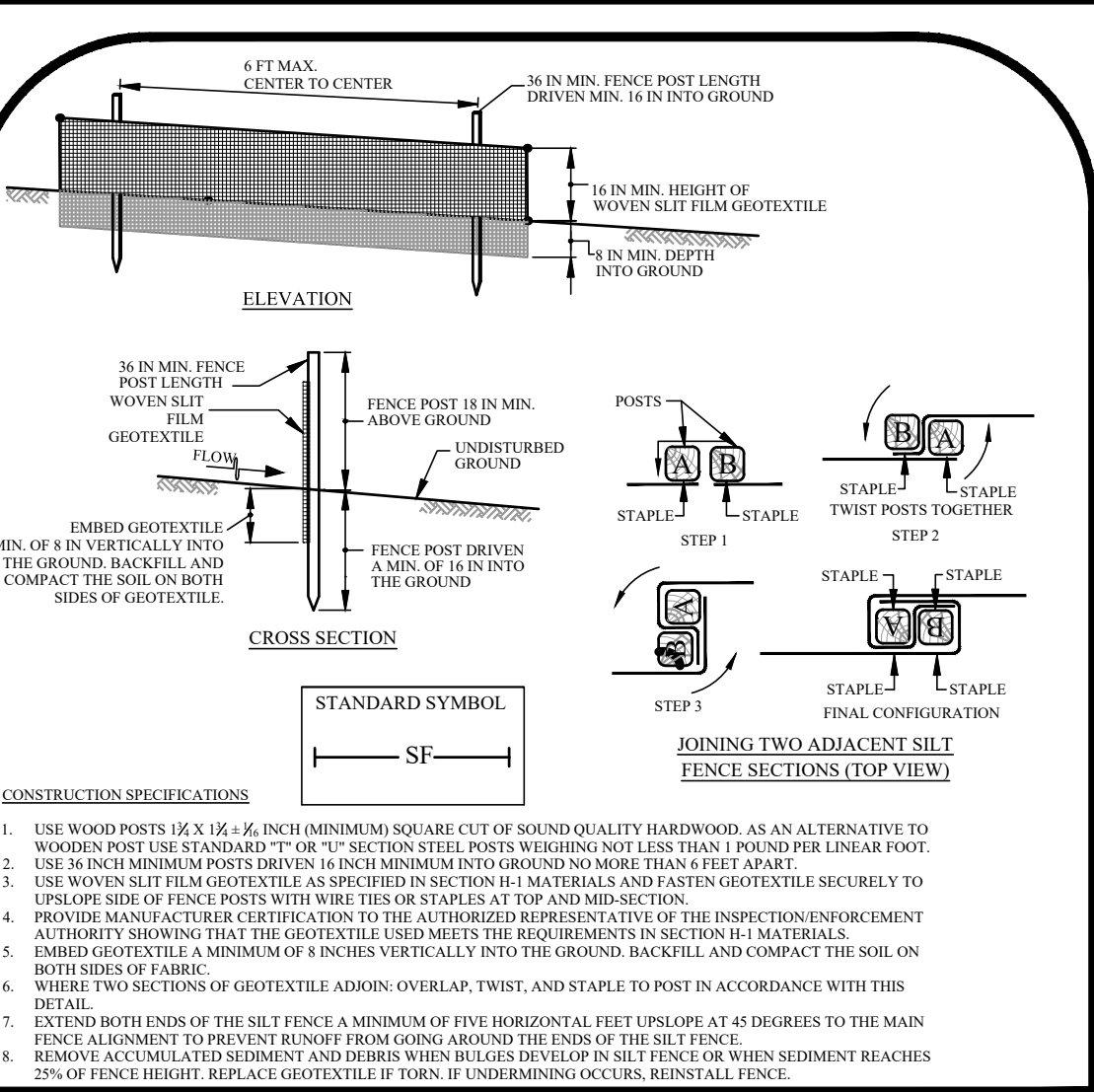
BRIAN W. CLEARY, PE
Professional Engineer
Maryland • License # 54411

CONCEPTUAL
SEDIMENT
CONTROL PLAN



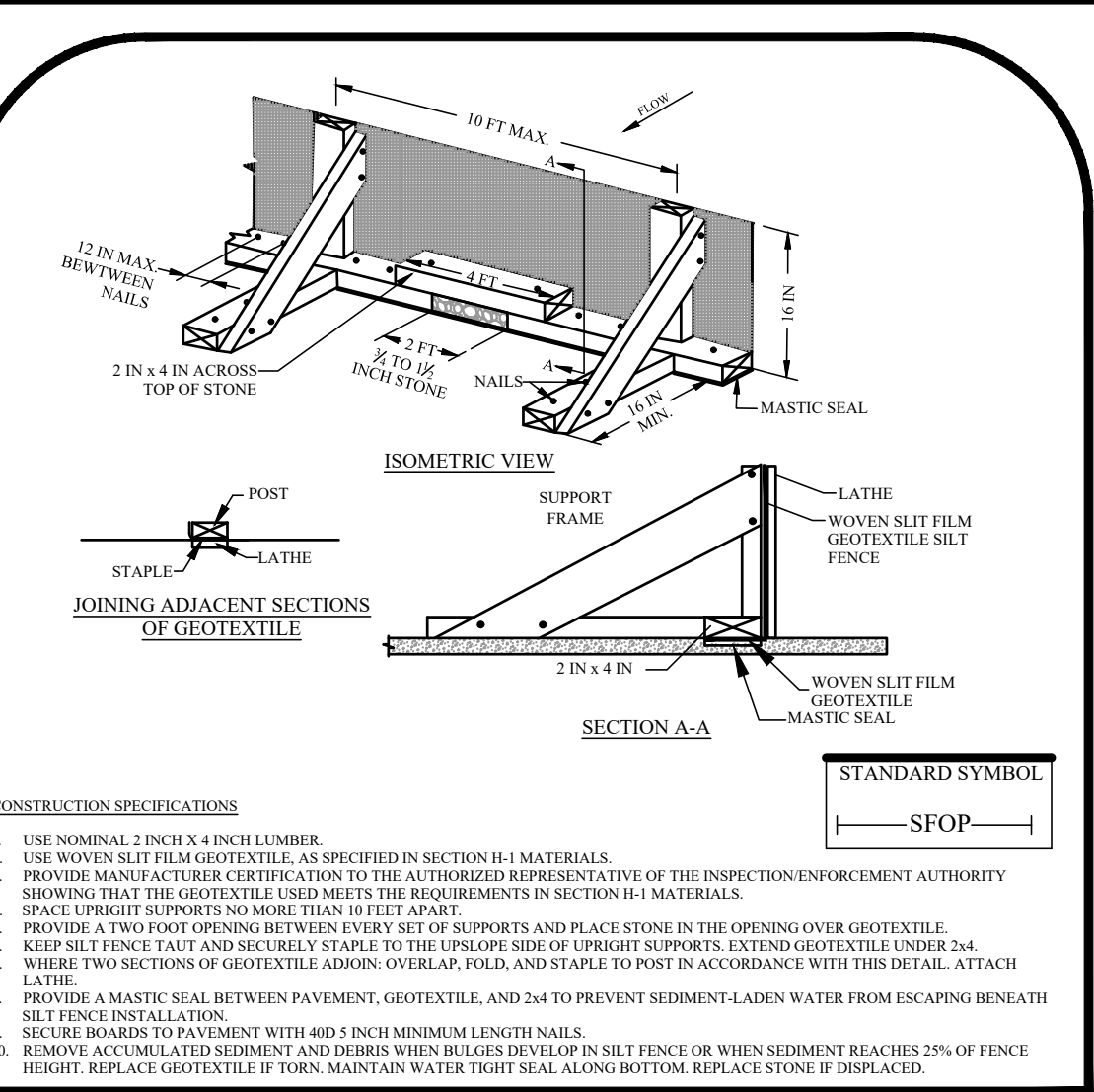
DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



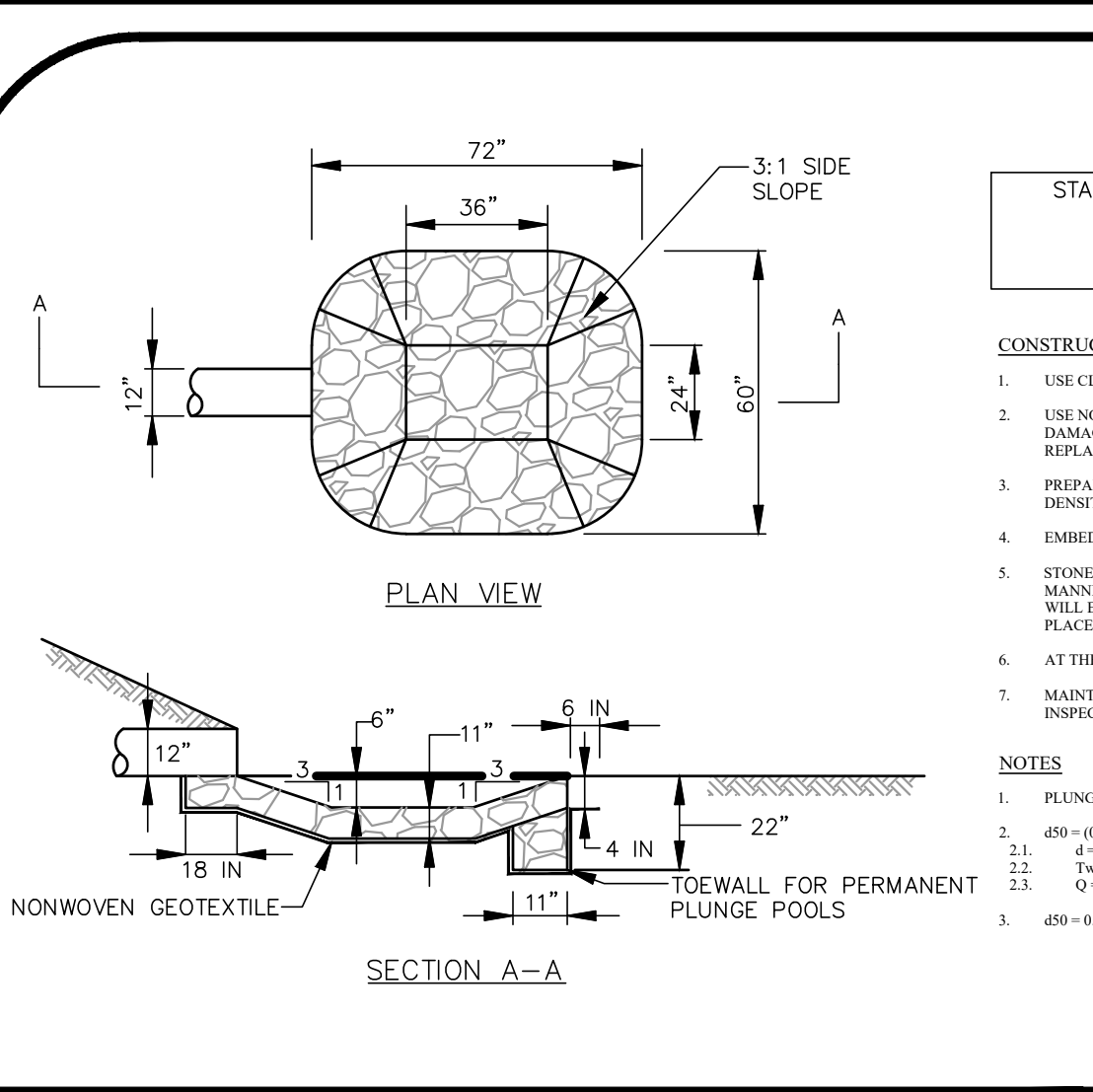
DETAIL E-1 SILT FENCE

N.T.S.



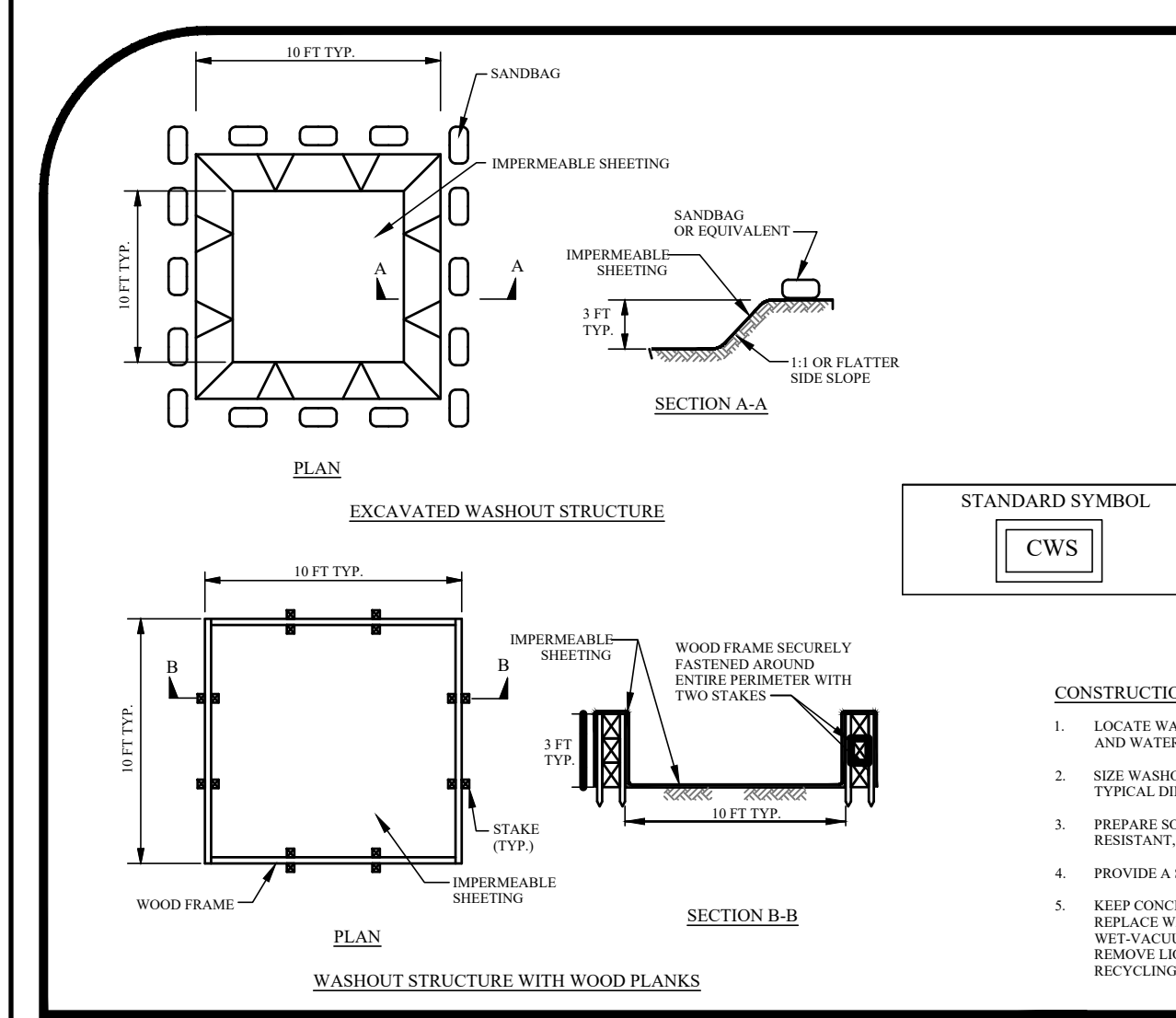
E-2 SILT FENCE ON PAVEMENT

N.T.S.



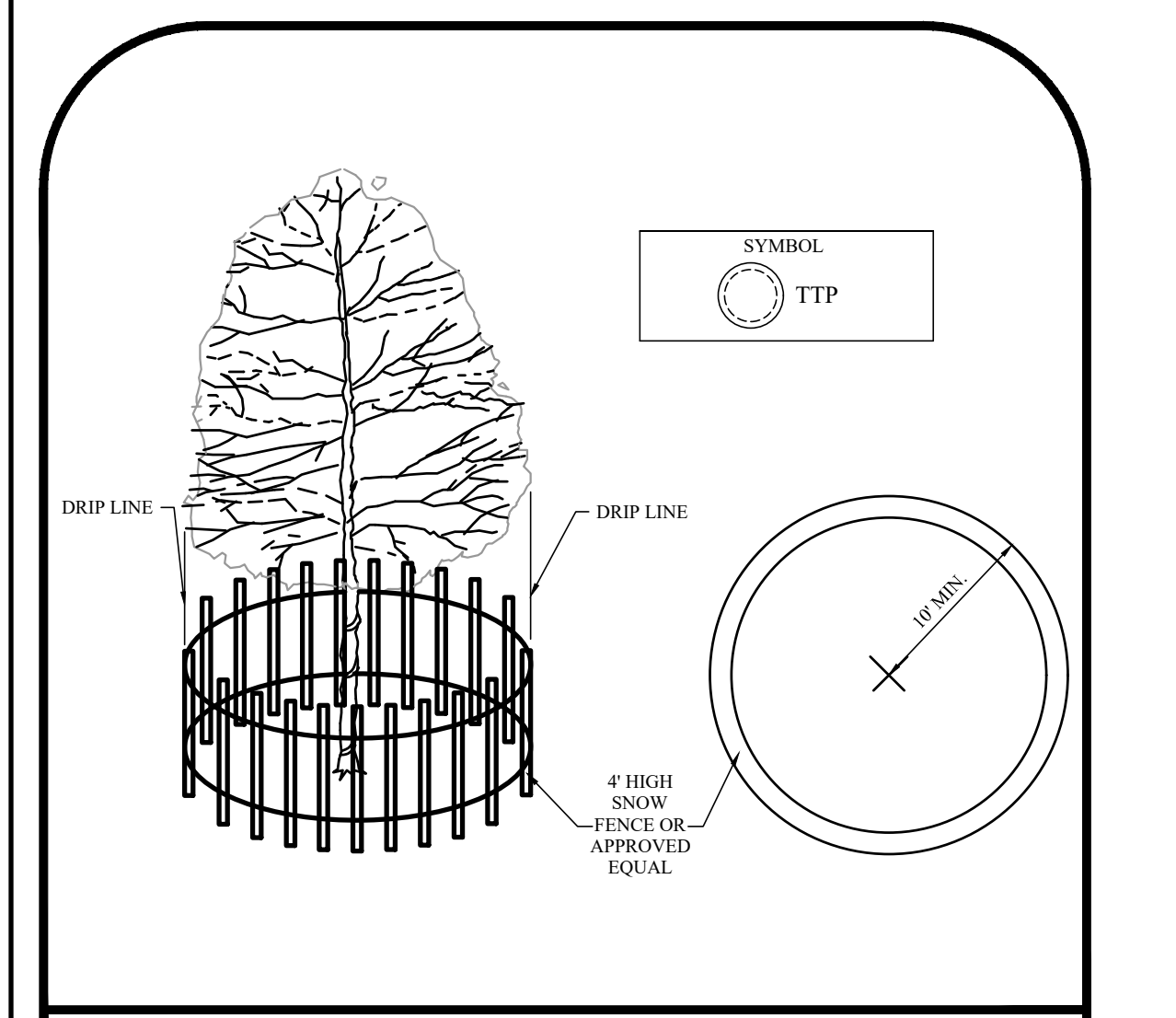
DETAIL D-4-2 PLUNGE POOL

N.T.S.



DETAIL H-6 ONSITE CONCRETE WASHOUT AREA

N.T.S.



TREE PROTECTION DURING CONSTRUCTION

N.T.S.

STANDARD EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR SHALL NOTIFY THE ADMINISTRATION (WMA) AT (410) 537-3510 SEVEN (7) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY AND, UNLESS WAIVED BY THE ADMINISTRATION, SHALL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES AND A REPRESENTATIVE OF WMA.
- THE CONTRACTOR MUST NOTIFY WMA IN WRITING AND BY TELEPHONE AT THE FOLLOWING POINTS:
 - THE REQUIRED PRE-CONSTRUCTION MEETING.
 - FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
 - DURING THE INSTALLATION OF SEDIMENT BASINS (TO BE CONVERTED INTO PERMANENT STORMWATER MANAGEMENT STRUCTURES) AT THE REQUIRED INSPECTION POINTS (SEE INSPECTION CHECKLIST ON PLAN). NOTIFICATION PRIOR TO COMMENCING CONSTRUCTION OF EACH STEP IS MANDATORY.
 - PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE(S).
 - PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES.
 - PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY THE AGENCY INSPECTOR OR WMA INSPECTOR PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES. MINOR SEDIMENT CONTROL DEVICE LOCATION ADJUSTMENTS MAY BE MADE IN THE FIELD WITH THE APPROVAL OF THE WMA INSPECTOR. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE ANY EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM WMA INSPECTOR AND AGENCY INSPECTOR. THE CONTRACTOR MUST OBTAIN PRIOR AGENCY AND WMA APPROVAL FOR CHANGES TO THE SEDIMENT CONTROL PLAN AND/ OR SEQUENCE OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM WMA INSPECTOR AND AGENCY INSPECTOR.
- ALL SEDIMENT BASINS, TRAP EMBANKMENTS AND SLOPES, PERIMETER DIKES, SWALES AND ALL DISTURBED SLOPES STEEPER OR EQUAL TO 3:1 SHALL BE STABILIZED WITH SOD OR SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES, AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ESTABLISHMENT. ALL AREAS DISTURBED OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST BE MINIMIZED. MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. (REFERENCE TO THREE (3) DAYS FOR SENSITIVE AREAS).
- THE CONTRACTOR SHALL APPLY SOD OR SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES TO ALL DISTURBED AREAS AND STOCKPILES WITHIN FOURTEEN (14) CALENDAR DAYS AFTER STRIPPING AND GRADING ACTIVITIES HAVE CEASED IN THE AREA. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. (REQUIREMENT MAY BE REDUCED TO SEVEN (7) DAYS FOR SENSITIVE AREAS).
- PRIOR TO REMOVAL OF SEDIMENT CONTROL MEASURES, THE CONTRACTOR SHALL STABILIZE AND HAVE ESTABLISHED PERMANENT STABILIZATION FOR ALL CONTRIBUTORY DISTURBED AREAS USING SOD OR AN APPROVED PERMANENT SEED MIXTURE WITH REQUIRED SOD AMENDMENTS AND AN APPROVED ANCHORED MULCH. WOOD FIBER MULCH MAY ONLY BE USED IN SEEDING SEASON WHERE THE SLOPE DOES NOT EXCEED 1:1.5. REPAIRS TO EROSION MUST BE COMPLETED PRIOR TO THE END OF THE SEEDING SEASON. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.
- THE SITE'S APPROVAL LETTER, APPROVED EROSION AND SEDIMENT CONTROL PLANS, DAILY LOG BOOKS, AND TEST REPORTS SHALL BE AVAILABLE AT THE SITE FOR INSPECTION BY DULY AUTHORIZED OFFICIALS OF WMA AND THE AGENCY RESPONSIBLE FOR PROJECT.
- SURFACE DRAINAGE FLOWS OVER UNSTABILIZED CUT AND FILL SLOPES SHALL BE CONTROLLED BY EITHER PREVENTING DRAINAGE FLOWS FROM TRAVERSING THE SLOPES OR BY INSTALLING PROTECTIVE DEVICES TO LOWER THE WATER DOWNSLOPE WITHOUT CAUSING EROSION. DIKES SHALL BE INSTALLED AND MAINTAINED AT THE TOP OF A CUT OR FILL SLOPE UNTIL THE SLOPE AND DRAINAGE AREA TO IT ARE FULLY STABILIZED. AT WHICH TIME THEY MUST BE REMOVED AND FINAL GRADING DONE TO PROMOTE SHEET FLOW DRAINAGE. PROTECTIVE METHODS MUST BE PROVIDED AT POINTS OF CONCENTRATED FLOW WHERE EROSION IS LIKELY TO OCCUR.
- PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES.
- TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED, WITH PERMISSION OF WMA INSPECTOR AND AGENCY INSPECTORS, WITHIN THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DISTURBED AREAS. STORMWATER MANAGEMENT STRUCTURES USED TEMPORARILY FOR SEDIMENT CONTROL SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION WITHIN THIS TIME PERIOD AS WELL.
- NO PERMANENT CUT OR FILL SLOPE WITH A GRADIENT STEEPER THAN 3:1 WILL BE PERMITTED IN LAWN MAINTENANCE AREAS. A SLOPE GRADIENT OF UP TO 2:1 WILL BE PERMITTED IN NONMAINTENANCE AREAS PROVIDED THAT THOSE AREAS ARE INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN WITH A LOW-MAINTENANCE GROUND COVER SPECIFIED FOR PERMANENT STABILIZATION. SLOPE GRADIENT STEEPER THAN 2:1 WILL NOT BE PERMITTED WITH VEGETATIVE STABILIZATION.
- FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM PONDING FOR MORE THAN TWENTY (20) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY-EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER SHALL NOT BE REQUIRED TO MEET THIS REQUIREMENT.
- SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN 20 FEET OF A FOUNDATION THAT EXISTS OR IS UNDER CONSTRUCTION. NO STRUCTURE MAY BE CONSTRUCTED WITHIN 20 FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.
- THE WMA INSPECTOR HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES, IF DEEMED NECESSARY.
- ALL TRAP DEPTH DIMENSIONS ARE RELATIVE TO THE OUTLET ELEVATION. ALL TRAPS MUST HAVE A STABLE OUTLET. ALL TRAPS AND BASINS SHALL HAVE STABLE INFLOW POINTS.
- VEGETATIVE STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. REFER TO APPROPRIATE SPECIFICATIONS FOR TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, SODDING, AND GROUND COVERS.
- SEDIMENT BASIN BE REMOVED AND THE TRAP OR BASIN RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE QUARTER OF THE TOTAL DEPTH OF THE TRAP OR BASIN. TOTAL DEPTH SHALL BE MEASURED FROM THE TRAP OR BASIN BOTTOM TO THE CREST OF THE OUTLET.
- SEDIMENT REMOVED FROM TRAPS (AND BASINS) SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR TREE-SAVE AREA. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO RELEASE FROM THE SITE. A SUMP PUMP MAY BE USED IF SEDIMENT TRAPS THEMSELVES ARE BEING PUMPED OUT.
- ALL WATER REMOVED FROM EXCAVATED AREAS SHALL BE PASSED THROUGH A WMA APPROVED DEWATERING PRACTICE OR PUMPED TO A SEDIMENT TRAP OR BASIN PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM OR TO STABLE GROUND SURFACE.
- SEDIMENT CONTROL FOR UTILITY CONSTRUCTION FOR AREAS OUTSIDE OF DESIGNED CONTROLS OR AS DIRECTED BY ENGINEER OR WMA INSPECTOR:
 - CALL "MISS UTILITY" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK.
 - EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
 - TRENCHES FOR UTILITY INSTALLATION SHALL BE BACKFILLED, COMPACTED, AND STABILIZED AT THE END OF EACH WORKING DAY. NO MORE TRENCH SHALL BE OPENED THAN CAN BE COMPLETED THE SAME DAY, UNLESS:
 - TEMPORARY SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED FOR MORE THAN ONE DAY.
- WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, SEDIMENT BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WIRE AND AT LEAST 42 INCHES HIGH. HORIZONTAL RAILS MUST HAVE POSTS SPACED NO FURTHER THAN 8 FEET. HORIZONTAL OPENINGS NO GREATER THAN 2 INCHES IN WIDTH AND 4 INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.
- OFF-SITE SPOIL OR BORROW AREAS ON STATE OR FEDERAL PROPERTY MUST HAVE PRIOR APPROVAL BY WMA AND OTHER APPLICABLE STATE, FEDERAL, AND LOCAL AGENCIES. OTHERWISE, APPROVAL MUST BE GRANTED BY THE LOCAL AUTHORITIES. ALL WASTE AND BORROW AREAS OFF-SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.
- SITES WHERE INFILTRATION DEVICES ARE USED FOR THE CONTROL OF STORMWATER, EXTREME CARE MUST BE TAKEN TO PREVENT RUNOFF FROM UNSTABILIZED AREAS FROM ENTERING THE STRUCTURE DURING CONSTRUCTION. SEDIMENT CONTROL DEVICES PLACED IN INFILTRATION AREAS MUST HAVE A MINIMUM OF 2 FEET HIGHER THAN THE FINISH GRADE BOTTOM ELEVATION. INFILTRATION DEVICES IN THE INFILTRATION PRACTICE, WHEN CONVERTING A SEDIMENT TRAP TO AN INFILTRATION DEVICE, ALL ACCUMULATED SEDIMENT MUST BE REMOVED AND DISPOSED OF PRIOR TO FINAL GRADING OF INFILTRATION DEVICE.
- WHEN A STORM DRAIN SYSTEM OUTFALL IS DIRECTED TO A SEDIMENT TRAP OR SEDIMENT BASIN AND THE SYSTEM IS TO BE USED FOR TEMPORARILY CONVEYING SEDIMENT LADEN WATER, ALL STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT BERMS CONSTRUCTED AT THE TIME OF BASE PAVING TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION - TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE - TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES - EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

CRITERIA

- SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIG. B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
- FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
- WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.b AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION - TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE - TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES - EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA

- GENERAL USE
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.
 - FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
 - FOR AREAS RECEIVING LOW NUTRIENT, APPLY AREA FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1,000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
- TURFGRASS MIXTURES
 - AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 1. KENTUCKY BLUEGRASS: FULL SUN MIXTURE. FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1,000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 2. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE. FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1,000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 3. TALL FESCUE/CERTIFIED BLUEGRASS: FULL SUN MIXTURE. FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1,000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
 4. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE. FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1,000 SQUARE FEET.
- NOTES:
 - SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND."
 - CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.
 - IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES
 - WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5b, 6a)
 - CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6b)
 - SOUTHERN MD: EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7a, 7b)
 - TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
 - IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.
- SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).
 - GENERAL SPECIFICATIONS:
 - CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
 - SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/8 INCH. AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN EDGES WILL NOT BE ACCEPTABLE.
 - STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
 - SOD MUST NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
 - SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
 2. SOD INSTALLATION
 - DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
 - LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
 - WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.
 - WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.
 3. SOD MAINTENANCE
 - IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
 - AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
 - DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/2 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

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 Certificate of Authorization No. 246CA28131400

REVISIONS		
NO.	DESCRIPTION	DATE
1	PER COUNTY REVIEW	09/04/24
2	PER COUNTY REVIEW	11/18/24
3	NEW BUILDING	01/12/25
4	PER COUNTY SWM REVIEW	09/10/25

FOR APPROVAL PURPOSES ONLY

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DESIGNED BY: CBI	JOB NO.: 1061-271
DRAWN BY: CBI	DATE: 05/22/24
CHECKED BY: BWC	SCALE: 1" = 20'

TACO BELL
 CONCEPT SITE DEVELOPMENT PLAN
 1429 LIBERTY ROAD
 MAP 0073, GRID 0012, PARCEL 0731
 TAX ACCOUNT ID: 07805059968
 STORE #400036
 ELECTION DISTRICT 05-004
 CARROLL COUNTY
 STATE OF MARYLAND

FOR
 MARYLAND CANTINA, LLC
 PO BOX 429
 CONSHOHOCKEN, PA 19428

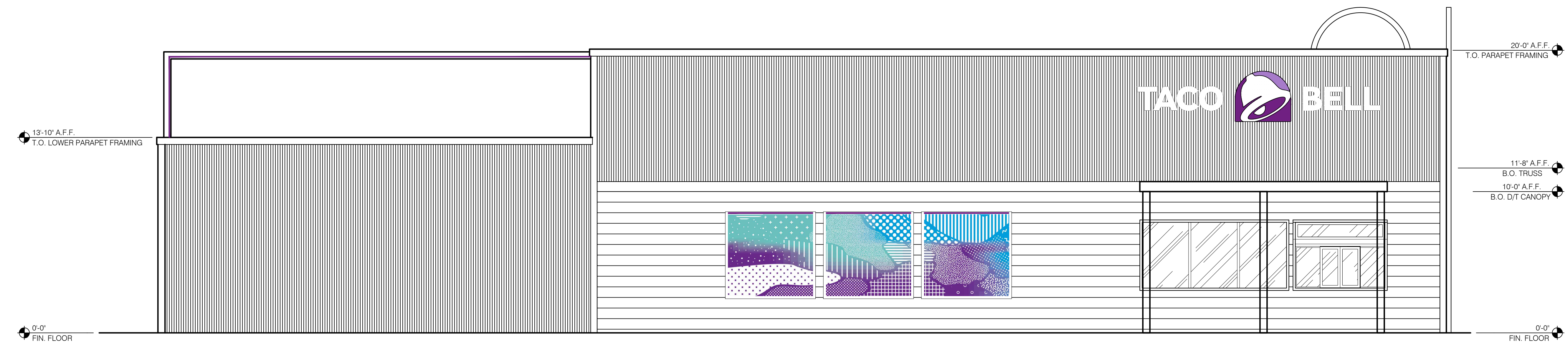
BRIAN W. CLEARY, PE
 Professional Engineer
 Maryland License # 24411

SESC NOTES & DETAILS

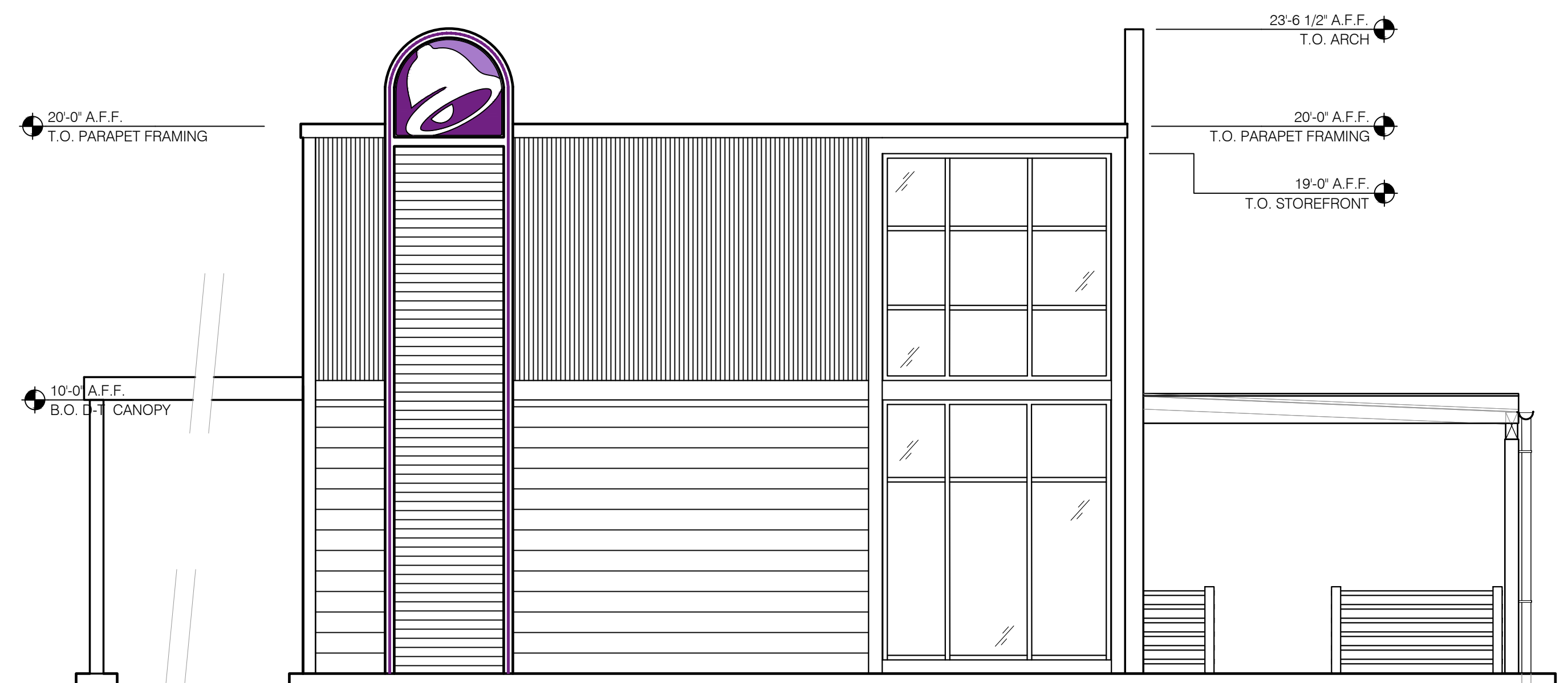
9 of 10



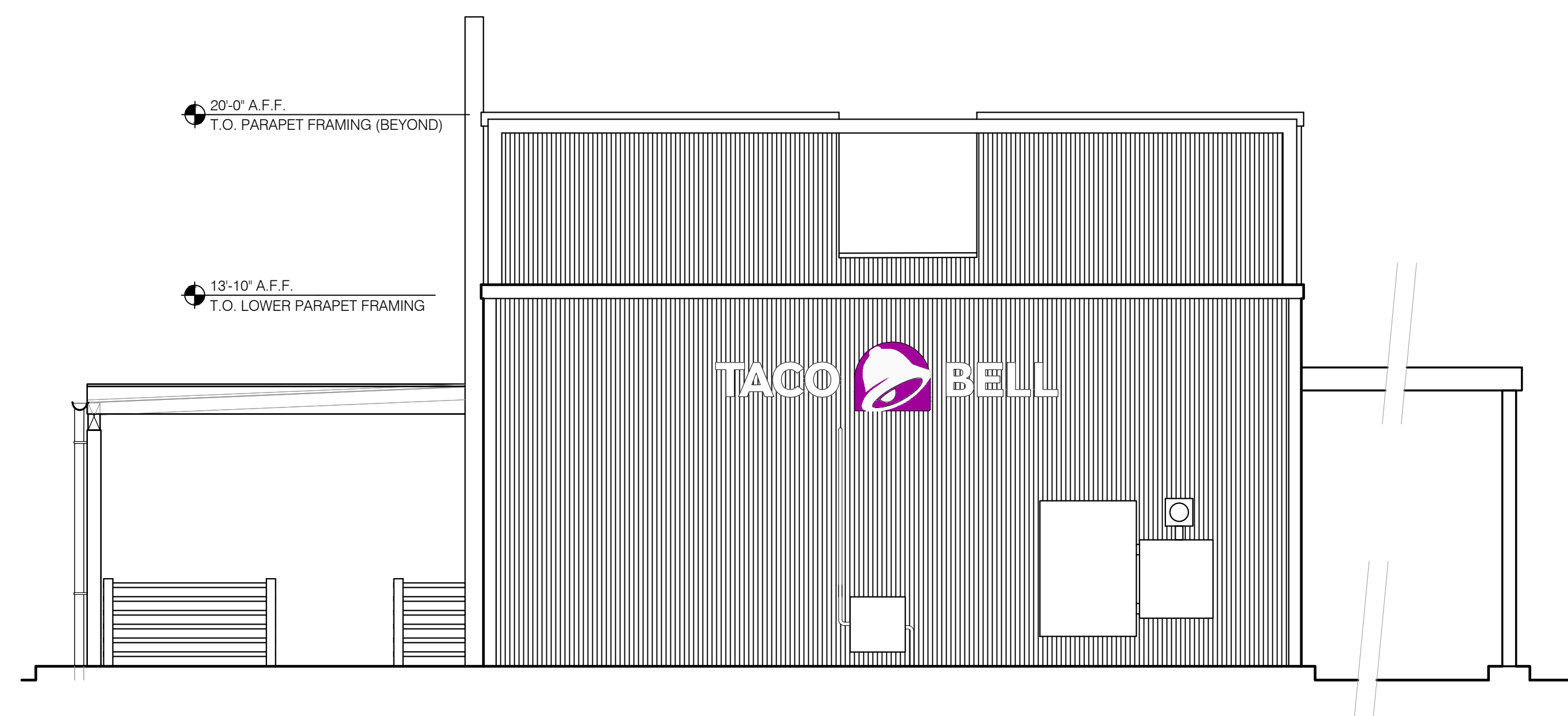
RIGHT SIDE ELEVATION	$1/4" = 1'-0"$	A
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LEFT SIDE ELEVATION	$1/4" = 1'-0"$	B
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FRONT ELEVATION	$1/4" = 1'-0"$	D
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REAR ELEVATION	$1/4" = 1'-0"$	C
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FOR APPROVAL
PURPOSES ONLY

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THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARKING SERVICE (1-800-472-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

DESIGNED BY: CBJ	JOB NO: 1061-271
DRAWN BY: CBJ	DATE: 05/22/24
CHECKED BY: BWC	SCALE: 1/4" = 1' - 0"



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BRIAN W. CLEARY, PE
Professional Engineer
Maryland • License # 54411

EXTERIOR
BUILDING
ELEVATIONS

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