

## GENERAL NOTES

- Existing Zoning: Commercial High Intensity District (C-3)
- Existing Use: Residential / Vacant Land
- Proposed Use: Business Park
- Total Area of Site = 12.4788 AC.
- Total Area of Plan = 543,576 SF (12.48 AC.)
- The Property shown herein is owned by Eldersburg Investors II, LLC, and is recorded in the Land Records of Carroll County as the following deeds:
  - \* Liber 10674, Folio 248, dated July 26, 2022 between Trudy Mae Glass and Jeffrey E. Higdon, Trustees of the H. Carrie Fryfole Mortal Trust (grantees) and Eldersburg Investors II LLC (grantee).
  - \* Liber 10674, Folio 260, dated July 26, 2022 between Trudy Mae Glass and Jeffrey E. Higdon, Trustees of the Estate of Gloria Mae Fryfole (grantees) and Eldersburg Investors II LLC (grantee).
  - \* Liber 10674, Folio 272, dated July 26, 2022 between Dean G. Smith and Michelle L. Smith and Eldersburg Investors II LLC (grantees).
  - \* Liber 10674, Folio 283, dated July 26, 2022 between Deborah A. Stockdale, Personal Representative of the Estate of Stanley C. Smith and Eldersburg Investors II LLC (grantees).
  - \* Liber 10674, Folio 294, dated July 26, 2022 between Larry B. Stockdale and Deborah A. Stockdale and Eldersburg Investors II LLC (grantees).
- The tax account numbers for the lots/parcels affected by these plans are 14-037586, 14-00709, 14-039078 & 14-039586.
- Tax Map 073, Grid 002, Parcel 3, 222, 702, 703.
- Property boundary is shown per field survey. Existing topography shown per field survey by MTPLS, Inc. Topography was most recently updated in 2022.
- Location of nearest water supply available for fire protection are existing hydrants located on Liberty Road. Additional hydrants are proposed on site as part of this Site Development Plan to address fire protection requirements.
- The locations of existing utilities shown herein are approximate only. Contractor shall verify the existence, location, and depth of any existing utilities and shall notify the engineer of any discrepancies prior to beginning work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 three (3) working days prior to beginning any work in the vicinity of existing utilities.
- The contractor shall note that in case of a discrepancy between the scaled and figured dimensions shown on these plans, the figured dimensions shall govern.
- Any changes to this plan will require an Amended Site Development Plan to be approved by the Carroll County Planning and Zoning Commission.
- This site plan shall become void eighteen months after the date of approval if no building permit or zoning certificate has been issued for this project, unless an extension of time limit is issued by the Director of Land and Resource Management.
- Note: All proposed elevations are located at bottom of curb and all dimensions are to face of curb unless labeled otherwise.
- The courses and coordinates shown herein are referred to the system of coordinates established in the Maryland Coordinate System - NAD 83 (1991) and are based upon the following National Spatial Reference System control stations provided by the National Geodetic Survey:

Designation	North (NAD 83)	East (NAD 83)	ELEV. (MSL)
GERA	637754.26	1318632.75	536.95
"ATHENS"	635614.06	1319181.68	580.65
- There are no existing wetlands, streams and associated buffers on site.
- The site is approximately 0.646' from the nearest production well.
- No construction vehicles, contractor or private, or construction materials or equipment may be parked, placed or stored within any public right of way.
- UNDERGROUND UTILITY NOTES: If any underground utilities are encountered on site during construction, the Contractor shall immediately notify the Maryland Department of the Environment and the Carroll County Bureau of Resource Management. The Contractor shall remove the tanks in accordance with MDE procedures.
- Entrance construction is subject to inspection and approval by the Carroll County Department of Public Works, Construction Inspection Division. Contractor is responsible to notify that office at 410-386-2157 a minimum of three working days prior to beginning work in or along any public road.
- Contractor shall notify Carroll County Bureau of Utilities at 410-386-2164 at least 48 hours prior to beginning any work on public water or sewer within county right-of-way or easements.
- If the proposed use of any building is to include the storage or use of regulated substances, the requirements of Chapter 154, Water Resource Management of the Carroll County Code of Public Local Laws and Ordinances must be addressed.

## SITE COMPLIANCE CHECKLIST

- Contractor shall notify the Carroll County Bureau of Permits and Inspections at 410-386-2674, at least one (1) day prior to beginning any work.
- Site Compliance Inspections are required at the following stages during construction:
  - Proposed structures staked out in proper locations as shown on these approved plans.
  - Proposed foundations installed for all buildings shown on these approved plans.
  - Sub-grades established for all drives, parking lots, and surrounding grading.
  - Completion of all drives, parking lots, and surrounding grading.
  - Completion of all work shown on plan.

It is the Contractor's responsibility to contact the Carroll County Bureau of Permits and Inspections at 410-386-2674 upon completion of each phase of construction. Contractor shall notify Carroll County Bureau of Resource Management, Environmental Inspection Services Division at 410-386-2210 prior to beginning any work. All forest conservation plan devices must be in place prior to any construction.

Final landscaping inspection shall be arranged through the Bureau of Resource Management, Environmental Inspection Services Division at 410-386-2210 by the contractor/developer or agent. Written approval from the Landscape Review Specialist, Bureau of Resource Management must be obtained for any deviations from the landscaping or forest conservation plans or modifications to the plant material.

The contractor shall not proceed to the next phase of construction until given approval of prior phase.

## SPECIMEN TREE SUMMARY

CONSTRUCTION OF THE PROJECT WILL RESULT IN THE REMOVAL OF ALL SEVEN (7) SPECIMEN TREES PRESENT ON THE PROJECT SITE. THREE OF THE TREES TO BE IMPACTED ARE NON-NATIVE, INVASIVE NORWAY MAPLES (ACER PLATANOIDES) IN FAIR OR POOR CONDITION. A FOURTH TREE, A 64-INCH DIAMETER AT BREAST HEIGHT (DBH) SILVER MAPLE (ACER SACCHARINUM), IS IN VERY POOR CONDITION WITH MOST OF THE TREE DEAD. THE REMAINING THREE TREES TO BE IMPACTED INCLUDE A 46-INCH DBH AMERICAN SYCAMORE (PLATANUS OCCIDENTALIS) IN GOOD CONDITION; A 32-INCH DBH SILVER MAPLE IN GOOD CONDITION, AND A 33-INCH DBH SILVER MAPLE IN GOOD CONDITION. THE APPLICANT PROPOSES TO MITIGATE FOR IMPACTS TO THE THREE NATIVE TREES IN GOOD CONDITION THROUGH PURCHASE OF 0.555 ACRES OF PLANTING CREDIT IN A CARROLL COUNTY-APPROVED FOREST MITIGATION BANK.

## STORMWATER MANAGEMENT NOTE

STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE CARROLL COUNTY POLICY FOR STORMWATER MANAGEMENT, AS SPECIFIED IN CHAPTER 15.015 THE CARROLL COUNTY CODE. THE STORMWATER FROM THIS SITE DRAINS INTO AN EXISTING STORM DRAIN IN LIBERTY ROAD ACCORDING TO THE FIVE-YEAR STORMWATER MANAGEMENT THROUGH A COMBINATION OF BIO-SWALES, SAND FILTERS, MICRO-BIORETENTION FACILITIES AND FILTERSTRIPS.

THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS DESIGN MANUAL, VOLUME 1: ROAD AND STORM DRAINS. THE DESIGN ENGINEER OR ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE ACCURACY OF ALL DATA AND MODIFICATIONS FOR CONSTRUCTION.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CARROLL COUNTY HEALTH DEPARTMENT  
APPROVAL

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CARROLL COUNTY DEPT. OF PUBLIC WORKS  
FOR UTILITIES

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

## ENGINEER

I certify that this plan of Sediment Control is designed with my personal knowledge of the site condition and has been designed to the Standards and specifications adopted by the Carroll County Soil Conservation District.

ENGINEER \_\_\_\_\_ DATE: \_\_\_\_\_

## DEVELOPER

I certify that this plan of Sediment Control will be implemented to the fullest extent, and all structures will be installed to the design and specifications as spelled out in this plan and that any responsible personnel involved in construction project will have a certification of attendance at a Department of Natural Resources approved training program for the control of sediment and erosion before beginning this project. I also authorize periodic on-site evaluation by the Carroll Soil Conservation District Personnel and cooperating agencies.

OWNER / DEVELOPER \_\_\_\_\_

DATE: \_\_\_\_\_

CARROLL COUNTY PLANNING AND ZONING  
COMMISSION APPROVAL

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CARROLL COUNTY DEPARTMENT OF PUBLIC  
WORKS FOR BUREAU OF ENGINEERING

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

SOIL CONSERVATION DISTRICT  
The Development Plan is approved for Soil Erosion and Sediment Control by the Soil Conservation District.

APPROVED \_\_\_\_\_ DATE: \_\_\_\_\_

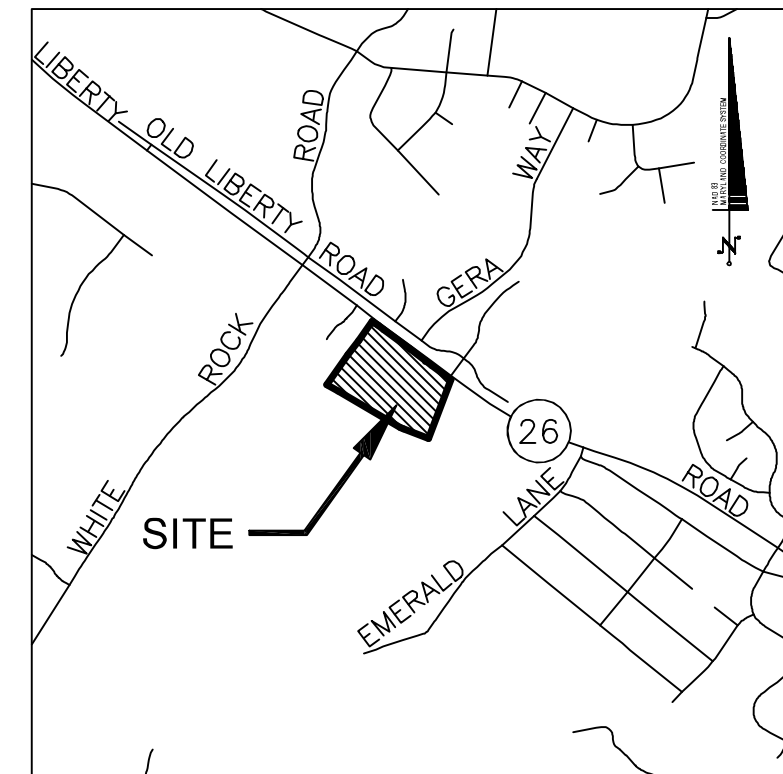
## OWNER'S CERTIFICATION

(WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS) HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE.

SIGNATURE \_\_\_\_\_

NAME(S) PRINTED \_\_\_\_\_

DATE: \_\_\_\_\_

CONCEPT SITE DEVELOPMENT PLAN  
FOR  
LIBERTY EXCHANGE II  
BUSINESS PARKTAX MAP# 73, GRID# 002, PARCELS 3, 222, 702 & 703  
ELECTION DISTRICT: 14 CARROLL COUNTY, MD.OWNER ADDRESS  
ELDERSBURG INVESTORS II LLC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100DEVELOPER ADDRESS  
ST. JOHN PROPERTIES INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100SITE ADDRESS  
571, 375 & 411 LIBERTY ROAD  
ELDERSBURG, MD 21784

## VICINITY MAP

SCALE: 1" = 2000'

SHEET INDEX	
NO.	DRAWING TITLE
1	COVER SHEET
2	SITE LAYOUT PLAN
3	SITE GRADING PLAN
4	SITE DETAIL SHEET
5	SITE DETAIL SHEET
6	SEDIMENT AND EROSION CONTROL PLAN
7	SEDIMENT AND EROSION CONTROL PLAN
8	SEDIMENT AND EROSION CONTROL PLAN
9	SEDIMENT AND EROSION CONTROL PLAN
10	SEDIMENT AND EROSION CONTROL PLAN
11	SEDIMENT AND EROSION CONTROL PLAN
12	STORMWATER MANAGEMENT PLAN
13	STORMWATER MANAGEMENT PLAN
14	STORMWATER MANAGEMENT PLAN
15	STORMWATER MANAGEMENT PLAN
16	STORMWATER MANAGEMENT PLAN
17	STORMWATER MANAGEMENT PLAN
18	LIGHTING PLAN & DETAILS
19	LANDSCAPE PLAN
20	ARCHITECTURAL ELEVATIONS
21	ARCHITECTURAL ELEVATIONS
22	ARCHITECTURAL ELEVATIONS
23	ARCHITECTURAL ELEVATIONS
24	ARCHITECTURAL ELEVATIONS

## DATA SOURCES:

EX. TOPOGRAPHY AND BOUNDARY SHOWN PER SURVEY BY MTPLS, INC. COMPILED IN APRIL, 2022.  
EX. SOILS SHOWN PER USDA SOIL SURVEY WEBSITE.  
EX. ENVIRONMENTAL FEATURES SHOWN PER FIELD INVESTIGATION BY SCIENCE PROFESSIONALS AND DATED SEPTEMBER, 2022.

Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

OWNER:  
ELDERSBURG INVESTORS II LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

DEVELOPER:  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

SITE ADDRESS:  
371, 411 LIBERTY ROAD  
ELDERSBURG, MD 21784CONCEPT SITE DEVELOPMENT PLAN FOR  
BUSINESS PARK  
LIBERTY EXCHANGE IICOVER  
SHEET

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS

NO. DESCRIPTION OF CHANGES DRN REV. DATE

CO. FILE # S-22-0038 DES. BY: LJC

TAX ACC. # VARIOUS DRN. BY: LJC

BLOCK / GRID: 002 CHK. BY: JLM

DATE: 5/3/24

PARCEL # 3, 222, 702, 703 DDC JOB# 21036.2

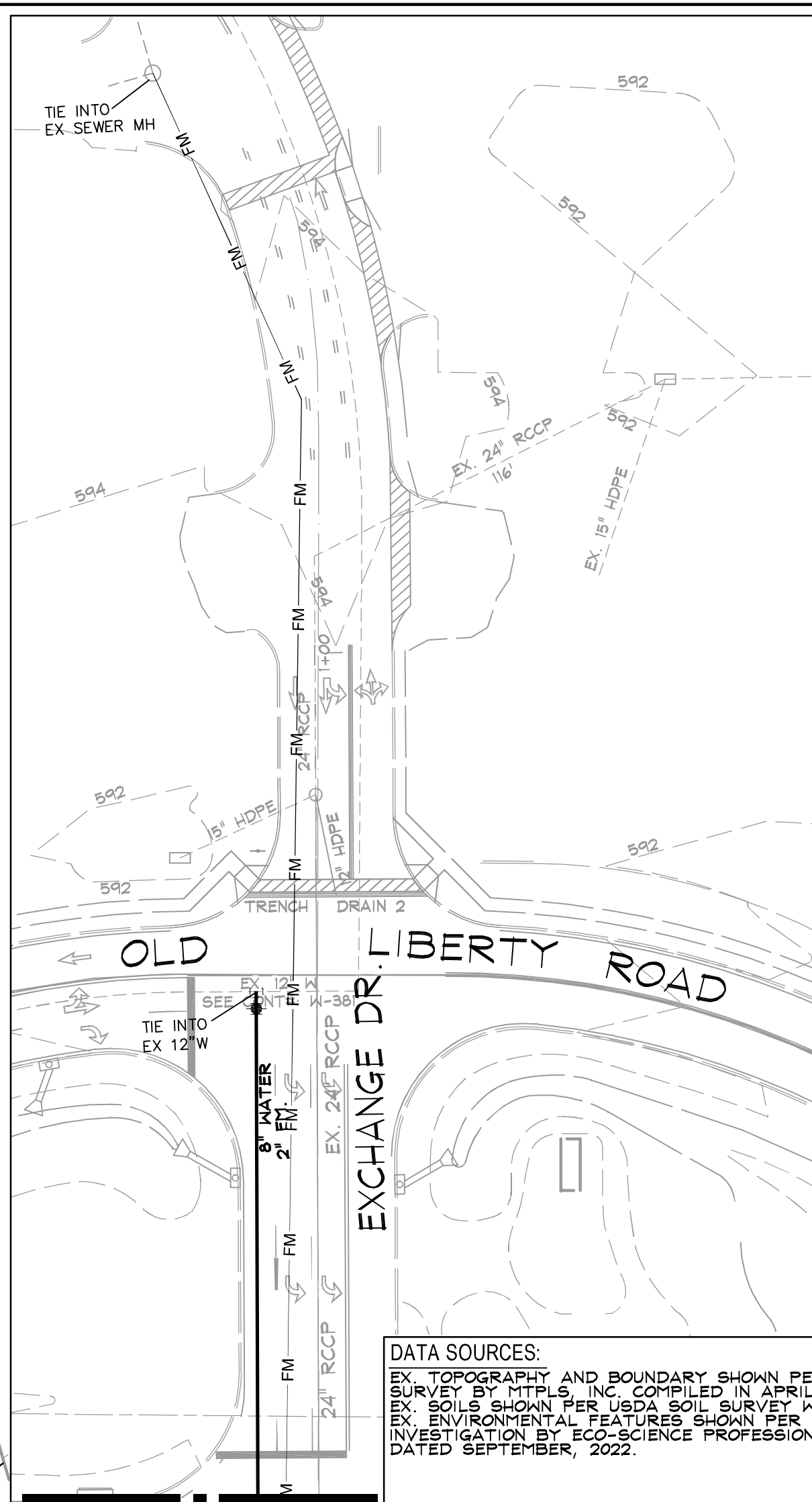
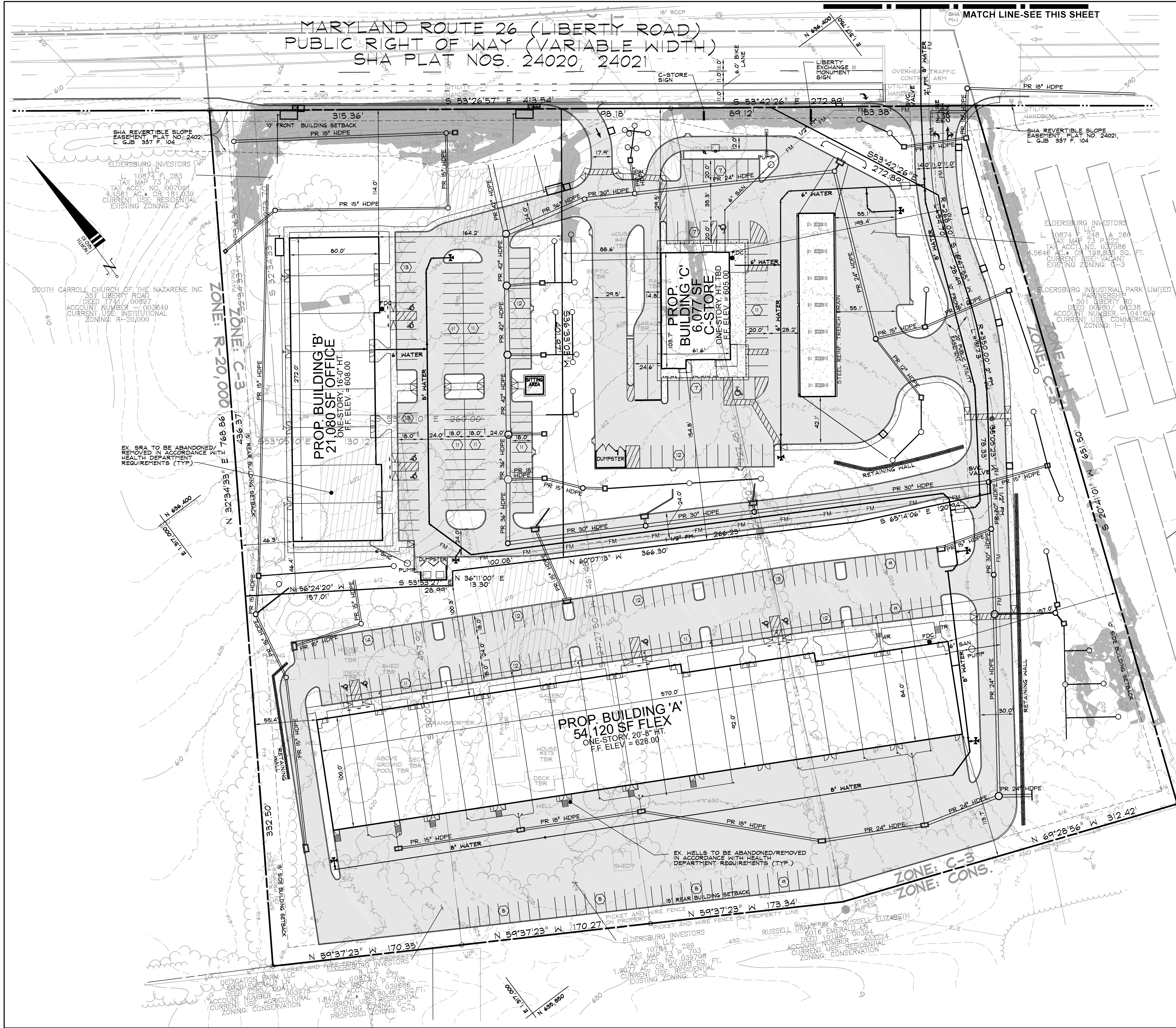
ZONE / USE: C-3 SHEET NUMBER:

DWG. SCALE: 1" = 100'

1 of 24

S-22-0038





Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

**DDC inc.**  
Development Design Consultants

OWNER:  
ELDESBURG INVESTORS II LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

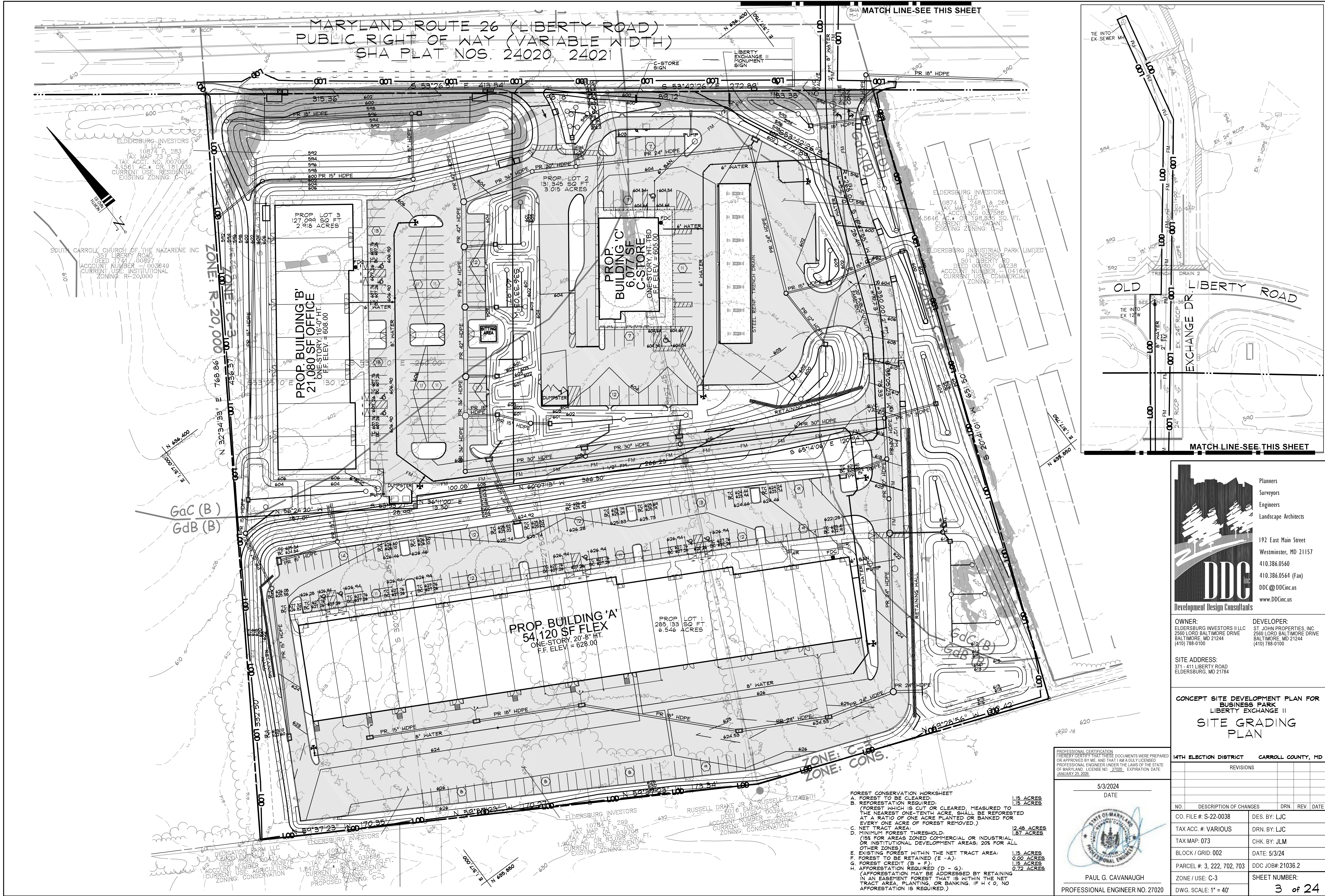
DEVELOPER:  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

CONCEPT SITE DEVELOPMENT PLAN FOR  
BUSINESS PARK  
LIBERTY EXCHANGE II  
SITE LAYOUT  
PLAN

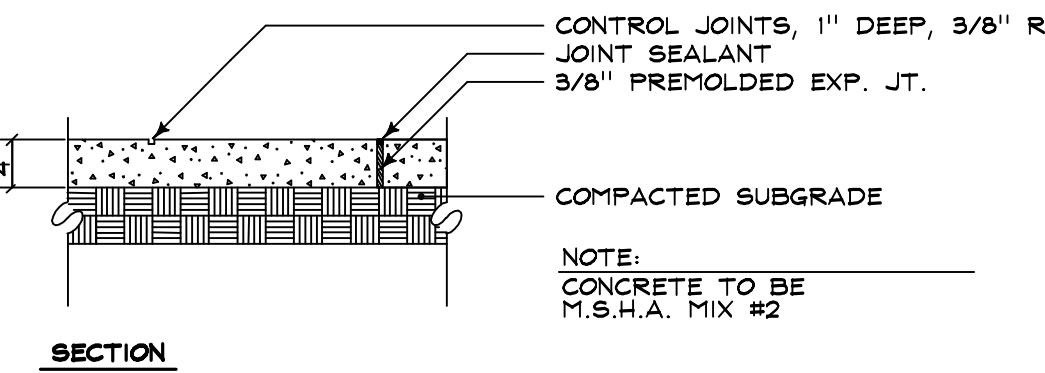
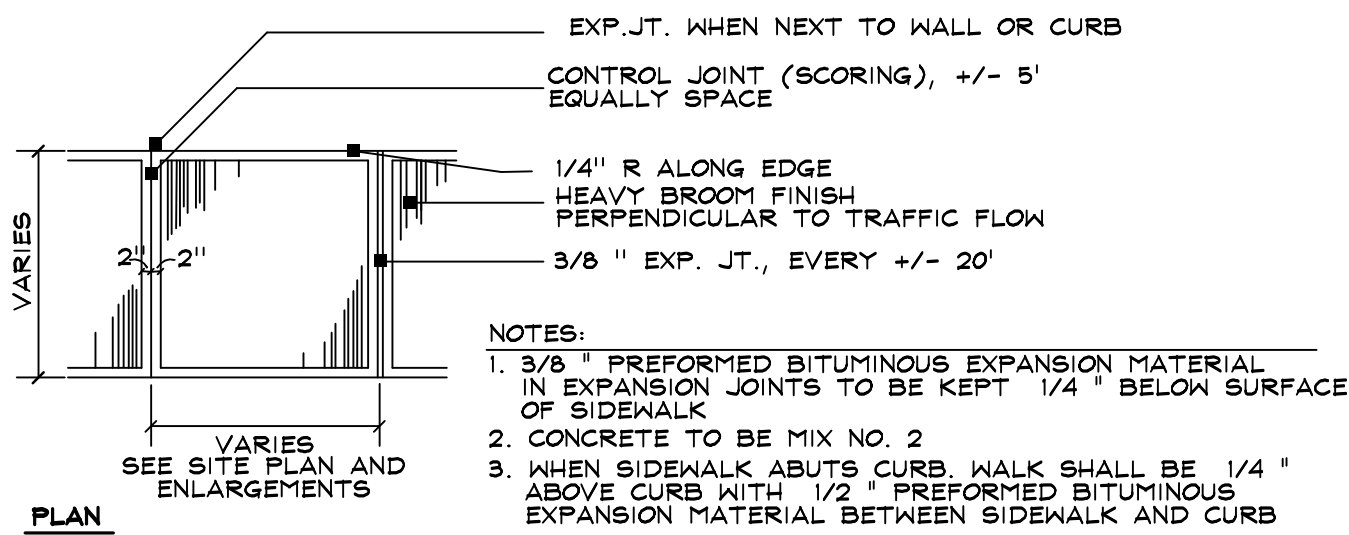
14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRN	REV.	DATE
CO. FILE #	S-22-0038	DES. BY:	LJC	
TAX ACC. #	VARIOUS	DRN. BY:	LJC	
TAX MAP:	073	CHK. BY:	JLM	
BLOCK / GRID:	002	DATE:	5/3/24	
PARCEL #	3, 222, 702, 703	DDC JOB#:	21036.2	
ZONE / USE:	C-3	SHEET NUMBER:	2 of 24	
DWG. SCALE:	1" = 40'			

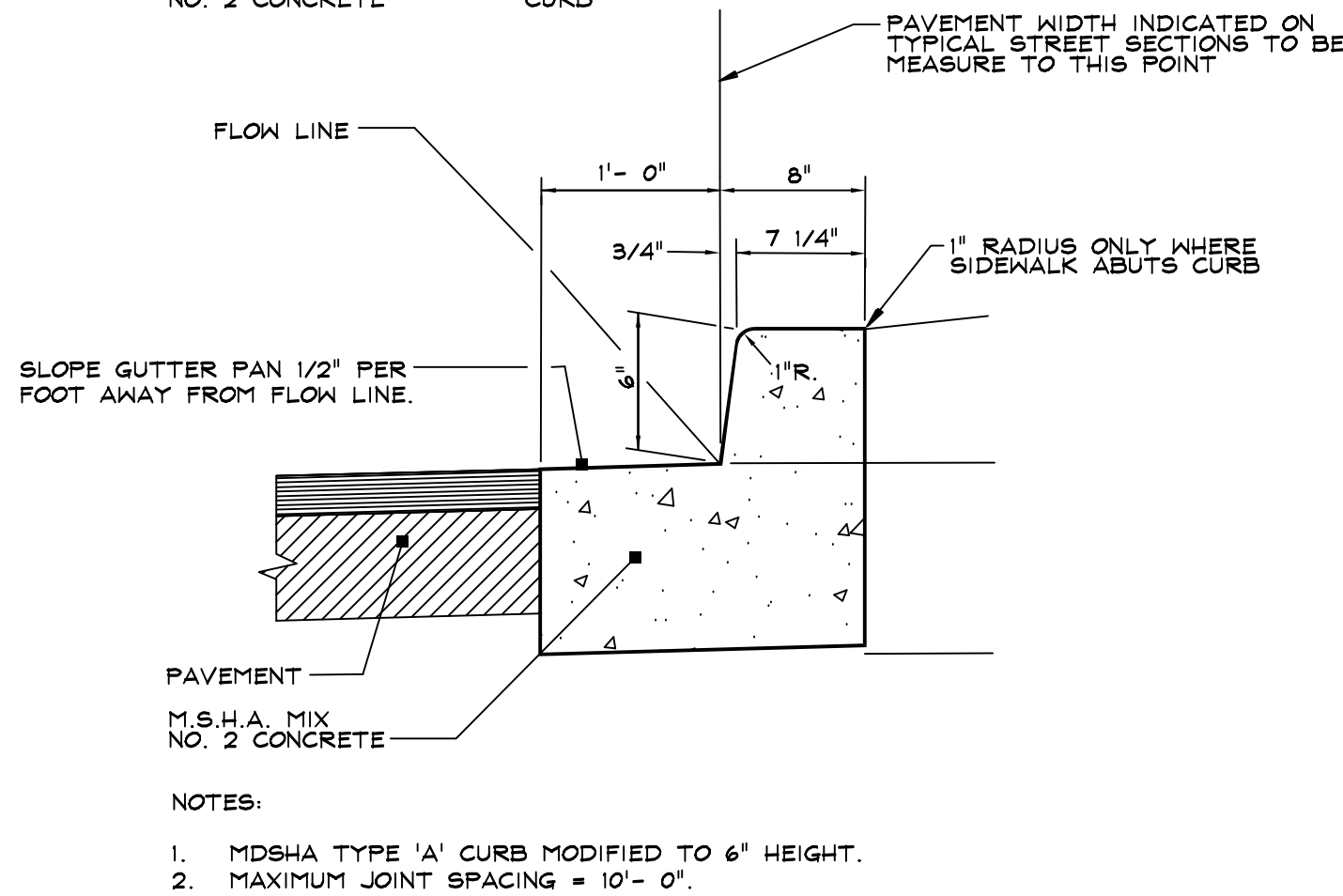
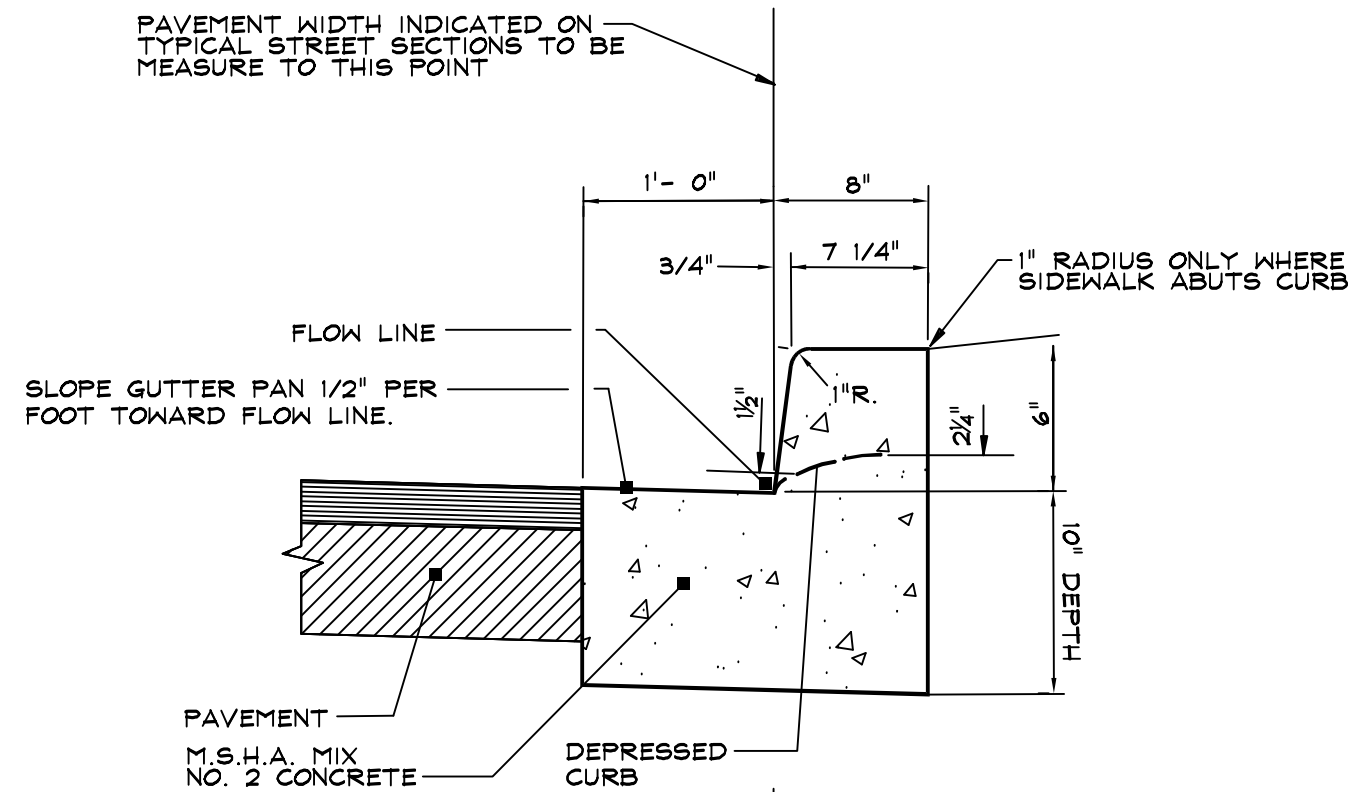








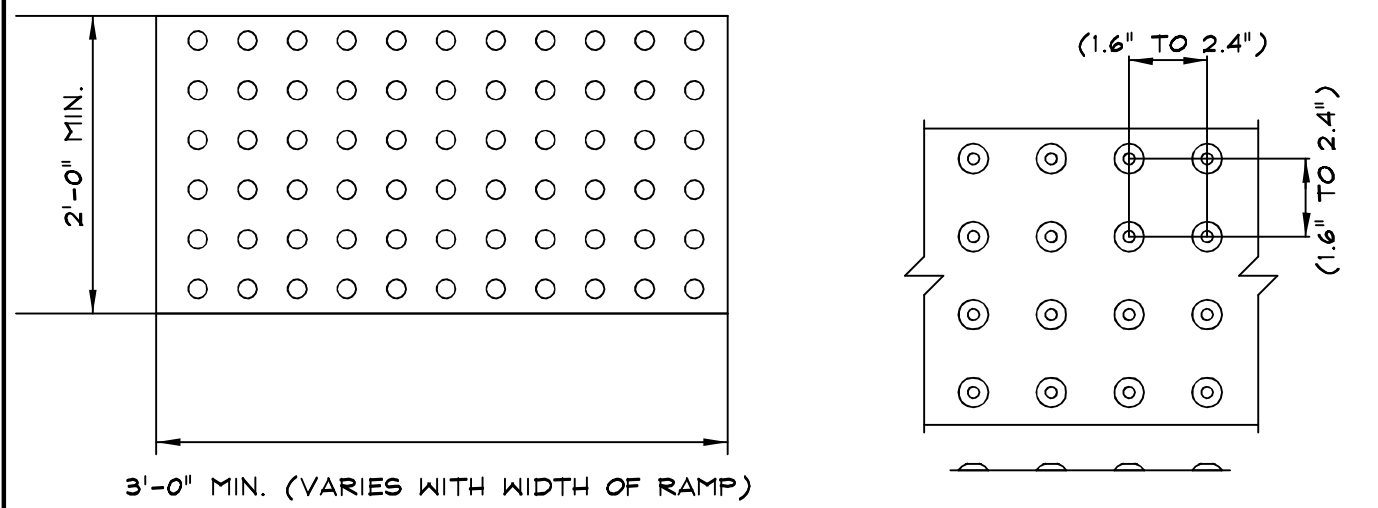
A CONCRETE WALK  
4 N.T.S.



STANDARD CURB SECTION

NOTE: GUTTER SLOPE AS SHOWN ON PLANS.

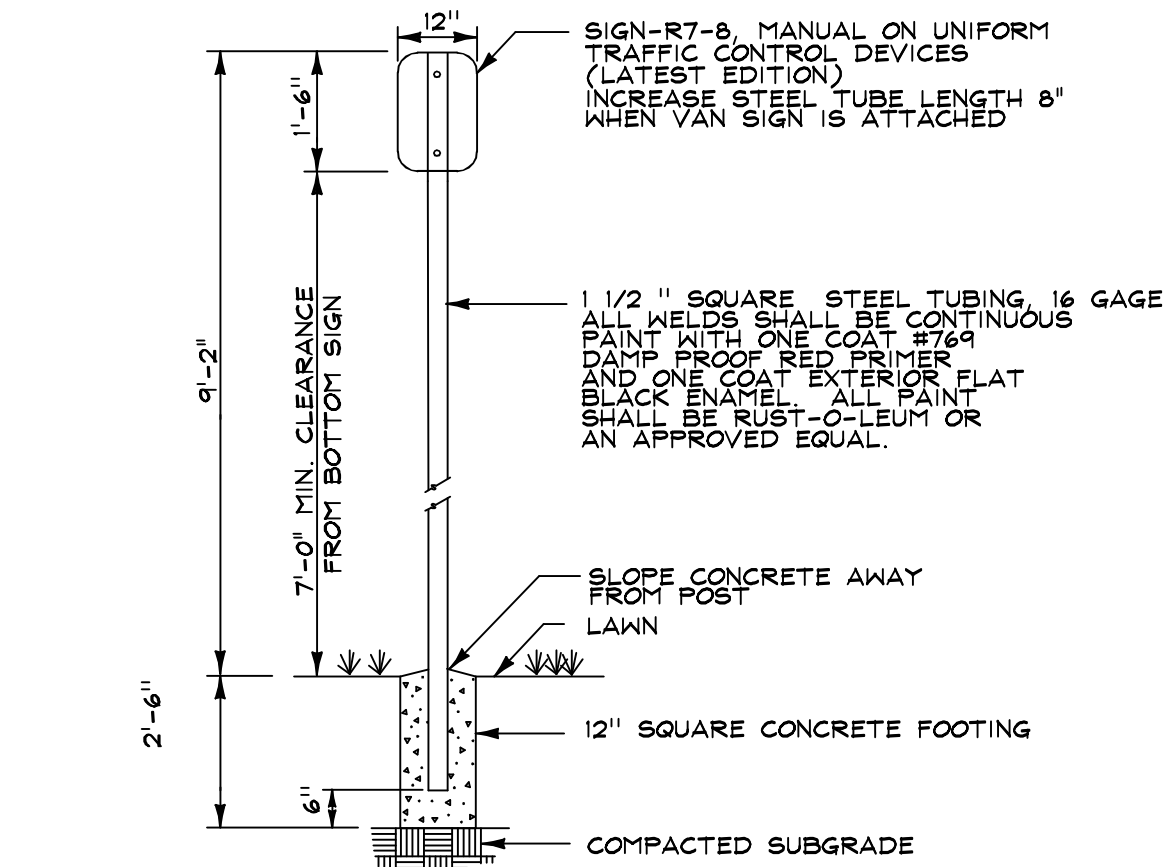
E 6" COMBINATION CONCRETE CURB & GUTTER  
4 N.T.S.



TRUNCATED DOME PLAN VIEW TRUNCATED DOME SPACING

TRUNCATED DOME NOTES:

1. DETECTABLE WARNINGS TO BE PROVIDED NEAR THE BASE OF ALL HANDICAP ACCESS RAMPS AND ANY LOCATION WHERE DEPRESSIONED CURB IS PROPOSED.
2. DETECTABLE WARNING SHALL BE OF THE PAVEMENT OR MAT TYPE WITH ADHESIVE PER MANUFACTURERS SPECIFICATIONS.
3. WIDTH OF DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 3 FEET AND VARY WITH WIDTH OF RAMP.
4. LENGTH OF DETECTABLE WARNING AREA SHALL BE 2 FEET REGARDLESS OF SECTION WIDTH.
5. DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
6. DETECTABLE WARNING AREA SHALL BE COLORED YELLOW OR RED TO PROVIDE VISUAL CONTRAST.
7. IF PAVERS ARE TO BE USED, PAVERS SHALL BE 6\"/>
8. IF MATS ARE TO BE USED, EDGES SHALL BE BEVELED TO ELIMINATE TRIP HAZARD.

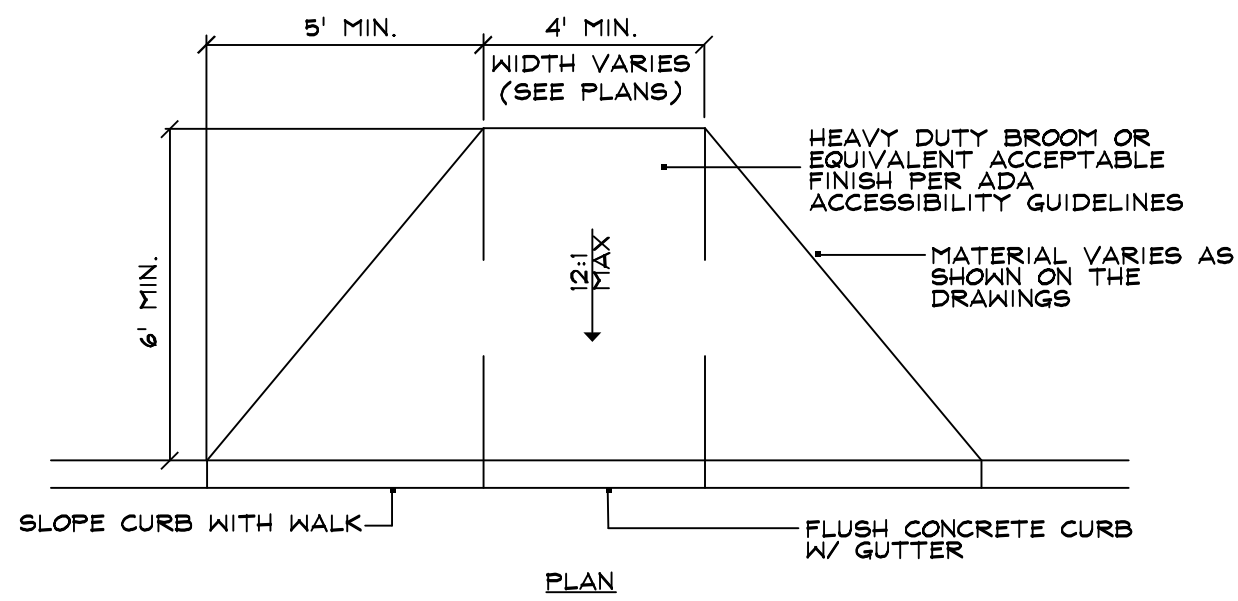


NOTES:

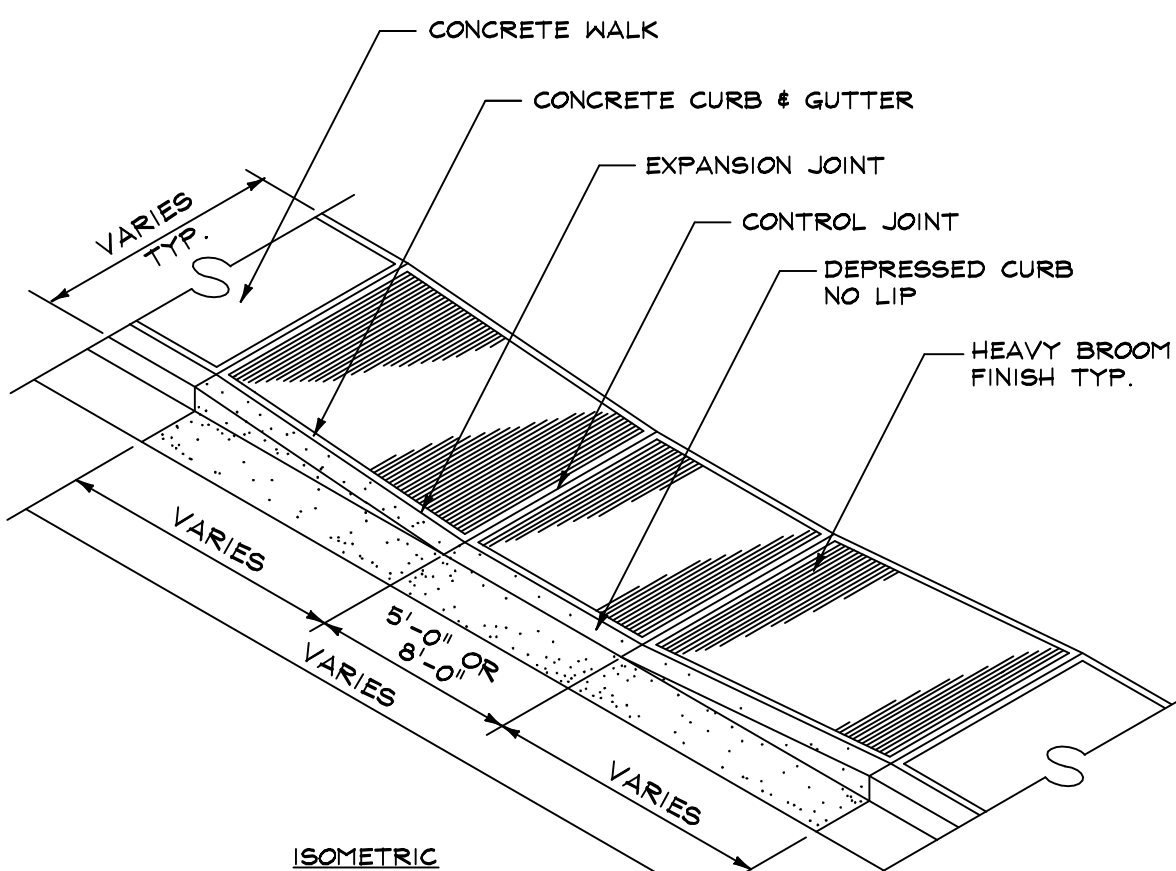
1. DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'.
2. SEE HANDICAPPED PARKING SPACE DETAIL THIS SHEET FOR LOCATION OF HANDICAPPED SIGN.
3. SIGNS SHALL CONFORM TO CURRENT ADA CRITERIA.

SIGN COLORS:  
LETTERS AND BORDER - GREEN  
WHITE H.C. SYMBOLS ON BLUE BACKGROUND  
BACKGROUND - WHITE

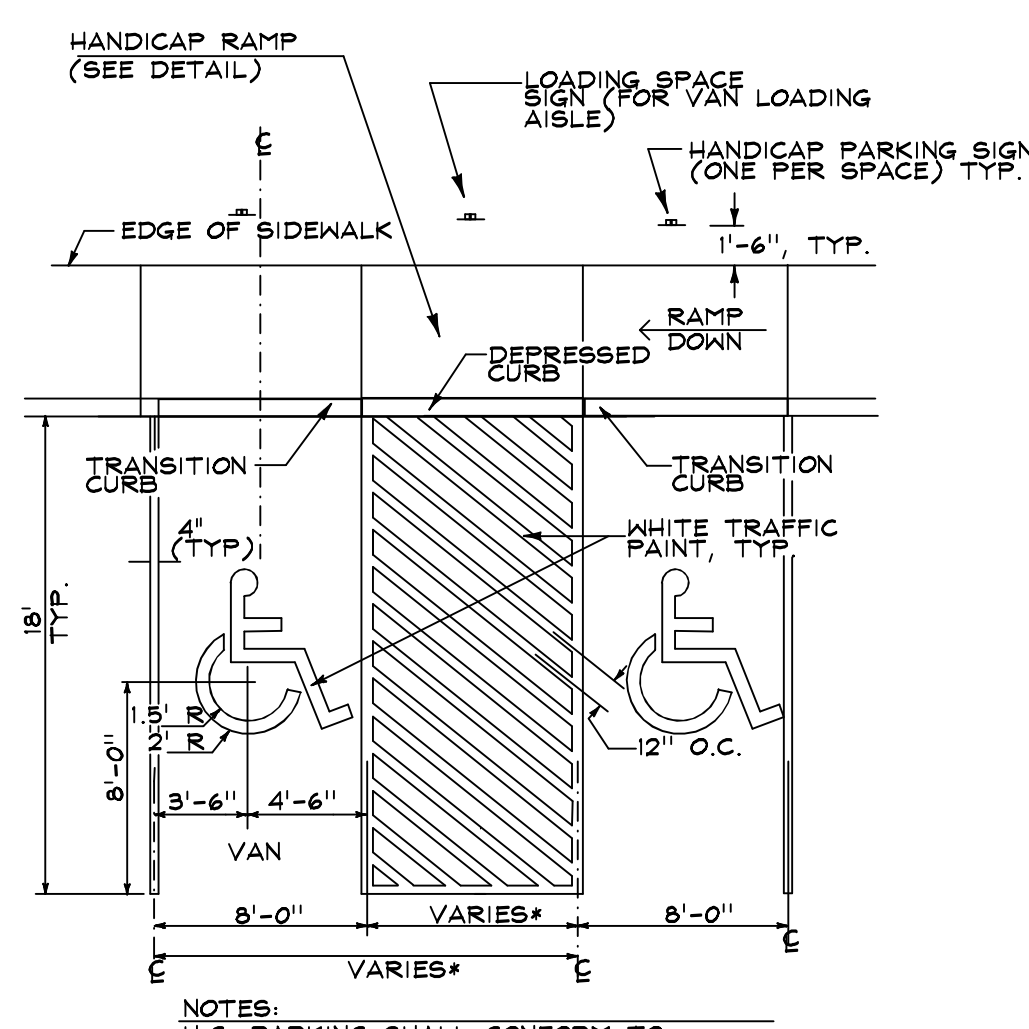
B HANDICAP PARKING SIGN  
4 N.T.S.



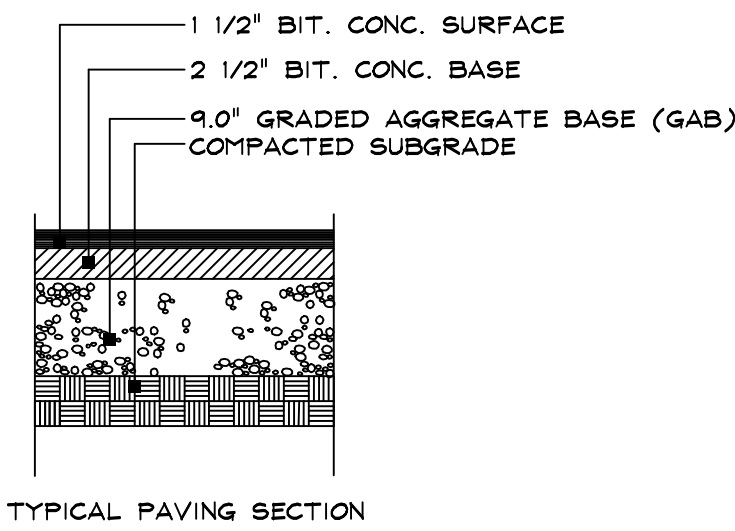
F CONCRETE CURB RAMP  
4 N.T.S.



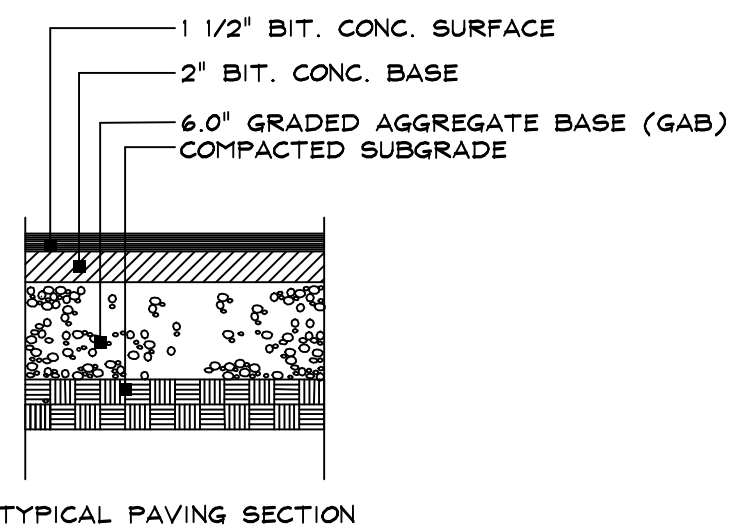
G HANDICAP ACCESS RAMP (TYPE 'A')  
4 N.T.S.



C HANDICAP PARKING SPACES (CAR & VAN)  
4 N.T.S.



H HEAVY DUTY PAVING DETAIL (P2)  
4 N.T.S.



I LIGHT DUTY PAVING DETAIL (P1)  
4 N.T.S.

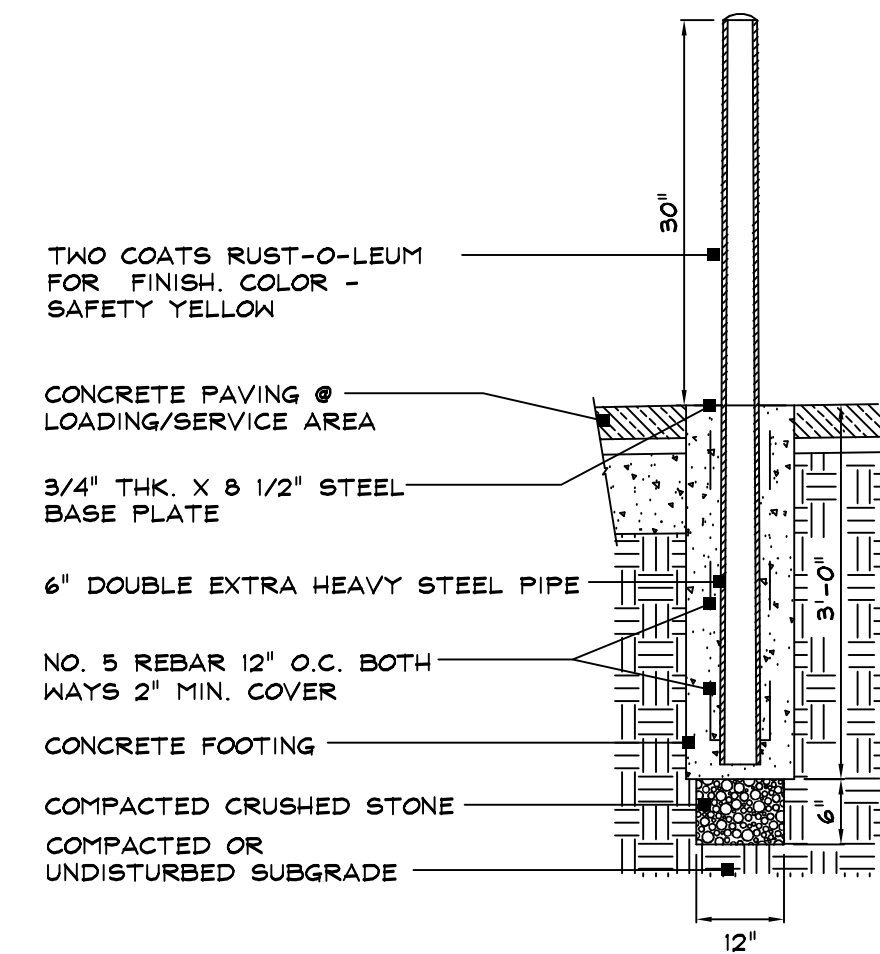


J RESERVED PARKING SIGN  
HANDICAPPED  
4 N.T.S.



K NO PARKING SIGN @  
VAN ACCESS AISLE  
4 N.T.S.

D STEEL BOLLARD (OR EQUIVALENT)  
4 N.T.S.



DATA SOURCES:  
EX. TOPOGRAPHY AND BOUNDARY SHOWN PER SURVEY BY MTPLS INC. COMPILED IN APRIL, 2022.  
EX. SOILS SHOWN PER USDA SOIL SURVEY WEBSITE.  
EX. ENVIRONMENTAL FEATURES SHOWN PER FIELD INVESTIGATION BY ECO-SCIENCE PROFESSIONALS AND DATED SEPTEMBER, 2022.

**DDC inc.**  
Development Design Consultants

Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

OWNER:  
ELDERSBURG INVESTORS II LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

DEVELOPER:  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

SITE ADDRESS:  
371 - 411 LIBERTY ROAD  
ELDERSBURG, MD 21784

CONCEPT SITE DEVELOPMENT PLAN FOR  
BUSINESS PARK  
LIBERTY EXCHANGE II  
SITE DETAIL  
SHEET

14TH ELECTION DISTRICT CARROLL COUNTY, MD

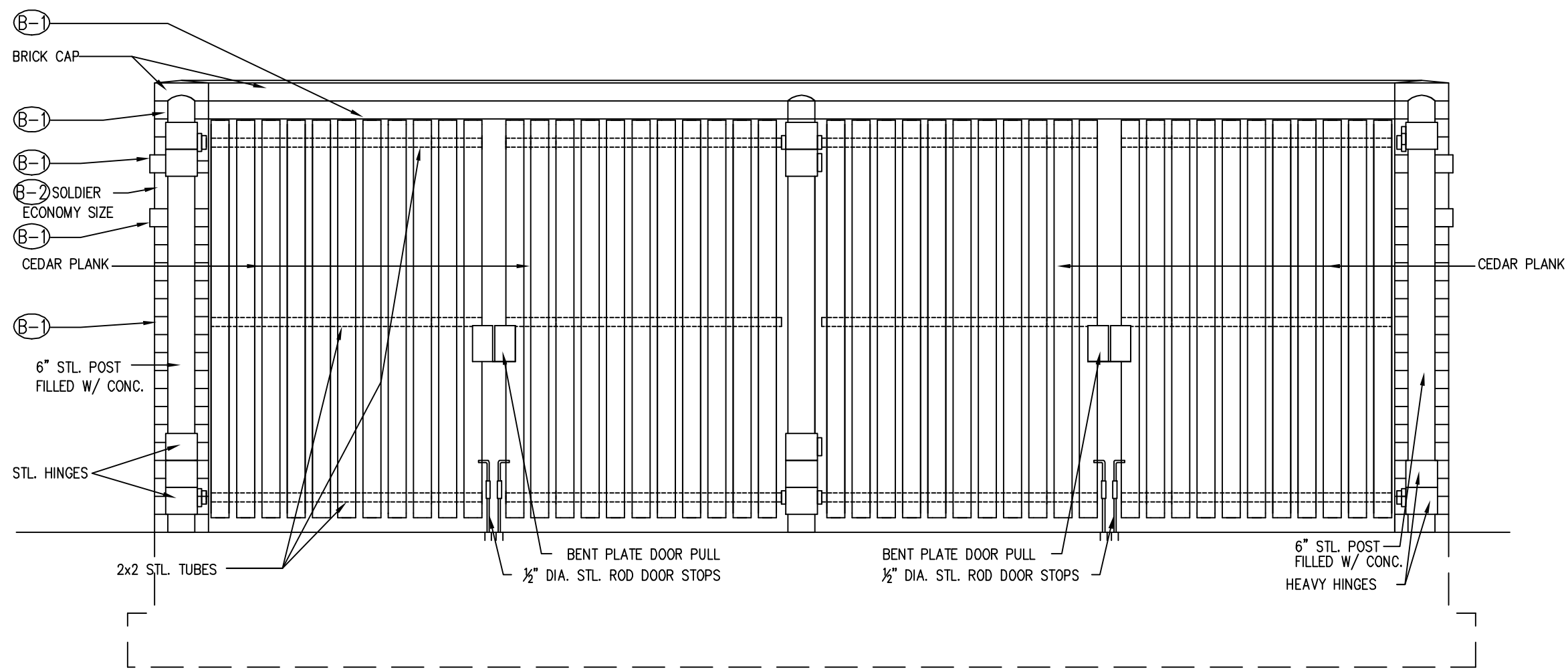
REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRN	REV.	DATE
CO. FILE #	S-22-0038	DES. BY:	LJC	
TAX ACC. #	VARIOUS	DRN. BY:	LJC	
TAX MAP:	073	CHK. BY:	JLM	
BLOCK / GRID:	002	DATE:	5/3/24	
PARCEL / USE:	3, 222, 702, 703	DDC JOB#:	21036.2	
ZONE / USE:	C-3	SHEET NUMBER:	4 of 24	
DWG. SCALE:	AS NOTED			

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: JANUARY 23, 2026.

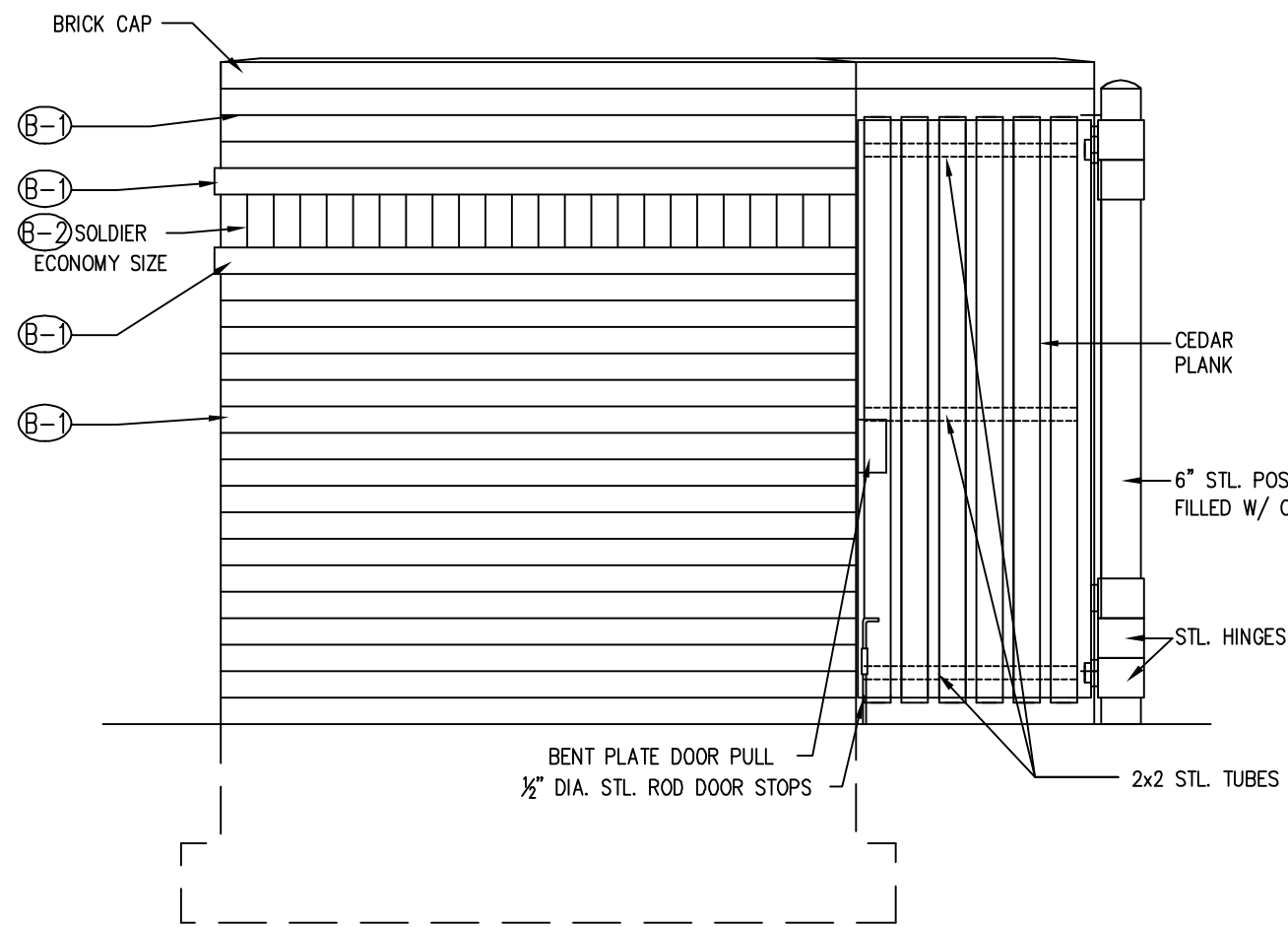
5/3/2024  
DATE

PAUL G. CAVANAUGH  
PROFESSIONAL ENGINEER NO. 27020

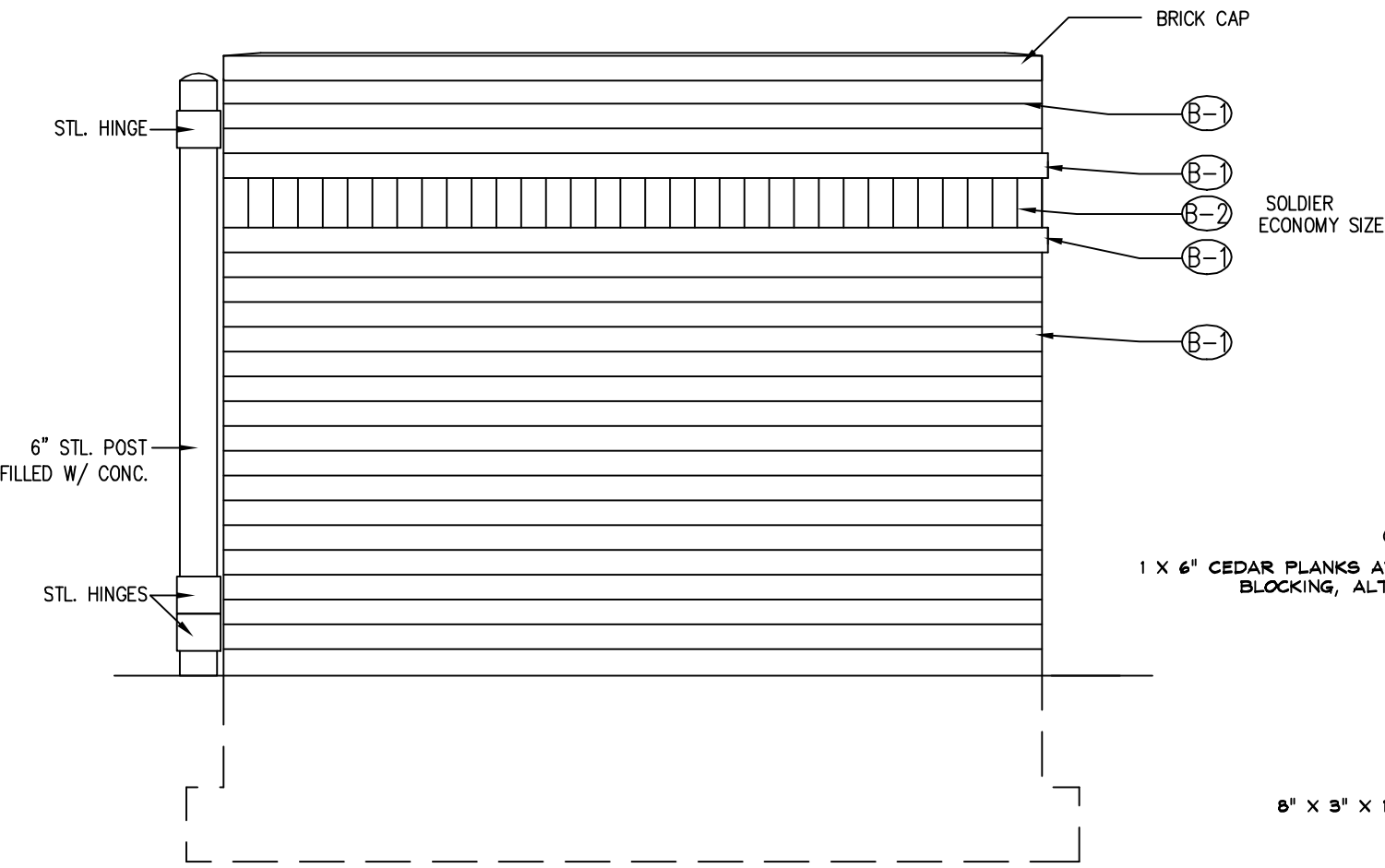




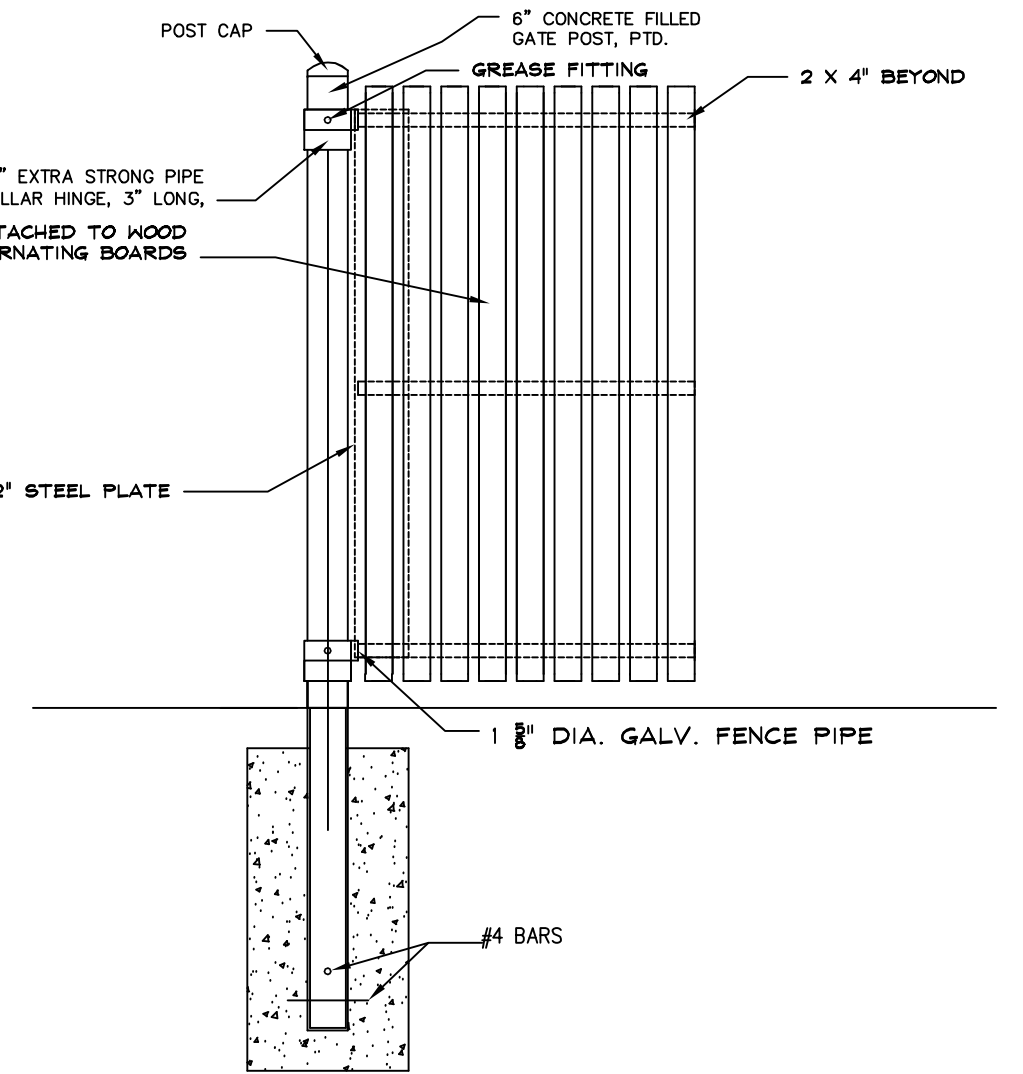
3 FRONT ELEVATION  
SCALE: N.T.S.  
NOTE: ALL STEEL TO BE GALVANIZED AND PAINTED



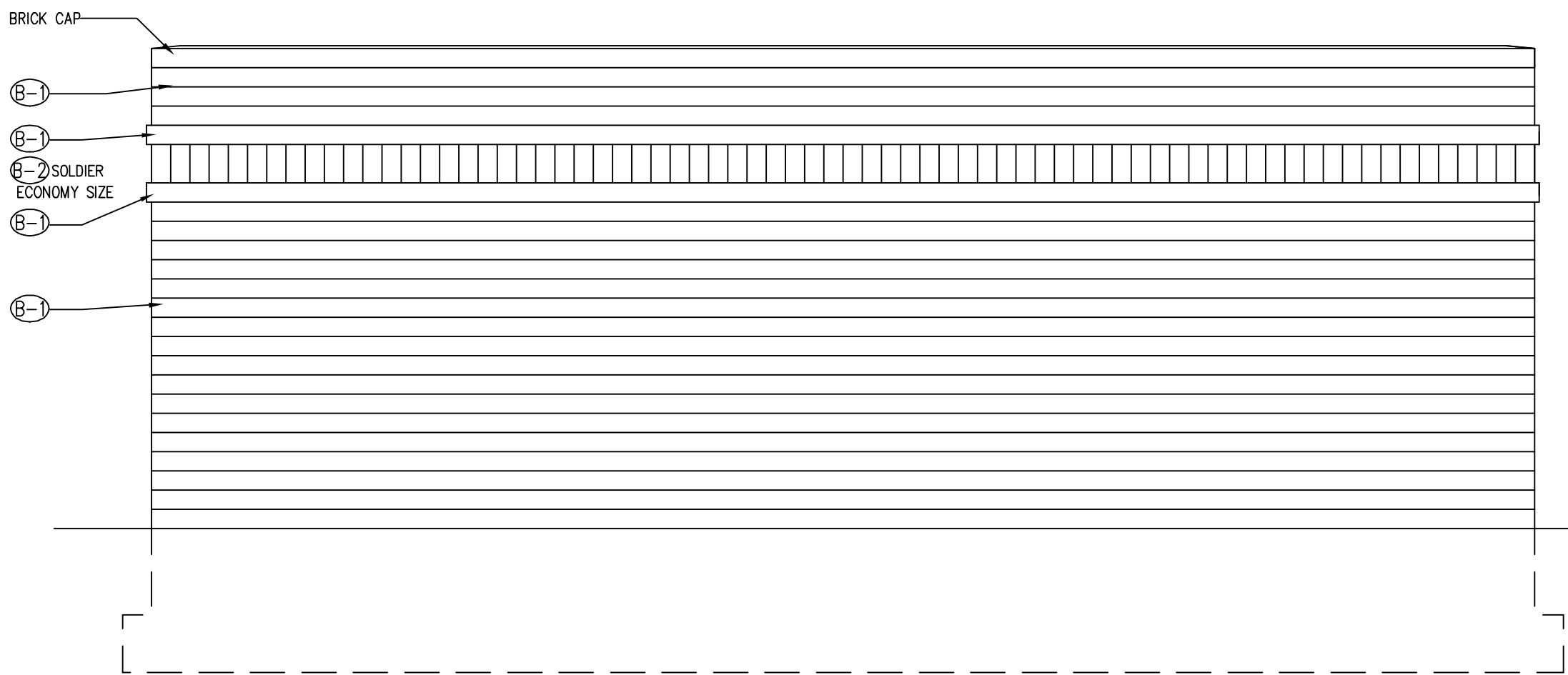
4 SIDE ELEVATION  
SCALE: N.T.S.  
NOTE: ALL STEEL TO BE GALVANIZED AND PAINTED



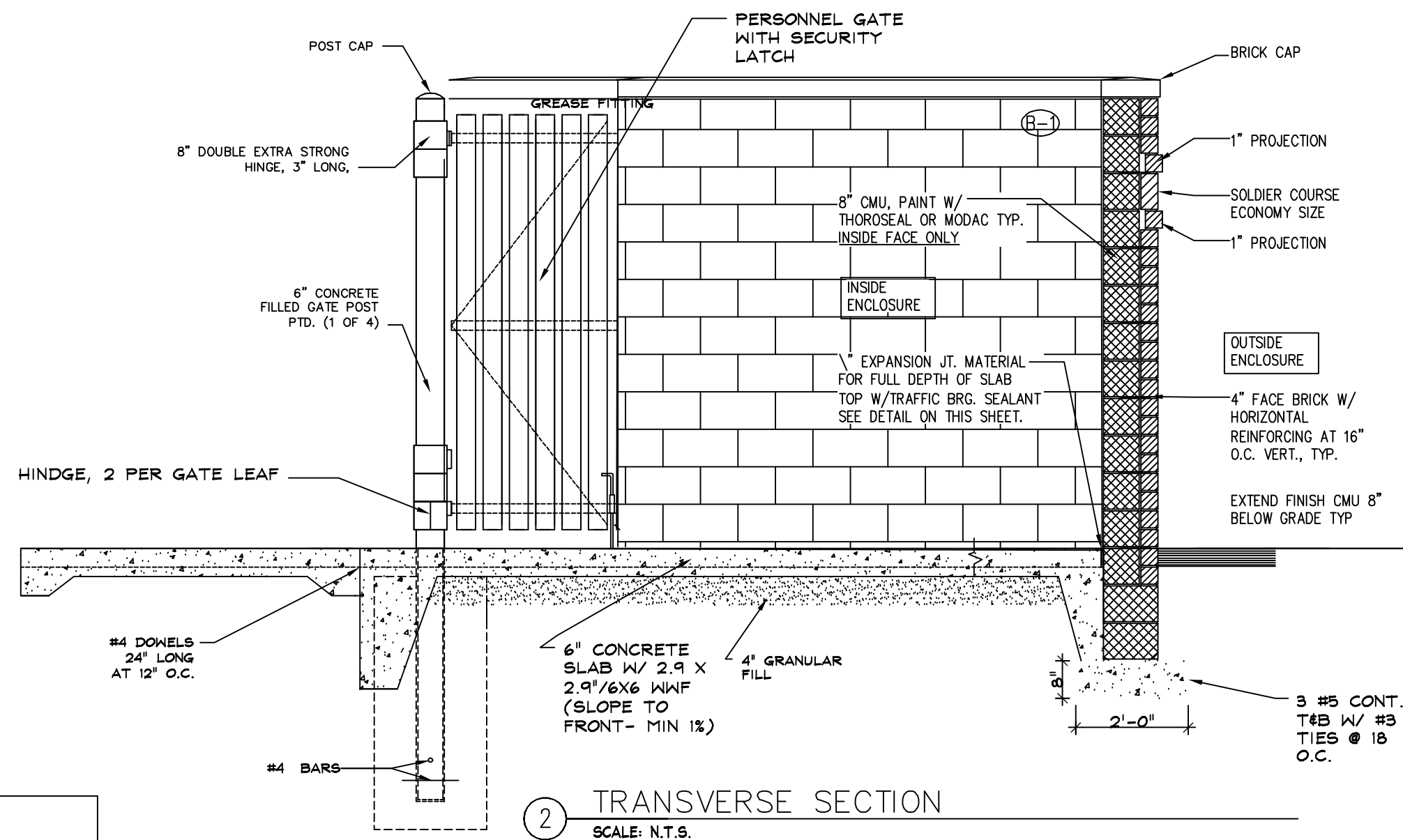
6 SIDE ELEVATION  
SCALE: N.T.S.  
NOTE: ALL STEEL TO BE GALVANIZED AND PAINTED



8 SWING GATE AND POST ELEVATION  
SCALE: N.T.S.



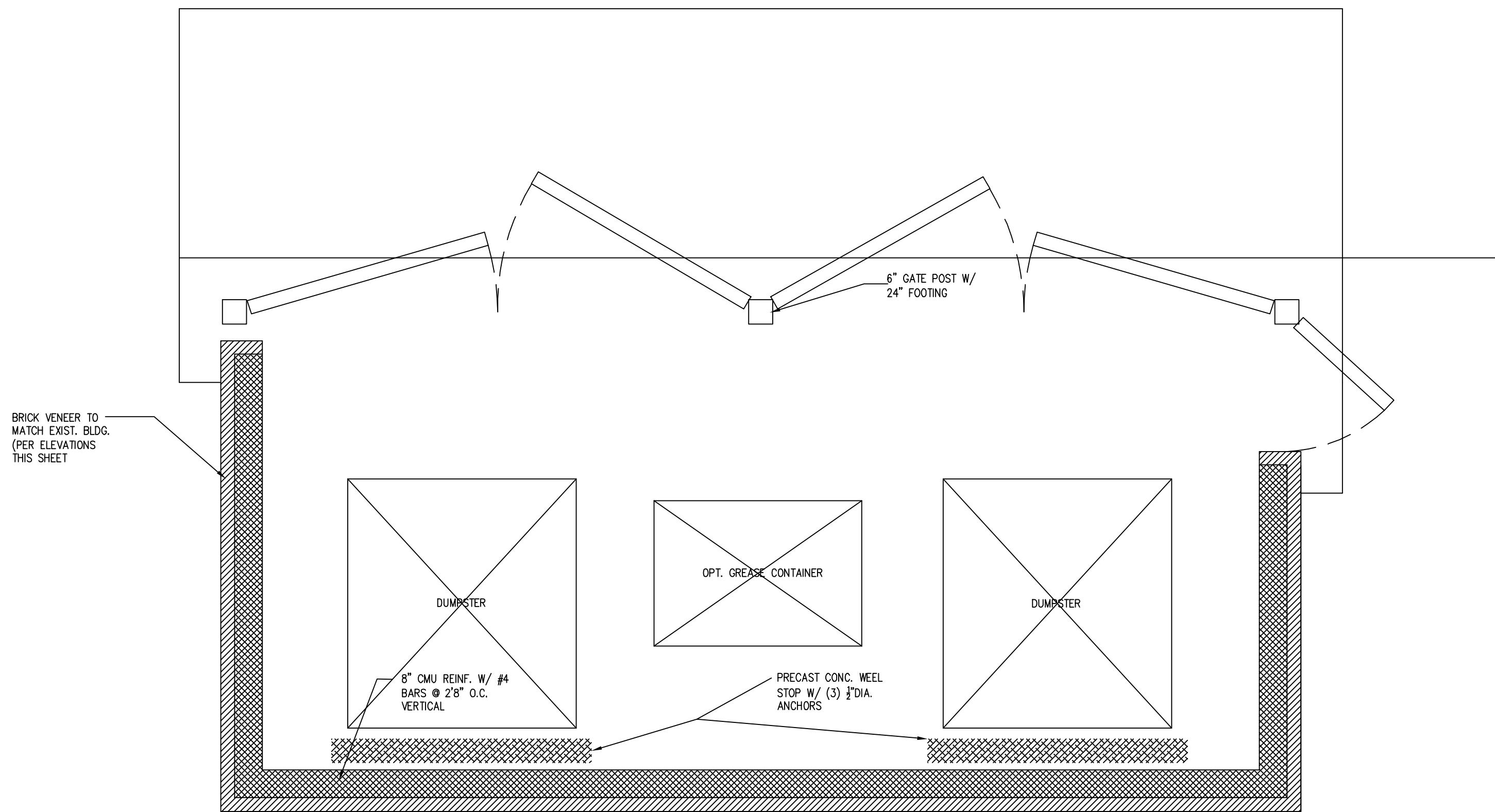
5 REAR ELEVATION  
SCALE: N.T.S.



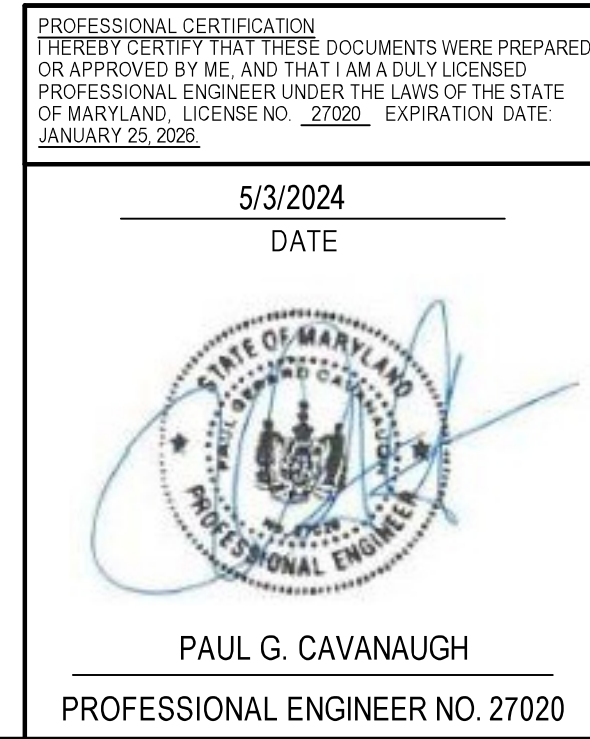
2 TRANSVERSE SECTION  
SCALE: N.T.S.

FINISH LEGEND	
(B-1)	UTILITY SIZE BRICK - CAPE COD - TRIANGLE BRICK
(B-2)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-3)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-4)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-5)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-6)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-7)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-8)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-9)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-10)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-11)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-12)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-13)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-14)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-15)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-16)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-17)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-18)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-19)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-20)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-21)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-22)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-23)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-24)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-25)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-26)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-27)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-28)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-29)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-30)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-31)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-32)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-33)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-34)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-35)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-36)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-37)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-38)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-39)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-40)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-41)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-42)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-43)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-44)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-45)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-46)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-47)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-48)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-49)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-50)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-51)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-52)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-53)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-54)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-55)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-56)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-57)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-58)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-59)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-60)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-61)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-62)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-63)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-64)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-65)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-66)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-67)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-68)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-69)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-70)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-71)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-72)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-73)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-74)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-75)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-76)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-77)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-78)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-79)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-80)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-81)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-82)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-83)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-84)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-85)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-86)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-87)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-88)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-89)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-90)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-91)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-92)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-93)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-94)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-95)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-96)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-97)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-98)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-99)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK
(B-100)	UTILITY SIZE BRICK - OLD SOUTH HANDFORM - TRIANGLE BRICK

DATA SOURCES:  
EX. TOPOGRAPHY AND BOUNDARY SHOWN PER SURVEY BY TITPLS INC. COMPILED IN APRIL, 2022.  
EX. SOILS SHOWN PER USDA SOIL SURVEY WEBSITE.  
EX. ENVIRONMENTAL FEATURES SHOWN PER FIELD INVESTIGATION BY ECO-SCIENCE PROFESSIONALS AND DATED SEPTEMBER, 2022.



1 PLAN @ DUMPSTER ENCLOSURE  
SCALE: N.T.S.





Development Design Consultants

Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

OWNER:  
ELDERSBURG INVESTORS II LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

DEVELOPER:  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

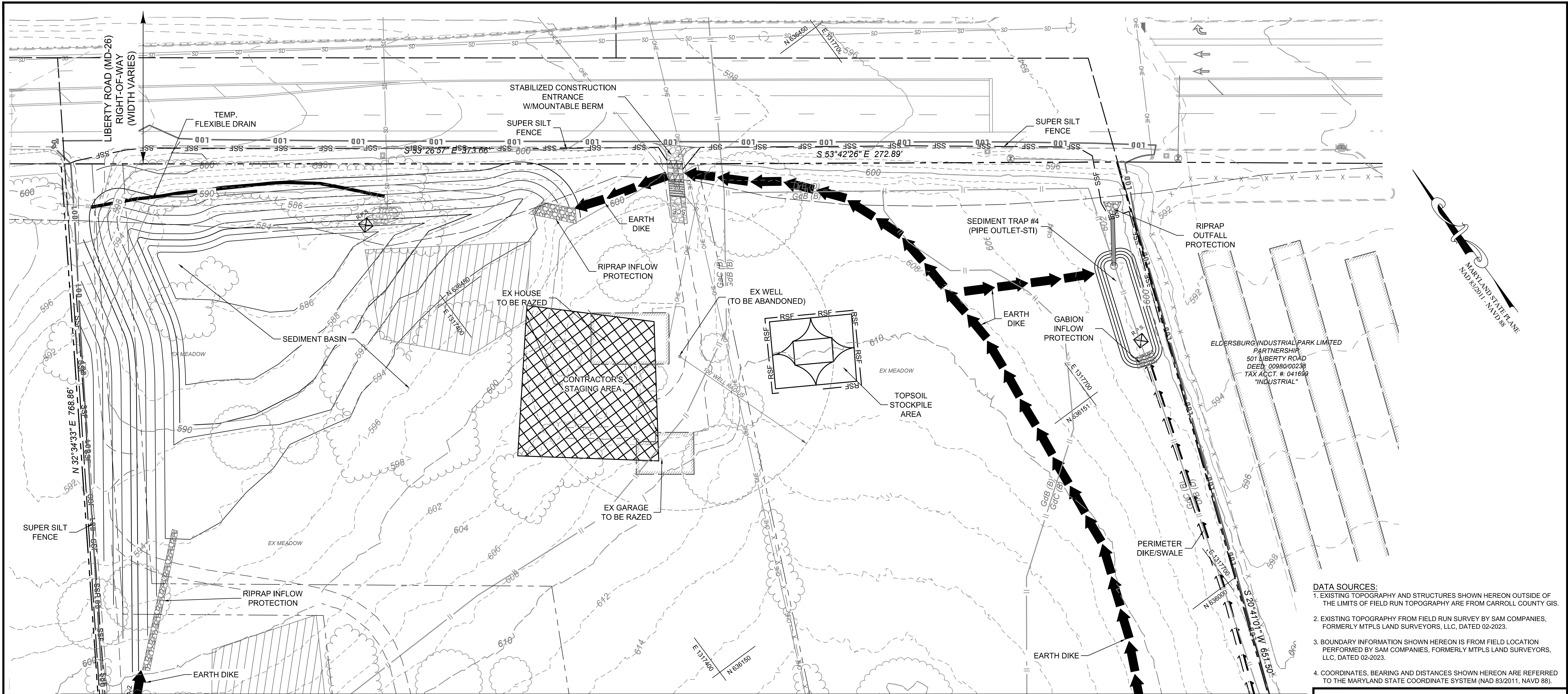
SITE ADDRESS:  
371 - 411 LIBERTY ROAD  
ELDERSBURG, MD 21784

## CONCEPT SITE DEVELOPMENT PLAN FOR BUSINESS PARK LIBERTY EXCHANGE II SITE DETAIL SHEET

14TH ELECTION DISTRICT		CARROLL COUNTY, MD	
REVISIONS			
NO.	DESCRIPTION OF CHANGES	DRN	REV. DATE
CO. FILE #	S-22-0038	DES. BY:	LJC
TAX ACC. #	VARIOUS	DRN. BY:	LJC
TAX MAP:	073	CHK. BY:	JLM
BLOCK / GRID:	002	DATE:	5/3/24
PARCEL #	3, 222, 702, 703	DDC JOB#:	21036.2
ZONE / USE:	C-3	SHEET NUMBER:	
DWG. SCALE:	AS NOTED	5 of 24	



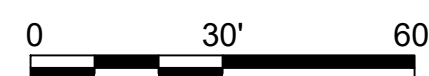
T:\2023\Facilities\20234274.001A Liberty Exchange II - 411 Liberty Rd (RAL)\CIVIL\CADD\Drawings\20234274.001A (C-23) ESC Exist Cond Plan.dwg Apr 29, 2024 4:44pm rlangrehr



MATCHLINE FOR CONTINUATION SEE SHEET 7

## CONCEPTUAL SEDIMENT & EROSION CONTROL PLAN INITIAL CONDITIONS

SCALE: 1"=30'



### LEGEND

<b>ZONE: C-2</b>	---	Zoning line
<b>ZONE: I-1</b>	- - -	Property line
---	---	Adjoiner Property line
---	---	Existing Easement line
---	---	Existing Field Run Major Contour
---	---	Existing Field Run Minor Contour
---	---	Existing GIS Major Contour
---	---	Existing GIS Minor Contour
---	---	Existing Soils Limits with HSG Designation
---	---	Existing Storm Drain Line
---	---	Existing Sanitary Sewer Line With Manhole
---	---	Existing Water Line With Valve
---	---	Existing Underground Electric Lines
---	---	Existing Overhead Electric Lines With Pole
---	---	Existing Chainlink Fence

---	---	Existing Pavement Edge
---	---	Existing Curb & Gutter
---	---	Existing Sidewalk
---	---	Existing Guardrail
---	---	Existing Traffic Control Mast
---	---	Existing Structure
---	---	Existing Treeline
---	---	Existing Trees
---	---	Existing Impervious to be Removed
---	---	Limits of Field Run Topography

---	---	Ex. Sanitary Sewer Manhole
---	---	Ex. Storm Drain Manhole
---	---	Ex. Water Valve
---	---	Ex. Water Meter
---	---	Ex. Fire Hydrant
---	---	Prop. Fire Hydrant
---	---	Ex. Cleanout
---	---	Ex. Pole
---	---	Ex. Light Pole
---	---	Limit Of Disturbance
---	---	Super Silt Fence
---	---	Earth Dike
---	---	Perimeter Dike/Swale
---	---	Removable Pumping Station

- DATA SOURCES:
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
  - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).

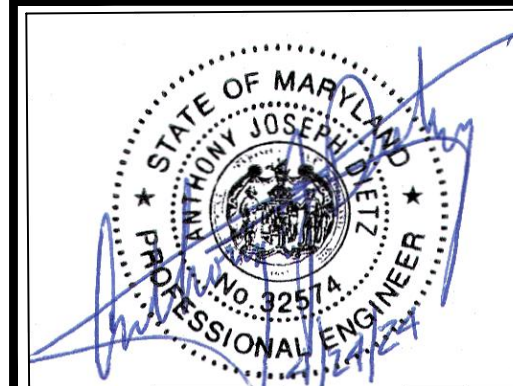


10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

### Concept Site Plan Existing Conditions Sediment Control Plan

## Liberty Exchange II

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County



**PROFESSIONAL  
CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME, AND  
THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.

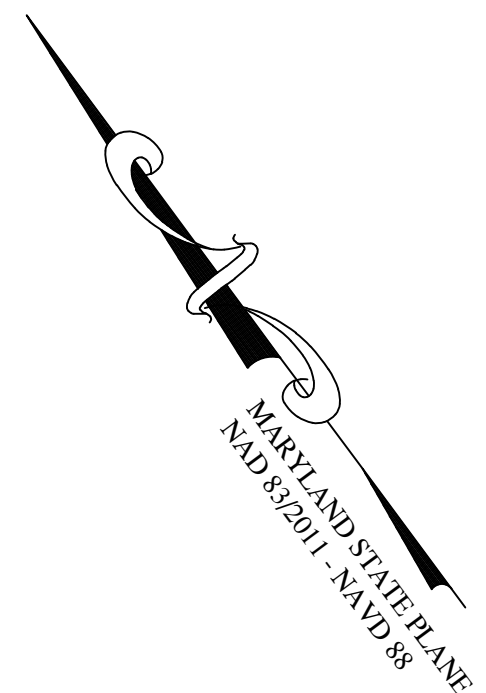
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1/18/2026

**OWNER/DEVELOPER**  
Eldersburg Investors II LLC  
2560 Lord Baltimore Dr.  
Baltimore, MD 21244  
Contact: Matt Taylor  
Phone No: 410-369-1207

DATE	BY	REVISIONS

DATE: 4/24/2024 SCALE: AS SHOWN  
PROJECT NUMBER: 20234274.001A  
DRAWING: 6 of 24

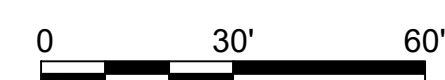




**DATA SOURCES:**

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
4. COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).















SCALE: 1"=30'



ZONE: C-2  
ZONE: I-1

- |                  |     |  |
|------------------|-----|--|
| <b>ZONE: C-2</b> |     | Zoning line                                |
| <b>ZONE: I-1</b> |     | Property line                              |
|                  |     | Adjior Property line                       |
|                  |     | Existing Easement line                     |
| — 400 —          |     | Existing Field Run Major Contour           |
| - - - 402 - - -  |     | Existing Field Run Minor Contour           |
| — 400 —          |     | Existing GIS Major Contour                 |
| — 402 —          |     | Existing GIS Minor Contour                 |
| .13UC (A)        |     | Existing Soils Limits with HSG Designation |
| .45UB (C)        |     |  |
| Ex 1'S SD        | SD  | Existing Storm Drain Line                  |
| Ex 8' S          | S   | Existing Sanitary Sewer Line With Manhole  |
| Ex 8' W          | W   | Existing Water Line With Valve             |
|                  | UGE | Existing Underground Electric Lines        |
|                  | OHE | Existing Overhead Electric Lines With Pole |
| X X X X          |     | Existing Chainlink Fence                   |

- 
- Existing Pavement Edge
- Existing Curb & Gutter
- Existing Sidewalk
- Existing Guardrail
- Existing Traffic Control Mast
- Existing Structure
- Existing Treeline
- Existing Trees
- Existing Impervious to be Removed
- Limits of Field Run Topography

- |   |  |
|---|--|
|  | Ex. Sanitary Sewer Manhole               |
|  | Ex. Storm Drain Manhole                  |
|  | Ex. Water Valve                          |
|  | Ex. Water Meter                          |
|  | Ex. Fire Hydrant                         |
|  | Prop. Fire Hydrant                       |
|  | Ex. Cleanout                             |
|  | Ex. Pole                                 |
|  | Ex. Light Pole                           |
| <br>  |  |
|  | <b>LOD</b> Limit Of Disturbance          |
| <br>  |  |
|  | <b>SSF</b> Super Silt Fence              |
| <br>  |  |
|  | Earth Dike                               |
| <br>  |  |
|  | Perimeter Dike/Swale                     |
| <br>  |  |
|  | <b>P.S.</b><br>Removable Pumping Station |

**OWNER/DEVELOPER**  
Eldersburg Investors II LLC  
2560 Lord Baltimore Dr.  
Baltimore, MD 21244  
Contact: Matt Taylor  
Phone No: 410-369-1207

DATE	BY	REVISIONS



CENTURY  
ENGINEERING

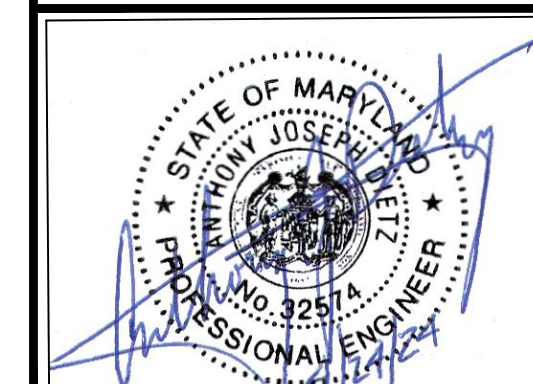
**A Kleinfelder Company**  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 [www.centuryeng.com](http://www.centuryeng.com)

## Concept Site Plan

## Existing Conditions Sediment Control Plan

## Liberty Exchange II

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County



**PROFESSIONAL  
CERTIFICATION**

---

I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME, AND  
THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.

LICENSE NUMBER: 32574

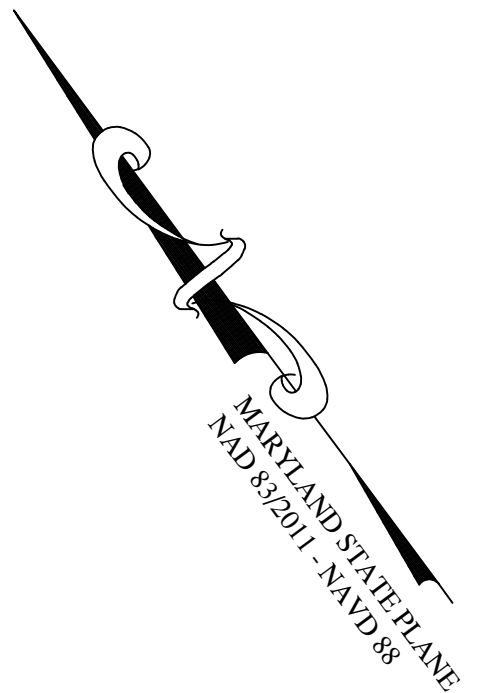
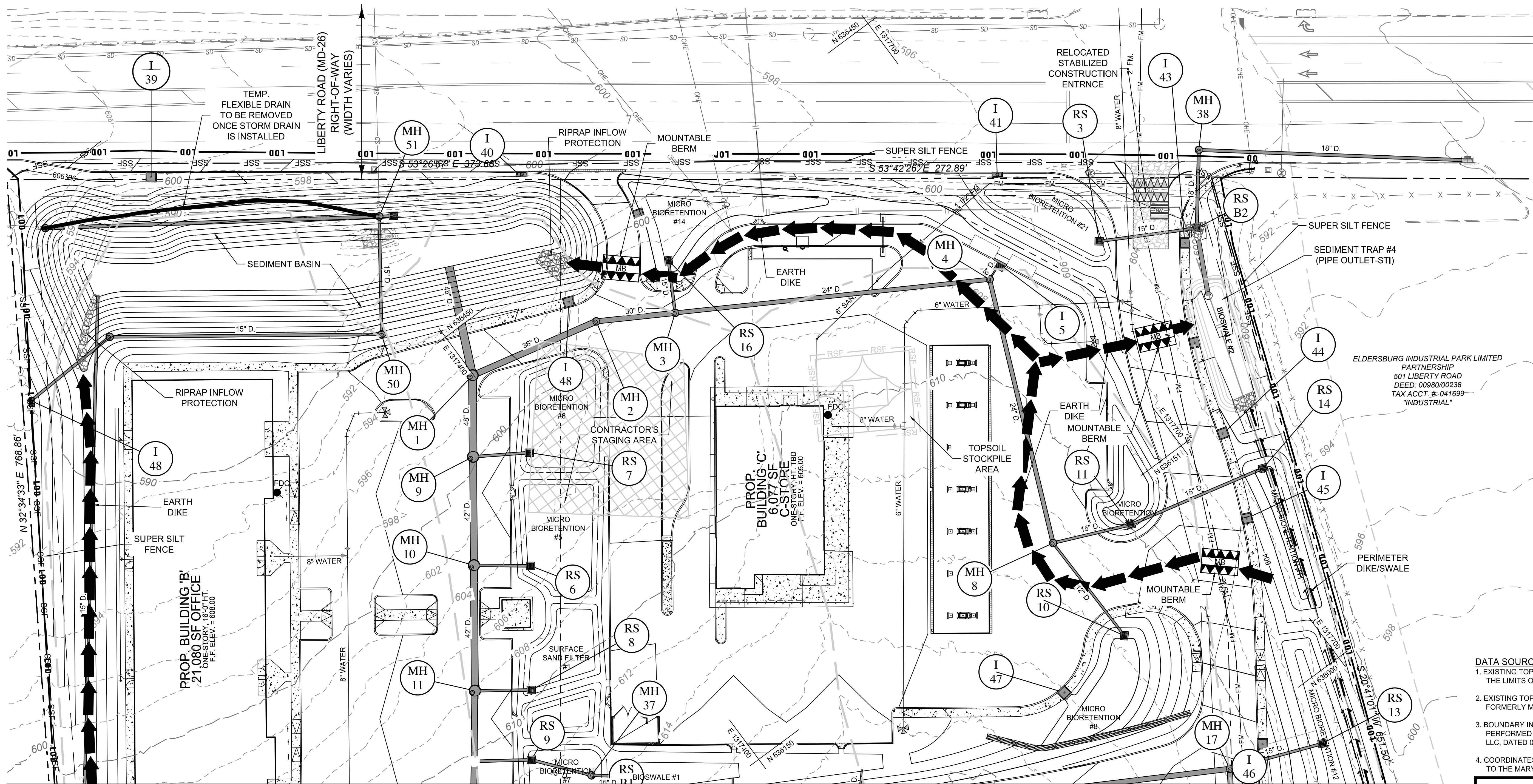
EXPIRATION DATE: 1/16/2026

DATE: 4/24/2024	SCALE: AS SHOWN
PROJECT NUMBER: 20234274.001A	

DRAWING: 7 of 24



T:\2023\Facilities\20234274.001A Liberty Rd (RAL)\CIVIL\CADD\Drawings\20234274.001A (C-24) ESC Prop. Cond Plan.dwg Apr 29, 2024 4:45pm llangr



- DATA SOURCES:
1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
  2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  4. COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).

MATCHLINE FOR CONTINUATION SEE SHEET 9

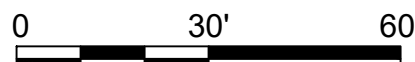
## CONCEPTUAL EROSION AND SEDIMENT CONTROL PLAN-PROPOSED CONDITIONS

### LEGEND

- ZONE: C-2** ——— Zoning line  
**ZONE: I-1** - - - - - Property line  
- - - - - Adjoiner Property line  
- - - - - Existing Easement line  
- - - - - Existing Field Run Major Contour  
- - - - - Existing Field Run Minor Contour  
- - - - - Existing GIS Major Contour  
- - - - - Existing GIS Minor Contour  
- - - - - Existing Soils Limits with HSG Designation  
- - - - - Existing Storm Drain Line  
- - - - - Existing Sanitary Sewer Line With Manhole  
- - - - - Existing Water Line With Valve  
- - - - - Existing Underground Electric Lines  
- - - - - Existing Overhead Electric Lines With Pole  
- - - - - Existing Chainlink Fence

- Existing Pavement Edge  
= Existing Curb & Gutter  
- - - Existing Sidewalk  
- - - Existing Guardrail  
- - - Existing Traffic Control Mast  
- Existing Structure  
- Existing Treeline  
- Existing Trees  
- Existing Impervious to be Removed  
- Limits of Field Run Topography

SCALE: 1"=30'



- ⊙ Ex. Sanitary Sewer Manhole  
⊕ Ex. Storm Drain Manhole  
⊕ Ex. Water Valve  
⊕ Ex. Water Meter  
⊕ Ex. Fire Hydrant  
⊕ Prop. Fire Hydrant  
⊕ Ex. Cleanout  
⊕ Ex. Pole  
⊕ Ex. Light Pole  
— LOD — Limit Of Disturbance  
— SSF — SSF — Super Silt Fence  
- - - - - Earth Dike  
- - - - - Perimeter Dike/Swale  
⊕ R.P.S. — Removable Pumping Station

OWNER/DEVELOPER  
Eldersburg Investors II LLC  
2560 Lord Baltimore Dr.  
Baltimore, MD 21244  
Contact: Matt Taylor  
Phone No: 410-369-1207

DATE	BY	REVISIONS

**CENTURY**  
ENGINEERING  
A Kleinfelder Company  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

### Concept Site Plan Proposed Conditions Sediment Control Plan

## Liberty Exchange II

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County



PROFESSIONAL  
CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME, AND  
THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.  
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1/16/2026

DATE: 4/24/2024 SCALE: AS SHOWN  
PROJECT NUMBER: 20234274.001A

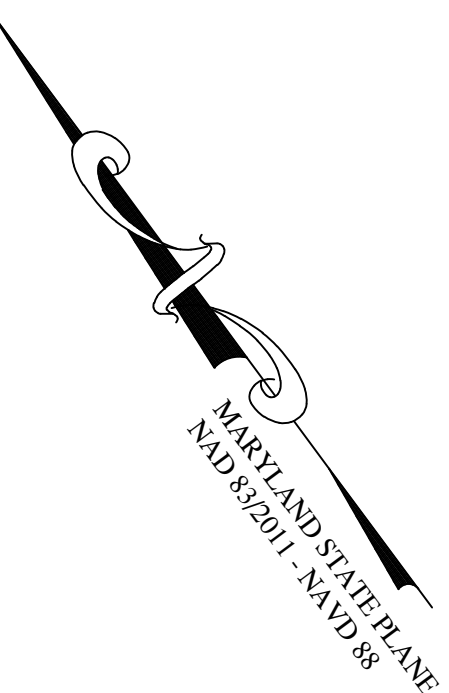
DRAWING:  
8 of 24



MATCHLINE FOR CONTINUATION SEE SHEET 8

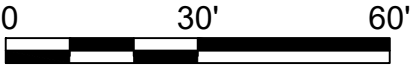


ELDERSBURG INDUSTRIAL PARK LIMITED PARTNERSHIP  
501 LIBERTY ROAD  
DEED: 009-041699  
TAX ACCT. #: 041699  
INDUSTRIAL



CONCEPTUAL EROSION AND SEDIMENT CONTROL PLAN-PROPOSED CONDITIONS

SCALE: 1"=30'



LEGEND

- ZONE: C-2**  
**ZONE: I-1**
- Zoning line
  - Property line
  - Adjoiner Property line
  - Existing Easement line
  - Existing Field Run Major Contour
  - Existing Field Run Minor Contour
  - Existing GIS Major Contour
  - Existing GIS Minor Contour
  - Existing Soils Limits with HSG Designation
  - Existing Storm Drain Line
  - Existing Sanitary Sewer Line With Manhole
  - Existing Water Line With Valve
  - Existing Underground Electric Lines
  - Existing Overhead Electric Lines With Pole
  - Existing Chainlink Fence
  - Existing Pavement Edge
  - Existing Curb & Gutter
  - Existing Sidewalk
  - Existing Guardrail
  - Existing Traffic Control Mast
  - Existing Structure
  - Existing Treeline
  - Existing Trees
  - Existing Impervious to be Removed
  - Limits of Field Run Topography

- ⊙ Ex. Sanitary Sewer Manhole
- ⊙ Ex. Storm Drain Manhole
- ⊙ Ex. Water Valve
- ⊙ Ex. Water Meter
- ⊙ Ex. Fire Hydrant
- ⊙ Prop. Fire Hydrant
- ⊙ Ex. Cleanout
- ⊙ Ex. Pole
- ⊙ Ex. Light Pole

- LOD Limit Of Disturbance
- SSF Super Silt Fence
- Earth Dike
- Perimeter Dike/Swale
- ⊠ Removable Pumping Station

DRAKE RUSSELL JR.  
ELIZABETH RUSSELL  
6016 EMERALD LANE  
SYKESVILLE, MD 21784-0000  
LOTS: 2  
DEED: 40199/00394  
PLAT: 0055/0329  
TAX ACCT. #: 433224  
"RESIDENTIAL"

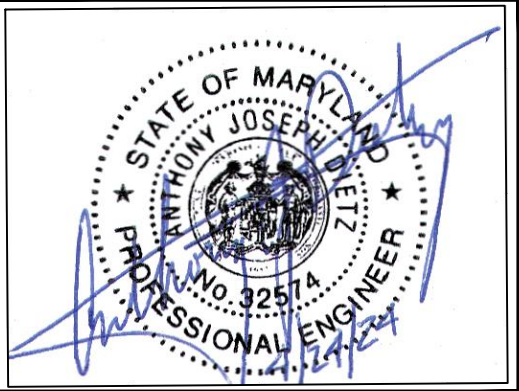
- DATA SOURCES:
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
  - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).

**CENTURY ENGINEERING**  
A Kleinfelder Company  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

Concept Site Plan  
Proposed Conditions Sediment Control Plan

Liberty Exchange II

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County



**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1/16/2026

**OWNER/DEVELOPER**  
Eldersburg Investors II LLC  
2560 Lord Baltimore Dr.  
Baltimore, MD 21244  
Contact: Matt Taylor  
Phone No: 410-369-1207

DATE	BY	REVISIONS

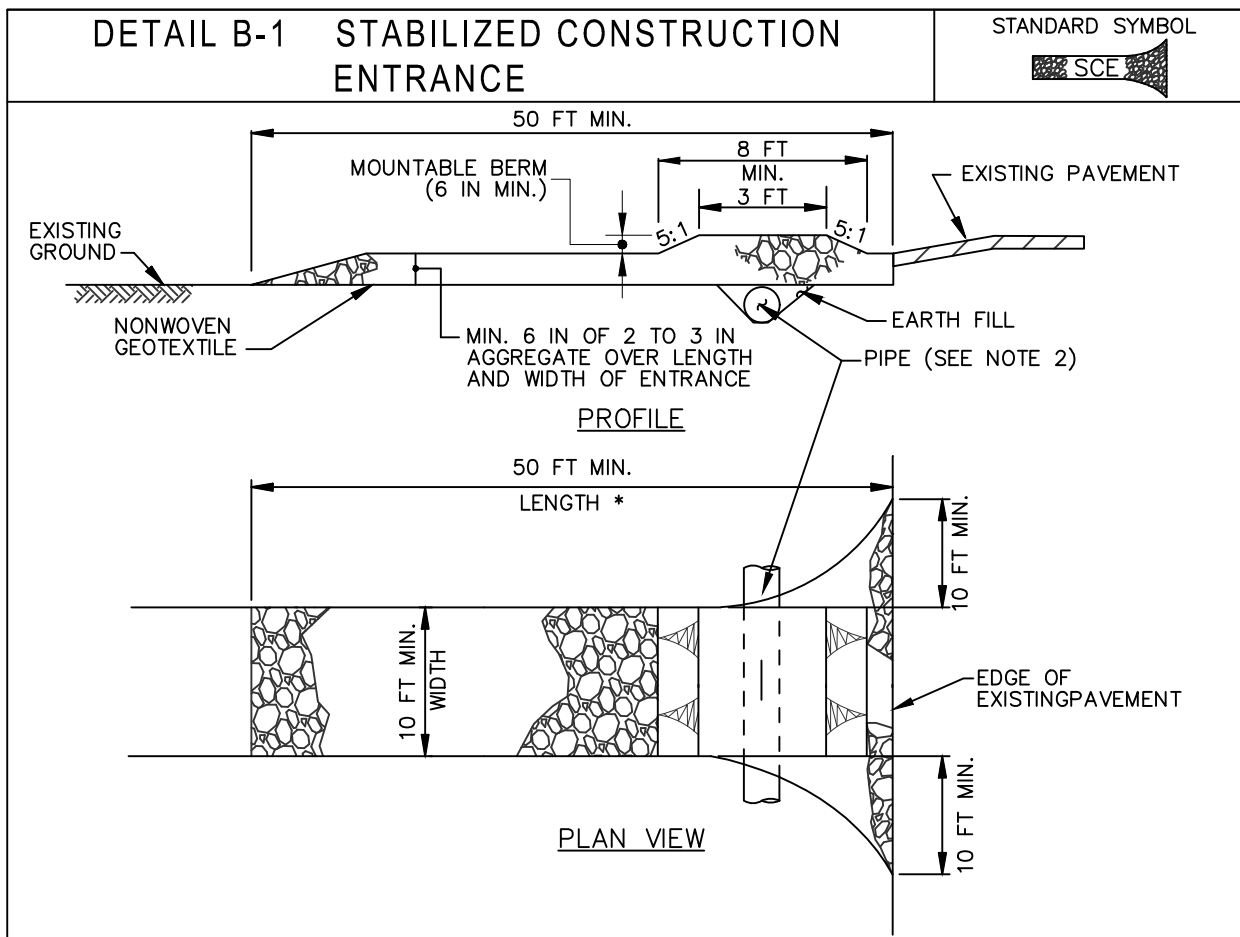
T:\2023\Facilities\20234274.001A Liberty Exchange II - 411 Liberty Rd (RAL)\CIVIL\CADD\Drawings\20234274.001A (C-24) ESC Prop. Cond Plan.dwg Apr. 29, 2024 4:45pm rangreir



DATE	BY	REVISIONS

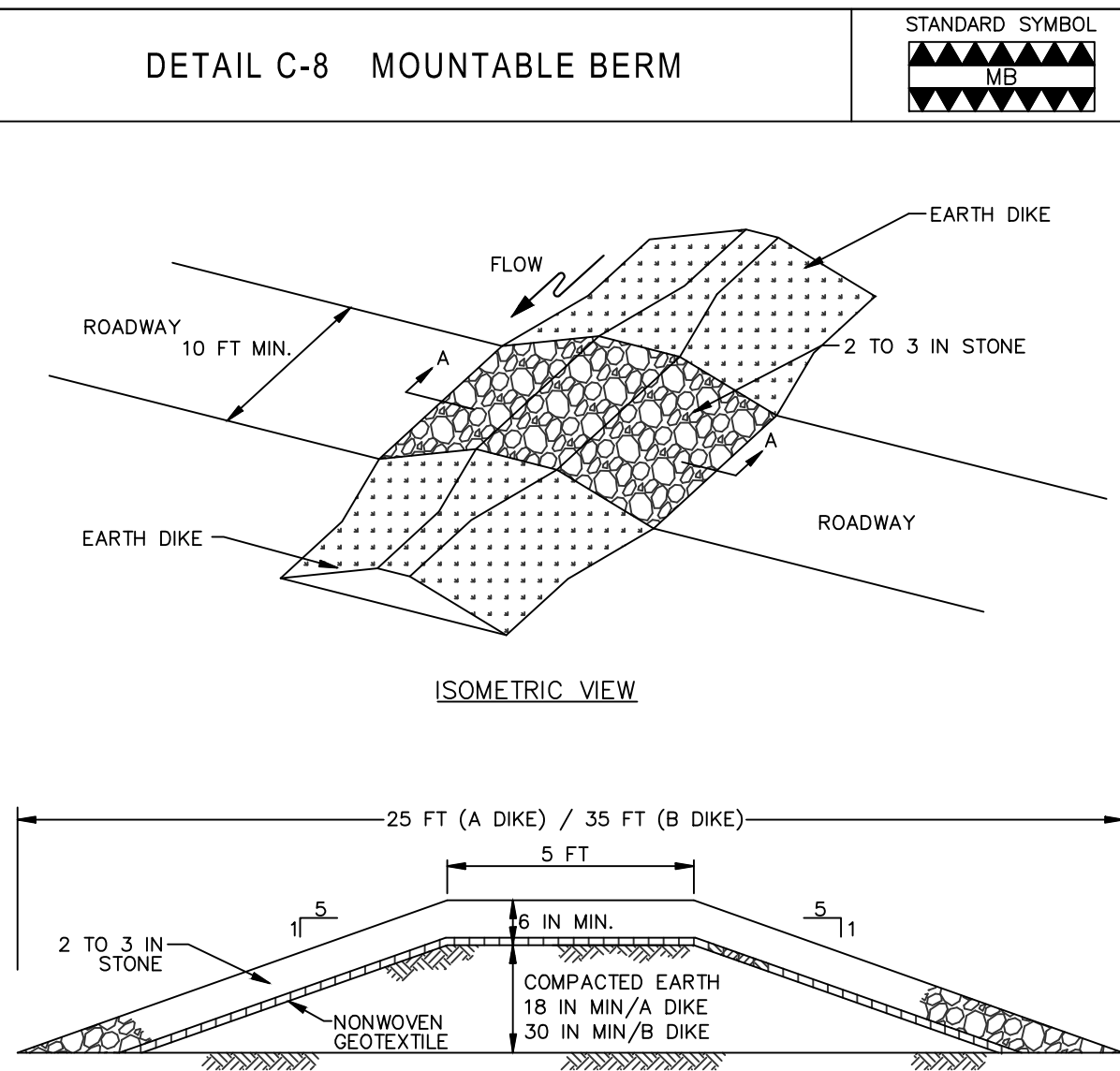


T:\2023\Facilities\20234274.001A Liberty Exchange II - 411 Liberty Rd\RAL\ICV\ICAD\Drawings\20234274.001A (C-25) Erosion Sediment Control Details.dwg Apr 29, 2024 4:46pm llangrehr



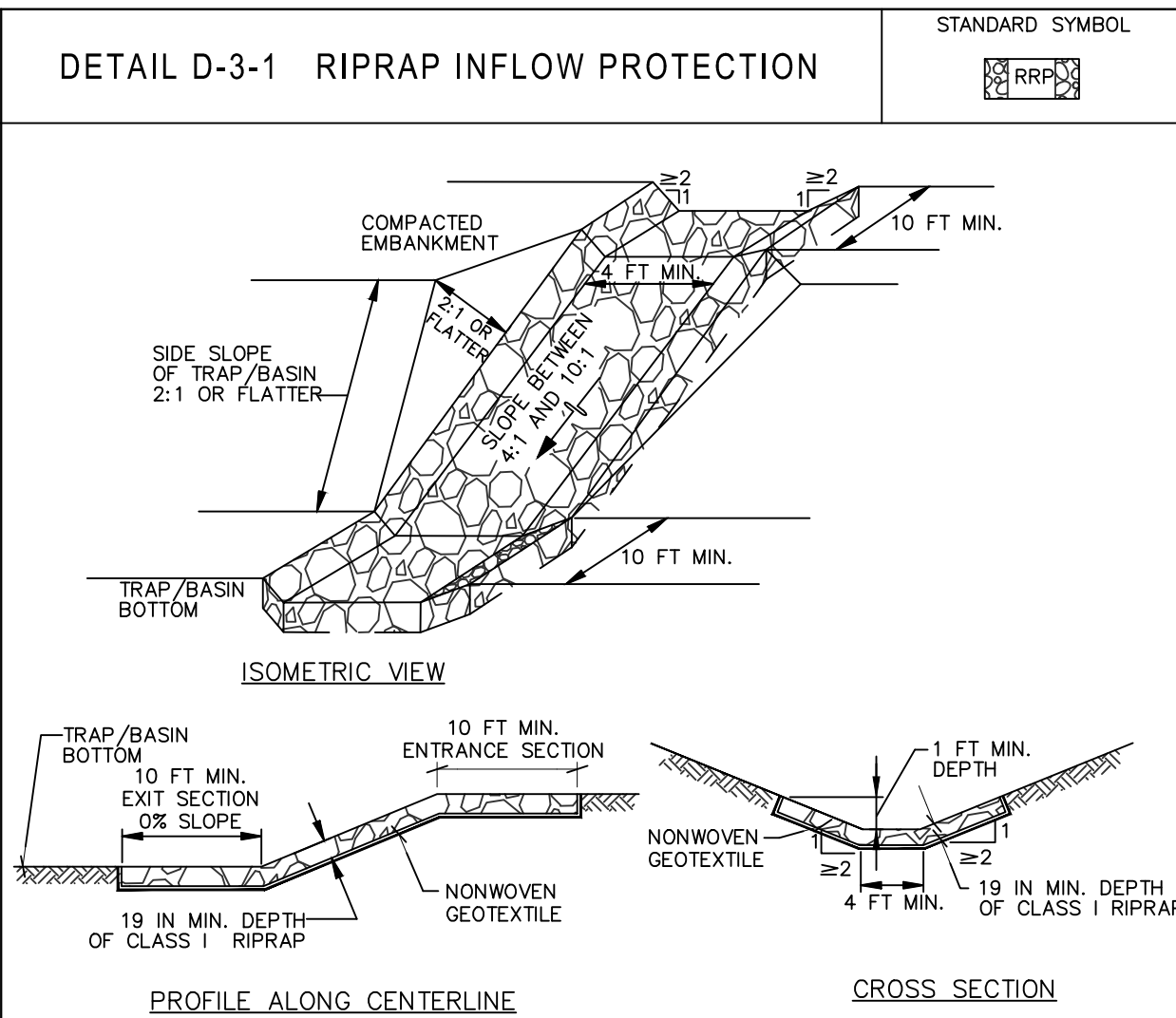
**CONSTRUCTION SPECIFICATIONS**

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (\*50 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.



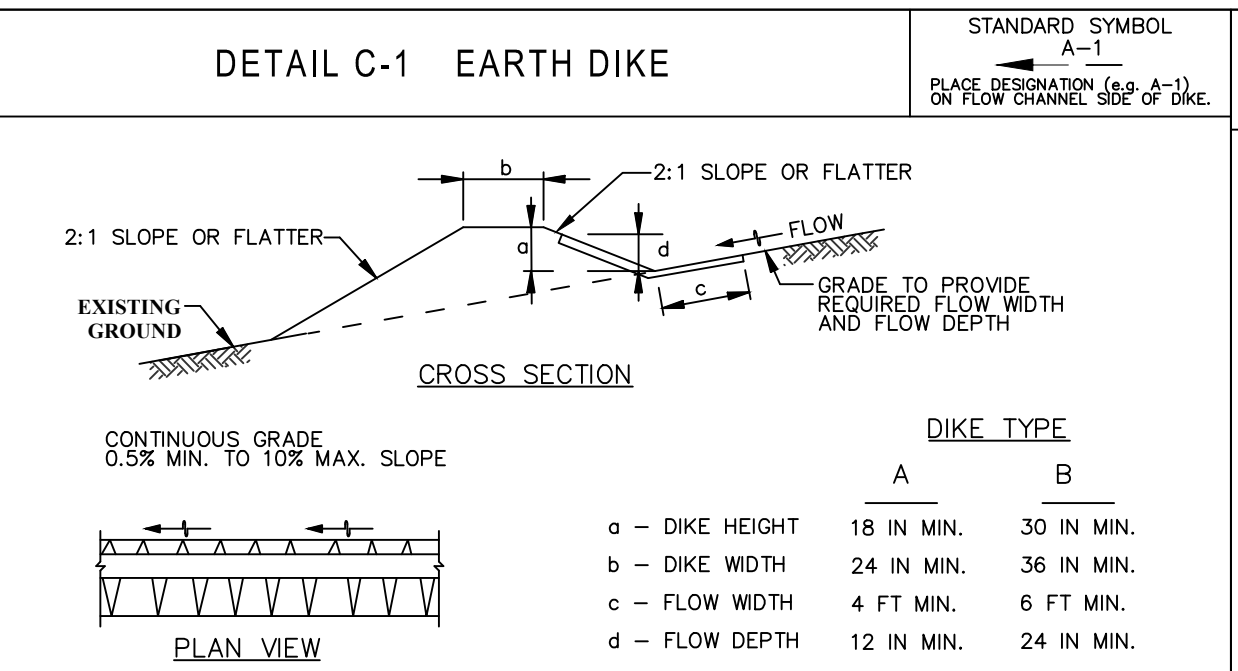
**CONSTRUCTION SPECIFICATIONS**

- USE MINIMUM WIDTH OF 10 FEET TO ALLOW FOR VEHICULAR PASSAGE.
- PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVER THE EARTH MOUND PRIOR TO PLACING STONE.
- PLACE 2 TO 3 INCH STONE OR EQUIVALENT RECYCLED CONCRETE AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE MOUNTABLE BERM.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN SPECIFIED DIMENSIONS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE.



**CONSTRUCTION SPECIFICATIONS**

- PROVIDE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, UNDER THE BOTTOM AND ALONG SIDES OF ALL RIPRAP.
- CONSTRUCT INFLOW CHANNEL WITH CLASS 1 RIPRAP OR EQUIVALENT RECYCLED CONCRETE LINING TO A MINIMUM DEPTH OF 19 INCHES (2 x D<sub>50</sub>) AND A 1 FOOT DEEP FLOW CHANNEL. INFLOW RIPRAP PROTECTION CHANNEL MUST HAVE A TRAPEZOIDAL CROSS SECTION WITH 2:1 OR FLATTER SIDE SLOPES AND A 4 FOOT MINIMUM BOTTOM WIDTH.
- INSTALL ENTRANCE AND EXIT SECTIONS AS SHOWN ON THE PROFILE.
- BLEND RIPRAP INTO EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. KEEP POINTS OF INFLOW AND OUTFLOW FREE OF EROSION.

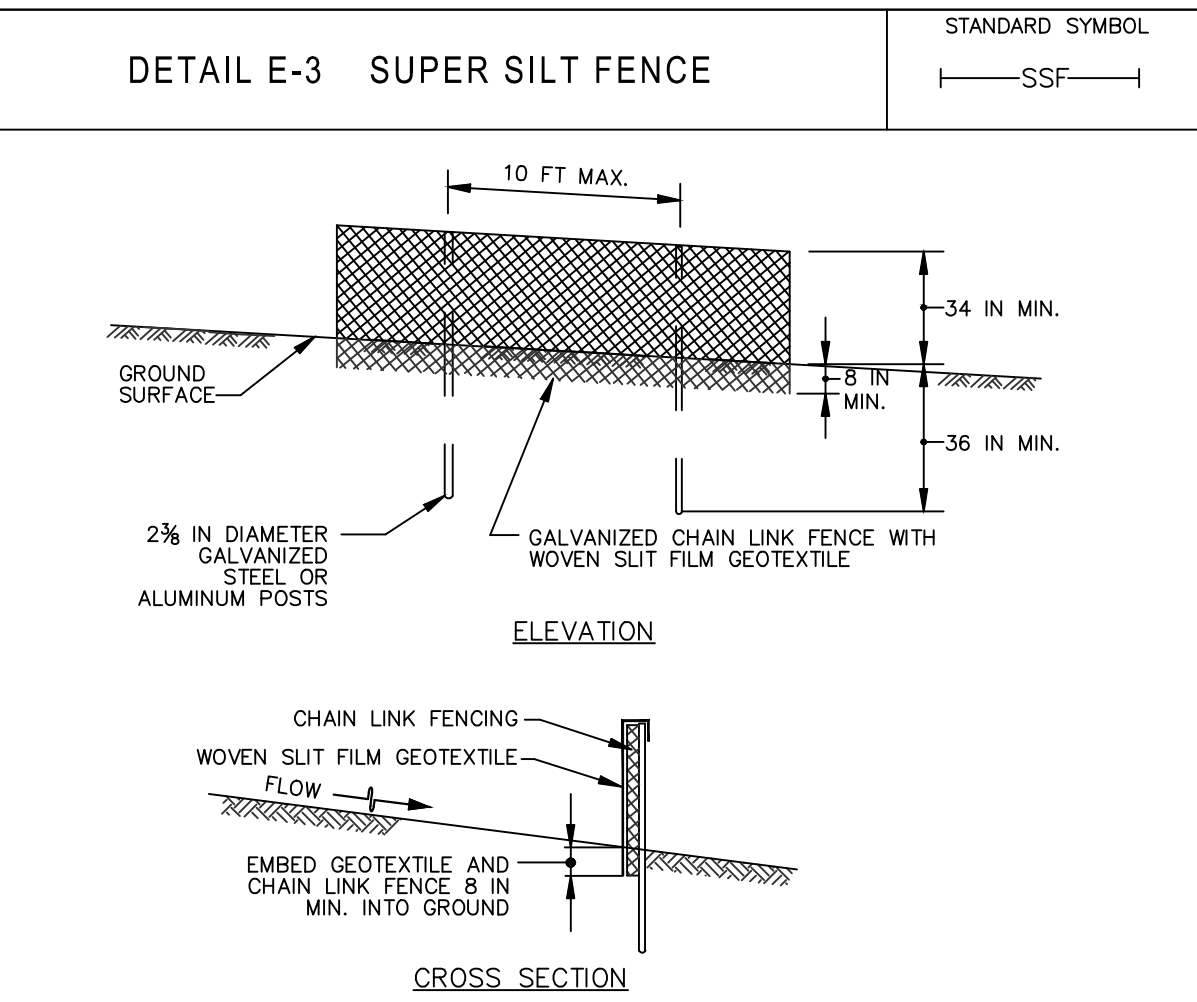


**FLOW CHANNEL STABILIZATION**

- A-1 SEED WITH STRAW MULCH AND TACK. (NOT ALLOWED FOR CLEAR WATER DIVERSION.)
- A-2/B-2 SEED WITH SOIL STABILIZATION MATTING OR LINE WITH SOD.
- A-3/B-3 4 TO 7 INCH STONE OR EQUIVALENT RECYCLED CONCRETE PRESSED INTO SOIL. A MINIMUM OF 7 INCHES AND FLUSH WITH GROUND.

**CONSTRUCTION SPECIFICATIONS**

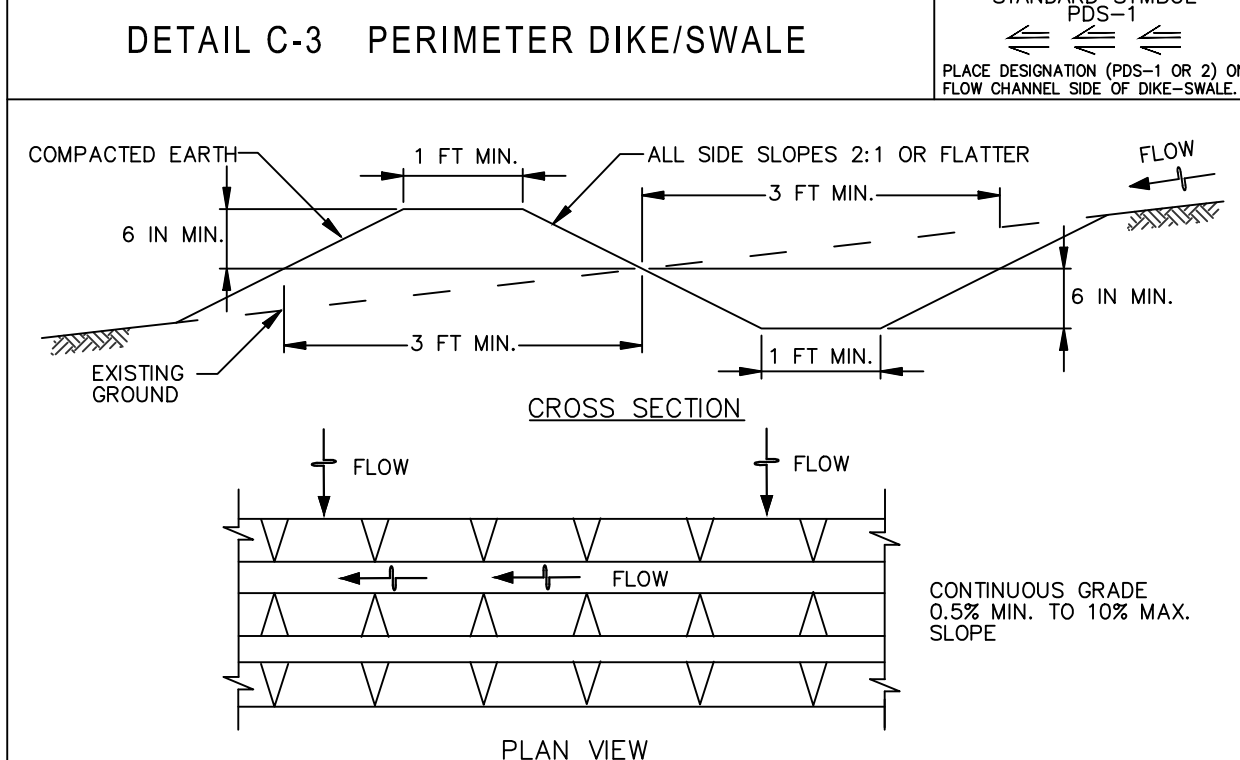
- REMOVE AND DISPOSE OF ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SO AS NOT TO INTERFERE WITH PROPER FUNCTION OF EARTH DIKE.
- EXCAVATE OR SHAPE EARTH DIKE TO LINE, GRADE, AND CROSS SECTION AS SPECIFIED. BANK PROJECTIONS OR OTHER IRREGULARITIES ARE NOT ALLOWED.
- COMPACT FILL.
- CONSTRUCT FLOW CHANNEL ON AN UNINTERRUPTED, CONTINUOUS GRADE, ADJUSTING THE LOCATION DUE TO FIELD CONDITIONS AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE.
- PROVIDE OUTLET PROTECTION AS REQUIRED ON APPROVED PLAN.
- STABILIZE EARTH DIKE WITHIN THREE DAYS OF INSTALLATION. STABILIZE FLOW CHANNEL FOR CLEAR WATER DIVERSION WITHIN 24 HOURS OF INSTALLATION.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS, AND MAINTAIN POSITIVE DRAINAGE. KEEP EARTH DIKE AND POINT OF DISCHARGE FREE OF EROSION, AND CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.
- UPON REMOVAL OF EARTH DIKE, GRADE AREA FLUSH WITH EXISTING GROUND. WITHIN 24 HOURS OF REMOVAL STABILIZE DISTURBED AREA WITH TOPSOIL, SEED, AND MULCH, OR AS SPECIFIED ON APPROVED PLAN.



**CONSTRUCTION SPECIFICATIONS**

- INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
- FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



**FLOW CHANNEL STABILIZATION**

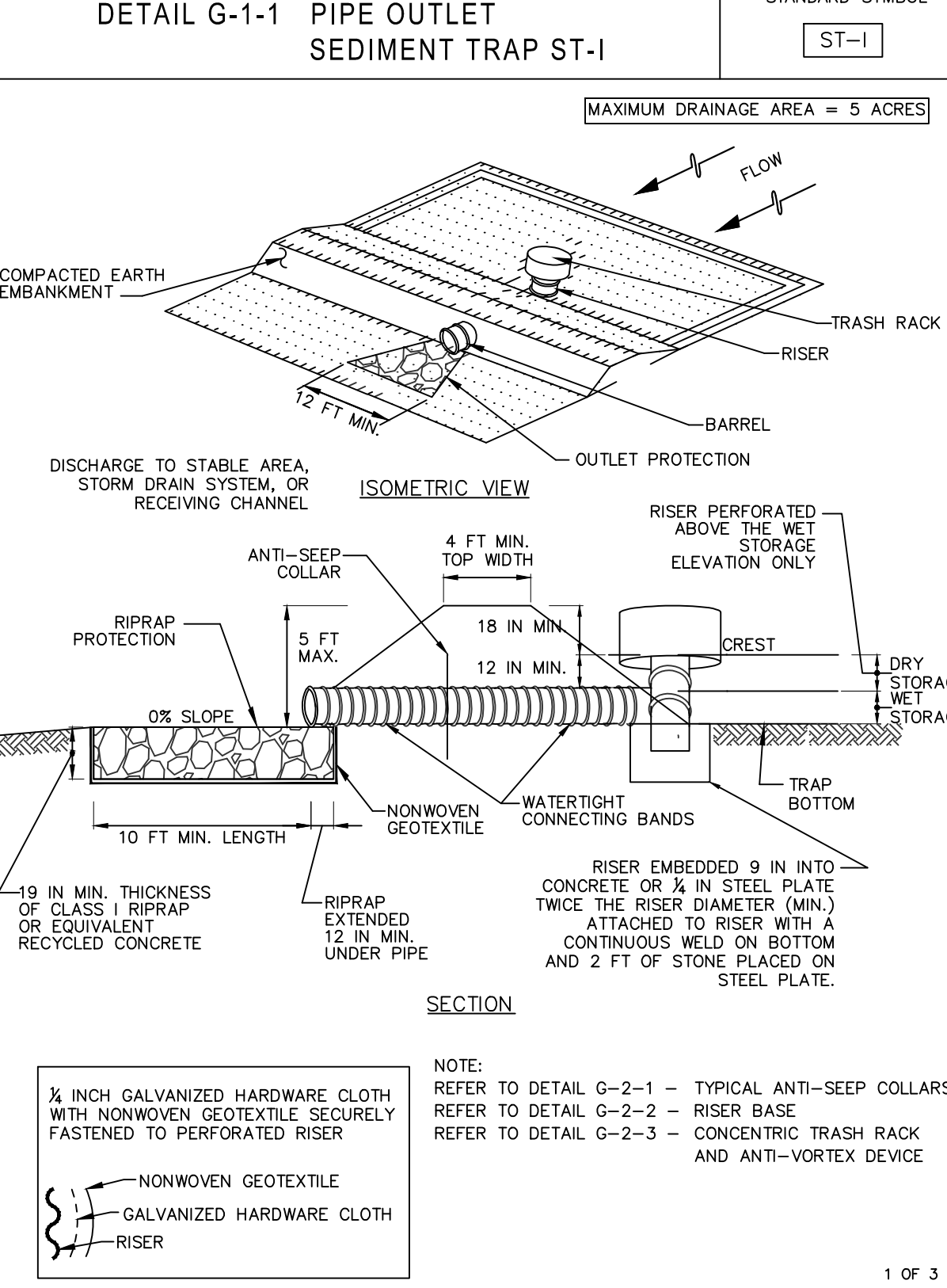
- PDS-1 SEED AND MULCH AND TACK (DRAINING < 1 ACRE) (NOT ALLOWED FOR CLEAR WATER DIVERSION.)
- PDS-2 SEED WITH SOIL STABILIZATION MATTING OR LINE WITH SOD (DRAINING BETWEEN 1 AND 2 ACRES)

NOTE: THE MAXIMUM DRAINAGE AREA FOR THIS PRACTICE IS 2 ACRES.

**CONSTRUCTION SPECIFICATIONS**

- REMOVE AND DISPOSE OF ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SO AS NOT TO INTERFERE WITH PROPER FUNCTION OF DIKE/SWALE.
- EXCAVATE OR SHAPE DIKE/SWALE TO LINE, GRADE, AND CROSS SECTION AS SPECIFIED. BANK PROJECTIONS OR OTHER IRREGULARITIES ARE NOT ALLOWED.
- COMPACT FILL.
- CONSTRUCT DIKE/SWALE ON AN UNINTERRUPTED, CONTINUOUS GRADE, ADJUSTING THE LOCATION DUE TO FIELD CONDITIONS AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE.
- PROVIDE OUTLET PROTECTION AS REQUIRED ON APPROVED PLAN.
- STABILIZE DIKE/SWALE WITHIN 3 DAYS OF INSTALLATION. STABILIZE DIKE/SWALES USED FOR CLEAR WATER DIVERSION WITHIN 24 HOURS OF INSTALLATION.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS, AND MAINTAIN POSITIVE DRAINAGE. KEEP PERIMETER DIKE/SWALE AND POINT OF DISCHARGE FREE OF EROSION AND CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.
- UPON REMOVAL OF DIKE/SWALE, GRADE AREA FLUSH WITH EXISTING GROUND. WITHIN 24 HOURS OF REMOVAL STABILIZE DISTURBED AREA WITH TOPSOIL, SEED, MULCH, OR AS SPECIFIED ON APPROVED PLAN.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



1/2 INCH GALVANIZED HARDWARE CLOTH WITH NONWOVEN GEOTEXTILE SECURELY FASTENED TO PERFORATED RISER

NOTE: REFER TO DETAIL G-2-1 - TYPICAL ANTI-SEEP COLLARS  
REFER TO DETAIL G-2-2 - RISER BASE  
REFER TO DETAIL G-2-3 - CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



**CONSTRUCTION SPECIFICATIONS**

- CONSTRUCT TRAP IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE AVOIDED.
- CLEAR, GRUB, AND STRIP ANY VEGETATION AND ROOT MAT FROM THE AREA UNDER THE EMBANKMENT AND TRAP BOTTOM.
- PERFORATE THE RISER WITH 1 INCH DIAMETER HOLES SPACED 6 INCHES ON CENTER WITH THE LOWEST PERFORATIONS AT THE NET STORAGE ELEVATION OR PROVIDE A HORIZONTAL OR VERTICAL DRAW-DOWN DEVICE PERFORATED ACCORDING TO APPROVED PLAN. DO NOT PERFORATE THE RISER WITHIN 6 INCHES OF THE TOP OF THE HORIZONTAL BARREL.
- SET RISER/BARREL ASSEMBLY PRIOR TO EMBANKMENT CONSTRUCTION. MAKE ALL PIPE CONNECTIONS WATER TIGHT. OFFSET RISER FROM EMBANKMENT TO ACCOMMODATE PLACEMENT OF THE TRASH RACK. ANCHOR THE RISER WITH EITHER A REINFORCED CONCRETE BASE OR STEEL PLATE BASE TO PREVENT FLOTATION. MAKE CONCRETE BASES AT LEAST TWICE THE RISER DIAMETER AND 18 INCHES THICK WITH THE RISER EMBEDDED 9 INCHES.
- USE FILL MATERIAL FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL FOR THE EMBANKMENT.
- HAND COMPACT IN 4 INCH LAYERS FILL MATERIAL AROUND THE PIPE SPILLWAY BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT.
- CONSTRUCT TOP OF EMBANKMENT 1 FOOT MINIMUM ABOVE RISER CREST. COMPACT THE EMBANKMENT BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- MAKE ALL CUT AND FILL SLOPES 2:1 OR FLATTER.
- WRAP THE RISER WITH 1/2 INCH GALVANIZED HARDWARE CLOTH THEN WRAP WITH NONWOVEN GEOTEXTILE. DO NOT WRAP WITH MORE THAN ONE LAYER OF GEOTEXTILE. EXTEND HARDWARE CLOTH AND GEOTEXTILE AT LEAST 6 INCHES ABOVE THE HIGHEST PERFORATIONS AND AT LEAST 6 INCHES BELOW THE LOWEST PERFORATIONS. OVERLAP, FOLD AND FASTEN WHERE ENDS OF GEOTEXTILE COME TOGETHER TO PREVENT BYPASS. REPLACE GEOTEXTILE AS NECESSARY TO PREVENT CLOGGING.
- USE STRAPS OR CONNECTING BANDS AT THE TOP AND BOTTOM OF THE GEOTEXTILE TO HOLD THE GEOTEXTILE AND HARDWARE CLOTH IN PLACE.
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- STABILIZE THE EMBANKMENT AND INTERIOR SLOPES WITH SEED AND MULCH. STABILIZE POINTS OF CONCENTRATED INFLOW AS SHOWN ON APPROVED PLAN.
- CONSTRUCT AND MAINTAIN THE OUTLET ACCORDING TO THE APPROVED PLAN AND IN SUCH A MANNER THAT EROSION AT OR BELOW THE OUTLET DOES NOT OCCUR.
- REMOVE SEDIMENT AND RESTORE TRAP TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO CLEANOUT ELEVATION (50% OF WET STORAGE DEPTH). DEPOSIT REMOVED SEDIMENT IN AN APPROVED AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. KEEP POINTS OF INFLOW AND OUTFLOW AS WELL AS INTERIOR OF THE TRAP FREE FROM EROSION, AND REMOVE ACCUMULATED DEBRIS. MAINTAIN EMBANKMENTS TO CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. REMOVE ANY TREES, BRUSH, OR OTHER WOODY VEGETATION GROWING ON EMBANKMENT OR NEAR PRINCIPAL SPILLWAY. MAINTAIN LINE, GRADE, AND CROSS SECTION. MAINTAIN WATER TIGHT CONNECTIONS. REPLACE GEOTEXTILE AROUND PERFORATED RISER IF DRY STORAGE VOLUME DOES NOT DRAW DOWN WITHIN 10 HOURS.
- WHEN DEWATERING TRAP, PASS REMOVED WATER THROUGH AN APPROVED SEDIMENT CONTROL PRACTICE.
- UPON REMOVAL, GRADE AND STABILIZE THE AREA OCCUPIED BY TRAP.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



PIPE OUTLET SEDIMENT TRAP ST-1, TRAP NO.		
DRAINAGE AREA - INITIAL		ACRES
DRAINAGE AREA - INTERIM		ACRES
DRAINAGE AREA - FINAL		ACRES
TOTAL STORAGE REQUIRED		CF
TOTAL STORAGE PROVIDED		CF
WET STORAGE REQUIRED		CF
WET STORAGE PROVIDED		CF
DRY STORAGE REQUIRED		CF
DRY STORAGE PROVIDED		CF
TRAP BOTTOM ELEVATION		FT
TRAP BOTTOM DIMENSIONS		FT x FT
RISER CREST (DRY STORAGE) ELEVATION		FT
OUTLET (WET STORAGE) ELEVATION		FT
CLEANOUT ELEVATION		FT
TOP OF EMBANKMENT ELEVATION		FT
SIDE SLOPE		H:V RATIO
EMBANKMENT TOP WIDTH		FT
PRINCIPAL SPILLWAY MATERIAL (BARREL, RISER, ANTI-SEEP COLLAR)		FT
RISER DIAMETER		IN
BARREL DIAMETER		IN
TRASH RACK DIAMETER		IN
TRASH RACK HEIGHT		IN
ANTI-SEEP COLLAR DIMENSIONS		FT
OUTLET PROTECTION - LENGTH		FT
OUTLET PROTECTION - WIDTH		FT
OUTLET PROTECTION - DEPTH		IN

**DATA SOURCES:**

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
- COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).

**CENTURY ENGINEERING**  
A Kleinfelder Company  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

**Concept Site Plan**

**Erosion Sediment Control Details**

**Liberty Exchange II**

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County



**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 32574  
EXPIRATION DATE: 1/16/2026

DATE: 4/24/2024 SCALE: AS SHOWN  
PROJECT NUMBER: 20234274.001A

DRAWING: 11 of 24

OWNER/DEVELOPER  
Eldersburg Investors II LLC  
2560 Lord Baltimore Dr.  
Baltimore, MD 21244  
Contact: Matt Taylor  
Phone No: 410-369-1207

DATE	BY	REVISIONS



T:\2023\Facilities\20234274.001A Liberty Exchange II - 411 Liberty Rd (R)\C\I\CAD\Drawings\20234274.001A (C27-29) SWM Ex Da Map.dwg Apr. 29, 2024 4:46pm rlangrehr

MATCHLINE FOR CONTINUATION SEE SHEET 13



NOTES:

- WOODED AREAS ONSITE LESS THAN 35 FEET WIDE AND/OR LESS THAN 10,000 SQUARE FEET WERE CONSIDERED MEADOW AS THOSE AREA ARE NOT CONSIDERED WOODS FOR FOREST CONSERVATION REQUIREMENTS.
- OFFSITE AREAS DRAINING INTO THE SITE UTILIZED 1/4AC RESIDENTIAL LOTS FOR TR-55 COMPUTATIONS. THIS MATCHED CLOSE TO THE CURRENT ZONING (R-20,000) OF 20,000 SQFT LOTS.

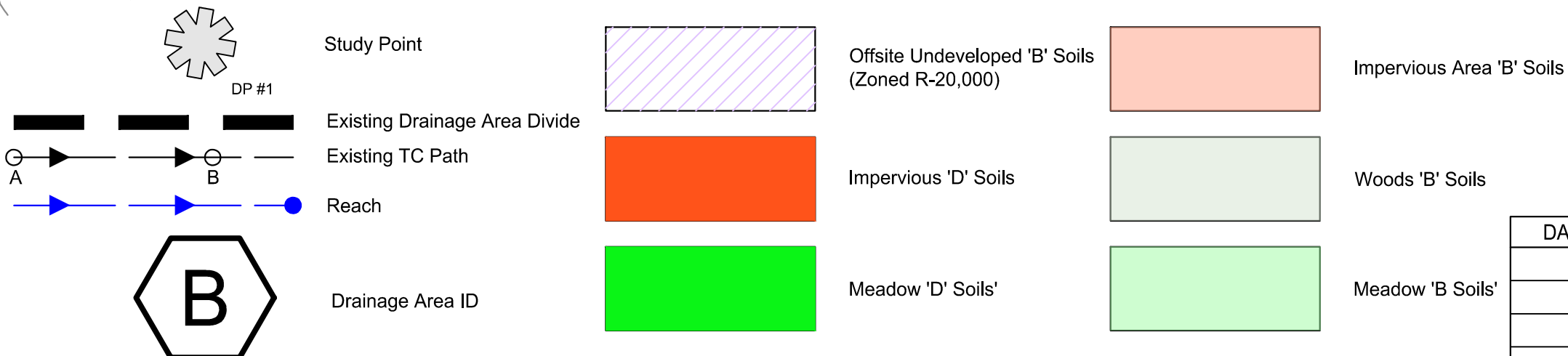
EXISTING CONDITIONS QUANTITY  
MANAGEMENT DRAINAGE AREA MAP

SCALE: 1"=50'

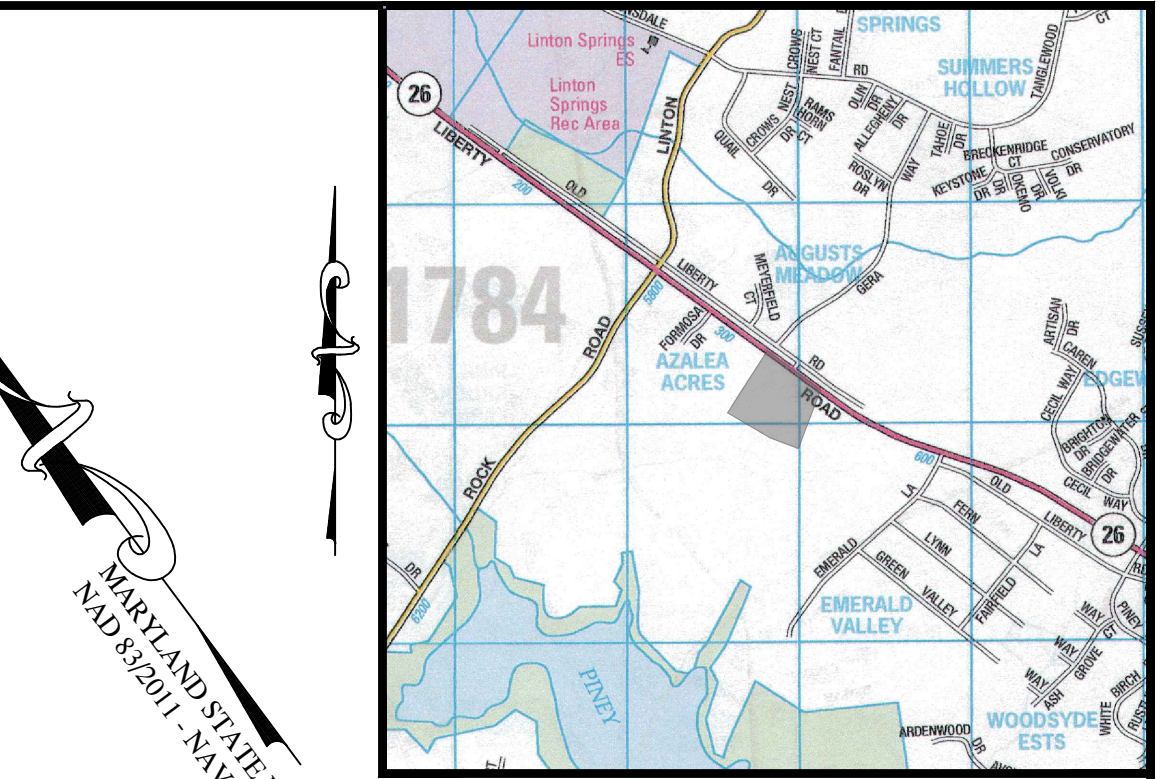
0 50' 100'

SEE SHEET X FOR DISCHARGE TABLES

SWM LEGEND



RCN = 75	A	A = 9.92 Ac.
T <sub>c</sub> = 0.23		A = 0.01550 mi <sup>2</sup>
RCN = 61	B	A = 7.79 Ac.
T <sub>c</sub> = 0.24		A = 0.01218 mi <sup>2</sup>
RCN = 66	C	A = 1.83 Ac.
T <sub>c</sub> = 0.21		A = 0.00286 mi <sup>2</sup>
RCN = 58	D	A = 3.75 Ac.
T <sub>c</sub> = 0.17		A = 0.00586 mi <sup>2</sup>



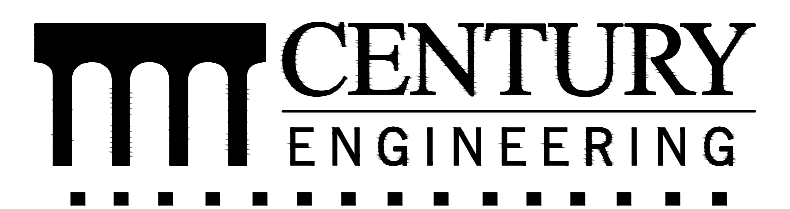
VICINITY MAP  
SCALE: 1"=2000'

SITE LEGEND

ZONE: C-2	Zoning line
ZONE: I-1	Property line
	Adjoiner Property line
	Existing Easement line
400	Existing Field Run Major Contour
402	Existing Field Run Minor Contour
400	Existing GIS Major Contour
402	Existing GIS Minor Contour
13UC (A)	Existing Soils Limits with HSG Designation
25UB (C)	Existing Storm Drain Line
Ex 15" SD	Existing Sanitary Sewer Line With Manhole
Ex 8" S	Existing Water Line With Valve
Ex 8" W	Existing Underground Electric Lines
UGE	Existing Overhead Electric Lines With Pole
OHE	Existing Chainlink Fence
X X X X	Existing Pavement Edge
	Existing Curb & Gutter
	Existing Sidewalk
	Existing Structure
	Existing Treeline
	Limits of Field Run Topography
LOD	Limits of Disturbance

DATA SOURCES:

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
- COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).



10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

Concept Site Plan

Stormwater Management Existing  
Conditions Quantity Management

Liberty Exchange II

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

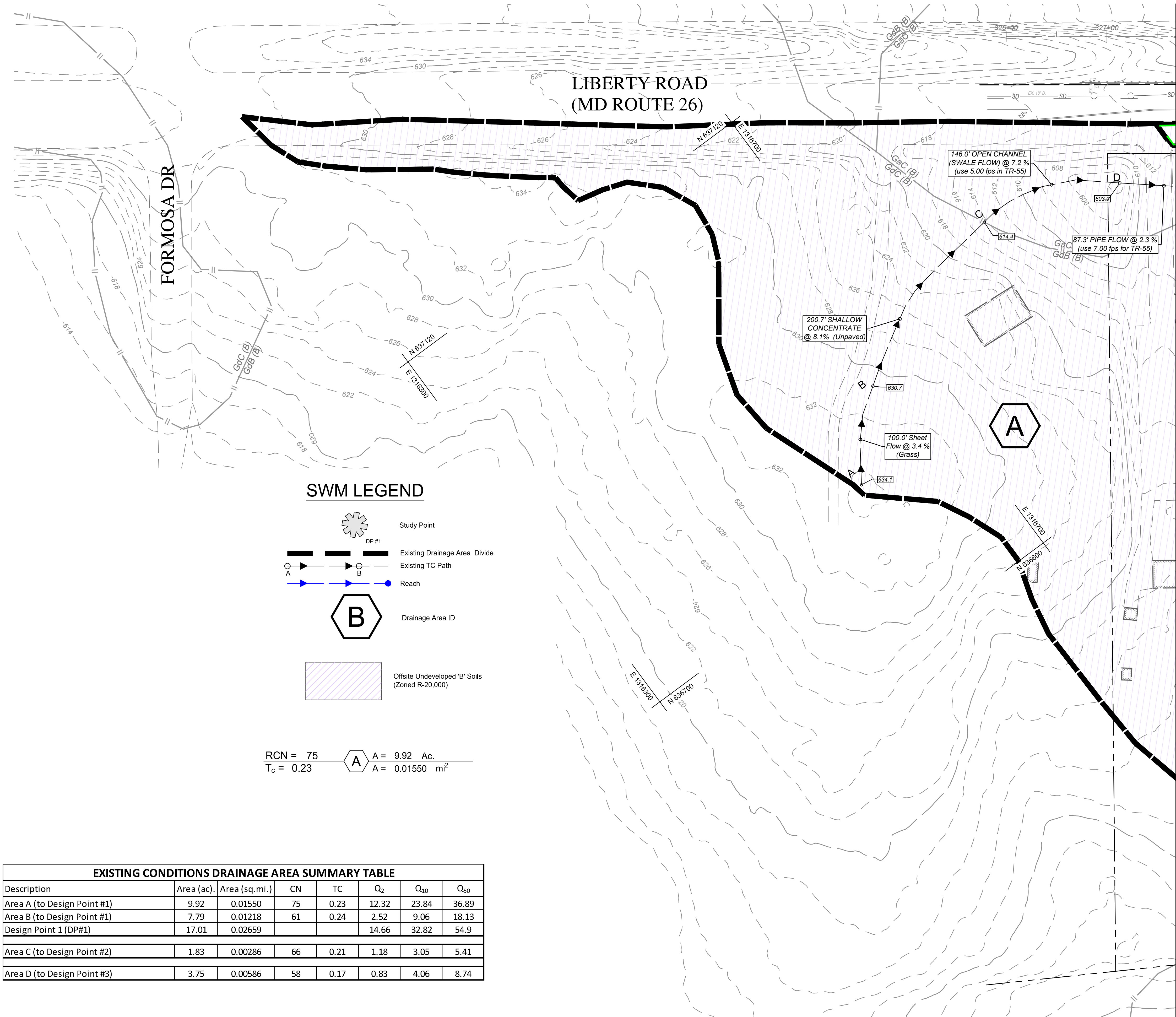
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1/18/2026

DATE: 4/24/2024 SCALE: AS SHOWN  
PROJECT NUMBER: 20234274.001A

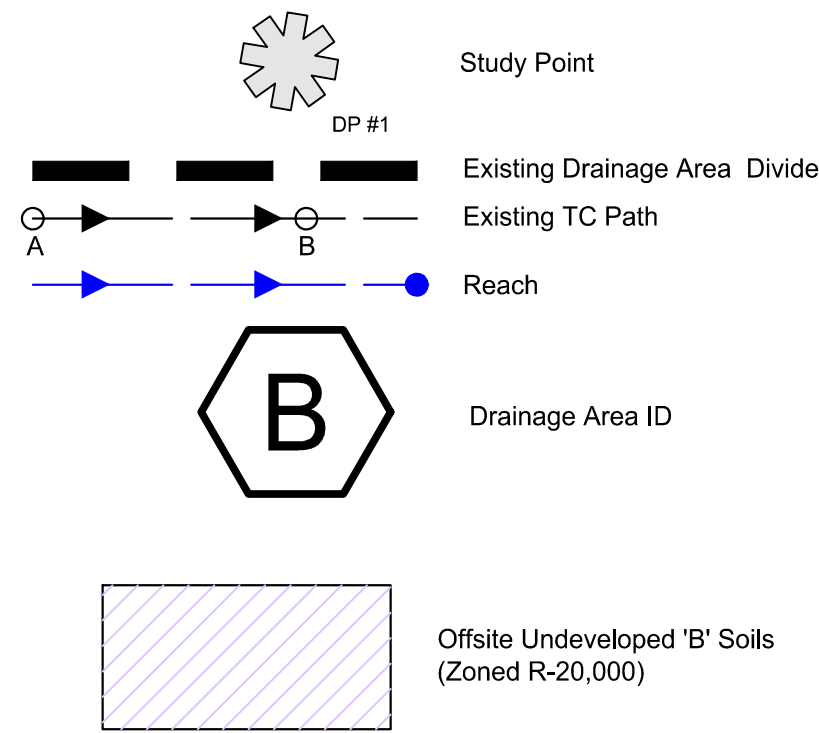
DRAWING: 12 of 24



T:\2023\Facilities\20234274.001A Liberty Rd (RAL)\CIVIL\CADD\Drawings\20234274.001A (C27-28) SWM Ex Da Map.dwg Apr. 29, 2024 4:46pm rlangrehr



### SWM LEGEND



$$\frac{RCN}{T_c} = \frac{75}{0.23} \quad \begin{matrix} A = 9.92 \text{ Ac.} \\ A = 0.01550 \text{ mi}^2 \end{matrix}$$

EXISTING CONDITIONS DRAINAGE AREA SUMMARY TABLE							
Description	Area (ac.)	Area (sq.mi.)	CN	TC	Q <sub>2</sub>	Q <sub>10</sub>	Q <sub>50</sub>
Area A (to Design Point #1)	9.92	0.01550	75	0.23	12.32	23.84	36.89
Area B (to Design Point #1)	7.79	0.01218	61	0.24	2.52	9.06	18.13
Design Point 1 (DP#1)	17.01	0.02659			14.66	32.82	54.9
Area C (to Design Point #2)	1.83	0.00286	66	0.21	1.18	3.05	5.41
Area D (to Design Point #3)	3.75	0.00586	58	0.17	0.83	4.06	8.74

### EXISTING CONDITIONS QUANTITY MANAGEMENT DRAINAGE AREA MAP

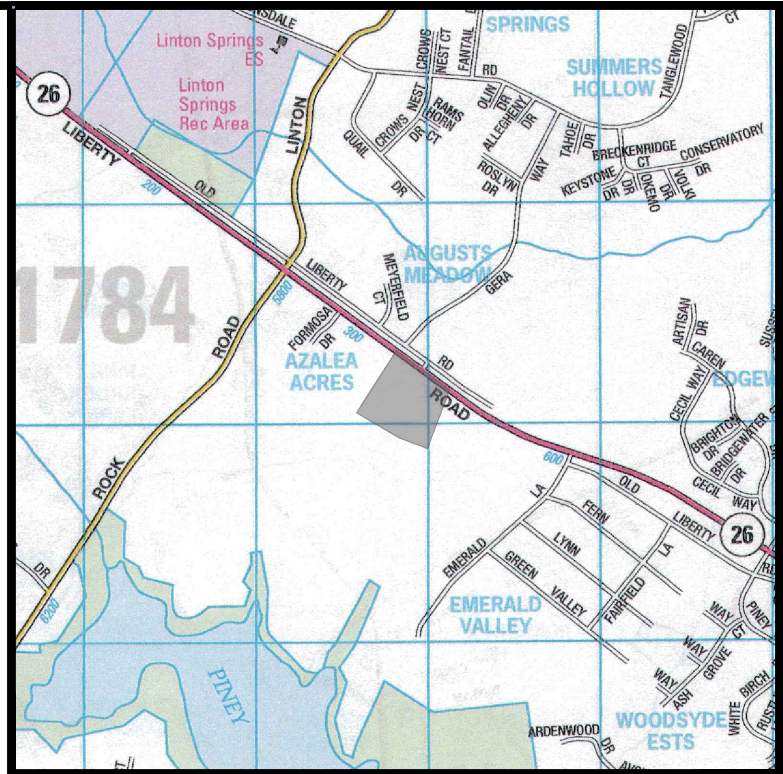
SCALE: 1"=50'

0 50' 100'

#### NOTES:

- OFFSITE AREAS DRAINING INTO THE SITE UTILIZED 1/4AC RESIDENTIAL LOTS FOR TR-55 COMPUTATIONS. THIS MATCHED CLOSE TO THE CURRENT ZONING (R-20,000) OF 20,000 SQFT LOTS.

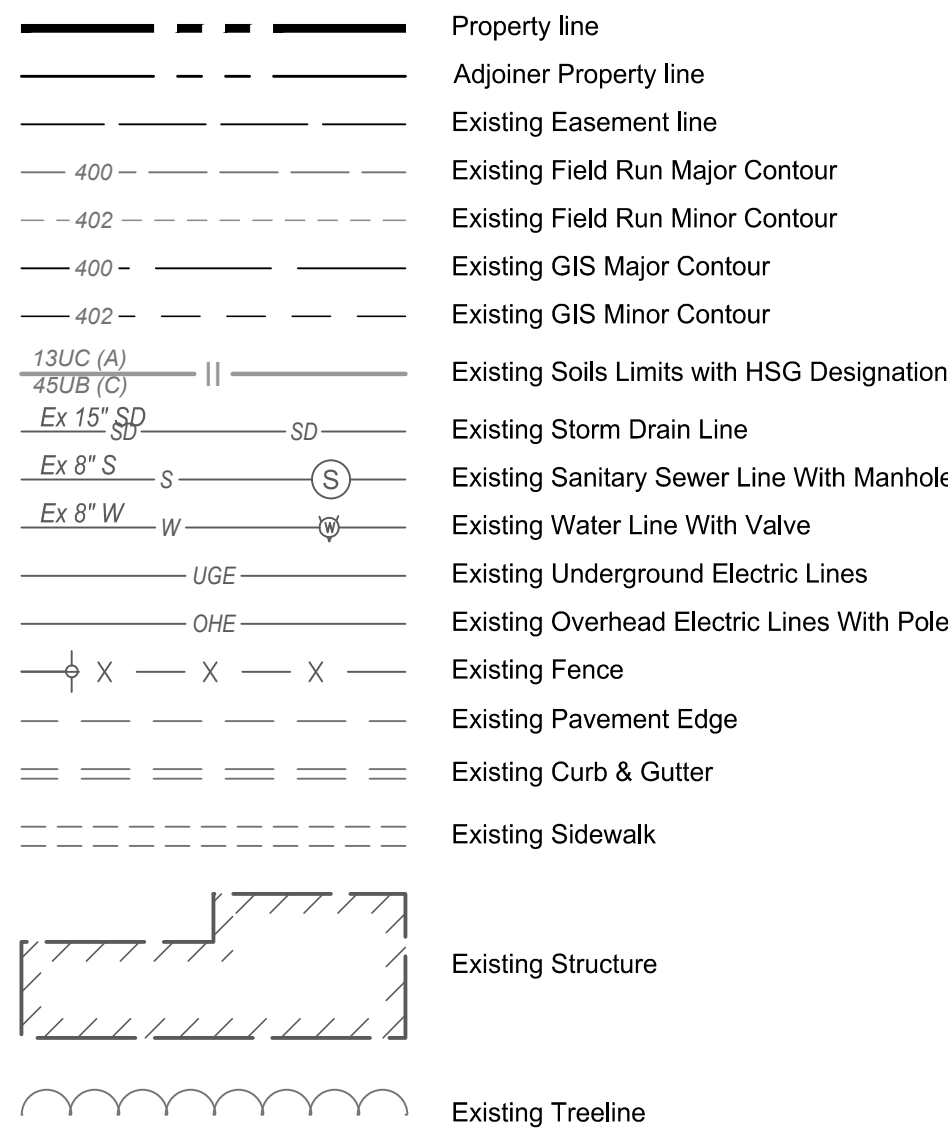
MATCHLINE FOR CONTINUATION SEE SHEET 12



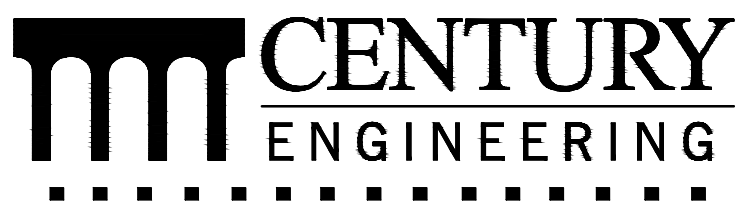
### VICINITY MAP

SCALE: 1"=2000'

### LEGEND



- DATA SOURCES:
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
  - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).



A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

### Concept Site Plan

### Stormwater Management Existing Conditions Quantity Management Liberty Exchange II

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County



#### PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME, AND  
THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.

LICENSE NUMBER: 32574  
EXPIRATION DATE: 1/18/2026

DATE: 4/24/2024 SCALE: AS SHOWN  
PROJECT NUMBER: 20234274.001A

DRAWING:  
13 of 24

DATE	BY	REVISIONS



T:\2023\Facilities\20234274.001A Liberty Exchange II - 411 Liberty Rd\IC\I\I\I\CAD\Drawings\20234274.001A (C29-30) SWM Pr Da Map.dwg Apr 29, 2024 4:47pm iangehr

MATCHLINE FOR CONTINUATION SEE SHEET 15

#### NOTES:

- WOODED AREAS ONSITE LESS THAN 35 FEET WIDE AND/OR LESS THAN 10,000 SQUARE FEET WERE CONSIDERED MEADOW AS THOSE AREA ARE NOT CONSIDERED WOODS FOR FOREST CONSERVATION REQUIREMENTS.
- OFFSITE AREAS DRAINING INTO THE SITE UTILIZED 1/4AC RESIDENTIAL LOTS FOR TR-55 COMPUTATIONS. THIS MATCHED CLOSE TO THE CURRENT ZONING (R-20,000) OF 20,000 SQFT LOTS.

### PROPOSED CONDITIONS QUANTITY MANAGEMENT DRAINAGE AREA MAP

SCALE: 1"=50'

0 50' 100'

RCN = 75 T <sub>c</sub> = 0.24	<b>A</b>	A = 9.78 Ac. A = 0.01528 mi <sup>2</sup>
RCN = 85 T <sub>c</sub> = 0.10	<b>B</b>	A = 11.71 Ac. A = 0.01830 mi <sup>2</sup>
RCN = 88 T <sub>c</sub> = 0.10	<b>C</b>	A = 0.96 Ac. A = 0.00150 mi <sup>2</sup>
RCN = 66 T <sub>c</sub> = 0.10	<b>D</b>	A = 0.19 Ac. A = 0.00029 mi <sup>2</sup>

### SWM LEGEND

	Impervious Area 'B' Soils		Study Point
	Open Space 'B' Soils		Proposed Drainage Area Divide
	Offsite Undeveloped 'B' Soils (Zoned R-20,000)		Proposed TC Path
	Impervious Area 'D' Soils		Drainage Area ID
	Open Space 'D' Soils		

**OWNER/DEVELOPER**  
Eldersburg Investors II LLC  
2560 Lord Baltimore Dr.  
Baltimore, MD 21244  
Contact: Matt Taylor  
Phone No: 410-369-1207

DATE	BY	REVISIONS

### LEGEND

	Property line
	Adjoiner Property line
	Existing Easement line
	Existing Field Run Major Contour
	Existing Field Run Minor Contour
	Existing GIS Major Contour
	Existing GIS Minor Contour
	Existing Soils Limits with HSG Designation
	Existing Storm Drain Line
	Existing Sanitary Sewer Line With Manhole
	Existing Water Line With Valve
	Existing Gas Line With Valve
	Existing Underground Electric Lines
	Existing Overhead Electric Lines With Pole
	Existing Chainlink Fence
	Existing Wood Fence
	Existing Pavement Edge
	Existing Curb & Gutter
	Existing Sidewalk
	Existing Structure
	Existing Treeline

- DATA SOURCES:**
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
  - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).



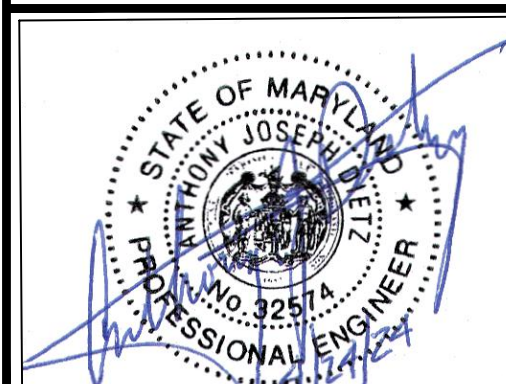
A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

### Concept Site Plan Stormwater Management Proposed Conditions Quantity Management

### Liberty Exchange II

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County



#### PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

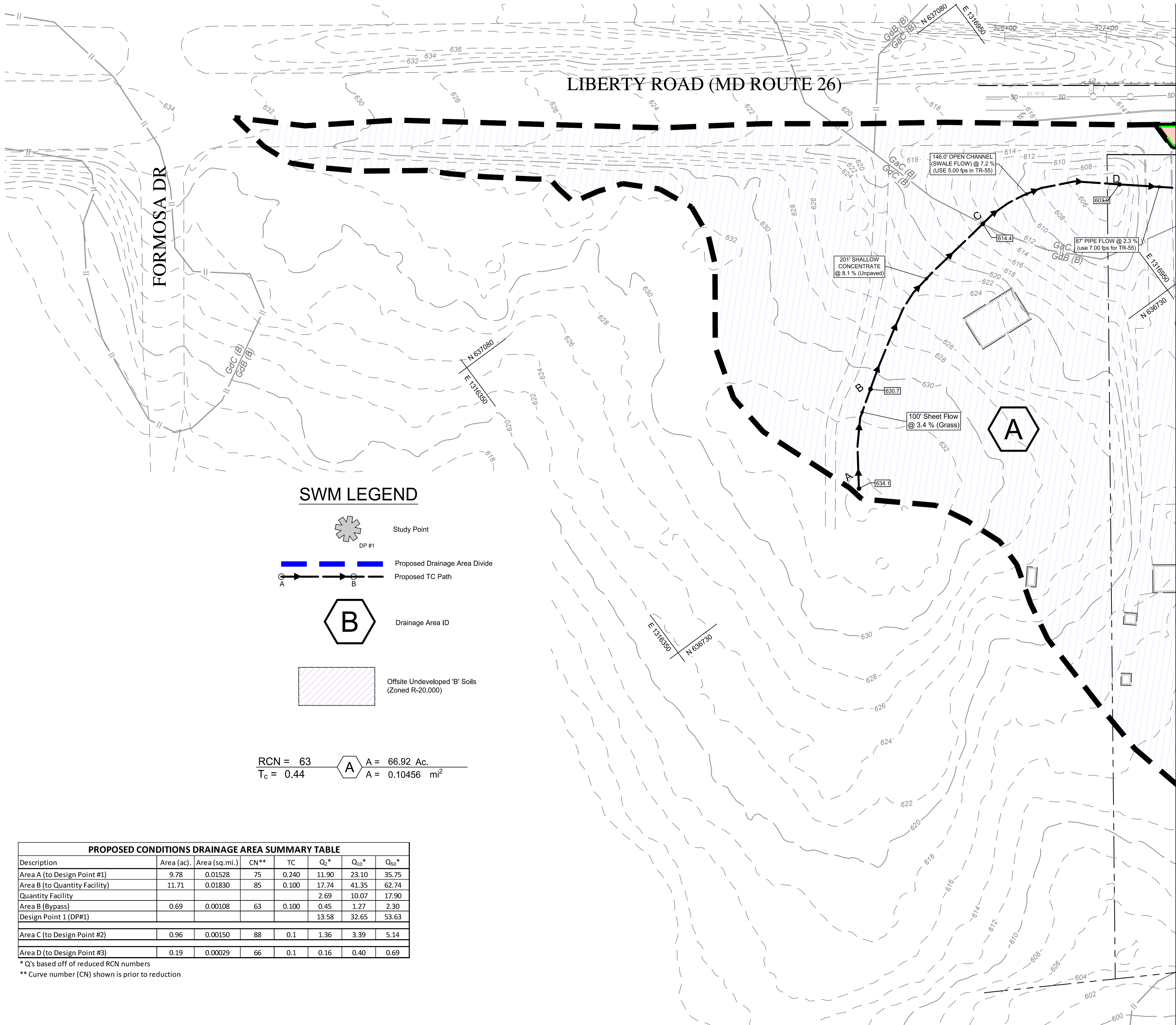
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1/18/2026

DATE: 4/24/2024 SCALE: AS SHOWN  
PROJECT NUMBER: 20234274.001A

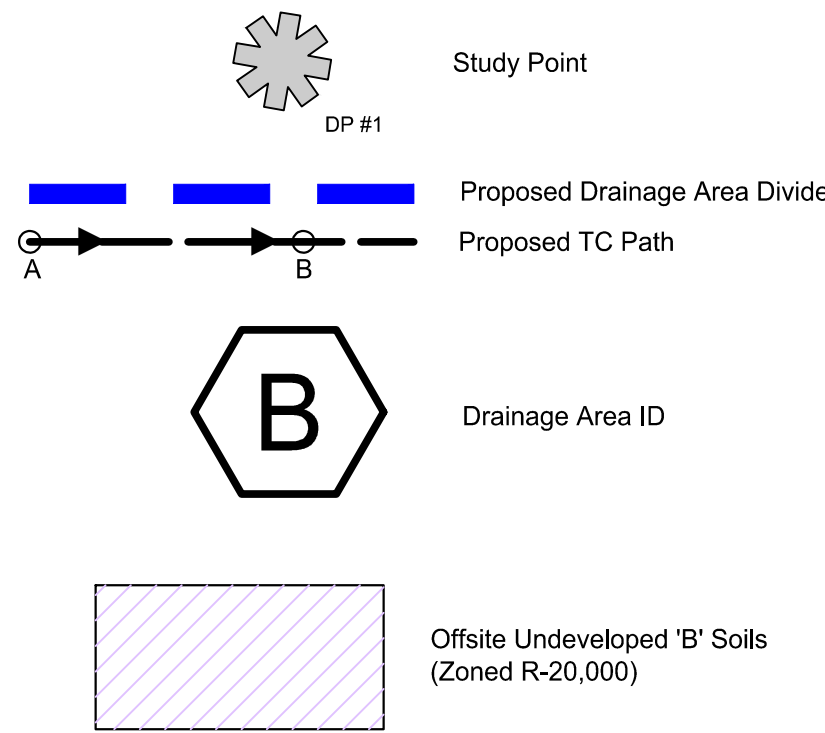
DRAWING: 14 of 24



T:\2023\Facilities\20234274.001A\LIB\LIB\CAD\Drawings\20234274.001A (C28-30) SWM Pr Da Map.dwg Apr 29, 2024 4:47pm ianghehr



### SWM LEGEND



$$\begin{matrix} RCN = 63 \\ T_c = 0.44 \end{matrix} \quad \begin{matrix} A = 66.92 \text{ Ac.} \\ A = 0.10456 \text{ mi}^2 \end{matrix}$$

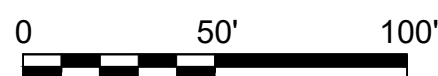
PROPOSED CONDITIONS DRAINAGE AREA SUMMARY TABLE							
Description	Area (ac.)	Area (sq.mi.)	CN**	TC	Q <sub>2</sub> *	Q <sub>10</sub> *	Q <sub>50</sub> *
Area A (to Design Point #1)	9.78	0.01528	75	0.240	11.90	23.10	35.75
Area B (to Quantity Facility)	11.71	0.01830	85	0.100	17.74	41.35	62.74
Quantity Facility					2.69	10.07	17.90
Area B (Bypass)	0.69	0.00108	63	0.100	0.45	1.27	2.30
Design Point 1 (DP#1)					13.58	32.65	53.63
Area C (to Design Point #2)	0.96	0.00150	88	0.1	1.36	3.39	5.14
Area D (to Design Point #3)	0.19	0.00029	66	0.1	0.16	0.40	0.69

\* Q's based off of reduced RCN numbers

\*\* Curve number (CN) shown is prior to reduction

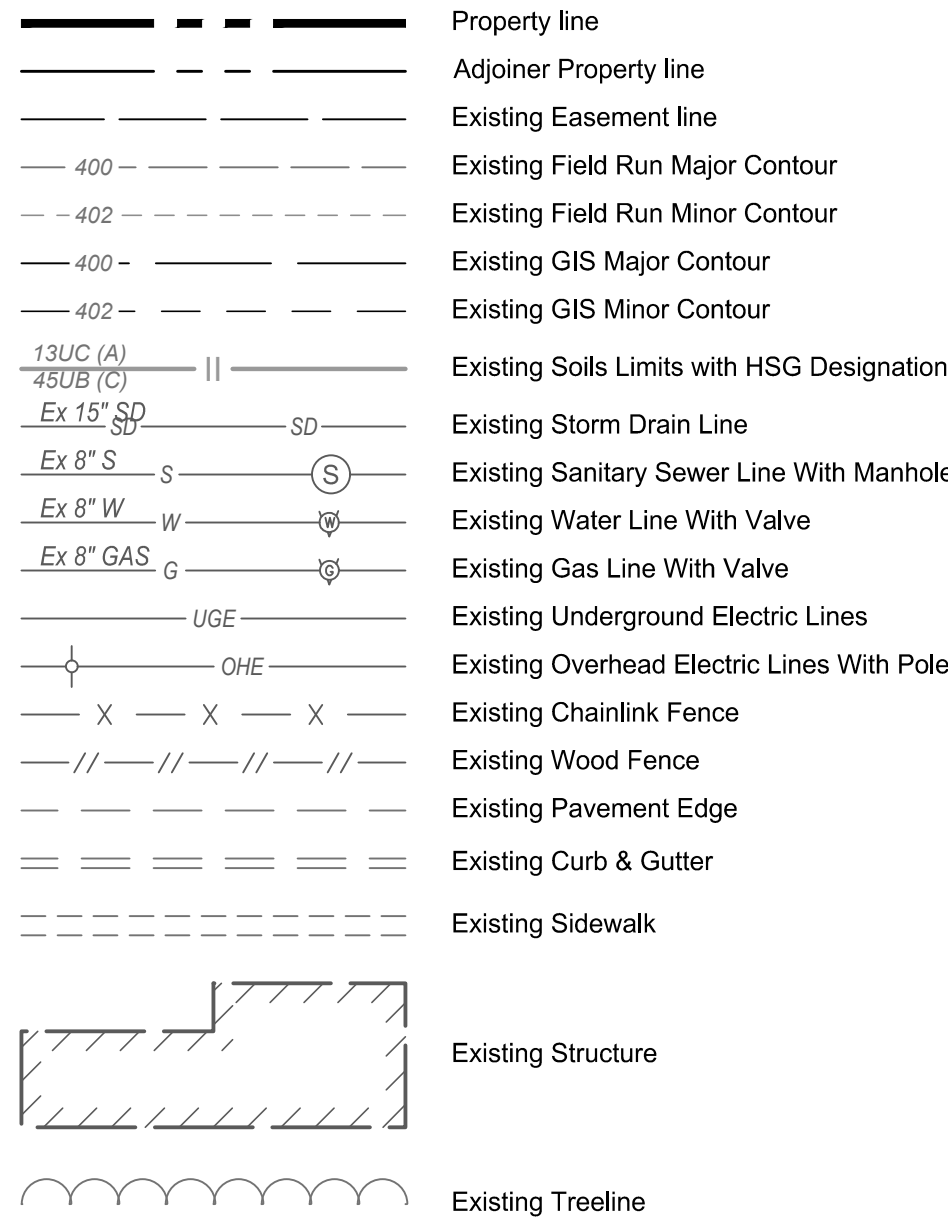
### PROPOSED CONDITIONS QUANTITY MANAGEMENT DRAINAGE AREA MAP

SCALE: 1"=50'



MATCHLINE FOR CONTINUATION SEE SHEET 14

### LEGEND



- DATA SOURCES:
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
  - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).



10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

### Concept Site Plan Stormwater Management Proposed Conditions Quantity Management Liberty Exchange II

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County



PROFESSIONAL  
CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME, AND  
THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND.  
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1/18/2026

DATE: 4/24/2024 SCALE: AS SHOWN  
PROJECT NUMBER: 20234274.001A

DRAWING:  
15 of 24

OWNER/DEVELOPER  
Eldersburg Investors II LLC  
2560 Lord Baltimore Dr.  
Baltimore, MD 21244  
Contact: Matt Taylor  
Phone No: 410-369-1207

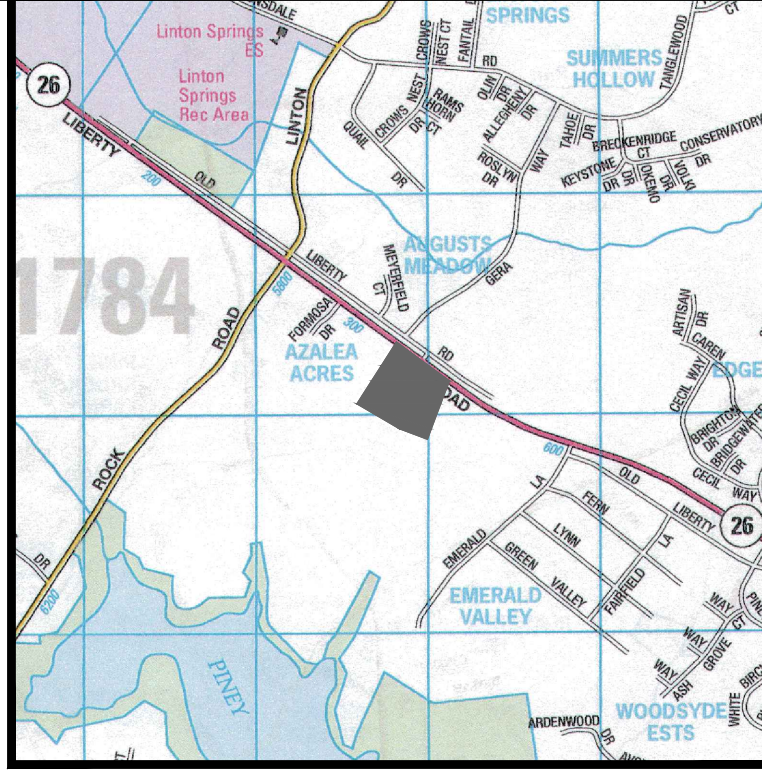
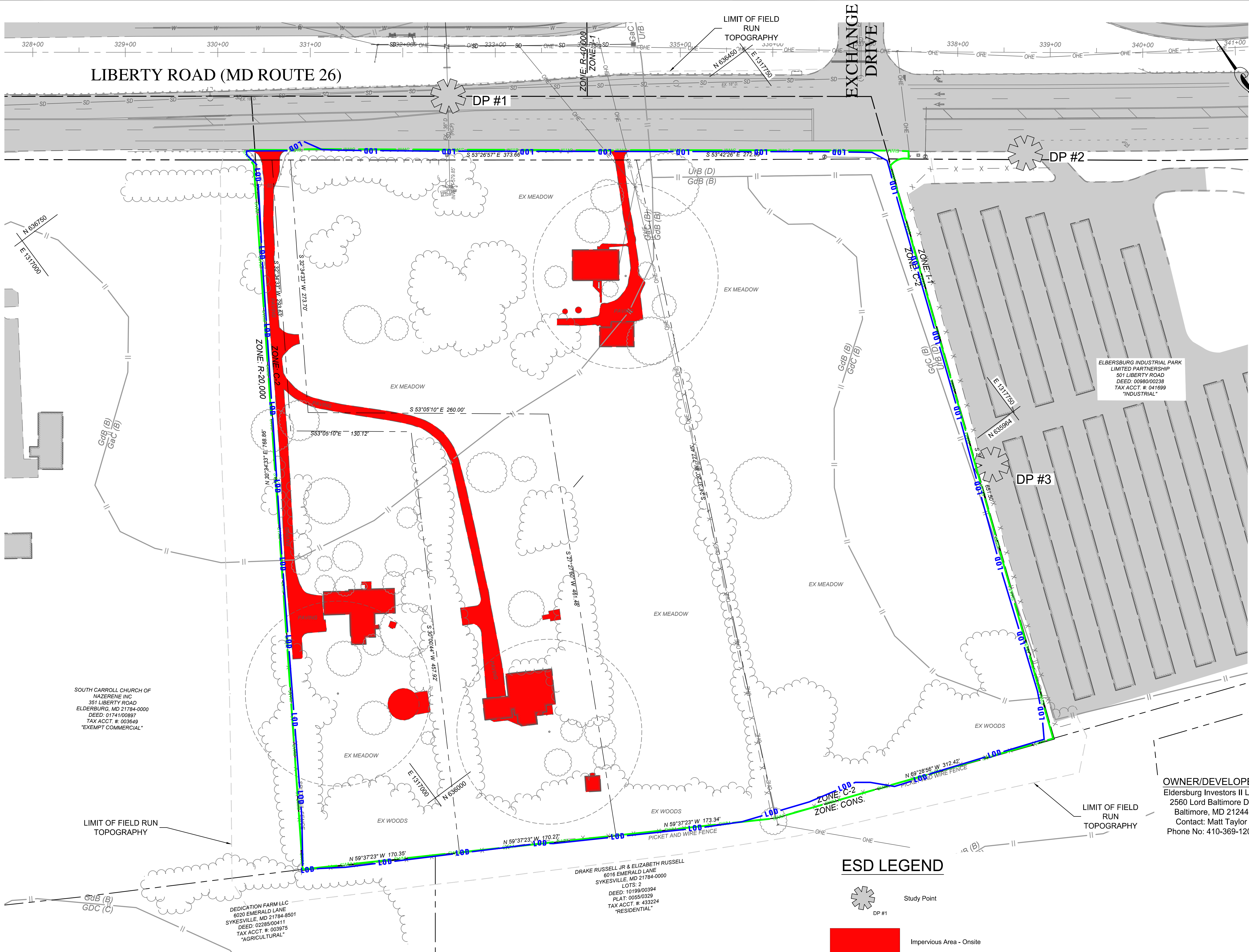
DATE	BY	REVISIONS

#### NOTES:

- OFFSITE AREAS DRAINING INTO THE SITE UTILIZED 1/4AC RESIDENTIAL LOTS FOR TR-55 COMPUTATIONS. THIS MATCHED CLOSE TO THE CURRENT ZONING (R-20,000) OF 20,000 SQFT LOTS.



T:\2023\Facilities\20234274.001A Liberty Exchange II - 411 Liberty Rd (RAL)\CIVIL\CADD\Drawings\20234274.001A (C31-32) [ESD Ex Da Map.dwg Apr 26, 2024 4:47pm] rlangrehr



VICINITY MAP  
SCALE: 1"=2000'

- SITE LEGEND**
- ZONE: C-2  
ZONE: I-1
- Zoning line
  - Property line
  - Adjoiner Property line
  - Existing Easement line
  - Existing Field Run Major Contour
  - Existing Field Run Minor Contour
  - Existing GIS Major Contour
  - Existing GIS Minor Contour
  - Existing Soils Limits with HSG Designation
  - Existing Storm Drain Line
  - Existing Sanitary Sewer Line With Manhole
  - Existing Water Line With Valve
  - Existing Underground Electric Lines
  - Existing Overhead Electric Lines With Pole
  - Existing Chainlink Fence
  - Existing Pavement Edge
  - Existing Curb & Gutter
  - Existing Sidewalk
  - Existing Structure
  - Existing Treeline
  - Limits of Field Run Topography
  - Limits of Disturbance

- DATA SOURCES:**
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
  - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).

**CENTURY ENGINEERING**  
A Kleinfelder Company  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

**Concept Site Plan**  
**Existing Water Quality Map**

**Liberty Exchange II**

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1/18/2026  
DATE: 4/24/2024 SCALE: AS SHOWN  
PROJECT NUMBER: 20234274.001A DRAWING: 16 of 24

**ESD LEGEND**

- DP #1 Study Point
- Impervious Area - Onsite
- Impervious Area - Offsite
- SWM/ESD Study Area Limits
- Limit of Disturbance

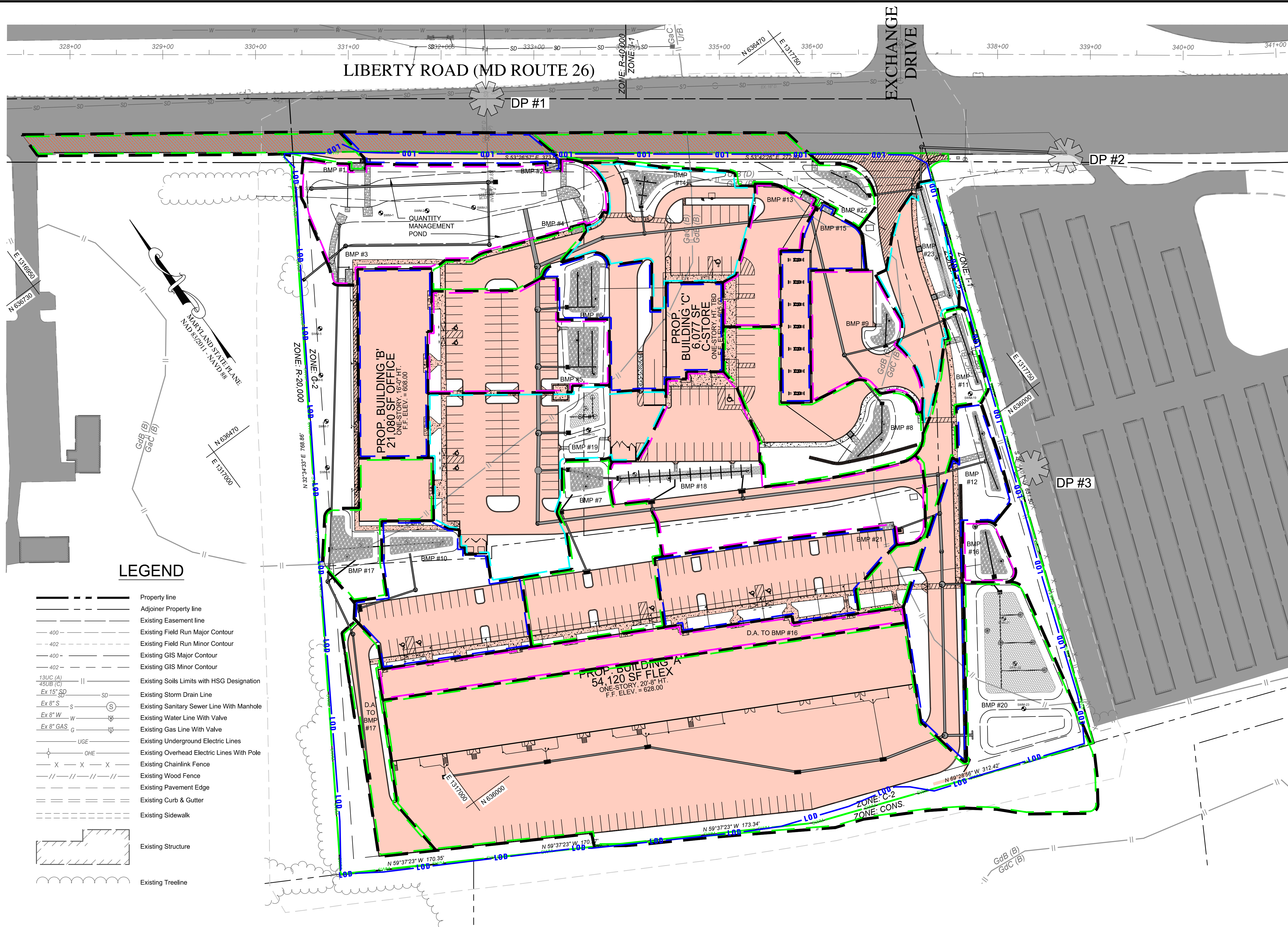
DATE	BY	REVISIONS

**EXISTING CONDITIONS QUALITY DRAINAGE AREA MAP**

SCALE: 1"=50'  
0 50' 100'



T:\2023\Facilities\20234274.001A Liberty Exchange II - 411 Liberty Rd (RAL)\CIVIL\CADD\Drawings\20234274.001A (C35) ESD Pr. Da Map.dwg Apr 29, 2024 4:47pm fhangreir



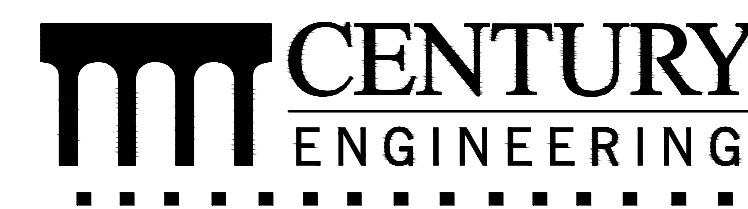
## LEGEND

	Property line
	Adjoiner Property line
	Existing Easement line
	Existing Field Run Major Contour
	Existing Field Run Minor Contour
	Existing GIS Major Contour
	Existing GIS Minor Contour
	Existing Soils Limits with HSG Designation
	Existing Storm Drain Line
	Existing Sanitary Sewer Line With Manhole
	Existing Water Line With Valve
	Existing Gas Line With Valve
	Existing Underground Electric Lines
	Existing Overhead Electric Lines With Pole
	Existing Chainlink Fence
	Existing Wood Fence
	Existing Pavement Edge
	Existing Curb & Gutter
	Existing Sidewalk
	Existing Structure
	Existing Treeline

## ESD LEGEND

	Study Point
	Onsite Impervious Area to ESD Facility
	Existing Offsite Impervious Area
	Existing Offsite Impervious Area to Onsite ESD Facility
	Onsite Impervious Area Bypassing ESD Facilities
	Drainage Divide to Facilities
	SWM/ESD Study Area Limits
	Proposed Micro-Bioretenction
	Proposed Bio-Swale
	Proposed Sand Filter

- DATA SOURCES:
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
  - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES, FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.
  - COORDINATES, BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).

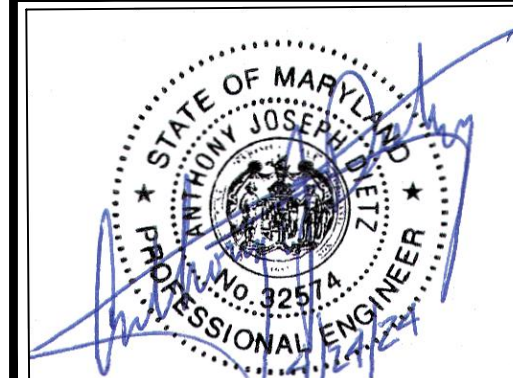


10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 www.centuryeng.com

## Concept Site Plan Proposed Water Quality Map

## Liberty Exchange II

411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702  
Election District 5 Carroll County



**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NUMBER: 32574  
EXPIRATION DATE: 1/18/2026

OWNER/DEVELOPER  
Eldersburg Investors II LLC  
2560 Lord Baltimore Dr.  
Baltimore, MD 21244  
Contact: Matt Taylor  
Phone No: 410-369-1207

DATE	BY	REVISIONS

DATE: 4/24/2024 SCALE: AS SHOWN  
PROJECT NUMBER: 20234274.001A

DRAWING: 17 of 24

## PROPOSED CONDITIONS QUALITY DRAINAGE AREA MAP

SCALE: 1"=50'  
0 50' 100'



NOTE:

1. ALL NEW, CANOPY, WALL AND POLE MOUNTED FIXTURES ARE FULL CUT OFF AND EMIT NO LIGHT ABOVE 90 DEGREES. (ALL LIGHT OUTPUT IS DIRECTED DOWN)
2. ALL FIXTURES ARE MOUNTED 90 DEGREES TO POLE OR WALL.

CALCULATION SUMMARY							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Site	Illuminance	Fc	1.2	25.1	0.0	N/A	N/A

[illegible]

## FEATURES & SPECIFICATIONS

### Construction

- Rugged die-cast aluminum housing contains fixture powered driver and optical output from aluminum wiring access door located underneath.
- Designed to mount to square or round post.
- Fixtures are finished with LSI's DuraGrip<sup>®</sup> polyester powder coat finishing process. Undercoating finish withstands extreme weather changes without cracking or fading. Other standard finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

### Optical System

- State-of-the-art LED light source. Efficiently delivers industry leading optical performance with an integrated gauge to provide precise rated sealed optical chamber in 1% component.
- Proprietary silicone refractor optics provide excellent coverage at extremely low beam Types 2, 3, 5W, FT, FTA and AM.
- Provides a typical beam spread not yet allowed by other manufacturers.
- And provides a typical light transmission of 80%.
- Zero uplight.
- Average output: 400K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Coated Amber beam intensity at 60°.
- Minimum CRI of 90.
- Integral lower (L) and Integral half (H) beam options available for enhanced backlight control.

### Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit protection and over-temperature shutdown.
- Custom logic and voltage packages available.
- >10V dimming (10%-100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- LBO Calculated Life: >100K Hours (See Lifetime Maintenance chart)
- Power factor: minimum distortion <-20%
- Operating temperature: -40°C to +50°C (+40°F to +122°F). 42L and 48L luminaire power factors are guaranteed.
- Power factor: > 90
- Input power stays constant over life.
- Field replaceable 100% surge protection device maintains minimum Category C Low Output Protection per ANSI/EIA E136.
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully certified for material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be replaced.

### Control

- Optional integral passive infrared Bluetooth<sup>®</sup> motion and protocol sensor (see page 8) for hands-free operation. Fixtures operate independently and can be configured via iOS or Android configuration app

- LSI's AirLink<sup>™</sup> wireless control system options reduce energy and maintenance costs while optimizing lighting life (A7) (see controls section for more details).

### Installation

- Designed to mount to square or round post.
- A single fastener secures the hinged door, maintaining the housing and providing access to the electrical compartment.
- Standard terminal block accepts up to 12 ga wires.
- Utilizes LSI's traditional 3' drill pattern B3 for easy fastening of LSI products.
- LSI LED Fixtures carry a 5-year warranty.

### Listings

- Listed to UL 159B and UL 8750.
- Meets Bay Area Authority Act requirements.
- UL Classified for use as outdoor ambient temperature selection.
- For more information see local code jurisdiction information.
- \* Suitable for wet Locations.
- Complies with California Title 24, Part 6, Section 60598.
- 3C rated for ANSI C136.31 high vibration applications as qualified.
- Designations of "Listed" (L) and "Qualified Products Consortium" (QPC) qualified products may be required to be listed or QPC by DLCE qualified. Please check the DLCE Qualified Product List at [www.designlights.org](http://www.designlights.org).
- For more information confirm which version is qualified.
- Product Compliance List (US Patent # 10,316,865 B2).
- IK08 rated luminaires per IEC 60682 mechanical impact code.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • [www.lsicorp.com](http://www.lsicorp.com)  
(800) 436-7800 • ©LSI Industries Inc. All Rights Reserved. Specifications subject to change without notice.

## FEATURES & SPECIFICATIONS

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical components.
- Hinged lid allows mounting or servicing access at either side.
- Galvanized steel universal wall mount bracket provides secure mounting.
- Adjustable hinge mechanism to easily access the junction box.
- Wiring connections without removing the lens cover.
- Optional pole-mounting bracket (XPMA) available.
- Fixtures are finished with SLS's DuraProof<sup>®</sup> polyester powder coat finishing process.
- Weather resistant to withstand all weather changes without cracking or peeling.
- Complies other standard LED fixtures available.

### Available Configurations

Shipping weight: 30 lbs in cartons.

### Optical System

- State-of-the-Art one piece optical shield delivers industry leading optical system with an integrated gasket to provide superior light seal and optical component.
- High quality silicone refractor optics provide exceptional coverage and uniformity in Types 2, 3, and Forward Throw (FT) distributions.
- Silicone optical material does not yellow or age and provides a typical light transmittance of 93%.
- Zero uplight.
- Typical beam spreads: 5000K, 4000K and 3000K color temperatures per ANSI C78.377, 301. Available in Thermal Controlled Amber with Peak intensity at 610nm.
- Minimum CR of 70.

### Electrical

- High performance programmable driver features over-voltage, under-voltage, short-

- circuit and over temperature protection.
- Custom loaner voltage packages available.
- 100-240V dimming (10%-100%) standard.
- Standard Universal Voltage (100-277V) package.
- Dimmable LED chip or optional Low-Voltage (347-480 Vac).
- 1,800 Calculated life: \*100k Hours.
- Total economic duration: <20%.
- 2 to 32, 12v operating temperature: -40°C to +125°C.
- 15L operating temperature: -40°C to +45°C (-40°F to +109°F).
- 15H operating temperature: -40°C to +45°C (-40°F to +104°F).
- 15M operating temperature: -40°C to +35°C (-40°F to +95°F).
- Power factor: >90
- Input power state constant over life.
- Optional 10kW surge protection device.
- Optional Minimum Current Limiting operation (per ANS/IEC G2-612).
- High-efficiency LEDs mounted to metal-core heat sink to maximize thermal conductivity.
- Components are fully encased in potting compound for moisture resistance and comply with FCC standards. Driver and key electronic components can easily be replaced without changing door.
- Optional internal emergency battery pack provides 90-minutes of constant power to meet EEMTS emergency compliance.
- A test switch/inverter button is installed on the front panel for ease of access.
- The fixture models 1500 lumens during emergency mode.

### Control

- Integral passive infrared Bluetooth<sup>™</sup> motion and photocell sensor options.
- Features operate independently and can be programmed via:
- On-site manual control via push button
- Android configuration app. Updates and resets the fixture.

- easily implemented via an intuitive app.
- SLS's AirLink<sup>™</sup> Blue lighting control system is a simple/light key wireless Bluetooth interface. The intelligent and user friendly sensor module provides wireless control of grouped fixtures based on motion sensors, occupancy, or fully customizable scheduling.

### Installation

- Universal wall mounting plate easily slides directly to 4" octagonal or square junction boxes.
- 2 fasteners secure the hinged door.
- Simple installation requires no wire capping & easy access to the electrical compartment for installing/wiring.
- Optional terminal block accepts up to 12 wires.

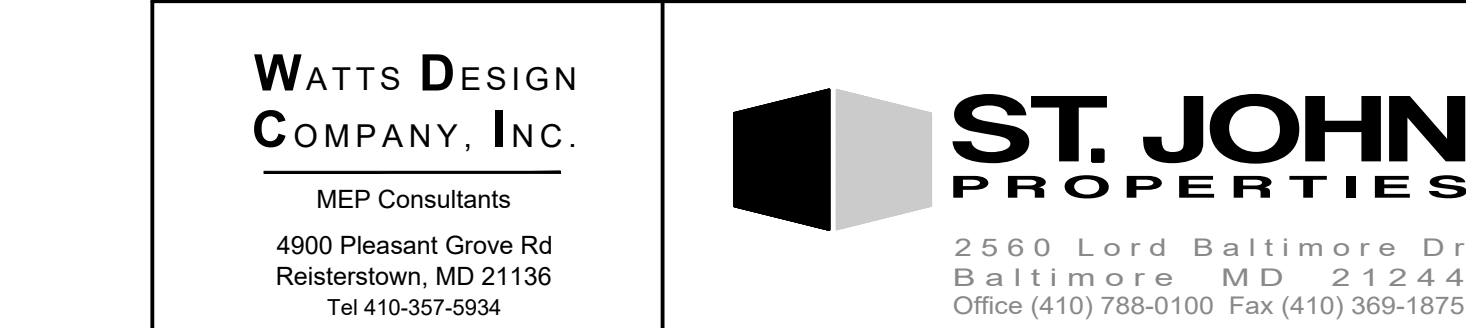
### Warranty

- SLS LED Fixtures carry a 5-year warranty.
- 1 Year warranty on Battery Back-up option.

### Listings

- Listed to UL 1598 and UL B750.
- Meets Buy American Act requirements.
- UL Classified for indoor and outdoor temperature selection.
- \*124 Compliance: see local ordinance for qualification information.
- Suitable for wet Locations.
- 1 Year warranty on Battery Back-up option.
- 3G rated for ANSI C136.31 Class B VIB 60598.
- IP68 rated for immersion per ANSI C136.31 (NEMA bracket) or water tested for IP68 rated luminaires per IEC 60529.
- IP65 rated for rain impact code.
- \*DesignLights Consortium (DLC) qualified products. Not all versions of this product qualify for DLC qualification. See the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org).
- \*RoHS compliant to conform with various EU directives.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsicorp.com  
(800) 436-7800 • ©LSI Industries Inc. All Rights Reserved. Specifications subject to change without notice.



**WATTS DESIGN  
COMPANY, INC.**  
  
MEP Consultants  
  
4900 Pleasant Grove Rd  
Reisterstown, MD 21136  
Tel 410-357-5934

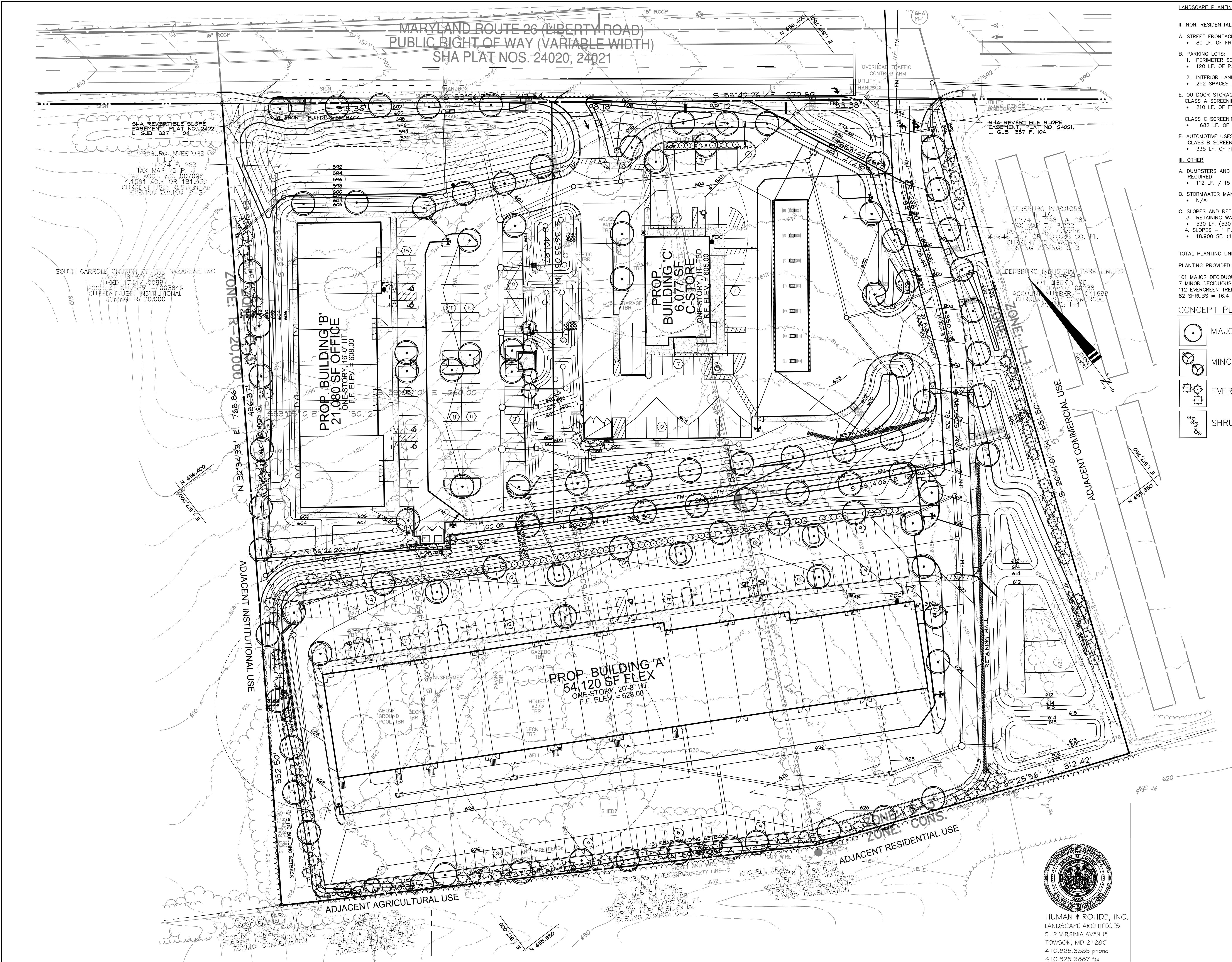


**ST. JOHN  
PROPERTIES**  
  
2560 Lord Baltimore Dr  
Baltimore, MD 21244  
Office (410) 788-0100 Fax (410) 369-1875

***Liberty Exchange II***  
411 Liberty Road  
Sykesville, MD 21784  
Tax Map 73 : Grld 2 : Parcels 222, 3, 703, 702

SITE PHOTOMETRIC PLAN		<div>SP-1</div> <div>SHEET 18 OF 24</div>
DRAWN BY: JCW	DATE: 03/26/24	
CHECKED BY: MSW	SCALE: 1"=40'	
PROJECT NO. 23042	SHEET NO: 1 of 1	





LANDSCAPE PLANTING CALCULATIONS

II. NON-RESIDENTIAL (COMMERCIAL, INDUSTRIAL, INSTITUTIONAL, AND GOVERNMENTAL)

- A. STREET FRONTAGE (BUILDINGS): CLASS B SCREEN - 1 PU PER 20 LF. OF FRONTAGE
- 80 LF. OF FRONTAGE (80 LF. / 20) = 4.0 PU'S REQUIRED
- B. PARKING LOTS:
1. PERIMETER SCREENING - CLASS B SCREENING REQUIRED ADJACENT TO PUBLIC R/W
  - 120 LF. OF PARKING ADJ. TO PUBLIC R/W (120 LF./20) = 6.0 PU'S REQUIRED
  2. INTERIOR LANDSCAPING- ONE PU PER 12 PARKING SPACES REQUIRED
  - 252 SPACES / 12 = 21.0 PU'S REQUIRED
- E. OUTDOOR STORAGE AND LOADING AREAS:
- CLASS A SCREENING REQUIRED ADJACENT TO NON-RESIDENTIAL USE (MIN 15' WIDTH)
  - 210 LF. OF FRONTAGE (210 LF./20) = 10.5 PU'S REQUIRED
- CLASS C SCREENING REQUIRED ADJACENT TO RESIDENTIAL USE / MIN 15' WIDTH
- 682 LF. OF FRONTAGE (682 LF./15) = 45.5 PU'S REQUIRED
- F. AUTOMOTIVE USES:
- CLASS B SCREENING REQUIRED ADJACENT TO PUBLIC R/W (MIN 10' WIDTH)
  - 335 LF. OF FRONTAGE (335 LF./25) = 13.4 PU'S REQUIRED

III. OTHER

- A. DUMPSTERS AND GROUND MOUNTED HVAC: CLASS A SCREENING REQUIRED
- 112 LF. / 15 = 7.5 PU'S REQUIRED
- B. STORMWATER MANAGEMENT: CLASS A SCREENING REQUIRED FOR 378 FACILITIES
- N/A
- C. SLOPES AND RETAINING WALLS:
3. RETAINING WALLS - 1 PU / 25 LF. AT THE BASE OF THE RETAINING WALL
  - 530 LF. (530 LF. / 25) = 21.2 PU'S REQUIRED
  4. SLOPES - 1 PU / 400 SF. >3:1 AND >10' HT.
  - 18,900 SF. (18,900 SF. / 400) = 47.3 PU'S REQUIRED

TOTAL PLANTING UNITS (PU'S) REQUIRED = 176.4 PU'S

PLANTING PROVIDED: 176.9 PU'S

101 MAJOR DECIDUOUS TREES = 101 PU'S  
7 MINOR DECIDUOUS TREES = 3.5 PU'S  
112 EVERGREEN TREES = 56.0 PU'S  
82 SHRUBS = 16.4 PU'S

CONCEPT PLANT LIST

- MAJOR DECIDUOUS TREE
- MINOR DECIDUOUS / FLOWERING TREE
- EVERGREEN TREE
- SHRUBS

DATA SOURCES:  
BY TOPOGRAPHY AND BOUNDARY SHOWN PER SURVEY BY HTPLS, INC. COMPILED IN APRIL, 2022.  
EX. SOILS SHOWN PER USDA SOIL SURVEY WEBSITE.  
EX. ENVIRONMENTAL FEATURES SHOWN PER FIELD INVESTIGATION BY ECO-SCIENCE PROFESSIONALS AND DATED SEPTEMBER, 2022.



Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

Development Design Consultants

OWNER:  
ELDERSBURG INVESTORS II LLC  
2660 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

DEVELOPER:  
ST. JOHN PROPERTIES, INC.  
2660 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

SITE ADDRESS:  
371-411 LIBERTY ROAD  
ELDERSBURG, MD 21784

CONCEPT SITE DEVELOPMENT PLAN FOR  
BUSINESS PARK  
LIBERTY EXCHANGE II

LANDSCAPE  
PLAN

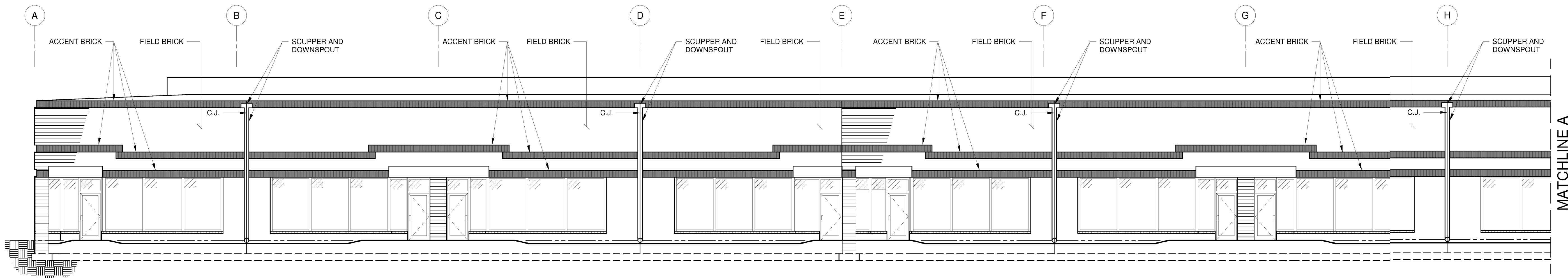
14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS			
NO.	DESCRIPTION OF CHANGES	DRN.	REV. DATE
CO. FILE # S-22-0038	DES. BY: DML		
TAX ACC. # VARIOUS	DRN. BY: DML		
TAX MAP: 073	CHK. BY: DML		
BLOCK / GRID: 002	DATE: 5/3/24		
PARCEL # 3, 222, 702, 703	DDC JOB#: 21036.2		
ZONE / USE: C-3	SHEET NUMBER:		
DWG. SCALE: 1" = 40'	19 of 24		

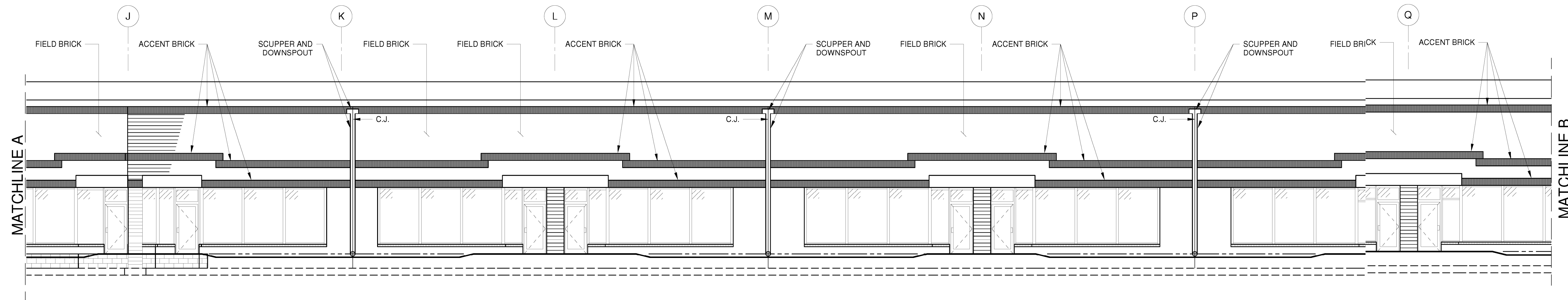


HUMAN & ROHDE, INC.  
LANDSCAPE ARCHITECTS  
512 VIRGINIA AVENUE  
TOWSON, MD 21286  
410.825.3885 phone  
410.825.3887 fax

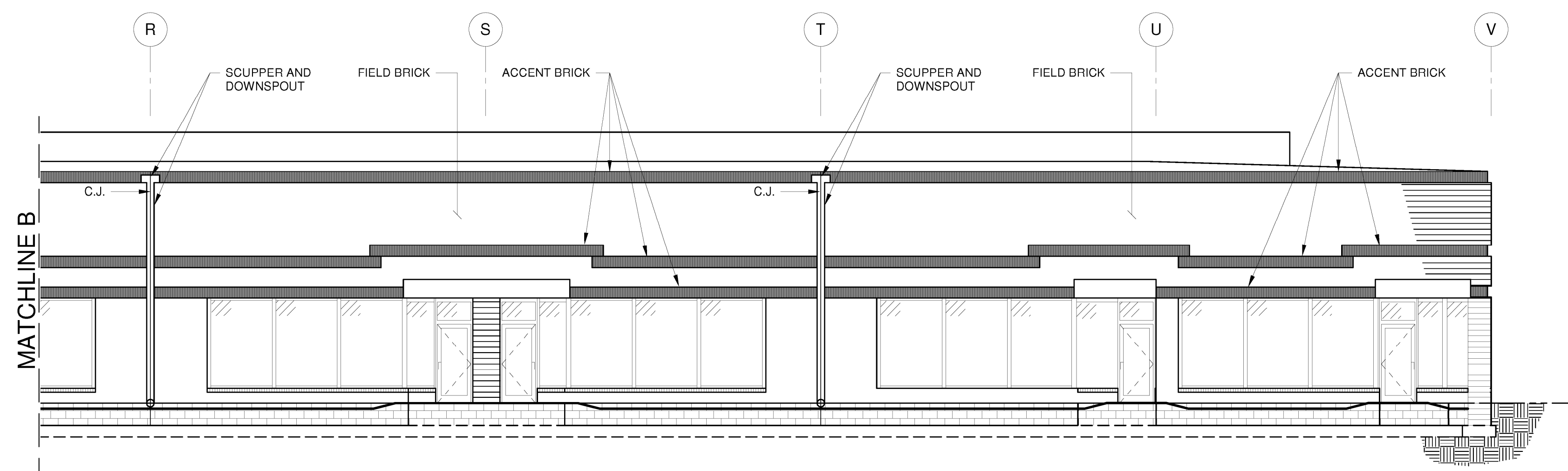




FRONT ELEVATION



FRONT ELEVATION



FRONT ELEVATION

Scale: 1/8" = 1'-0"

LEGEND	
FIELD BRICK:	
ACCENT BRICK:	
MORTAR:	
GLAZING COLOR:	
GLASS FRAME COLOR:	

**morabito**  
consultants

Structural Engineers | Parking Consultants  
952 Ridgely Rd | Suite 1700  
Sparks, MD 21152-9472  
410.467.2377 | www.morabitoconsultants.com  
© Copyright Morabito Consultants, Inc.

DATA SOURCES:  
EX. TOPOGRAPHY AND BOUNDARY SHOWN PER  
SURVEY BY MTPLS, INC. COMPILED IN APRIL, 2022.  
EX. SOILS SHOWN PER USDA SOIL SURVEY WEBSITE.  
EX. ENVIRONMENTAL FEATURES SHOWN PER FIELD  
INVESTIGATION BY ECO-SCIENCE PROFESSIONALS AND  
DATED SEPTEMBER, 2022.

**DDC**  
inc.  
Development Design Consultants

Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

**OWNER:**  
ELDERSBURG INVESTORS II LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

**DEVELOPER:**  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

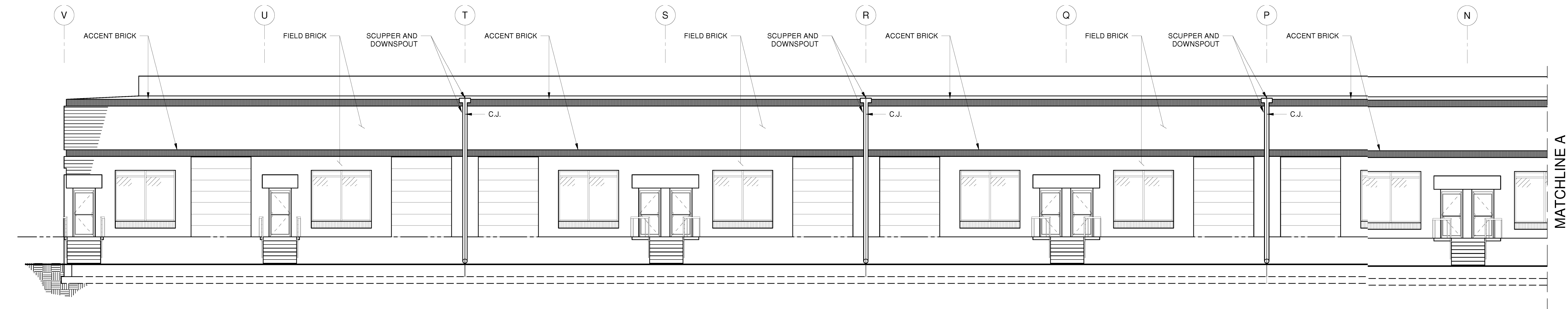
**SITE ADDRESS:**  
371 - 411 LIBERTY ROAD  
ELDERSBURG, MD 21784

CONCEPT SITE DEVELOPMENT PLAN FOR  
BUSINESS PARK  
LIBERTY EXCHANGE II  
**BUILDING A  
ELEVATIONS**

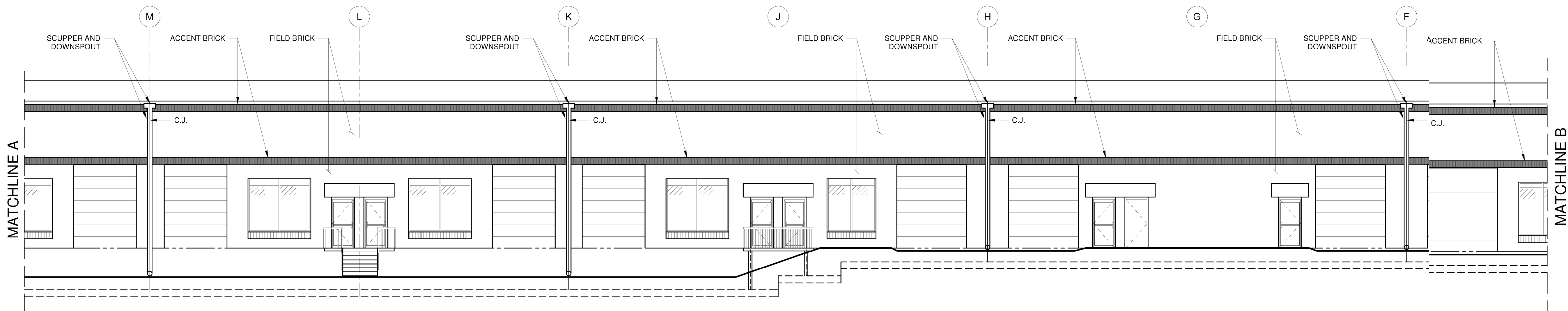
14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRN	REV	DATE
CO. FILE #:	S-22-0038	DES. BY:	LJC	
TAX ACC. #:	VARIOUS	DRN. BY:	LJC	
TAX MAP:	073	CHK. BY:	JLM	
BLOCK / GRID:	002	DATE:	5/3/24	
PARCEL #:	3, 222, 702, 703	DDC JOB#:	21036.2	
ZONE / USE:	C-3	SHEET NUMBER:	20 of 24	
DWG. SCALE:	AS NOTED			

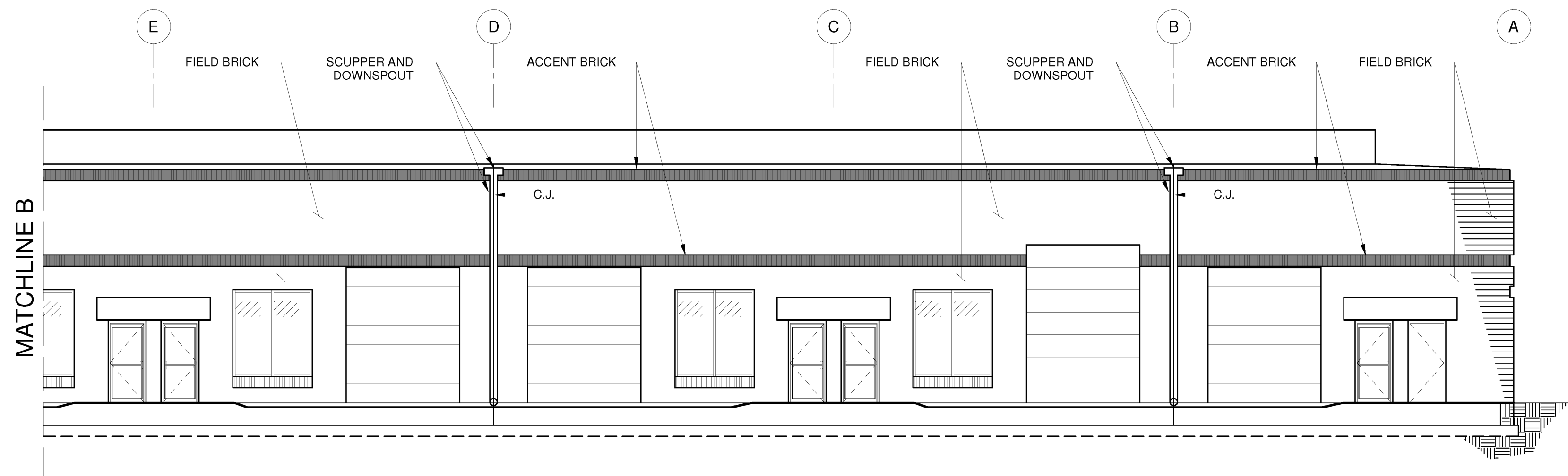




REAR ELEVATION



REAR ELEVATION



REAR ELEVATION

Scale: 1/8" = 1'-0"

LEGEND	
FIELD BRICK:	
ACCENT BRICK:	
MORTAR:	
GLAZING COLOR:	
GLASS FRAME COLOR:	

DATA SOURCES:  
EX. TOPOGRAPHY AND BOUNDARY SHOWN PER SURVEY BY MTPLS, INC. COMPILED IN APRIL, 2022.  
EX. SOILS SHOWN PER USDA SOIL SURVEY WEBSITE.  
EX. ENVIRONMENTAL FEATURES SHOWN PER FIELD INVESTIGATION BY ECO-SCIENCE PROFESSIONALS AND DATED SEPTEMBER, 2022.

Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

Development Design Consultants

OWNER:  
ELDERSBURG INVESTORS II LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

DEVELOPER:  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

SITE ADDRESS:  
371 - 411 LIBERTY ROAD  
ELDERSBURG, MD 21784

CONCEPT SITE DEVELOPMENT PLAN FOR  
BUSINESS PARK  
LIBERTY EXCHANGE II  
BUILDING A  
ELEVATIONS

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRN	REV	DATE

CO. FILE #: S-22-0038	DES. BY: LJC
TAX ACC. #: VARIOUS	DRN. BY: LJC
TAX MAP: 073	CHK. BY: JLM
BLOCK / GRID: 002	DATE: 5/3/24
PARCEL #: 3, 222, 702, 703	DDC JOB#: 21036.2
ZONE / USE: C-3	SHEET NUMBER:
DWG. SCALE: AS NOTED	21 of 24

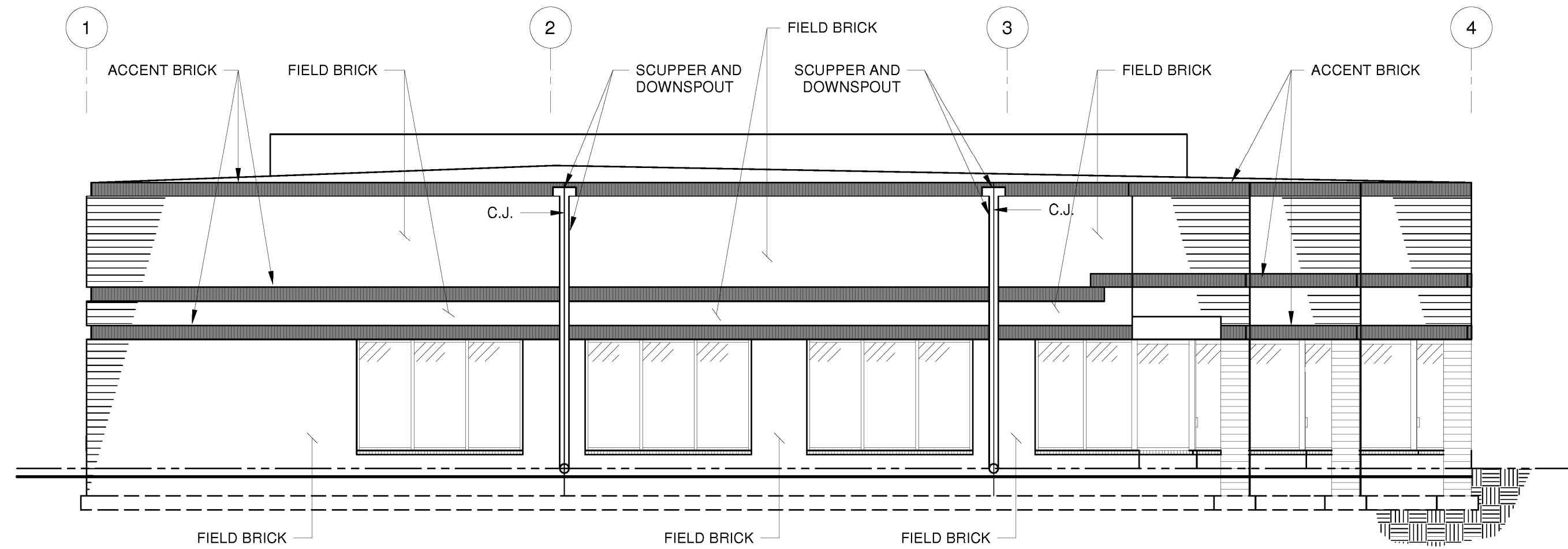
**morabito**  
consultants

Structural Engineers | Parking Consultants  
952 Ridgeway Rd Suite 1700  
Sparks, MD 21152-9472  
410.467.2377 | www.morabitoconsultants.com  
© Copyright Morabito Consultants, Inc.





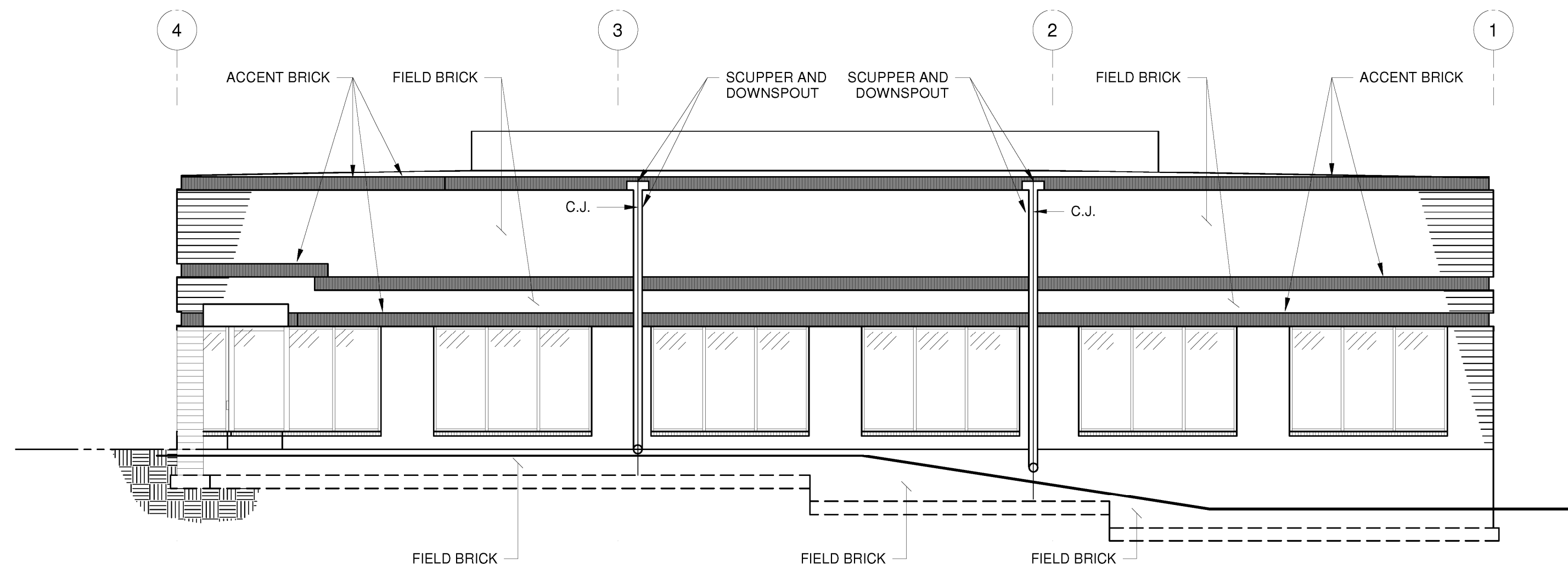
1 Liberty Exchange Monument Sign  
Scale: 1/4" = 1'-0"



LEFT SIDE ELEVATION

LEGEND	
FIELD BRICK:	
ACCENT BRICK:	
MORTAR:	
GLAZING COLOR:	
GLASS FRAME COLOR:	

DATA SOURCES:  
EX. TOPOGRAPHY AND BOUNDARY SHOWN PER  
SURVEY BY MTPLS, INC. COMPILED IN APRIL, 2022.  
EX. SOILS SHOWN PER USDA SOIL SURVEY WEBSITE.  
EX. ENVIRONMENTAL FEATURES SHOWN PER FIELD  
INVESTIGATION BY ECO-SCIENCE PROFESSIONALS AND  
DATED SEPTEMBER, 2022.



RIGHT SIDE ELEVATION

Scale: 1/8" = 1'-0"



Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

Development Design Consultants

OWNER:  
ELDERSBURG INVESTORS II LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

DEVELOPER:  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

SITE ADDRESS:  
371 - 411 LIBERTY ROAD  
ELDERSBURG, MD 21784

CONCEPT SITE DEVELOPMENT PLAN FOR  
BUSINESS PARK  
LIBERTY EXCHANGE II  
BUILDING A & SIGN  
ELEVATIONS

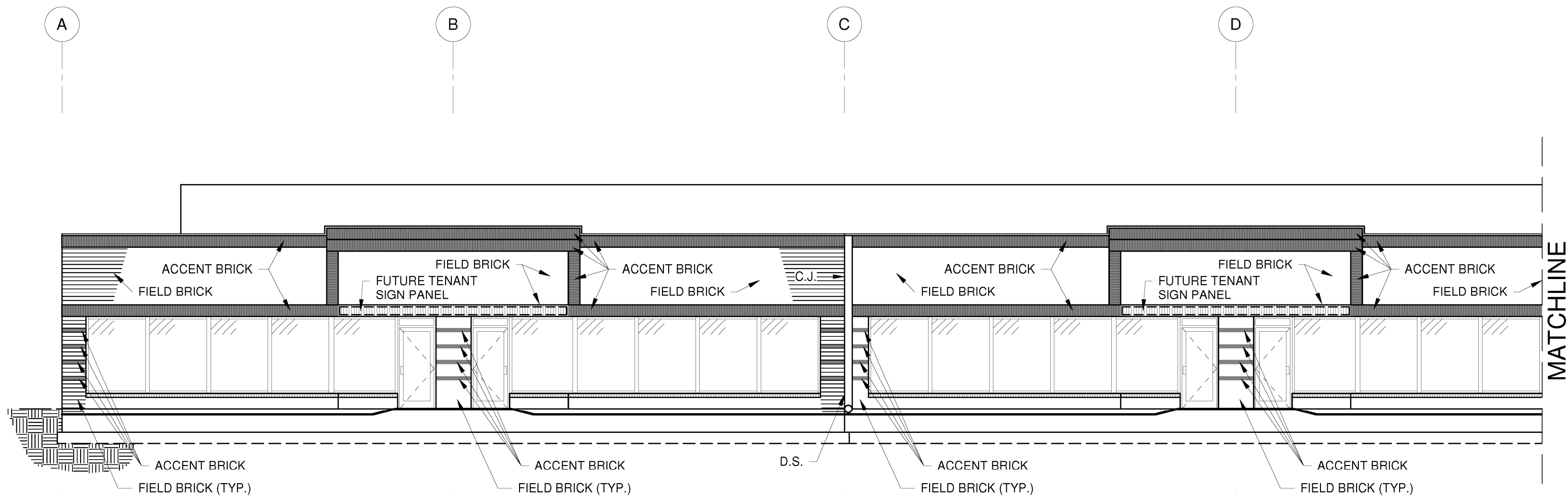
14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRN	REV	DATE
CO. FILE #:	S-22-0038	DES. BY:	LJC	
TAX ACC. #:	VARIOUS	DRN. BY:	LJC	
TAX MAP:	073	CHK. BY:	JLM	
BLOCK / GRID:	002	DATE:	5/3/24	
PARCEL #:	3, 222, 702, 703	DDC JOB#:	21036.2	
ZONE / USE:	C-3	SHEET NUMBER:	22 of 24	
DWG. SCALE:	AS NOTED			

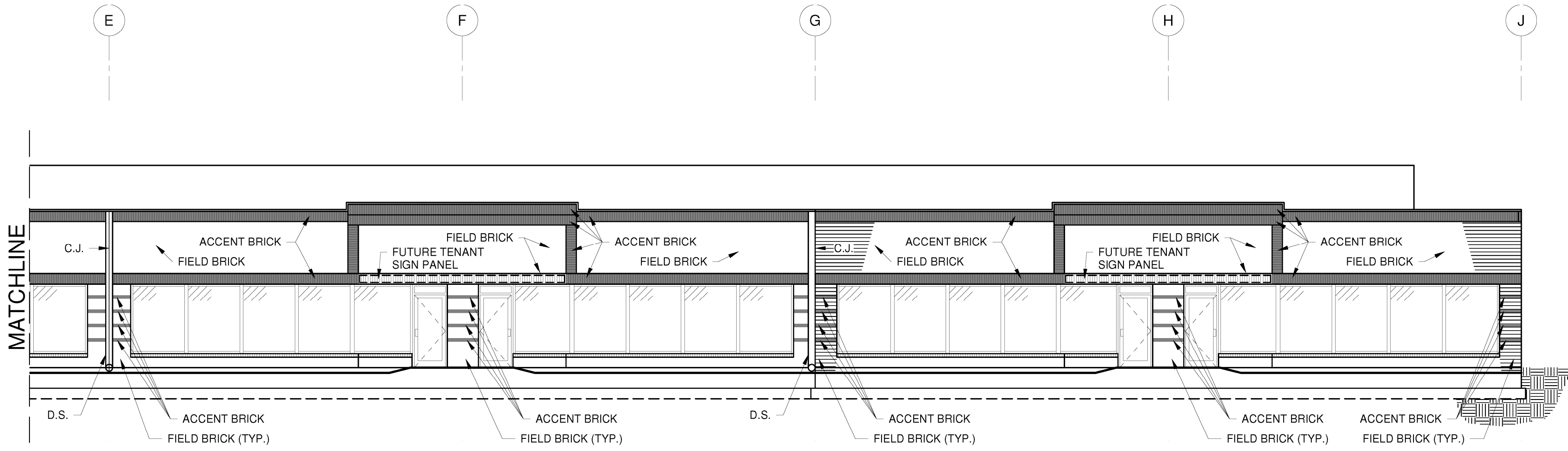


Structural Engineers | Parking Consultants  
952 Ridgebrook Rd | Suite 1700  
Sparks, MD 21152-9472  
410-467-2377 | www.morabitoconsultants.com  
© Copyright Morabito Consultants, Inc.

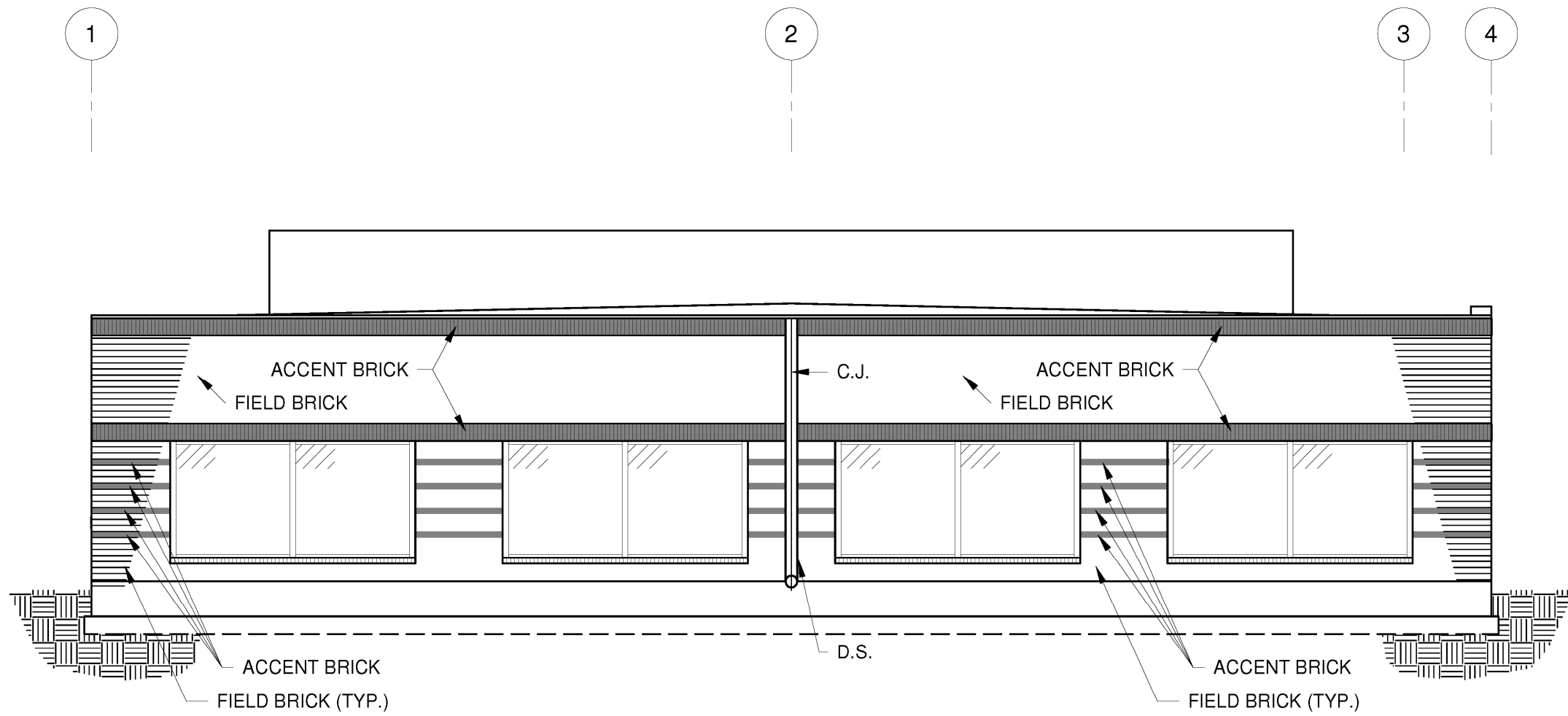




FRONT ELEVATION



FRONT ELEVATION



LEFT SIDE ELEVATION

Scale: 1/8" = 1'-0"

LEGEND	
FIELD BRICK:	
ACCENT BRICK:	
MORTAR:	
GLAZING COLOR:	
GLASS FRAME COLOR:	

DATA SOURCES:  
EX. TOPOGRAPHY AND BOUNDARY SHOWN PER SURVEY BY MTPLS, INC. COMPILED IN APRIL, 2022.  
EX. SOILS SHOWN PER USDA SOIL SURVEY WEBSITE.  
EX. ENVIRONMENTAL FEATURES SHOWN PER FIELD INVESTIGATION BY ECO-SCIENCE PROFESSIONALS AND DATED SEPTEMBER, 2022.



Development Design Consultants

Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

OWNER:  
ELDERSBURG INVESTORS II LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

DEVELOPER:  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

SITE ADDRESS:  
371 - 411 LIBERTY ROAD  
ELDERSBURG, MD 21784

CONCEPT SITE DEVELOPMENT PLAN FOR  
BUSINESS PARK  
LIBERTY EXCHANGE II  
BUILDING B  
ELEVATIONS

14TH ELECTION DISTRICT CARROLL COUNTY, MD

REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRN	REV	DATE
CO. FILE #:	S-22-0038	DES. BY:	LJC	
TAX ACC. #:	VARIOUS	DRN. BY:	LJC	
TAX MAP:	073	CHK. BY:	JLM	
BLOCK / GRID:	002	DATE:	5/3/24	
PARCEL #:	3, 222, 702, 703	DDC JOB#:	21036.2	
ZONE / USE:	C-3	SHEET NUMBER:	23 of 24	
DWG. SCALE:	AS NOTED			



Structural Engineers | Parking Consultants  
952 Ridgebrook Rd | Suite 1700  
Sparks, MD 21152-9472  
410.467.2377 | www.morabitoconsultants.com  
© Copyright Morabito Consultants, Inc.





Scale: 1/8" = 1'-0"

DATA SOURCES:  
EX. TOPOGRAPHY AND BOUNDARY SHOWN PER  
SURVEY BY MTPLS, INC. COMPILED IN APRIL, 2022.  
EX. SOILS SHOWN PER USDA SOIL SURVEY WEBSITE.  
EX. ENVIRONMENTAL FEATURES SHOWN PER FIELD  
INVESTIGATION BY ECO-SCIENCE PROFESSIONALS AND  
DATED SEPTEMBER, 2022.



Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC @ DDcInc.us  
www.DDcInc.us

---



**OWNER:**  
ELDERSBURG INVESTORS II LLC  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

**DEVELOPER:**  
ST. JOHN PROPERTIES, INC.  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
(410) 788-0100

**SITE ADDRESS:**  
371 - 411 LIBERTY ROAD  
ELDERSBURG, MD 21784

CONCEPT SITE DEVELOPMENT PLAN FOR  
BUSINESS PARK  
LIBERTY EXCHANGE II  
BUILDING B  
ELEVATIONS

4TH ELECTION DISTRICT		CARROLL COUNTY, MD	
REVISIONS			
NO.	DESCRIPTION OF CHANGES	DRN	REV. DATE
CO. FILE #: S-22-0038		DES. BY: LJC	
TAX ACC. #: VARIOUS		DRN. BY: LJC	
TAX MAP: 073		CHK. BY: JLM	
BLOCK / GRID: 002		DATE: 5/3/24	
PARCEL #: 3, 222, 702, 703		DCC JOB#: 21036.2	
ZONE / USE: C-3		SHEET NUMBER:	
DWG. SCALE: AS NOTED		24 of 24	

LEGEND	
FIELD BRICK:	
ACCENT BRICK:	
MORTAR:	
GLAZING COLOR:	
GLASS FRAME COLOR:	

**mc morabito consultants**

---

Structural Engineers | Parking Consultants  
952 Ridgebrook Rd | Suite 1700  
Sparks, MD 21152-9472  
410.467.2377 | [www.morabitoconsultants.com](http://www.morabitoconsultants.com)  
© Copyright Morabito Consultants, Inc.