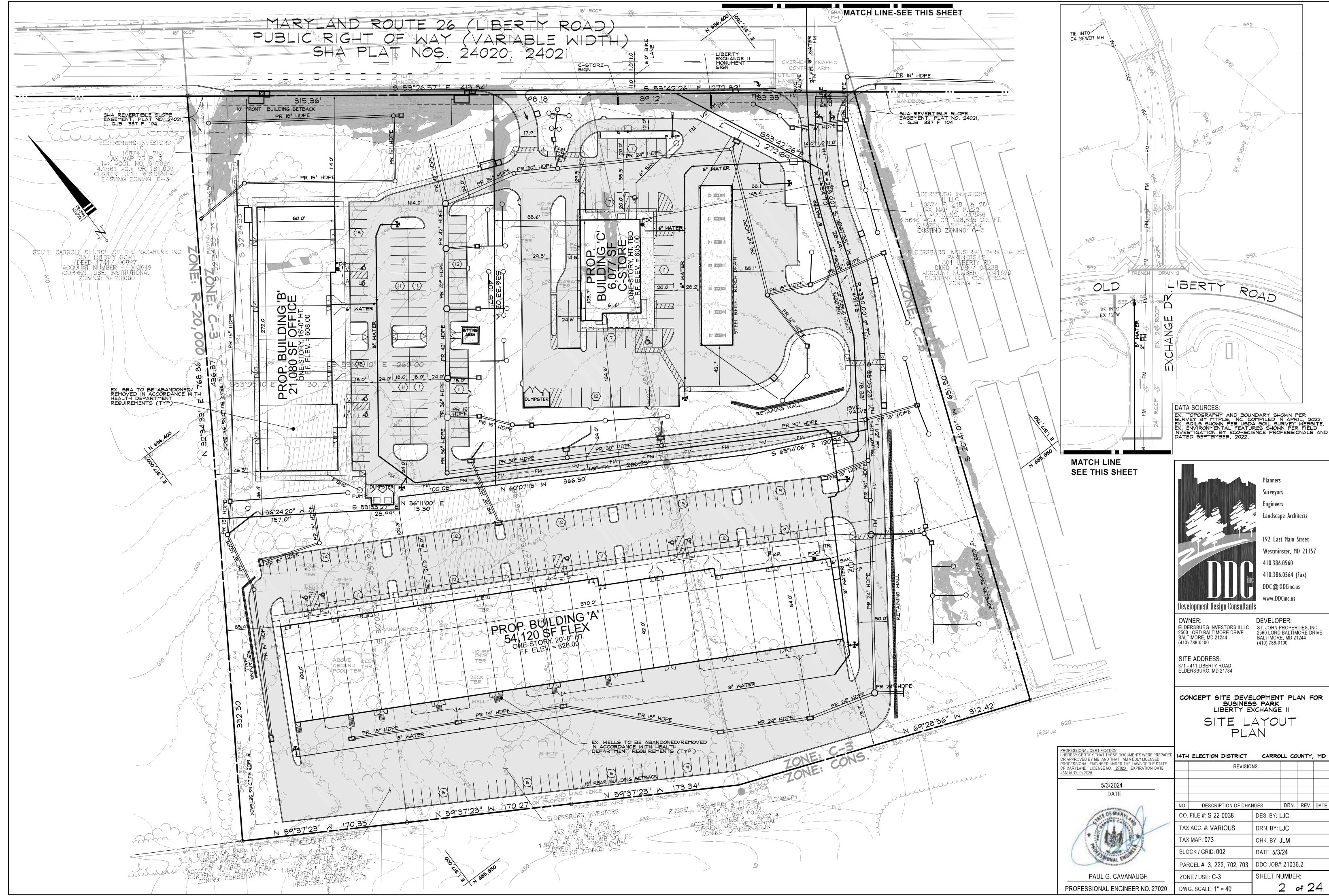
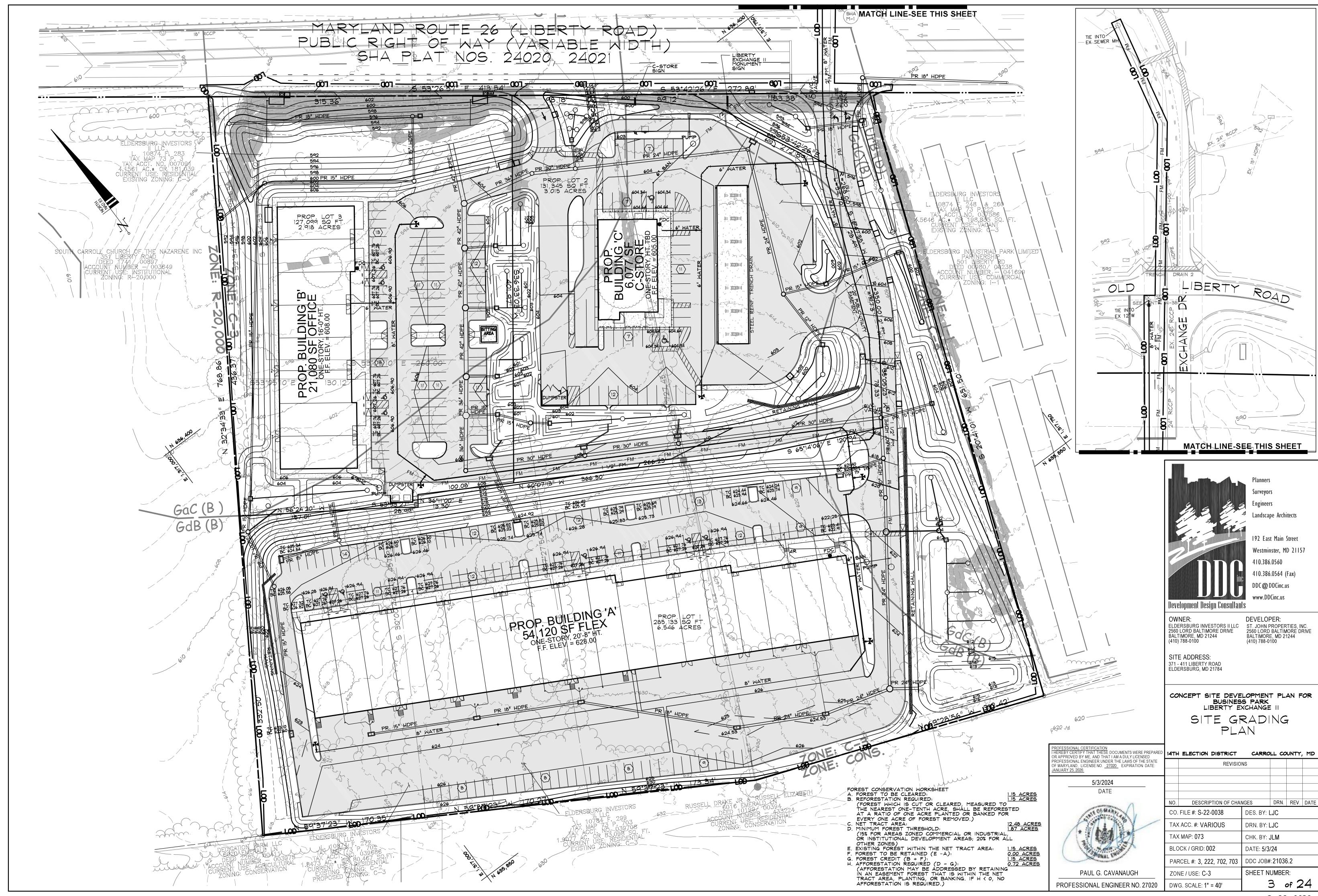
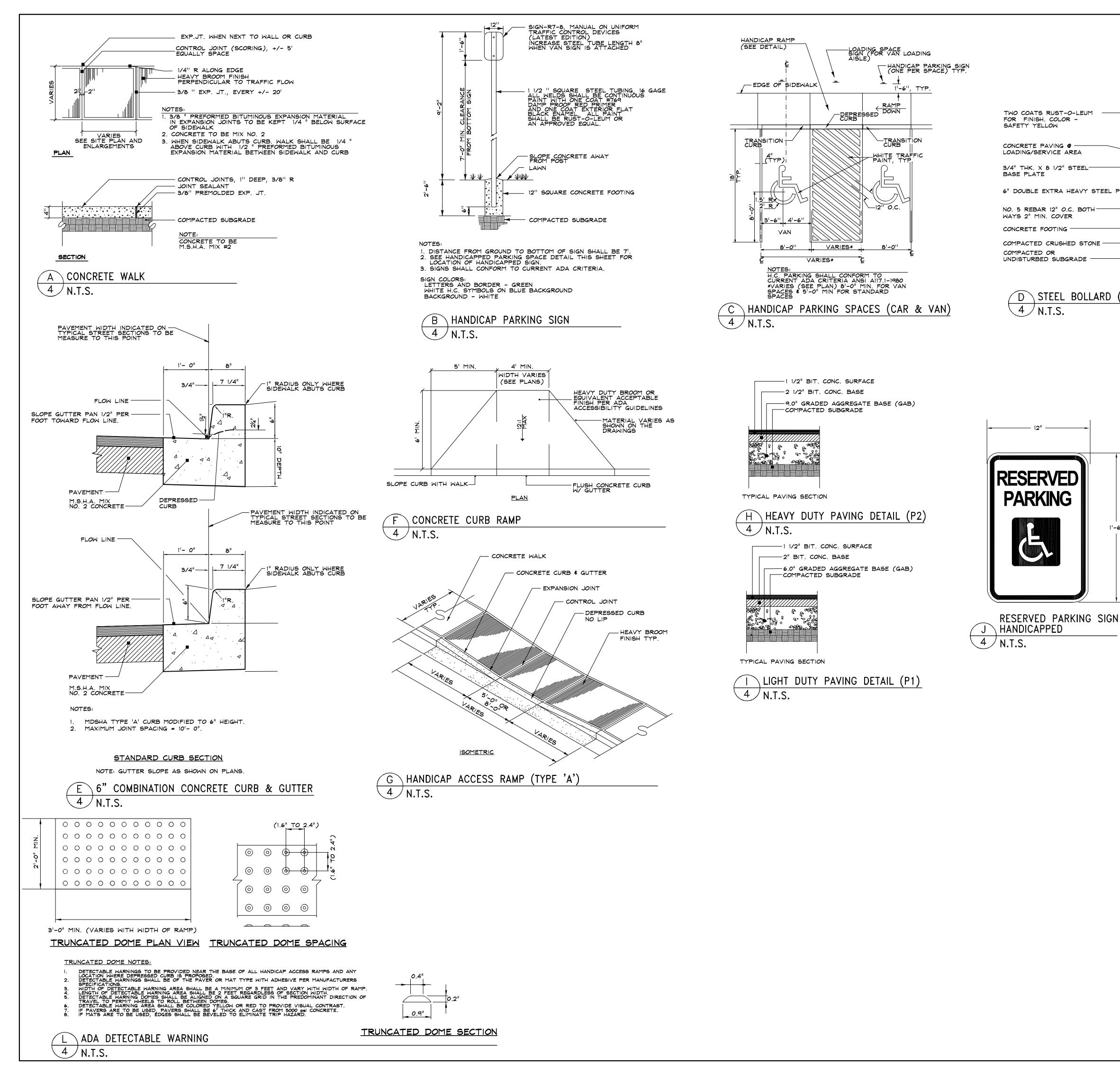
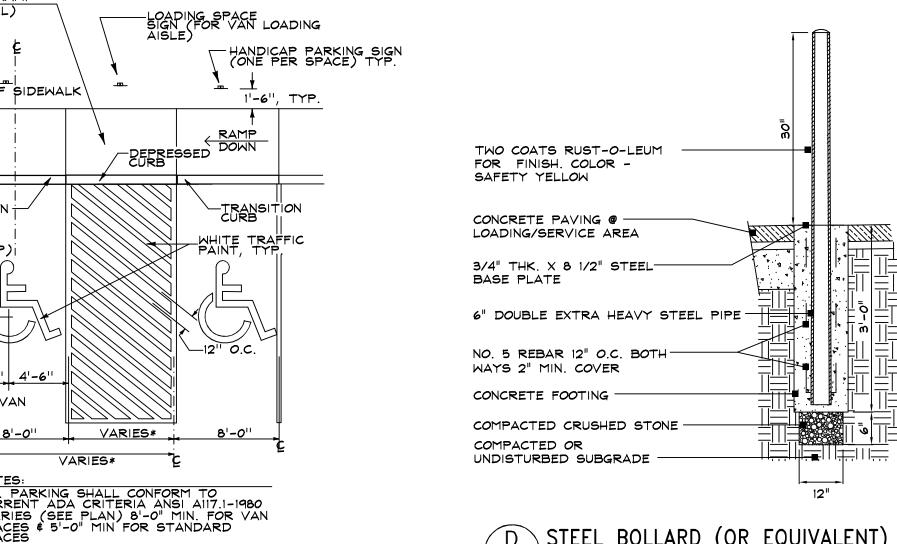
#### CONCEPT SITE DEVELOPMENT PLAN Existing Zoning: Commercial High Intensity District (C-3) Existing Use: Residential / Vacant Land Proposed use: Business Park Total Area of Site = 12.4788 ± AC. Total Area of Plan = 543,576 SF (12.48 ± AC.) The Property shown hereon is owned by Eldersburg Investors II, LLC, and is recorded in the Land Records of Carroll County as the following deeds: \* Liber 10874, Folio 248, dated July 26, 2022 between Trudy Mae Glass and Jeffrey E. Higdon, Trustees of the H. Carnie Fryfogle Marital Trust (grantors) and Eldersburg Higdon, Trustees of the H. Carnie Fryfogle Marital Trust (grantors) and Eldersburg Investors II LLC (grantee). \* Liber 10874, Folio 260, dated July 26, 2022 between between Trudy Mae Glass and Jeffrey E. Higdon, Trustees of the Estate of Gloria Mae Fryfogle (grantors) and Eldersburg Investors II LLC (grantee). \* Liber 10874, Folio 272, dated July 26, 2022 between between Dean G. Smith and Michelle L. Smith and Eldersburg Investors II LLC (grantee). \* Liber 10874, Folio 283 dated July 26, 2022 between between Deborah A. Stocksdale, Personal Representative of the Estate of Stanley C. Smith and Eldersburg Investors II LIBERTY EXCHANGE II Personal Representative of the Estate of Stanley C. Smith and Eldersburg Investors II LLC (grantee). \* Liber 10874, Folio 299 dated July 26, 2022 between between Larry B. Stocksdale and Deborah A. Stocksdale and Eldersburg Investors II LLC (grantee). The tax account numbers for the lots/parcels affected by these plans are 14-037586, 14-007091, 14-039078 \$ 14-039686. Tax Map 073, Grid 002, Parcel 3, 222, 702, 703. Property boundary is shown per field survey. Existing topography shown per field survey by MTPLS, Inc. Topography was most recently updated in 2022. Location of nearest water supply available for fire protection are existing hydrants located on Liberty Road. Additional hydrants are proposed on site as part of this Site Development Plan to address fire protection requirements. BUSINESS PARK PARCELS 3, 222, 702 \$ 703 CARROLL COUNTY, MD. TAX MAP# 73, GRID# 002, ELECTION DISTRICT: 14 to address fire protection requirements. The locations of existing utilities shown hereon are approximate only. Contractor shall verify the existence, location, and depth of any existing utilities and shall notify the engineer of any discrepancies prior to beginning work. The contractor shall notify "Miss Utility" at 1-800-257-7777 three (3) working days prior to **VICINITY MAP** OWNER ADDRESS DEVELOPER ADDRESS SITE ADDRESS ELDERSBURG INVESTORS II LLC. ST. JOHN PROPERTIES INC. 371, 373 \$ 411 LIBERTY ROAD SCALE: 1" = 2000' 2560 LORD BALTIMORE DRIVE 2560 LORD BALTIMORE DRIVE ELDERSBURG, MD 21784 BALTIMORE, MD 21244 BALTIMORE, MD 21244 (410) 788-0100 (410) 788-0100 SHEET INDEX DRAWING TITLE COVER SHEET North (sFT) 637754.26 635614.06 2 SITE LAYOUT PLAN LST INC, C/O ST JOHN PROPERTIES EXCHANGE DRIVE / STIMELY, WILLIAM & LYNDA L. MAP 68 BLOCK 20 PARCEL 189 5710 MEYERFIELD CT. "ATHENS" 3 SITE GRADING PLAN There are no existing wetlands, streams and associated buffers on site. The site is approximately 9,646' from the nearest production well. DEED 1081/ 0065 ACCOUNT NUMBER - 057617 CURRENT USE: COMMERCIAL ZONING: I-1 4 SITE DETAIL SHEET The site is approximately 9,646' from the nearest production well. No construction vehicles, contractor or private, or construction materials or equipment may be parked, placed or stored within any public right of way. UNDERGROUND TANK NOTE: If any underground tanks are encountered on site during construction, the Contractor shall immediately notify the Maryland Department of the Environment and the Carroll County Bureau of Resource Management. The Contractor shall remove the tanks in accordance with MDE procedures. Entrance construction is subject to inspection and approval by the Carroll County Department of Public Works, Construction Inspection Division. Contractor is responsible to notify that office at 410-386-2157 a minimum of three working days prior to beginning work in or along any public road. ACCOUNT NUMBER - 050086 5 SITE DETAIL SHEET L/F 5599/255 ZONE: R-40,000 6 SEDIMENT AND EROSION CONTROL PLAN 7 SEDIMENT AND EROSION CONTROL PLAN 8 SEDIMENT AND EROSION CONTROL PLAN MARYLAND ROUTE 26 (LIBERTY ROAD) PUBLIC RIGHT OF WAY (VARIABLE WIDTH) SHA PLAT NOS. 24020, 24021 9 SEDIMENT AND EROSION CONTROL PLAN 10 SEDIMENT AND EROSION CONTROL PLAN public road. 21. Contractor shall notify Carroll County Bureau of Utilities at 410-386-2164 at least 48 hours prior to beginning any work on public water or sewer within county right-of-way or easements. 22. If the proposed use of any building is to include the storage or use of regulated substances, the requirements of Chapter 154, Water Resource Management of the Carroll County Code of Public Local Laws and Ordinances must be addressed. EXCHANGE DRIVE 11 SEDIMENT AND EROSION CONTROL PLAN DEED 1081/ 0065 ACCOUNT NUMBER - 057617 CURRENT USE: COMMERCIAL/IND ZONING: I-1 12 STORMWATER MANAGEMENT PLAN 13 STORMWATER MANAGEMENT PLAN 14 STORMWATER MANAGEMENT PLAN 15 STORMWATER MANAGEMENT PLAN 16 STORMWATER MANAGEMENT PLAN 17 STORMWATER MANAGEMENT PLAN ELDERSBURG INVESTORS — 18 LIGHTING PLAN & DETAILS II LLC L. 10874 F. 283 TAX MAP 73 P. 3 SITE COMPLIANCE CHECKLIST - ELDERSBURG INVESTORS 19 LANDSCAPE PLAN Contractor shall notify the Carroll County Bureau of Permits and Inspections at 410-386-2674, 20 ARCHITECTURAL ELEVATIONS at least one (1) day prior to beginning any work. Site Compliance Inspections are required at the following stages during construction: 248 & 260 L. 10874 F. 21 ARCHITECTURAL ELEVATIONS TAX MAP 73 P.222 TAX ACCT. NO. 037586 CURRENT USE: RESIDENTIAL ZONING: C-3 22 ARCHITECTURAL ELEVATIONS Proposed structures staked out in proper locations as shown on these approved plans. Proposed foundations installed for all buildings shown on these approved plans. 4.5646 AC.± OR 198,835 SQ. FT. 23 ARCHITECTURAL ELEVATIONS CURRENT USE: VACANT ZONING: C-3 Sub-grades established for all drives, parking lots, and surrounding grading. Completion of all drives, parking lots, and surrounding grading. Completion of all work shown on plan. (3) (3) 24 ARCHITECTURAL ELEVATIONS It is the Contractor's responsibility to contact the Carroll County Bureau of Permits and Inspections at 410-386-2674 upon completion of each phase of construction. Contractor shall notify Carroll County Bureau of Resource Management, Environmental Inspection Services Division at 410-386-2210 prior to beginning any work. All forest conservation plan devices must be in place prior to any construction. Final landscaping inspection shall be arranged through the Bureau of Resource Management, Environmental Inspection Services Division at 410-386-2210 by the contractor/developer or agent. Written approval from the Landscape Review Specialist, Bureau of Resource Management must be obtained for any deviations from the landscaping or forest conservation plans or modifications in the plant material. SOUTH CARROLL CHURCH OF THE NAZARENE INC 351 LIBERTY ROAD EX. TOPOGRAPHY AND BOUNDARY SHOWN PER SURVEY BY MTPLS, INC. COMPILED IN APRIL, 2022. EX. SOILS SHOWN PER USDA SOIL SURVEY WEBSITE. EX. ENVIRONMENTAL FEATURES SHOWN PER FIELD INVESTIGATION BY ECO-SCIENCE PROFESSIONALS AND DEED 1741/ 00897 ACCOUNT NUMBER - 003649 CURRENT USE: INSTITUTIONAL ZONING: R-20,000 The contractor shall not proceed to the next phase of construction until given approval of prior SPECIMEN TREE SUMMARY CONSTRUCTION OF THE PROJECT WILL RESULT IN THE REMOVAL OF ALL SEVEN (7) SPECIMEN TREES PRESENT ON THE PROJECT SITE. THREE OF THE TREES TO BE IMPACTED ARE Surveyors NON-NATIVE, INVASIVE NORWAY MAPLES (ACER PLATANOIDES) IN FAIR OR POOR CONDITION. A FOURTH TREE, A 64-INCH DIAMETER AT BREAST HEIGHT (DBH) SILVER MAPLE (ACER ELDERSBURG PARK REALTY LLC 501 LIBERTY RD SACCHARINUM), IS IN VERY POOR CONDITION, WITH MOST OF THE TREE DEAD. THE REMAINING THREE TREES TO BE IMPACTED INCLUDE A 46-INCH DBH AMERICAN SYCAMORE (PLATANUS DEED 11060/403 ACCOUNT NUMBER – 041699 CURRENT USE: INDUSTRIAL ZONING: I-1 OCCIDENTALIS) IN GOOD CONDITION; A 32-INCH DBH SILVER MAPLE IN GOOD CONDITION, AND A 33-INCH DBH SILVER MAPLE IN GOOD CONDITION. THE APPLICANT PROPOSES TO MITIGATE FOR IMPACTS TO THE THREE NATIVE TREES IN GOOD CONDITION THOUGH PURCHASE OF 0.555 ACRES OF PLANTING CREDIT IN A CARROLL COUNTY-APPROVED FOREST MITIGATION BANK. 192 East Main Street ELDERSBURG INVESTORS— L. 10874 F. 272 TAX MAP 73 P. 702 TAX ACCT. NO. 039686 1.8473 AC.± OR 80,467 SQ. FT CURRENT USE: RESIDENTIAL Westminster, MD 21157 STORMWATER MANAGEMENT NOTE 410.386.0560 STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE CARROLL COUNTY POLICY FOR STORMWATER MANAGEMENT, AS SPECIFIED IN CHAPTER 151.015 THE CARROLL COUNTY CODE. THE STORMWATER FROM THIS SITE DRAINS INTO AN EXISTING STORM DRAIN LINE IN LIBERTY ROAD. ACCORDINGLY, THE 50-YEAR STORM WILL BE MANAGED THROUGH A COMBINATION OF BIO-SWALES, SAND FILTERS, MICRO-BIORETENTION FACILITIES AND FILTERRAS. 410.386.0564 (Fax) 6.546 ACRES ADDRESS CHART LOT/BLDG ADDRESS evelopment Desian Consultants THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH CARROLL COUNTY TO BE DETERMINED DEPARTMENT OF PUBLIC WORKS DESIGN MANUAL - VOLUME 1 ROAD AND STORM DEVELOPER: TO BE DETERMINED FOR THE ACCURACY OF ALL DATA AND MODIFICATIONS FOR CONSTRUCTION. LDERSBURG INVESTORS II LLC ST. JOHN PROPERTIES, INC. RUSSELL DRAKE JR & RUSSELL ELIZABETH 6016 EMERALD LN TO BE DETERMINED 560 LORD BALTIMORE DRIVE 2560 LORD BALTIMORE DRIVE -ELDERSBURG INVESTORS BALTIMORE, MD 21244 BALTIMORE, MD 21244 DEED 10199/ 00394 410) 788-0100 (410) 788-0100 ACCOUNT NUMBER — 433224 CURRENT USE: RESIDENTIAL ZONING: CONSERVATION DEDICATION FARM LLC TRIP GENERATION ANALYSIS TAX MAP 73 P. 703 TAX ACCT. NO. 039708 CARROLL COUNTY HEALTH DEPARTMENT 6020 EMERALD LN SITE ADDRESS: DEED 2285/ 00411 CCOUNT NUMBER - 003975 APPROVAL 371 - 411 LIBERTY ROAD BUSINESS PARK (770) IN OUT IN OUT CURRENT USE: AGRICULTURAL ELDERSBURG, MD 21784 75.200 KSF ZONING: CONSERVATION CARROLL COUNTY PLANNING AND ZONING CONVENIENCE STORE/GAS STATION (945) COMMISSION APPROVAL 6,077 KSF/VFP (9-15) 172 171 165 163 195 194 CARROLL COUNTY DEPT. OF PUBLIC WORKS ESS PASS-BY TRIPS <u>SITE OVERVIEW</u> 124 124 CONCEPT SITE DEVELOPMENT PLAN FOR FOR UTILITIES NET NEW TRIPS BUSINESS PARK DATE: \_ SCALE 1" = 100' LIBERTY EXCHANGE II NEW PEAK HOUR TRIPS 71 126 CARROLL COUNTY DEPARTMENT OF PUBLIC COVER FOREST CONSERVATION SUMMARY SOURCE: INSTITUTE OF TRANSPORTATION ENGINEERS', TRIP GENERATION MANUAL, 11TH EDITION WORKS FOR BUREAU OF ENGINEERING ITE PASS-BY RATES = 76% AM, 75% PM, 75% SAT THE AFFORESTATION THRESHOLD FOR THE PROJECT SITE IS 1.87 ACRES (12.48 ACRES imescertify that this plan of Sediment Control is designed with my personal 15 PERCENT). THE EXISTING 1.15 ACRES OF FOREST PRESENT ON THE PROJECT SITE DRAWING LEGEND FALLS 0.72 ACRES BELOW THE AFFORESTATION THRESHOLD. THE DEVELOPER WILL knowledge of the site condition and has been designed to the Standards PROVIDE 0.72 ACRES OF AFFORESTATION TO MEET THIS OUTSTANDING AFFORESTATION and specifications adopted by the Carroll County Soil Conservation EXISTING MINOR CONTOUR (2' INTERVAL) PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED 14TH ELECTION DISTRICT CARROLL COUNTY, MD OBLIGATION. CONSTRUCTION OF THE PROJECT WILL RESULT IN THE REMOVAL OF ALL 1.15 SOIL CONSERVATION DISTRICT ACRES OF ONSITE FOREST. THE FOREST ONSITE IS A DISTURBED PIONEER COMMUNITY IN EXISTING MAJOR CONTOUR (10' INTERVAL) The Development Plan is approved for Soil Erosion and Sediment Control FAIR TO POOR CONDITION. THE DEVELOPER WILL PROVIDE 1.15 ACRES OF REFORESTATION ROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE by the Soil Conservation District. ADJACENT PROPERTY LINE REVISIONS TO ADDRESS THIS FOREST CLEARING. THE TOTAL PLANTING OBLIGATION FOR THE OF MARYLAND, LICENSE NO. 27020 EXPIRATION DATE: PROJECT (AFFORESTATION + REFORESTATION) IS 1.87 ACRES. THE DEVELOPER JANUARY 25, 2026. - EXISTING PROPERTY BOUNDARY APPROVED CARROLL S.C.D. PROPOSES TO MEET THIS PLANTING OBLIGATION THROUGH PURCHASE OF 1.87 ACRES OF PROPOSED ORNAMENTAL TREE PROPOSED SHADE TREE PROPOSED EVERGREEN TREE EX. ROAD / EDGE OF PAVING PLANTING CREDIT IN A CARROLL COUNTY-APPROVED FOREST MITIGATION BANK. 5/3/2024 ENGINEER SEX. 8 S. S. SEWER LINE & MANHOLES, CLEAN-OUTS SWM EASEMENT A "STORMWATER MANAGEMENT EASEMENT AND MAINTENANCE AGREEMENT" IS TO BE GRANTED TO THE COUNTY COMMISSIONERS OF CARROLL COUNTY AS AN EASEMENT OF ACCESS TO THE COUNTY COMMISSIONERS OR AUTHORIZED REPRESENTATIVES BY A DEED INTENDED TO BE RECORDED SIMULTANEOUSLY HEREWITH. DATE OWNER'S CERTIFICATION - EX. OVERHEAD ELECTRIC & UTILITY POLES DRN. REV. DATI PROPOSED MINOR CONTOUR (2' INTERVAL) DESCRIPTION OF CHANGES PROPOSED STORM DRAIN W/ certify that this plan of Sediment Control will be implemented to the fullest WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE PROPOSED MAJOR CONTOUR (10' INTERVAL) WATER RESOURCE MANAGEMENT NOTES 1. THIS PROPERTY DOES NOT FALL WITHIN A TIER II WATERSHED. 2. THE PROPERTY IS SUBJECT TO THE FOLLOWING REQUIREMENTS OF THE WATER RESOURCE MANAGEMENT MANUAL: SURFACE WATERSHED AREA. extent, and all structures will be installed to the design and specifications as CO. FILE #: S-22-0038 DES. BY: LJC ONSTRUCTION DRAWING(S) HAS BEEN REVIEWED BY ME/US AND THAT IWE spelled out in this plan and that any responsible personnel involved in PROP. STANDARD CURB & GUTTER A JELY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND TAX ACC. #: VARIOUS PROP. DEPRESSED/FLUSH CURB & GUTTER/PROP. REVERSE/DEPRESSED/FLUSH CURB & GUTTER construction project will have a certification of attendance at a Department HAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE DRN. BY: **LJC** PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL of Natural Resources approved training program for the control of sediment PROPOSED PRIVATE ROAD/DRIVE CENTERLINE REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROL TAX MAP: **073** CHK. BY: **JLM** PARKING TABULATION - STANDARD ZONING (ALL LOTS) and erosion before beginning this project. I also authorize periodic on-site PROPOSED SEWER AND MANHOLES COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE EX. BUILDING evaluation by the Carroll Soil Conservation District Personnel and PARKING REQUIRED: 285 SPACES PROPOSED ELECTRIC TRANSFORMER BLOCK / GRID: **002** PROPOSED BUILDING EXPANSION cooperating agencies. BUSINESS PARK: 54,120 SF FLEX + 6,077 GAS/CONVENIENCE + 21,080 SF OFFICE = 81,277 SF 81,277 TOTAL SF x 3.5 SP PER 1,000 SF = 285 SPACES PROPOSED SPOT ELEVATION \$ FLOW ARROW PROPOSED GAS METER PARCEL #: 3, 222, 702, 703 | DDC JOB#: 21036.2 PROPOSED LIGHT FIXTURE SIGNATURE PROPOSED FENCE(S) - OVERDRAIN PAUL G. CAVANAUGH SHEET NUMBER: ZONE / USE: C-3 STEEP SLOPES 25%+ INCLUDES 11 ACCESSIBLE PARKING SPACES (9 VAN SPACES) of 24 LIMITS OF DISTURBANCE NAME(S) PRINTED OWNER / DEVELOPER DWG. SCALE: 1" = 100' PROFESSIONAL ENGINEER NO. 27020



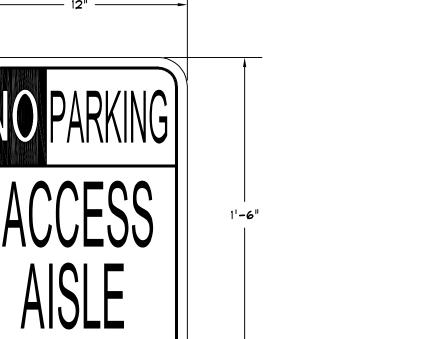




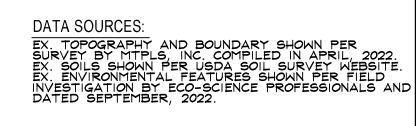


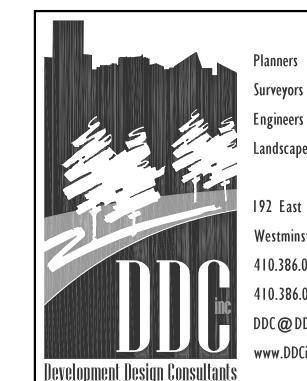
D STEEL BOLLARD (OR EQUIVALENT)





NO PARKING SIGN @ K VAN ACCESS AISLE





192 East Main Street Westminster, MD 21157 410.386.0560 410.386.0564 (Fax) DDC @ DDCinc.us

OWNER: ELDERSBURG INVESTORS II LLC 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244

DEVELOPER: ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 (410) 788-0100

SITE ADDRESS: 371 - 411 LIBERTY ROAD ELDERSBURG, MD 21784

DWG. SCALE: AS NOTED

(410) 788-0100

CONCEPT SITE DEVELOPMENT PLAN FOR BUSINESS PARK LIBERTY EXCHANGE II SITE DETAIL

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
OR APPROVED BY ME, AND THAT I AM A DULY LICENSED

14TH ELECTION DISTRICT CARROLL COUNTY, MD PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE REVISIONS OF MARYLAND, LICENSE NO. 27020 EXPIRATION DATE: JANUARY 25, 2026. 5/3/2024 DATE

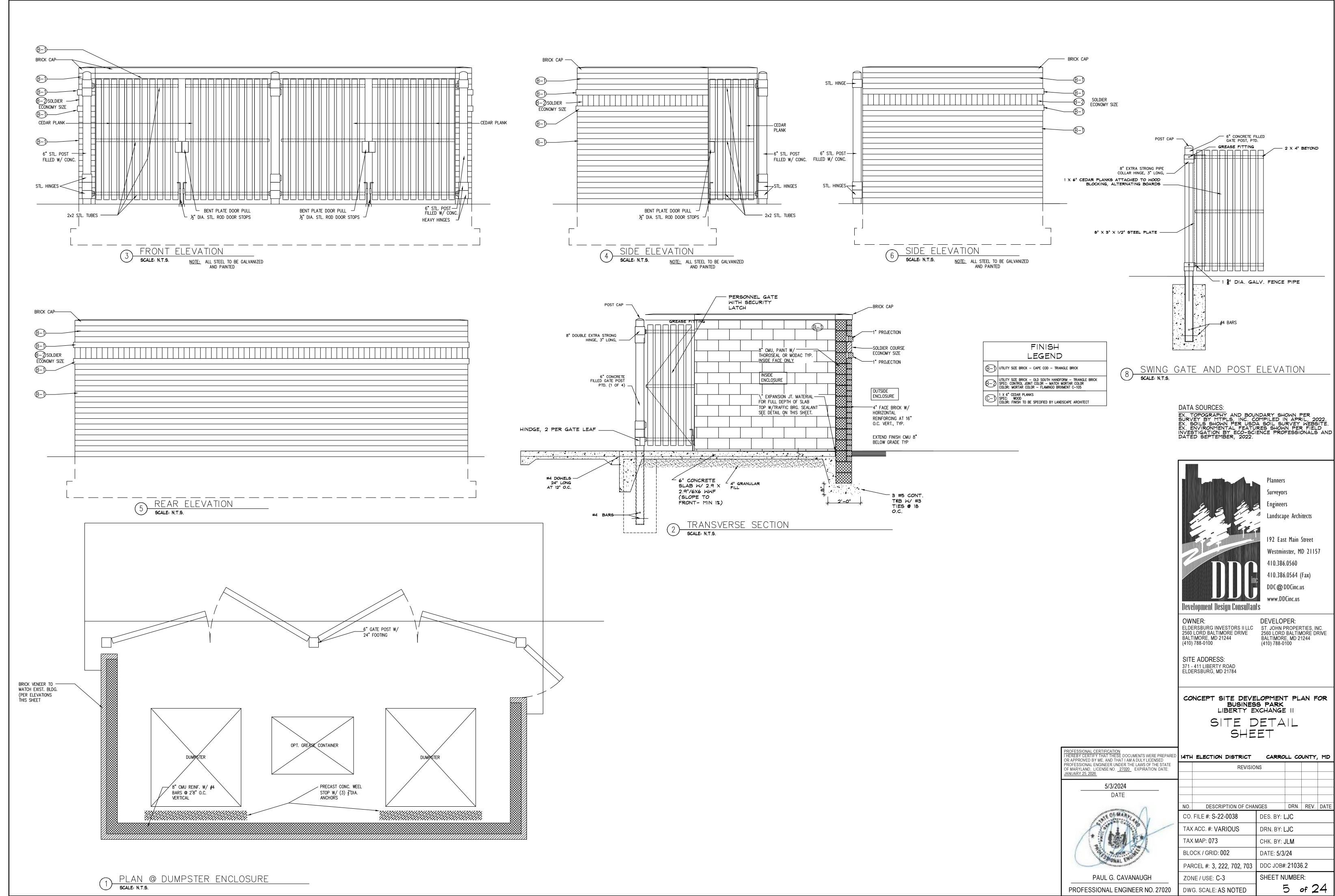
PAUL G. CAVANAUGH

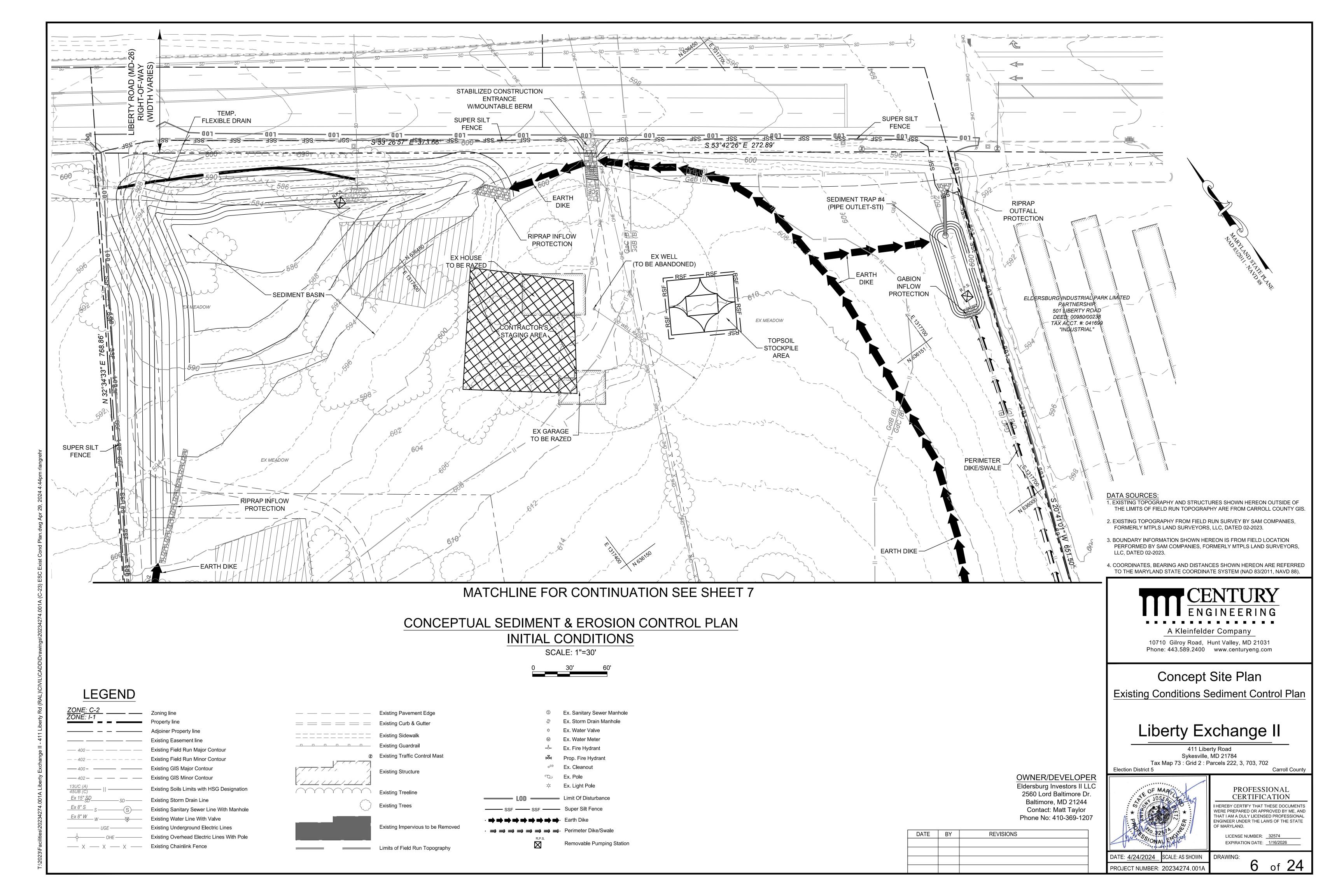
PROFESSIONAL ENGINEER NO. 27020

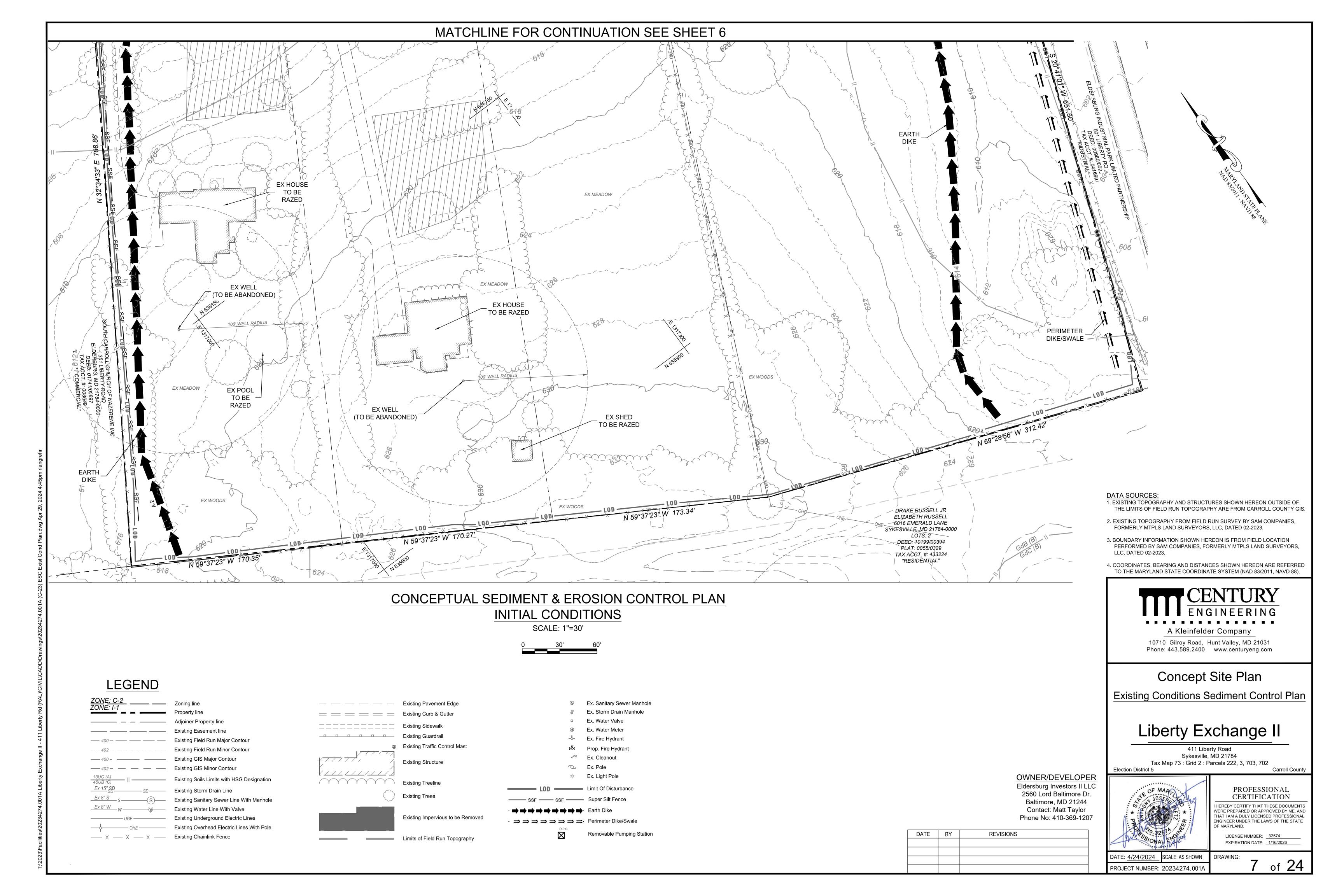
DRN. REV. DATE DESCRIPTION OF CHANGES CO. FILE #: S-22-0038 DES. BY: **LJC** TAX ACC. #: VARIOUS DRN. BY: LJC TAX MAP: 073 CHK. BY: JLM BLOCK / GRID: 002 DATE: 5/3/24 PARCEL #: 3, 222, 702, 703 | DDC JOB#: 21036.2 SHEET NUMBER: ZONE / USE: C-3

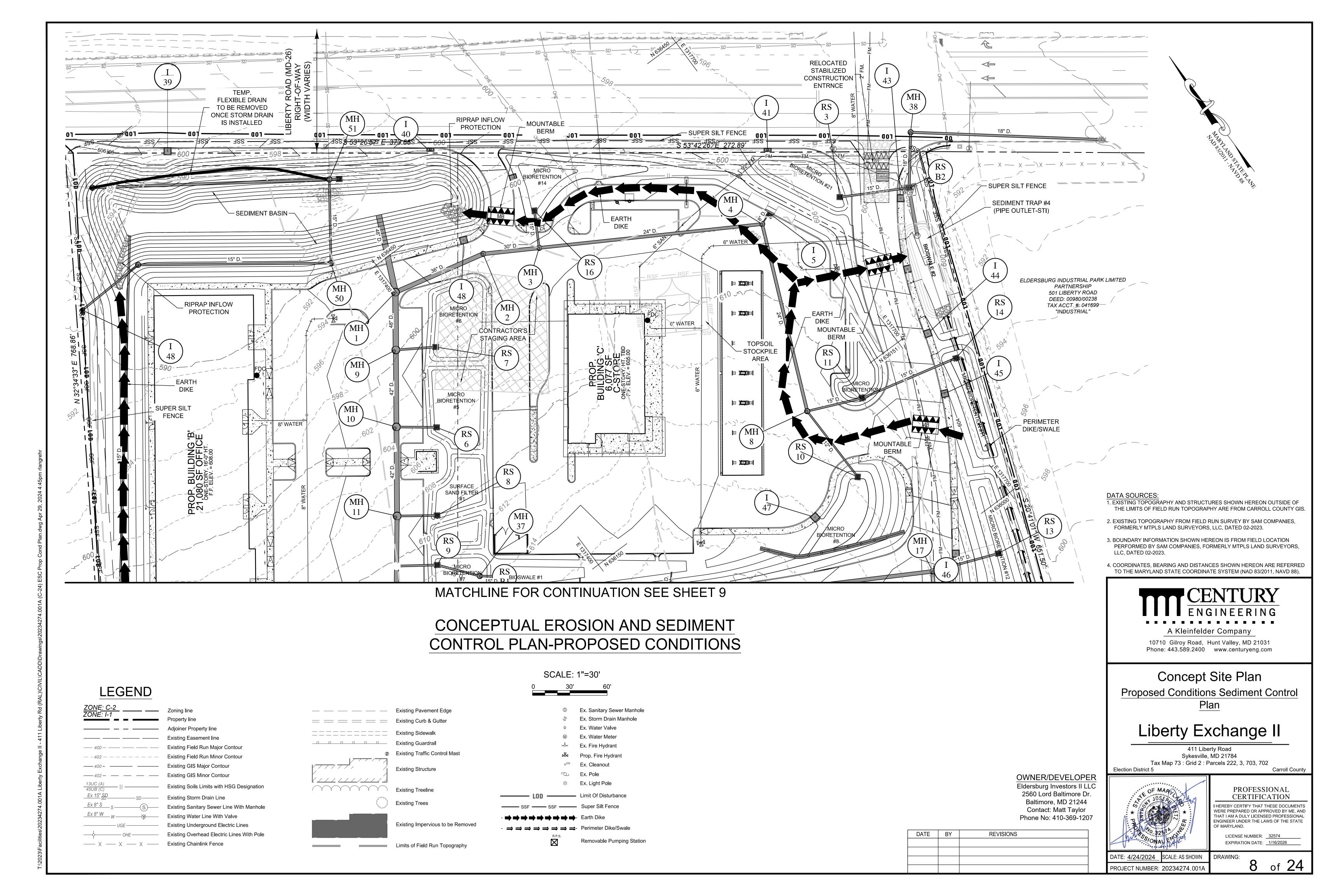
5-22-0038

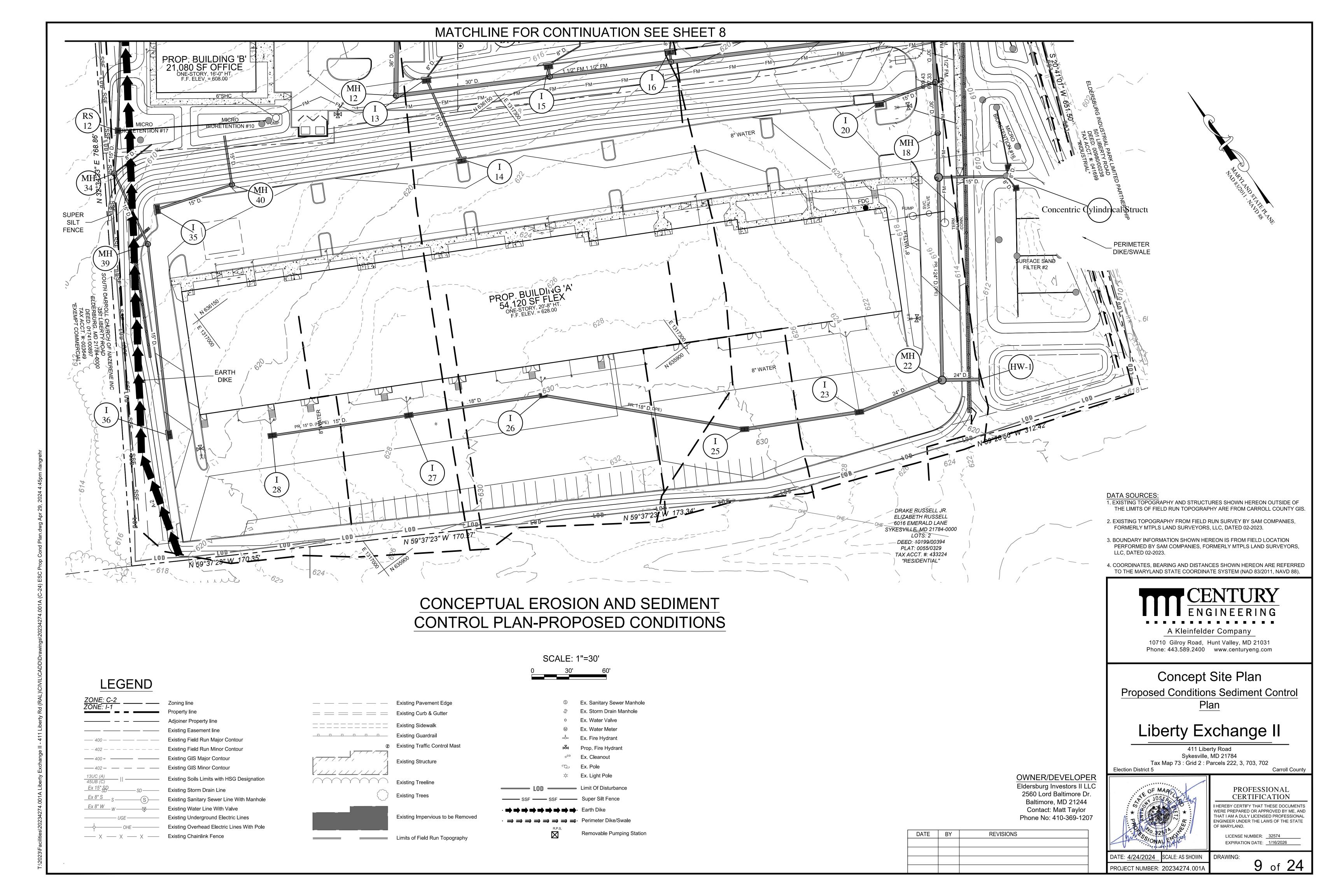
4 of 24











Using vegetation as cover to protect exposed soil from erosion

To promote the establishment of vegetation on exposed soil

CONDITIONS WHERE PRACTICE APPLIES On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization.

#### EFFECTS ON WATER QUALITY AND QUANTITY

Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.

Vegetation will help reduce the movement of sediment, nutrients, and other chemical carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.

SEDIMENT CONTROL PRACTICES MUST REMAIN IN PLACE DURING GRADING, SEEDBED PREPARATION, SEEDING, MULCHING, AND VEGETATIVE ESTABLISHMENT.

#### ADEQUATE VEGETATIVE ESTABLISHMENT

Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.

- 1. Adequate vegetative stabilization requires 95 percent groundcover. 2. If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed
- 3. If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified. 4. Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

### **B-4-1 STANDARDS AND SPECIFICATIONS**

## **INCREMENTAL STABILIZATION**

Establishment of vegetative cover on cut and fill slopes

To provide timely vegetative cover on cut and fill slopes as work progresses

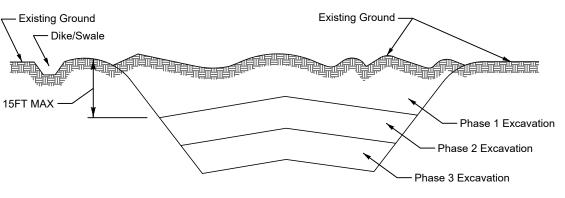
**CONDITIONS WHERE PRACTICE APPLIES** Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

. Incremental Stabilization - Cut Slopes 1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on

- all cut slopes as the work progresses. 2. Construction sequence example (Refer to Figure B.1):
- a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation. Perform Phase I excavation, prepare seedbed, and stabilize.
- Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
- d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

NOTE: ONCE EXCAVATION HAS BEGUN, THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY

INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.



### Figure B.1: Incremental Stabilization - Cut

- 3. Incremental Stabilization Fill Slopes 1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on 2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet or when the grading operation ceases as prescribed
  - 3. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it
  - down the slope in a non-erosive manner 4. Construction sequence example (Refer to Figure B.2):
  - a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area. b. At the end of the day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey
  - it down the slope in a non-erosive manner Place Phase 1 fill, prepare seedbed, and stabilize.
  - Place Phase 2 fill, prepare seedbed, and stabilize.

Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

NOTE: ONCE THE PLACEMENT OF FILL HAS BEGUN, THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

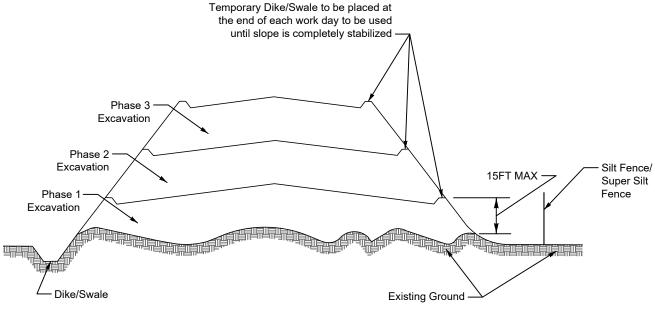


Figure B.2: Incremental Stabilization - Fill

### **B-4-2 STANDARDS AND SPECIFICATIONS**

# FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

The process of preparing the soils to sustain adequate vegetative stabilization

To provide a suitable soil medium for vegetative growth.

CONDITIONS WHERE PRACTICE APPLIES Where vegetative stabilization is to be established

#### CRITERIA

#### A. Soil Preparation

- Temporary Stabilization a. Seed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After soil is loosened, it must not be rolled or dragged smooth but left in roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
- Apply fertilizer and lime as prescribed on the plans. c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means

#### 2. Permanent Stabilization

- a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are: Soil pH between 6.0 to 7.0.
- Soluble salts less than 500 parts per million (ppm).
- iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable
- iv. Soil contains 1.5 percent minimum organic matter by weight. Soil contains sufficient pore space to permit adequate root penetration.
- Application of amendments or topsoil is required if on-site soils do not meet the above conditions. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise
- loosened to a depth of 3 to 5 inches. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
- e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening
- 1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants,
- and/or unacceptable soil gradation. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in representative soil profile section in the Soil Survey published by USDA-NRCS.
- 3. Topsoiling is limited to areas having 2:1 or flatter slopes where:

may be unnecessary on newly disturbed areas.

- The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of
- moisture and plant material. The original soil to be vegetated contains material toxic to plant growth.
- d. The soil is so acidic that treatment with limestone is not feasible.
- 4. Areas having slopes steeper than 2:1 require special consideration and design. 5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
- a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 ½ inches in diameter.
- Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
- Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
- 6. Topsoil Application
- a. Erosion and sediment control practices must be maintained when applying topsoil. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

#### C. Soil Amendments (Fertilizer and Lime Specifications)

- 1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil
- samples taken for engineering purposes may also be used for chemical analyses. 2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the
- 3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
- 4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable
- 5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

# **B-4-3 STANDARDS AND SPECIFICATIONS**

The application of seed and mulch to establish vegetative cove

To protect disturbed soils from erosion during and at the end of construction.

CONDITIONS WHERE PRACTICE APPLIES To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

### Specifications

a. All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available

<u>CRITERIA</u>

- upon request to the inspector to verify type of seed and seeding rate. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
- Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. use four times the recommended rate when hydroseeding. Note: it is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
- Sod and seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
- a. Dry seeding: This includes use of conventional drop or broadcast spreaders.
- Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the
- seeded area with a weighted roller to provide good seed to soil contact. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least ¼ inch of soil covering.
- Seedbed must be firm after planting. ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer). i. If fertilizer is being applied at the time of seeding, the application rates should be exceed the following: nitrogen, 100
- ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when

pounds per acre total soluble nitrogen; P<sub>2</sub>O<sub>5</sub> (phosphorous), 200 pounds per acre; K<sub>2</sub>O (potassium), 200 pounds per

iii. Mix seed and fertilizer on site and seed immediately and without interruption. iv. When hydroseeding, do not incorporate into the soil.

# 1. Mulch Materials (in order of preference)

- a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonable bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland See Law and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
- Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous

### WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate

- visual inspection of the uniformly spread slurry.
- WCFM, including dye, must contain no germination or growth inhibiting factors. iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogenous slurry. the mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
- iv. WCFM material must not contain elements or compounds at concentration levels that will by phyto-toxic. v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.

#### 2. Application

- Apply mulch to all seeded areas immediately after seeding.
- When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a
- mulch anchoring tool, increase the application rate to 2.5 tons per acre. Wood cellulose fiber used as mulch must be applied at a net dry weight of 100 pounds per acre. Mix the wood cellulose
- fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water. a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard: i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a
  - minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour. ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per
  - acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of iii. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid
  - of asphalt binders is strictly prohibited. iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use

# B-4-4 STANDARDS AND SPECIFICATIONS TEMPORARY STABILIZATION

To stabilize disturbed soils with vegetation for up to 6 months.

To use fast growing vegetation that provides cover on disturbed soils.

B-4-3.A.1.1b and maintain until the next seeding season.

CONDITIONS WHERE PRACTICE APPLIES Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

- A. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If the Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
- B. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soils tests are not required for Temporary Seeding. C. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch along as prescribed in Section

### **Temporary Seeding Summary**

	Hardiness Zone: Seed Mixture:	7A N/A			Fertilizer Rate	Lime Rate	
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	(10-20-20)	Lime Nate	
	Annual Ryegrass (Lolium perenne ssp. multiflorum)	40	Feb 15 to Apr 30; Aug 15 to Nov 30	0.5 in.		2 tons/ac	
N/A	Barley (Hordeum vulgare)	96	Feb 15 to Apr 30; Aug 15 to Nov 30	1.0 in.	436 lb/ac		
N/A	Foxtail Millet (Setaria italica)	30	May 1 to Aug 14	0.5 in.	(10 lb/1000sf)	(90 lb/1000 sf)	
	Pearl Millet (Pennisetum glaucum)	20	May 1 to Aug 14	0.5 in.			

### **B-4-4 STANDARDS AND SPECIFICATIONS** PERMANENT STABILIZATION

To stabilize disturbed soils with permanent vegetation

<u>PURPOSE</u> To use long-lived perennial grasses and legumes to establish permanent cover on disturbed soils.

CONDITIONS WHERE PRACTICE APPLIES Exposed soils where ground cover is needed for 6 months or more...

## **CRITERIA**

#### A. Seed Mixtures General Use

- a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and
- seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan. b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical
- c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency. d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 ½ pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
- Turfgrass Mixtures a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a
- medium to high level of maintenance. b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the

Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in

the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding

- Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky Bluegrass cultivars with each ranging from 10 to 35 percent of total mixture by weight. ii. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass
- Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky Bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight. iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000
- square feet. One or more cultivars may be blended. iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue 60 to 70 percent. Seeding Rate: 1½ to 3 pounds per 1000

#### SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION. AGRONOMY MEMO #77 "TUREGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.

Western Maryland: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a) Central Maryland: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)

3. Ideal Times of Seeding for Turf Grass Mixtures

#### Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardness Zones: 7a, 7b)

- 4. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 ½ inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
- 5. If soil moisture is deficient, supply new seedings with adequate water for plant growth (½ to 1 inch ever 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

#### Permanent Seeding Summary

	Hardiness Zone: 7A Seed Mixture: Cool-Season Grass Mix						Fertilizer Rate (10-20-20)			
No.	Species Application Seeding Seeding Rate (lb/ac) Dates Depths				N	P <sub>2</sub> O <sub>5</sub>	K <sub>2</sub> O	Lime Rate		
	Tall Fescue (Lolium arundinaceum)	60		⅓ to ⅓ in.						
9	Kentucky Bluegrass (Poa pratensis)  Kentucky Bluegrass 40  Aug 15 to Apr 30; Aug 15 to Oct 31; Nov 1 to Nov 30	⅓ to ⅓ in.	45 lb/ac   90 lb/ac   (1 lb/ (2 lb/ 1000sf)   1000sf)	90 lb/ac (2 lb/ 1000sf)	2 tons/ac (90 lb/ 1000 sf)					
	Perennial Ryegrass (Lolium perenne)	20		1⁄4 to 1∕2 in.	100031)		133301)	1.000 01)		

#### Permanent Seeding Summary

Hardiness Zone: 7A Seed Mixture: Warm-Season Grass Mix						Fertilizer Rate (10-20-20)		
No.	Species Application Seeding Seeding Depths					P <sub>2</sub> O <sub>5</sub>	K <sub>2</sub> O	Lime Rate
	Deertongue (Dichanthelium clandestinum)	15						
4	Creeping Red Fescue (Festuca rubra var. rubra)	20	Feb 15 to Apr 30; May 1 to May 20	½ to ½ in.	45 lb/ac (1 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	2 tons/ac (90 lb/ 1000 sf)
	Virginia Wild Rye (Elymus virginicus)	5			100031)	100031)	100031)	1000 31)

- B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).
  - . General Specifications a. Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and
  - b. Sod must be machine cut at a uniform soil thickness of  $\frac{3}{4}$  inches, plus or minus  $\frac{3}{4}$  inch, at the time of cutting.
  - Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be
  - c. Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
  - d. Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its e. Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must
- be approved by an agronomist or soil scientist prior to its installation Sod Installation a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior
- b. Lay the first row of sod in a straight line with subsequent rows place parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and
- c. Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying

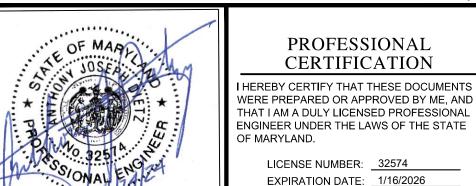
that all joints are butted tight in order to prevent voids which would cause air drying of the roots.

- d. Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operation of laying, tamping and irrigating for any piece of sod within eight hours.
- Sod Maintenance a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.

subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

After the first week, sod watering is required as necessary to maintain adequate moisture conten c. Do not mow until the sod is firmly rooted. No more than  $\frac{1}{2}$  of the grass leaf must be removed by the initial cutting or

411 Liberty Road Sykesville, MD 21784



DATE: 4/24/2024 SCALE: AS SHOWN PROJECT NUMBER: 20234274 001

**PROFESSIONAL** CERTIFICATION

LICENSE NUMBER: 32574 EXPIRATION DATE: 1/16/2026

REVISIONS

DATE

BY

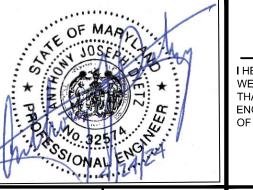
A Kleinfelder Company 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com

> Concept Site Plan **Erosion Sediment Control**

Liberty Exchange II

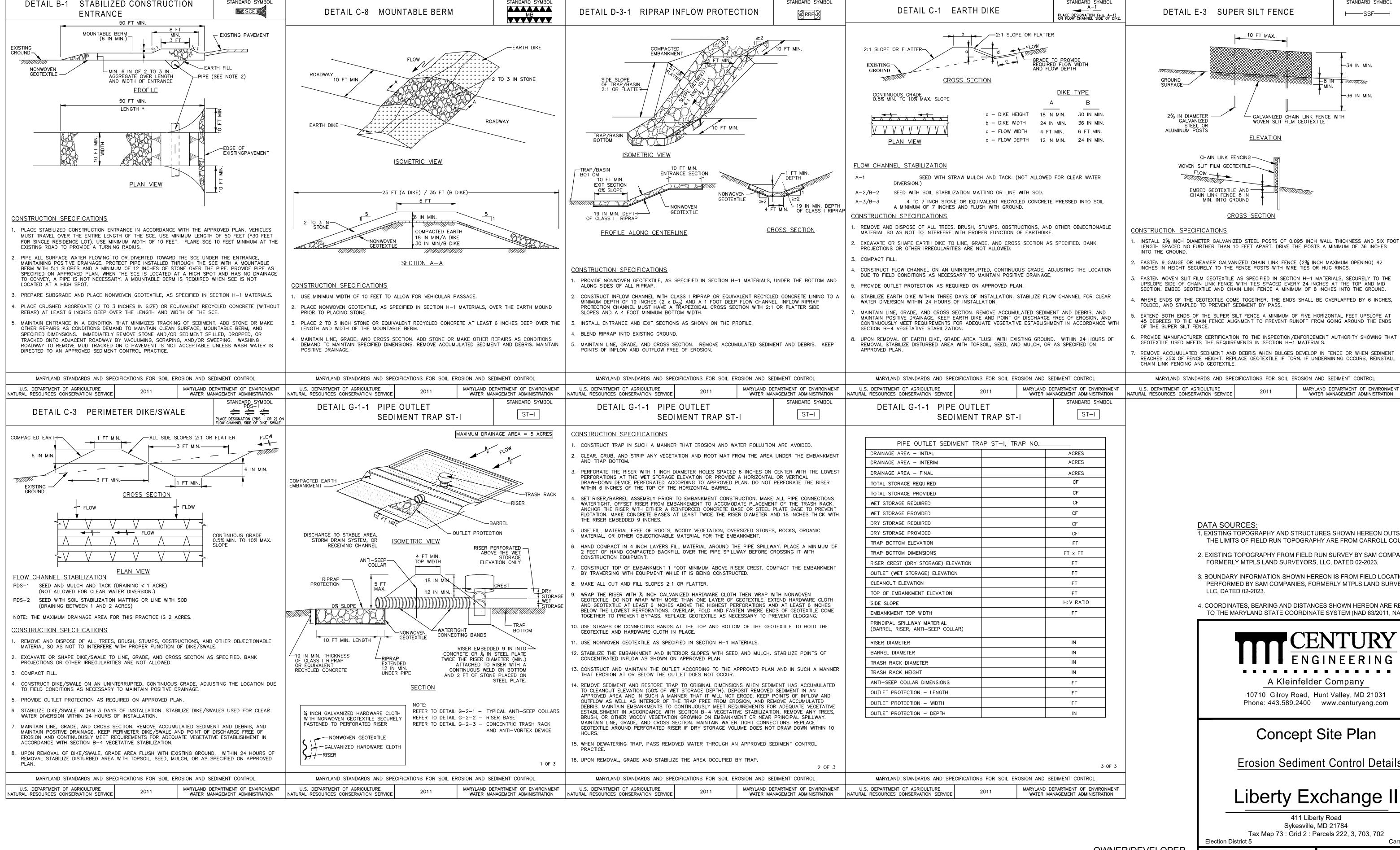
Specifications and Notes

Tax Map 73: Grid 2: Parcels 222, 3, 703, 702 Election District 5 Carroll County



DRAWING:

10 of 24



STANDARD SYMBOL

STANDARD SYMBOL

OWNER/DEVELOPER Eldersburg Investors II LLC 2560 Lord Baltimore Dr. Baltimore, MD 21244 Contact: Matt Taylor Phone No: 410-369-1207

DATE	BY	REVISIONS

DATA SOURCES

DETAIL E-3 SUPER SILT FENCE

CHAIN LINK FENCING —

WOVEN SLIT FILM GEOTEXTILE -

CHAIN LINK FENCE 8 IN

MIN. INTO GROUND

118118118118 1

2% IN DIAMETER

ALUMINUM POST

**GALVANIZE** 

10 FT MAX.

**ELEVATION** 

CROSS SECTION

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

GALVANIZED CHAIN LINK FENCE WITH

WOVEN SLIT FILM GEOTEXTILE

H-SSF----

-34 IN MIN.

18/18/18

MARYLAND DEPARTMENT OF ENVIRONMENT

WATER MANAGEMENT ADMINISTRATION

1. EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.

2. EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY SAM COMPANIES. FORMERLY MTPLS LAND SURVEYORS, LLC, DATED 02-2023.

3. BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY SAM COMPANIES. FORMERLY MTPLS LAND SURVEYORS. LLC, DATED 02-2023.

4. COORDINATES. BEARING AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88).



A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com

# Concept Site Plan

**Erosion Sediment Control Details** 

# Liberty Exchange II

411 Liberty Road Sykesville, MD 21784

Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702 Election District 5 Carroll County



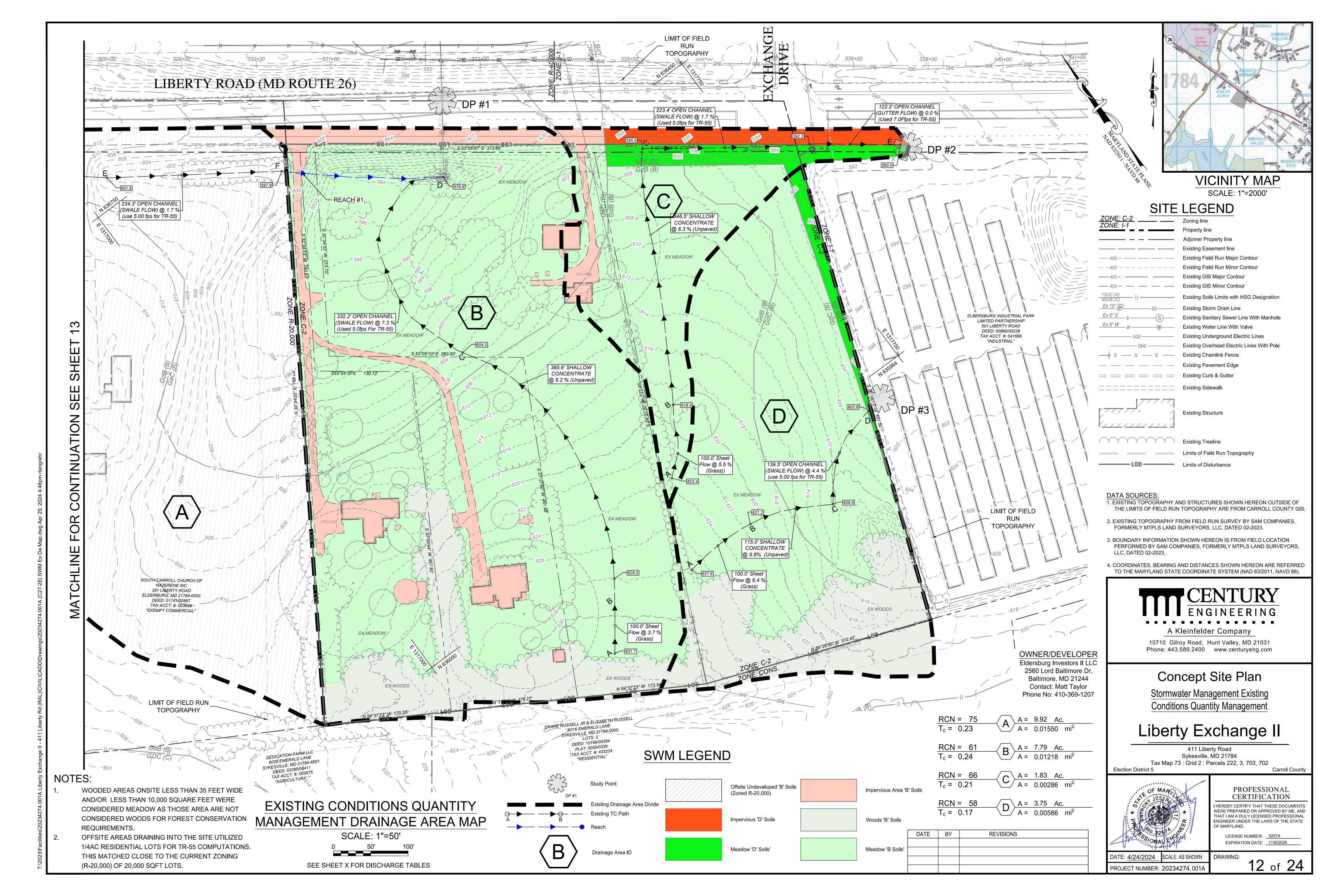
**PROFESSIONAL** CERTIFICATION HEREBY CERTIFY THAT THESE DOCUMENTS

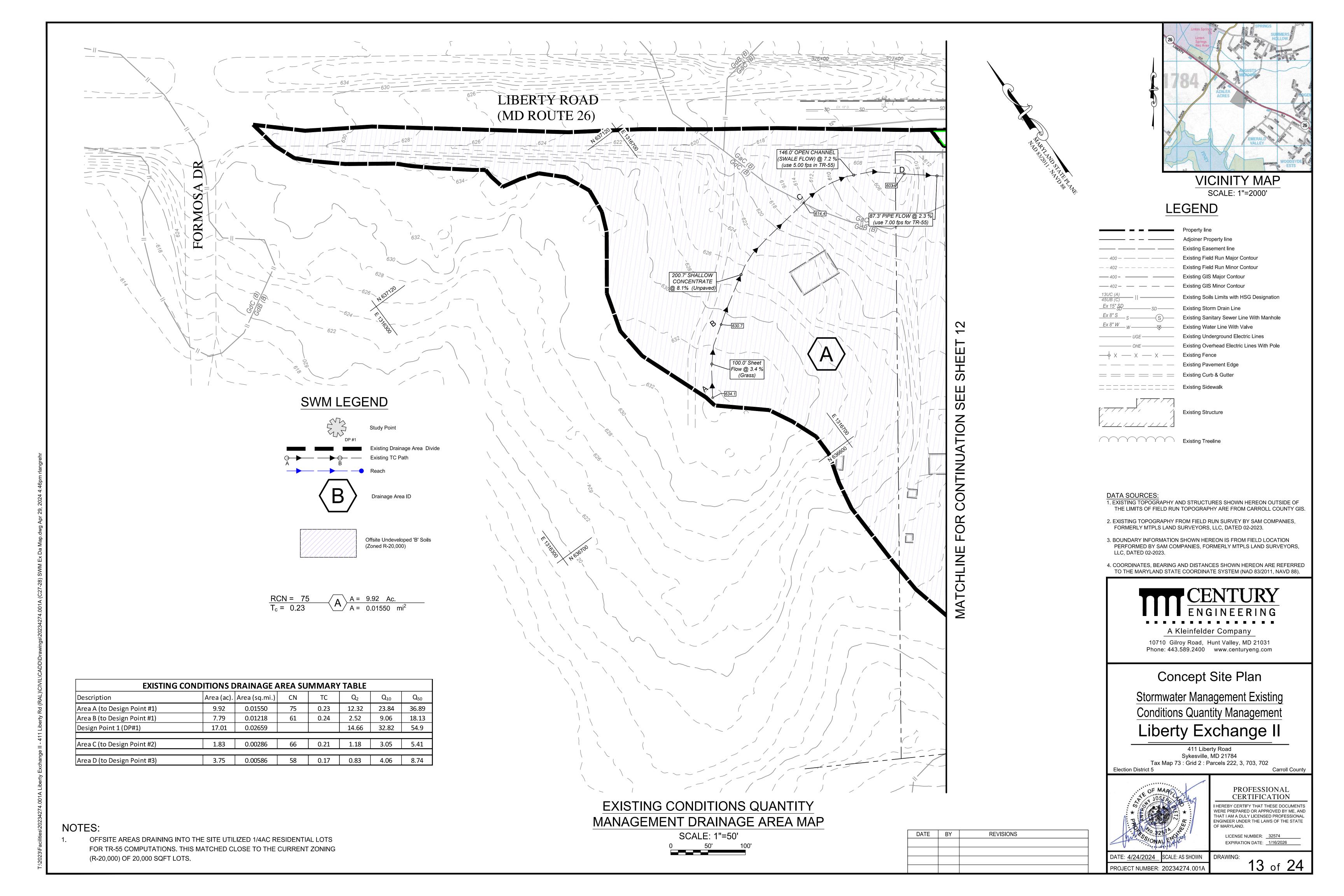
WERE PREPARED OR APPROVED BY ME. AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE F MARYLAND. LICENSE NUMBER: 32574

EXPIRATION DATE: 1/16/2026

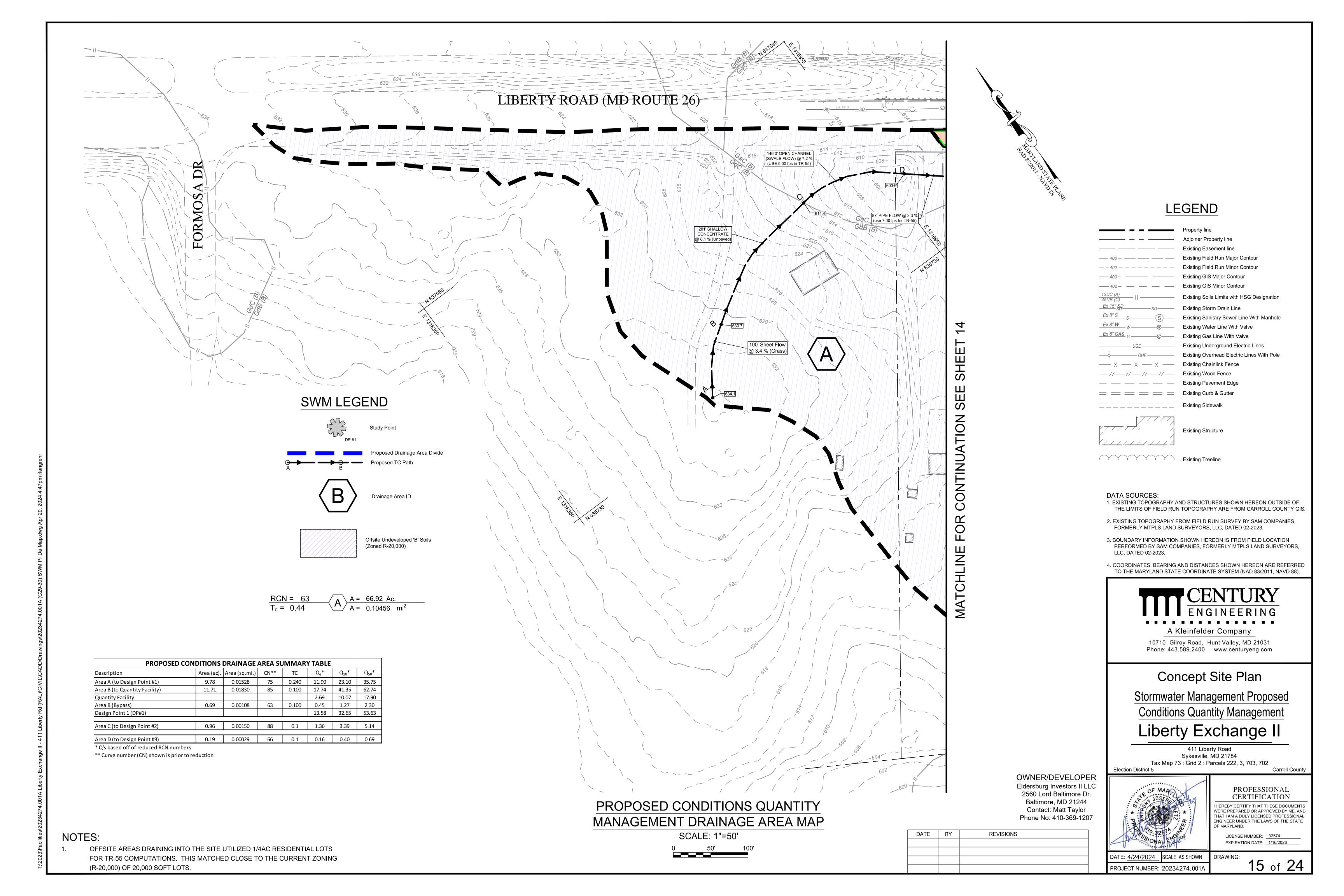
DATE: 4/24/2024 SCALE: AS SHOWN

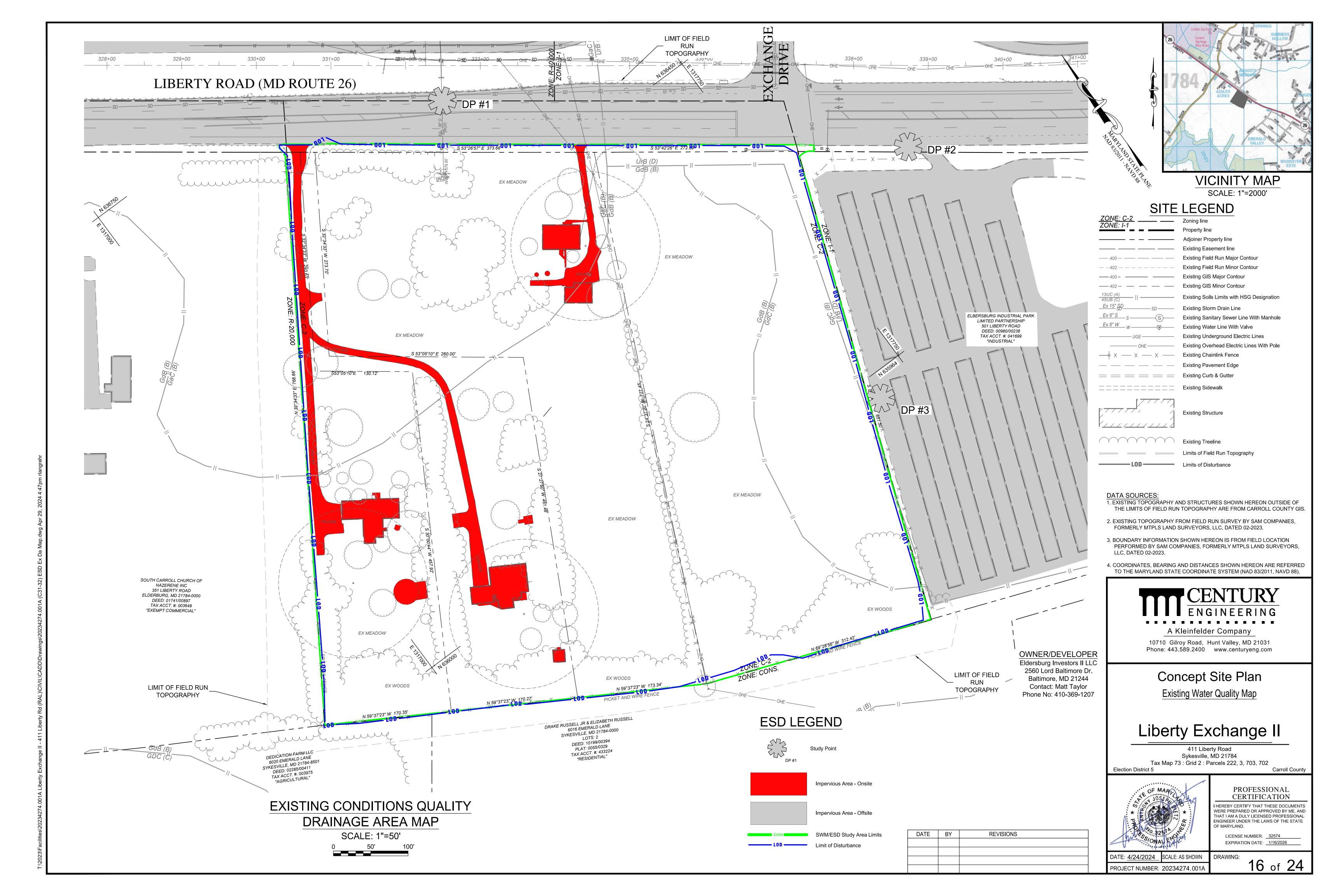
DRAWING: 11<sub>of</sub> 24 PROJECT NUMBER: 20234274.001.

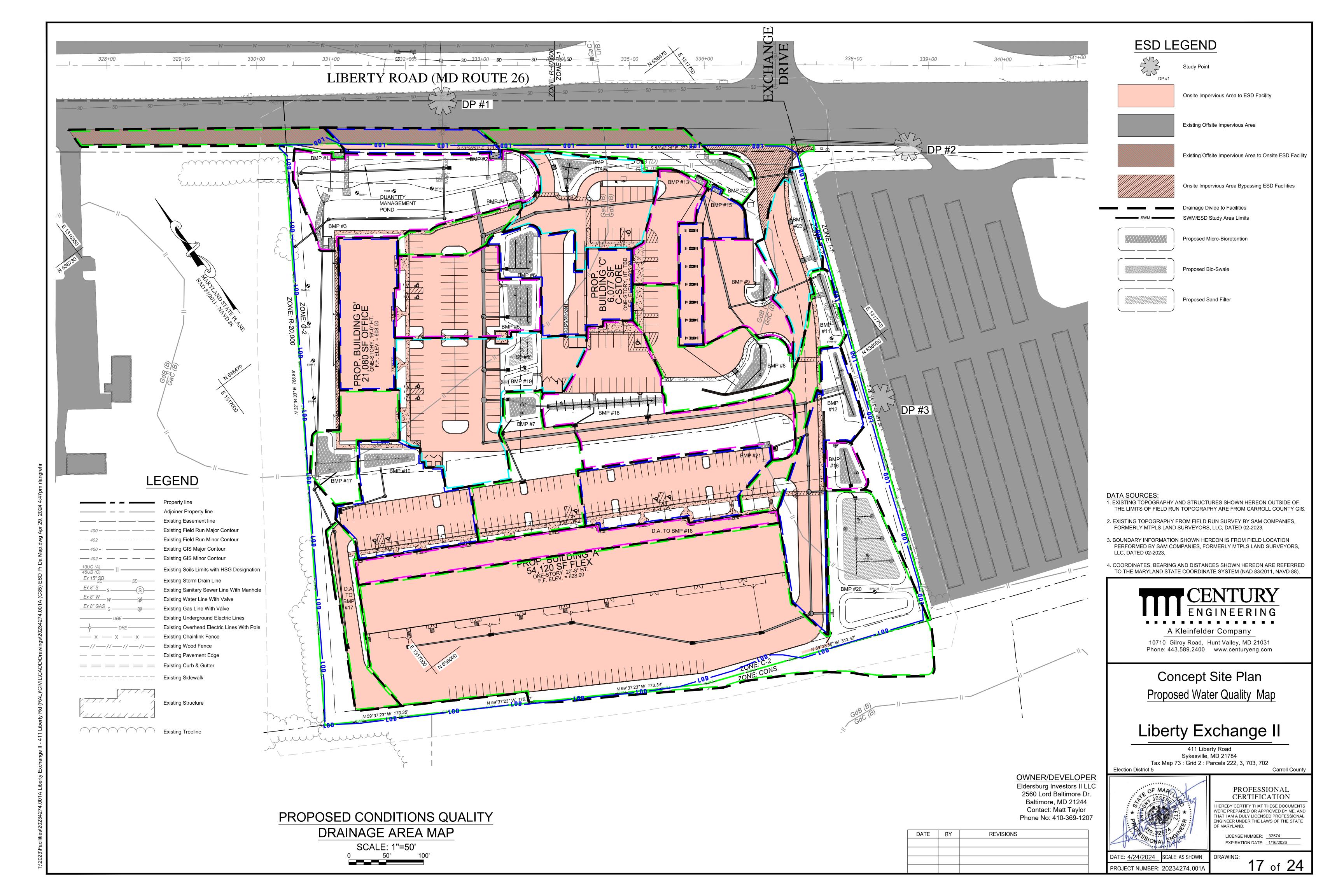












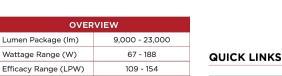
LUMINAIRE SCHEDULE									
Label	Qty	Arrangement	Mounting Height	Lumens	Watts	LLF	BUG RATING	Description	
W1	30	SINGLE	WALL MOUNTED 18'-6" ABOVE FINISHED FLOOR (BUILDING A)	6700 (4000K)	47	0.95	B2-U0-G2	LSI LIGHTING# XWM-FT-LED-06L-40	
			WALL MOUNTED 15'-6" ABOVE FINISHED FLOOR (BUILDING B)						
W2	14	SINGLE	WALL MOUNTED 15'-6" ABOVE FINISHED FLOOR (BUILDING B)	3350 (4000K)	23	0.95	B1-U0-G1	LSI LIGHTING# XWM-FT-LED-03L-40	
			WALL MOUNTED 12'-0" ABOVE FINISHED FLOOR (BUILDING C)						
C1	16	SINGLE	FLUSH MOUNTED IN CANOPY. 17'-O" ABOVE FINISHED PAVING	12927 (4000K)	90.0	0.95	B3-U0-G1	LSI LIGHTING# SCV-LED13L-SC-40	
S1	11	SINGLE	25' POLE MOUNTED FLUSH BASE (30" RAISED POLE BASE IN PARKING AREA STRIPPING WITH 22'-6" POLE)	17625 (4000K)	150	0.95	B2-U0-G3	LSI LIGHTING# MRM-LED-18L-SIL-3-40- 70CRI-	
S1H	4	SINGLE	25' POLE MOUNTED FLUSH BASE (30" RAISED POLE BASE IN PARKING AREA STRIPPING WITH 22'-6" POLE)	12920 (4000K)	150	0.95	B1-U0-G3	LSI LIGHTING# MRM-LED-18L-SIL-3-40- 70CRI-IL (INTERNAL LOUVER BACK LIGHT CONTROL)	
	W1 W2 C1 S1	W1 30  W2 14  C1 16  S1 11	W1 30 SINGLE  W2 14 SINGLE  C1 16 SINGLE  S1 11 SINGLE	Label Qty Arrangement Mounting Height  W1 30 SINGLE WALL MOUNTED 18'-6" ABOVE FINISHED FLOOR (BUILDING A)  WALL MOUNTED 15'-6" ABOVE FINISHED FLOOR (BUILDING B)  W2 14 SINGLE WALL MOUNTED 15'-6" ABOVE FINISHED FLOOR (BUILDING B)  WALL MOUNTED 12'-0" ABOVE FINISHED FLOOR (BUILDING C)  C1 16 SINGLE FLUSH MOUNTED IN CANOPY. 17'-0" ABOVE FINISHED PAVING  S1 11 SINGLE 25' POLE MOUNTED FLUSH BASE (30" RAISED POLE BASE IN PARKING AREA STRIPPING WITH 22'-6" POLE)  S1H 4 SINGLE 25' POLE MOUNTED FLUSH BASE (30" RAISED POLE BASE IN PARKING AREA STRIPPING	Label Qty Arrangement Mounting Height Lumens  W1 30 SINGLE WALL MOUNTED 18'-6" ABOVE FINISHED FLOOR (BUILDING A) (4000K)  WALL MOUNTED 15'-6" ABOVE FINISHED FLOOR (BUILDING B)  W2 14 SINGLE WALL MOUNTED 15'-6" ABOVE FINISHED FLOOR (BUILDING B) (4000K)  WALL MOUNTED 12'-0" ABOVE FINISHED FLOOR (BUILDING C)  C1 16 SINGLE FLUSH MOUNTED IN CANOPY. 12927 (4000K)  S1 11 SINGLE 25' POLE MOUNTED FLUSH BASE (30" RAISED POLE BASE IN PARKING AREA STRIPPING WITH 22'-6" POLE)  S1H 4 SINGLE 25' POLE MOUNTED FLUSH BASE (30" RAISED POLE BASE IN PARKING AREA STRIPPING WITH 22'-6" POLE BASE IN PARKING AREA STRIPPING (4000K)	W1   30   SINGLE   WALL MOUNTED 18'-6" ABOVE FINISHED FLOOR (BUILDING A)   WALL MOUNTED 15'-6" ABOVE FINISHED FLOOR (BUILDING B)   W2   14   SINGLE   WALL MOUNTED 15'-6" ABOVE FINISHED FLOOR (BUILDING B)   W350   W350	Label   Qty   Arrangement   Mounting Height   Lumens   Watts   LLF	Label   Qty   Arrangement   Mounting Height   Lumens   Watts   LLF   BUG RATING	

1. ALL NEW, CANOPY, WALL AND POLE MOUNTED FIXTURES ARE FULL CUT OFF AND EMIT NO LIGHT ABOVE 90 DEGREES. (ALL LIGHT OUTPUT IS DIRECTED DOWN). 2. ALL FIXTURES ARE MOUNTED 90 DEGREES TO POLE OR WALL



Scottsdale Vertex™ (SCV) Petroleum Canopy Light





Efficacy Range (LPW) 18.5 (8.4)

**FEATURES & SPECIFICATIONS** 

Rugged low-profile die-cast aluminum

- housing, optical unit, and driver cover. Below canopy access to optical chamber and driver housing for serviceability. IP66 rated luminaire protects integra components from dust and water. Fixtures are finished with LSI's DuraGrip®
- polyester powder coat finishing process. The changes without cracking or peeling. Four fasteners secure the door frame to housing. Door frame also provides quick and
- easy access to the electrical compartment for servicing. Shipping weight: 18.5 lbs in carton.

Optical System Symmetrical distribution utilizes a clear tempered flat glass lens to uniformly

illuminate the area under the gas canopy. Combination Forward Throw distribution uses clear tempered flat glass and optical grade PMMA acrylic lens to create an industry leading unique distribution pattern to illuminate the area under the gas canopy and the area between the gas canopy and convenience store eliminating the need for

Available in 5000K, 4000K and 3000K Minimum CRI of 80. Electrical

temperature protection. IEEE C62.41.2 and ANSI C82.77-5 Location Category C Low standards.

High-performance factory programmable driver; features include over-voltage, undervoltage, short circuit and over Integral 6kV surge protection that meets  Additional field replaceable 10kV surge Category C Low operation (per ANSI/IEEE • Custom lumen and wattage packages • 0-10V dimming (10% - 100%) standard.

Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage Lumen Maintenance on Page 2). Total harmonic distortion: <20%.</li> Operating temperature: -40°C to +50°C. Aluminum surfaces for 10L, 13L, & 15L Lumen Packages, +45°C for 20L Lumen Package, and +35°C for 23L Lumen Package. If

mounted to a non-metallic surface, reduce Power factor: >0.90. High-efficacy LEDs are mounted to (4) circuit boards to maximize heat dissipation. Driver components are fully encased in

Driver complies with FCC standards. **Hazardous Location** • Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 with all lumen packages and distributions only when properly installed per LSI installation instructions. Models with tional controls are not approved for Class 1, Division 2 applications.

Gas Groups A, B, C, and D - Group A:

Benzene, Butane, Methane & Propane.

Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D:

Installation (Standard)

Ordering Guide Performance Photometrics Dimensions

• Installs in a 12" or 16" deck pan. • Four fasteners are provided for use in single deck steel canopies. Other suitable fasteners may be required and provided by others. Unit is designed to quickly retrofit into Aluminum locking collar and gasket are included and required for complete seal and

Retrofit panels are available for existing Encores, Richmond, 2x2 Universal, and more. Direct mount to surface or recessed J box with hardware bracket kit ordered separately as an accessory. Installation (REDiMount) Patent pending 3 piece quick mounting system; components include collar, capsule and connector.

 Designed to reduce canopy penetrations and increase installation efficiency. Installs in 12" or 16" deck pan. LSI luminaires carry a 5-year limited

warranty. Refer to https://www.lsicorp.com

• Listed to UL 1598 and UL 8750. Meets Buy American Act requirements. State of California Title 24 Compliant with DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified Please check the DLC Qualified Products List at <u>www.designlights.org/QPL</u> to confirm which versions are qualified.

IDA compliant with 3000K or lower color

Page 1/6 Rev. 1/09/22

**CALCULATION SUMMARY** 25.1 0.0 Overall Site

| 0,1 | 0.2 | 0.5 | 1

[b,1 | b.2 | b.3 | b.4 | b.4

| to.1 | to.2 | to|4 || | to.8 | to|8 |

0.2 0.3 0.6 1.5

0.2 0.3 0.6 0.9

0.2 03 0.4 0.5

to.2 to.3 to.4 to

0.3 0.6 1.5

0,3 0.7 1.6

0.2 0.4 0.2 0.3

Mirada Medium (MRM)

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • www.lsicorp.com

Industries Inc. All Rights Reserved. Specifications and dimensions subject to industry standard tolerances. Specifications subject to change without notice.

Outdoor LED Area Light RANDIZACIONES DE CULIUS P66 IKOS



**FEATURES & SPECIFICATIONS** 

 Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath. • Designed to mount to square or round

Construction

• Fixtures are finished with LSI's DuraGrip\* polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory. • Shipping weight: 37 lbs in carton. Optical System

 State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 Proprietary silicone refractor optics provide

exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM. Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%. · Zero uplight.

 Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm. Minimum CRI of 70. Integral louver (IL) and integral half

louver (IH) options available for enhanced

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(800) 436-7800 • @LSI Industries Inc. All Rights Reserved. Specifications subject to change without notice.

backlight control.

 High-performance programmable driver features over-voltage, under-voltage, shortcircuit and over temperature protection.

**QUICK LINKS** 

ustom lumen and wattage packages • 0-10V dimming (10% - 100%) standard. • Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac). • L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)

> • Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. • Power factor: >.90 • Field replaceable 10kV surge protection device meets a minimum Category C Low

• Total harmonic distortion: <20%

operation (per ANSI/IEEE C62.41.2). High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation • Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be

 Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 8 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app

Ordering Guide Performance Photometrics Dimensions LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7

> • Designed to mount to square or round · A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical

• Included terminal block accepts up to 12 ga. Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

LSI LED Fixtures carry a 5-year warranty.

 Listed to UL 1598 and UL 8750. Meets Buy American Act requirements. • IDA compliant; with 3000K color • Title 24 Compliant; see local ordinance for · Suitable for wet Locations. • IP66 rated Luminaire per IEC 60598. • 3G rated for ANSI C136.31 high vibration

mechanical impact code

applications are qualified. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights. org/QPL to confirm which versions are • Patented Silicone Optics (US Patent NO. • IKO8 rated luminiare per IEC 66262

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-W1/W2

Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

23 - 175 Wattage Range 125 - 158 Efficacy Range (LPW) 30 (13.6) Weight lbs(kg)

**QUICK LINKS** Performance Photometrics Dimensions **FEATURES & SPECIFICATIONS** 

circuit and over temperature protection. Custom lumen and wattage packages contains factory prewired driver and optical 0-10V dimming (10% - 100%) standard

• Standard Universal Voltage (120-277 Vac

Input 50/60 Hz or optional High Voltage

• L80 Calculated Life: >100k Hours mechanism to easily access the junction Total harmonic distortion: <20% box wire connections without removing the +50°C (-40°F to +122°F) Optional pole-mounting bracket (XPMA) • 15L operating temperature: -40°C to +45°C permits mounting to standard poles. (-40°F to +113°F). Fixtures are finished with LSI's DuraGrip\* • 18L operating temperature: -40°C to +40°C polyester powder coat finishing process. (-40°F to +104°F). The DuraGrip finish withstands extreme 21L operating temperature: -40°C to +35°C weather changes without cracking or (-40°F to + 95°F). peeling. Other standard LSI finishes • Power factor: >.90

Construction

Rugged die-cast aluminum housing

access door located underneath.

unit. Hinged die-cast aluminum wiring

Galvanized-steel universal wall mount

bracket comes standard with hinging

available. Consult factory. • Input power stays constant over life. Shipping weight: 30 lbs in carton. Optional 10kV surge protection device Optical System meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2). State-of-the-Art one piece silicone optic

 High-efficacy LEDs mounted to metal-core sheet delivers industry leading optical circuit board to maximize heat dissipation control with an integrated gasket to provide IP65 rated sealed optical chamber in 1 material for moisture resistance. Driver complies with FCC standards. Driver and Proprietary silicone refractor optics provide exceptional coverage and uniformity accessed via hinged door. in Types 2, 3, and Forward Throw (FT) Optional integral emergency battery pack distributions. provides 90-minutes of constant power to · Silicone optical material does not yellow or the LED system, ensuring code compliance crack with age and provides a typical light A test switch/indicator button is installed

transmittance of 93%. Zero uplight. Available in 5000K, 4000K and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm. Minimum CRI of 70. Electrical

Fixtures operate independently and can be commissioned via an iOS or • High-performance programmable driver Android configuration app. Updates and features over-voltage, under-voltage, shortmodifications to the control strategy are

emergency mode.

• Integral passive infrared Bluetooth motion and photocell sensor options.

The fixture delivers 1500 lumens during

omponents are fully encased in potting

mechanical impact code DesignLights Consortium" (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC

LSI's AirLink™ Blue lighting control system

is a simple feature rich wireless Bluetooth

sensor module provides wireless control of

grouped fixtures based on motion sensors. daylight or a fully customizable schedule.

• Universal wall mounting plate easily mounts

directly to 4" octagonal or square junction

underneath the housing and provide quick

• Optional terminal block accepts up to 12 ga

• LSI LED Fixtures carry a 5-year warranty.

Meets Buy American Act requirements.

IP65 rated luminaire per IEC 60598.

• 3G rated for ANSI C136.31 high vibration

applications when pole mounted (using

optional XPMA bracket) or wall mounted.

Listed to UL 1598 and UL 8750.

temperature selection.

Suitable for wet Locations

• 1 Year warranty on Battery Back-up option.

• IDA compliant; with 3000K or lower color

Title 24 Compliant; see local ordinance for

& easy access to the electrical compartment

mesh network. The integrated fixture

Installation

Qualified Products List at www.designlights. org/QPL to confirm which versions are

MEP Consultants 4900 Pleasant Grove Rd 2560 Lord Baltimore Dr Reisterstown, MD 21136 Baltimore MD 21244 Tel 410-357-5934 Office (410) 788-0100 Fax (410) 369-1875

SCALE: 1"=40'-0"

WATTS DESIGN

COMPANY, INC.

SITE PHOTOMETRIC PLAN

ST. JOHN

PROP. BUILDING 'A' 54,120 SF FLEX

F.F. ELEV. = 628.00

Liberty Exchange II

Election District 5

Sykesville, MD 21784 Tax Map 73 : Grid 2 : Parcels 222, 3, 703, 702

Carroll County, Maryland

 $D \mid D$ 

—PROPERTY LINE

SITE PHOTOMETRIC PLAN

DRAWN BY: JCW DATE: 03/26/24 CHECKED BY: MSW SCALE: 1"=40'

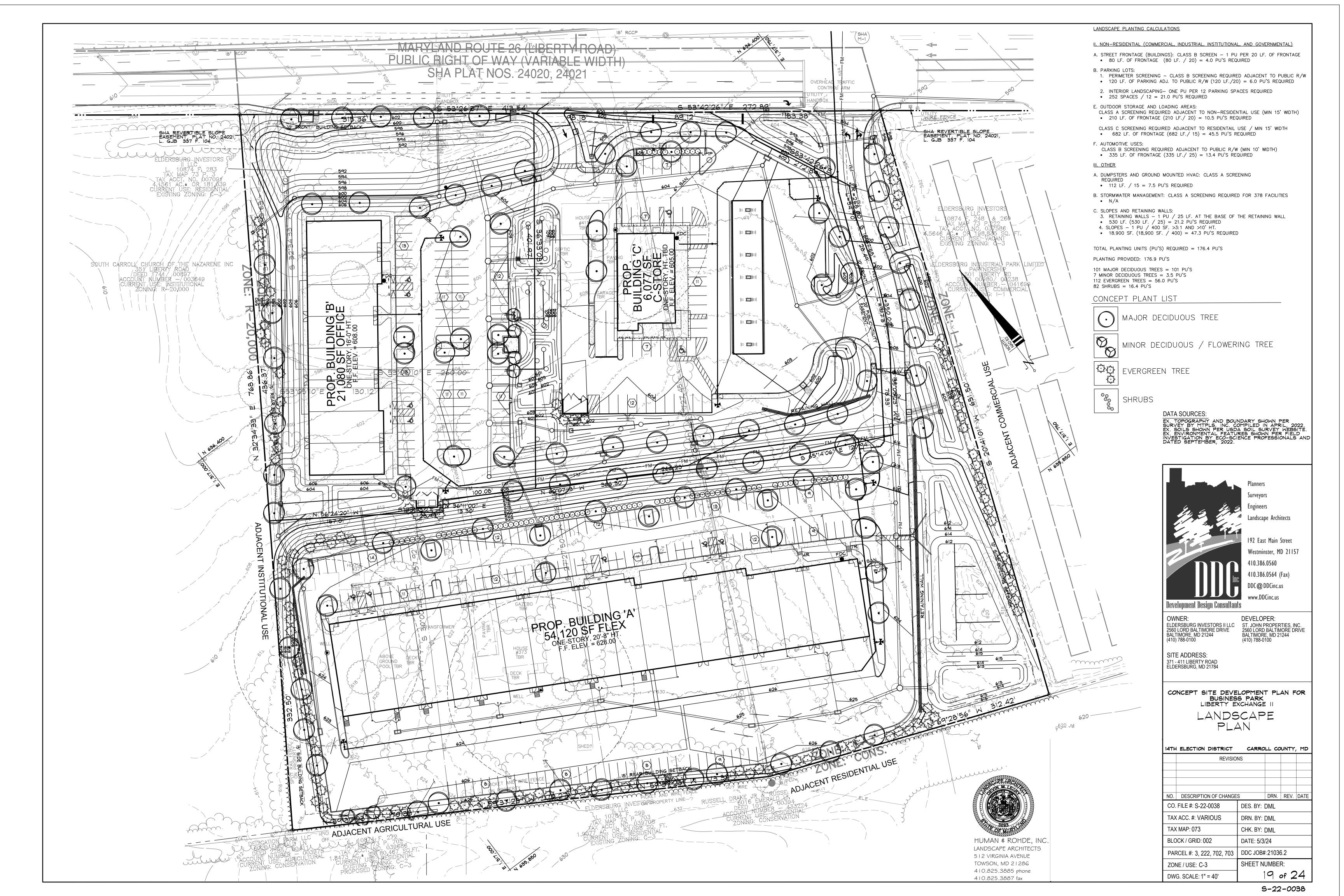
SHEET 18 OF 24 PROJECT NO. 23042 SHEET NO: 1 of 1

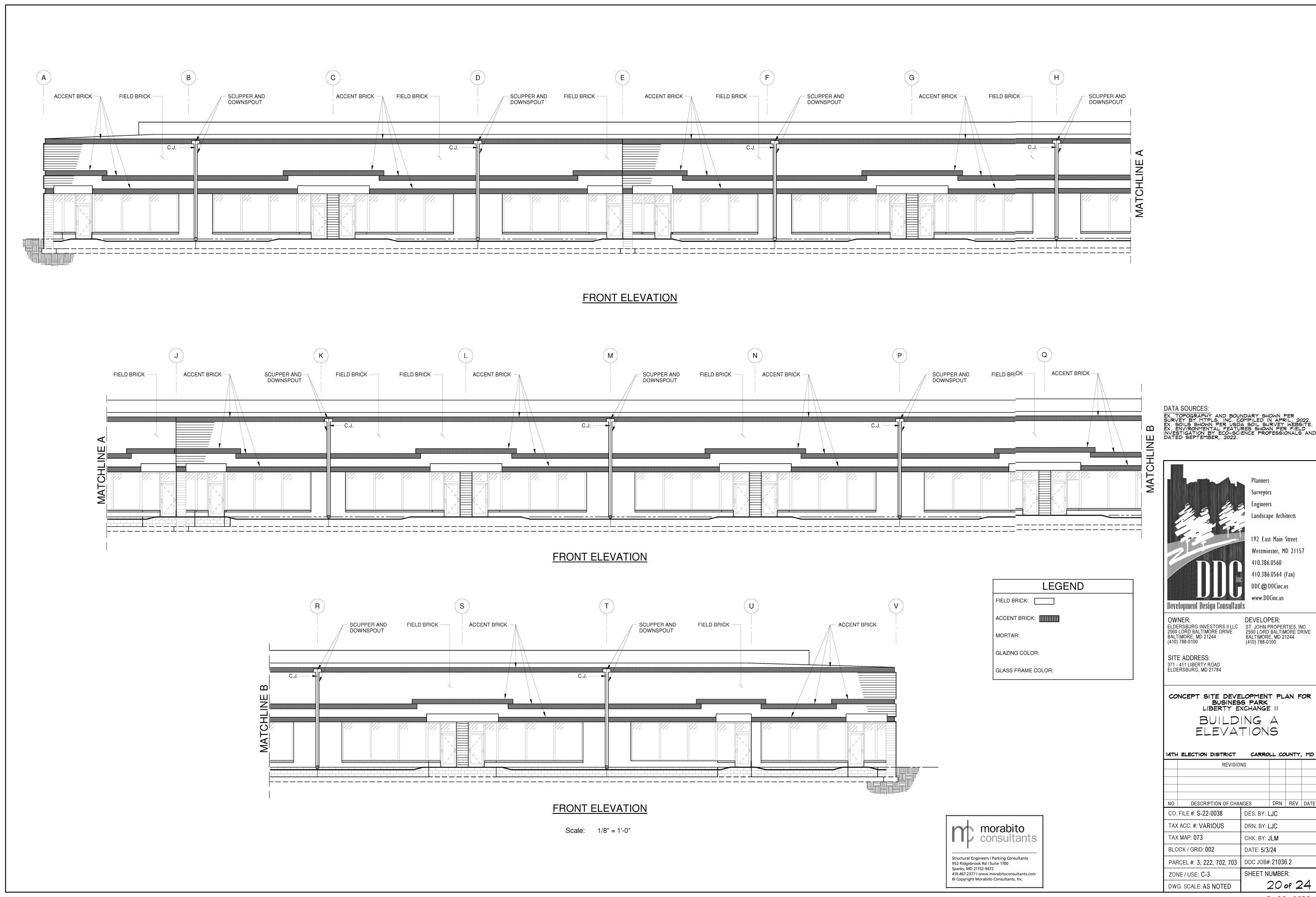
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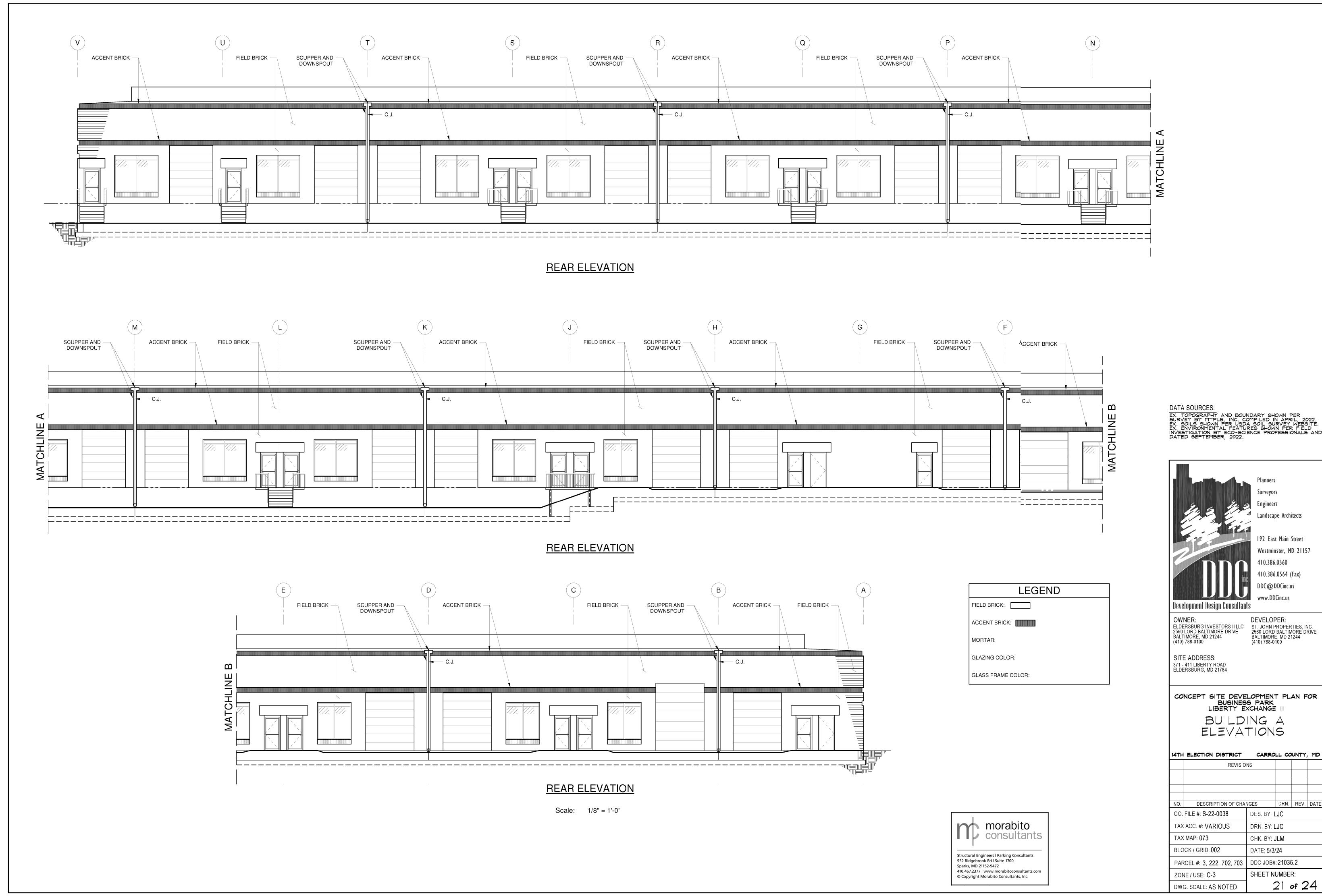
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WDC# 23042

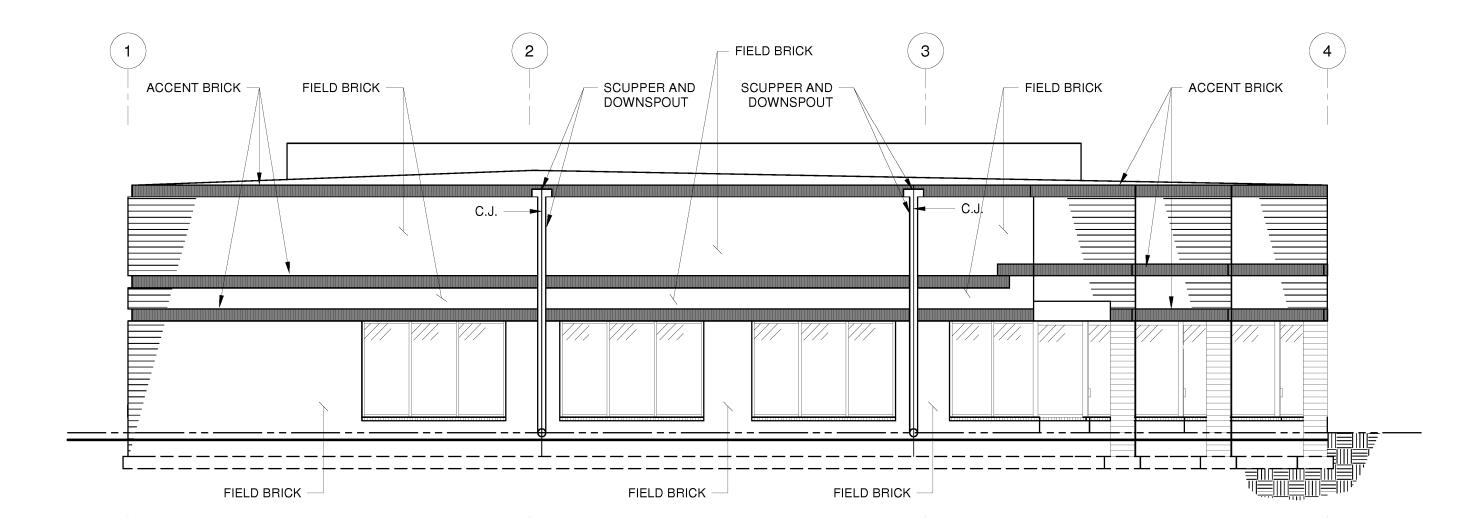
SP-1



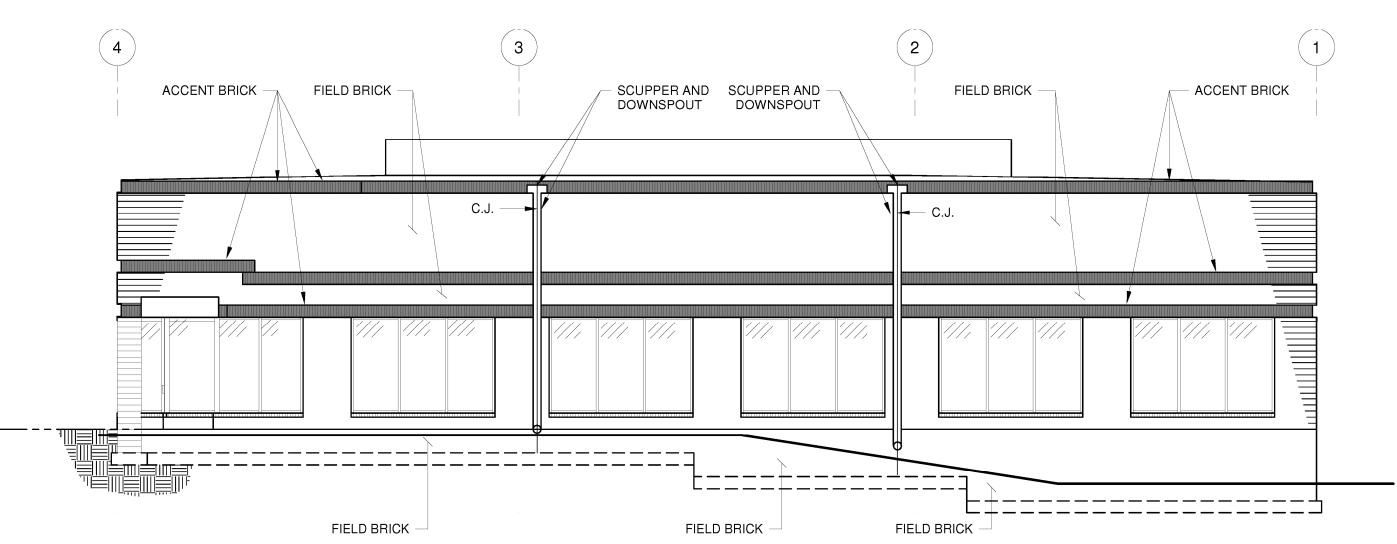


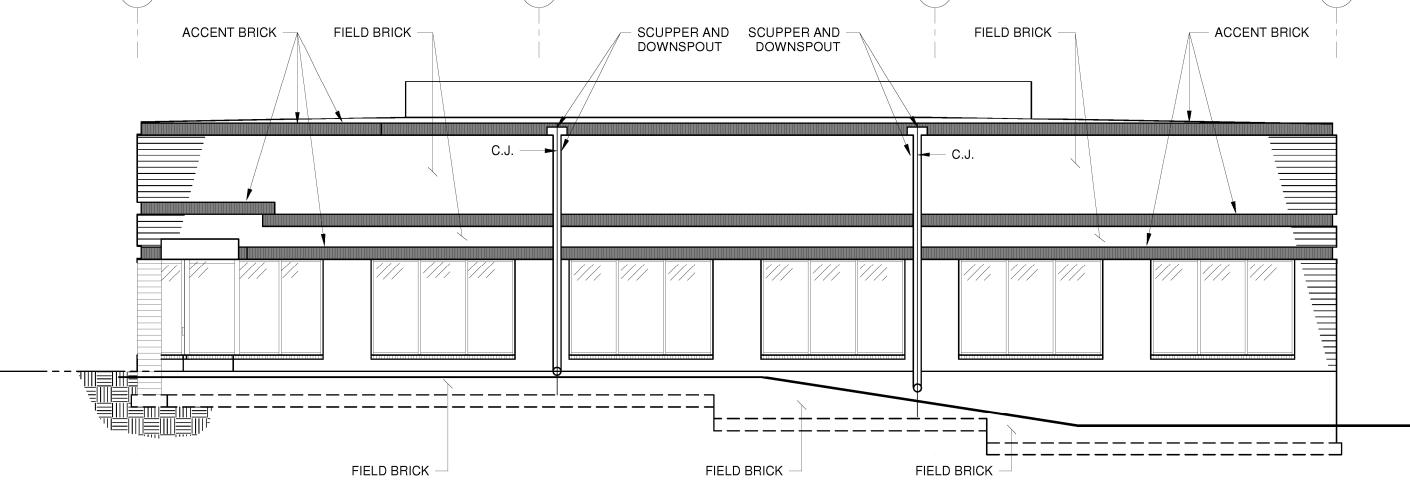






# **LEFT SIDE ELEVATION**

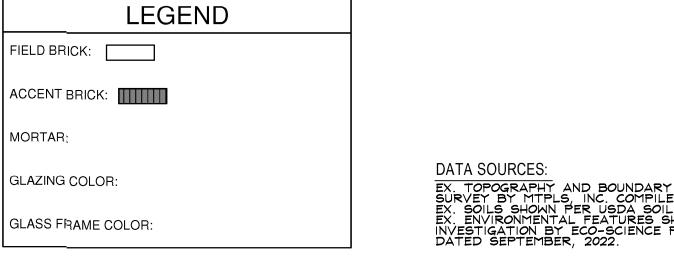


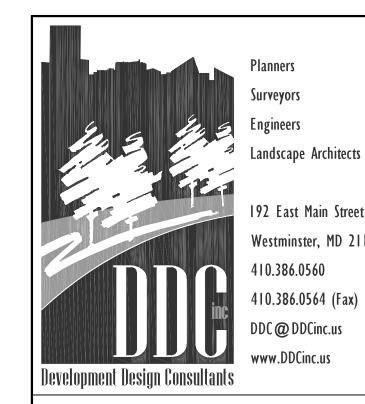


# **RIGHT SIDE ELEVATION**

Scale: 1/8" = 1'-0"







OWNER:
ELDERSBURG INVESTORS II LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 788-0100

DEVELOPER:
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 788-0100

192 East Main Street

Westminster, MD 21157

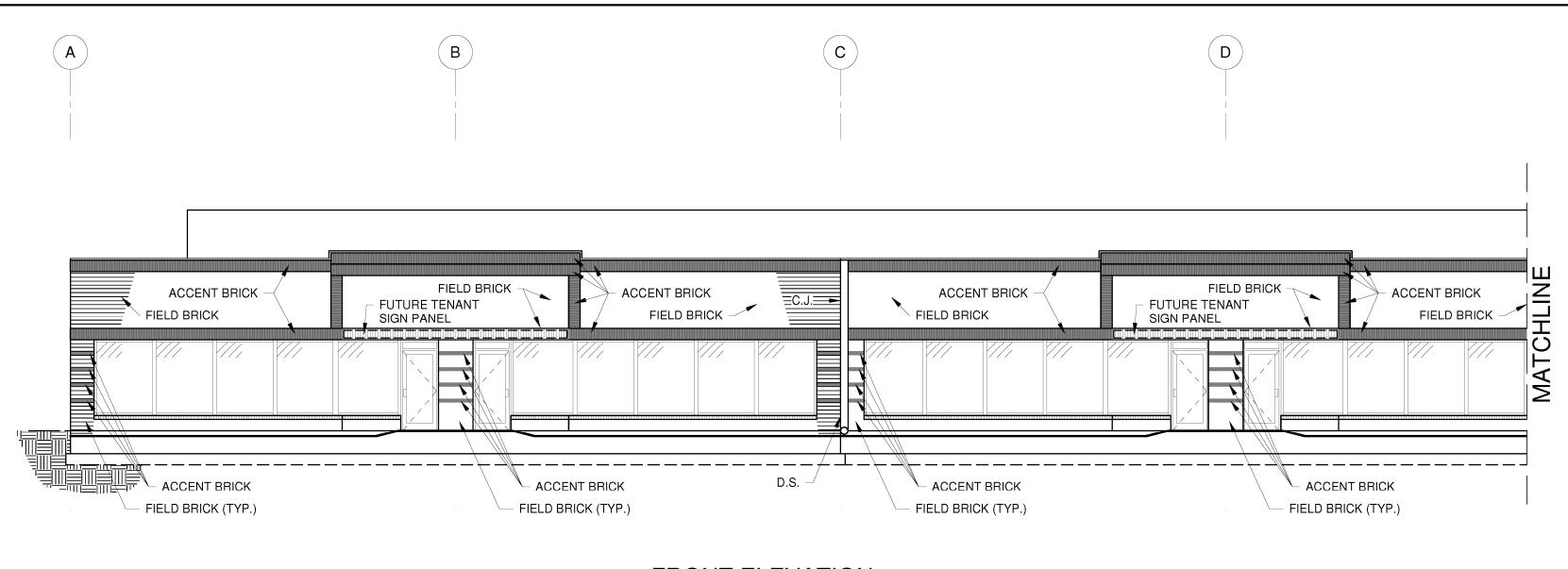
SITE ADDRESS: 371 - 411 LIBERTY ROAD ELDERSBURG, MD 21784

CONCEPT SITE DEVELOPMENT PLAN FOR BUSINESS PARK LIBERTY EXCHANGE II BUILDING A & SIGN ELEVATIONS

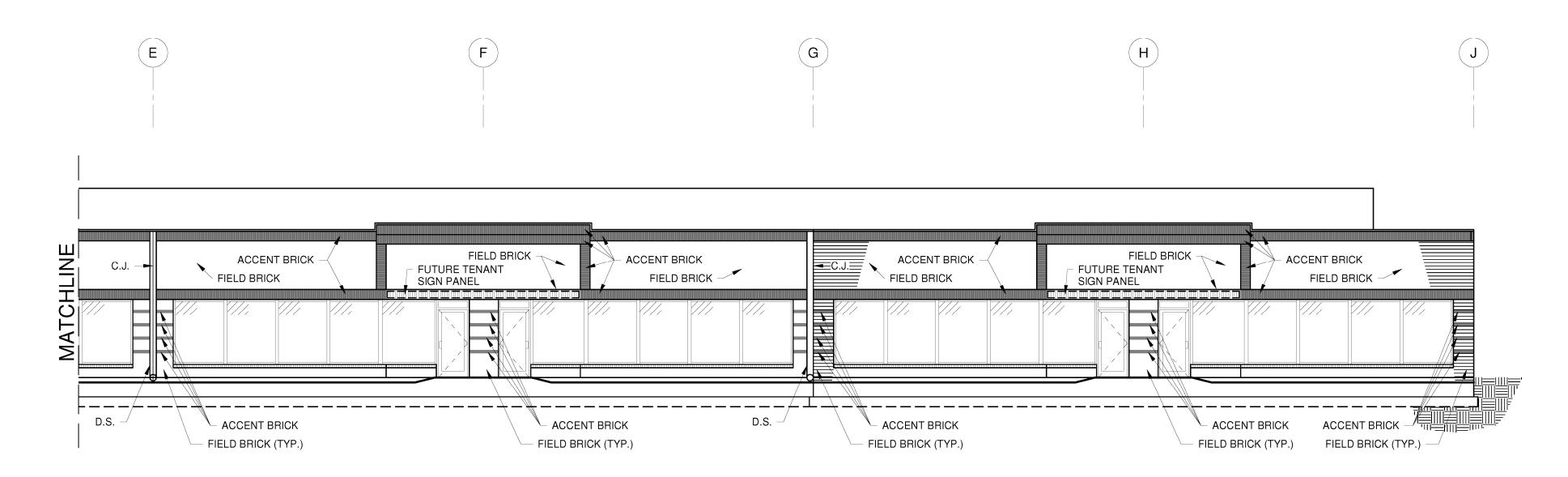
	ELECTION DISTRICT				עווי,	
	REVISIO	NS				
NO.	DESCRIPTION OF CHAI	NGES	DRN.	REV.	DATE	
CO.	FILE #: S-22-0038	DES. BY: LJC				
TAX	ACC. #: VARIOUS	DRN. BY: LJC  CHK. BY: JLM  DATE: 5/3/24  DDC JOB#: 21036.2				
TAX	(MAP: <b>073</b>					
BLC	OCK / GRID: 002					
PAF	RCEL #: 3, 222, 702, 703					
	NE / USE: C-3	SHEET N	UMBEI	R:		

DWG. SCALE: AS NOTED

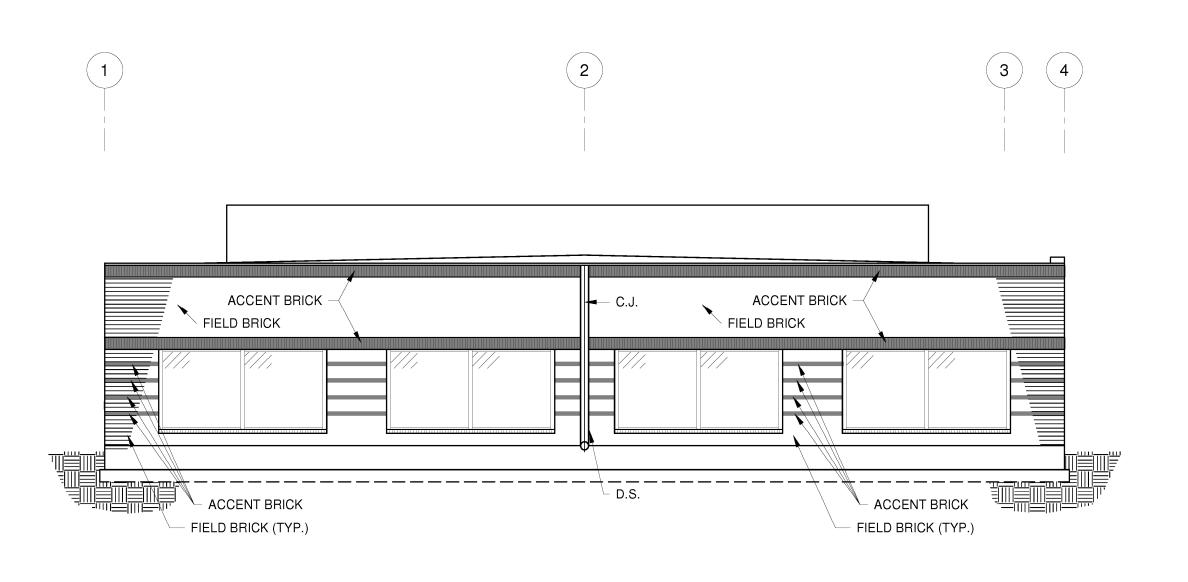
22 of **24** 



# **FRONT ELEVATION**

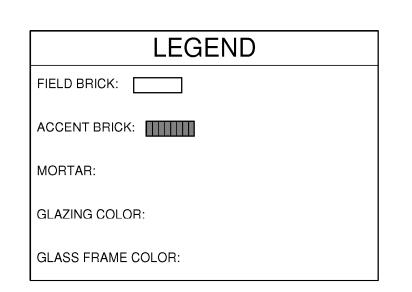


# FRONT ELEVATION



# LEFT SIDE ELEVATION

Scale: 1/8" = 1'-0"





Structural Engineers | Parking Consultants
952 Ridgebrook Rd | Suite 1700
Sparks, MD 21152-9472
410.467.2377 | www.morabitoconsultants.com
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Surveyors

192 East Main Street

410.386.0564 (Fax)

410.386.0560

Westminster, MD 21157



DDC @ DDCinc.us

www.DDCinc.us

Development Design Consultants

DEVELOPER:

ELDERSBURG INVESTORS II LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 788-0100

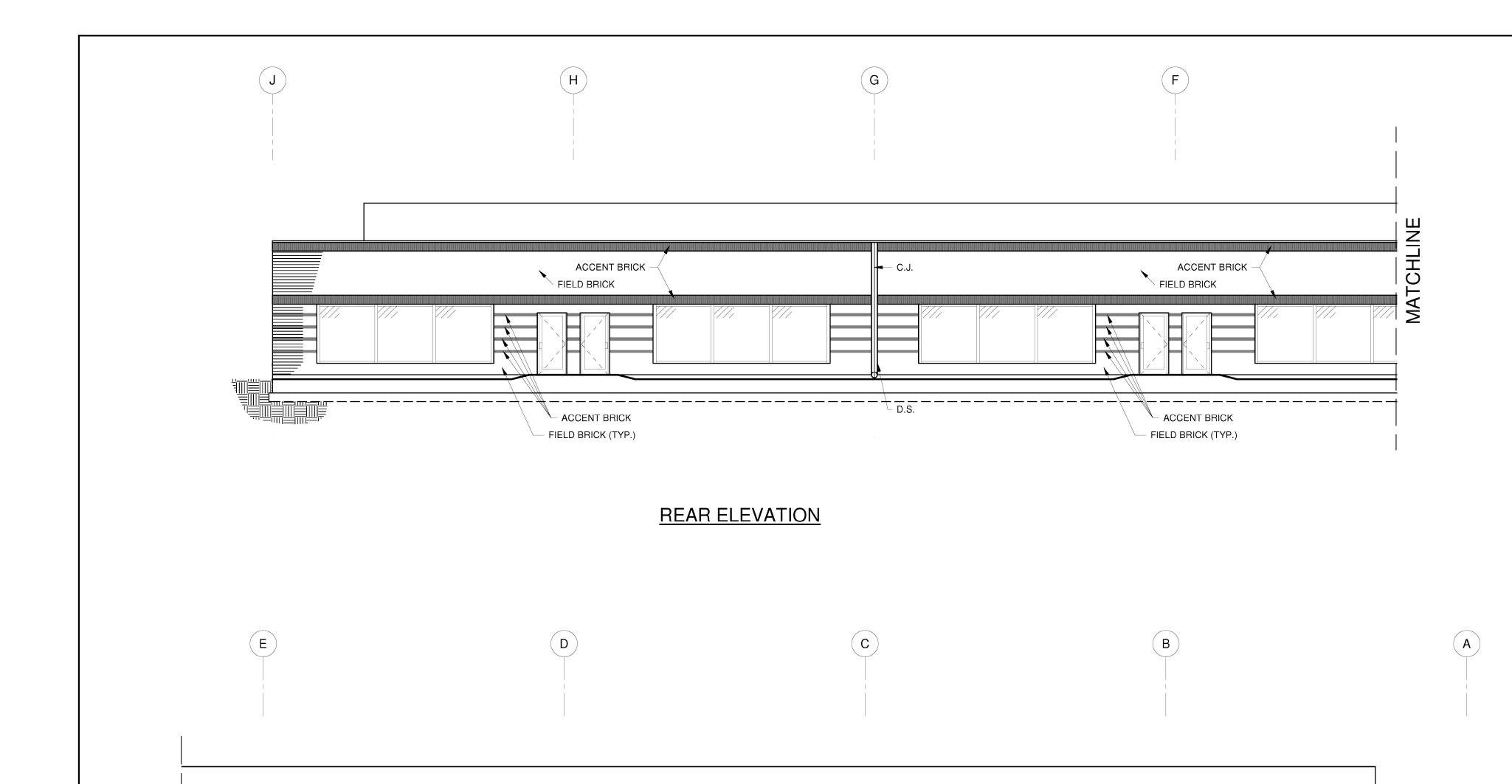
DEVELOPER:

ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 788-0100

SITE ADDRESS: 371 - 411 LIBERTY ROAD ELDERSBURG, MD 21784

CONCEPT SITE DEVELOPMENT PLAN FOR
BUSINESS PARK
LIBERTY EXCHANGE II
BUILDING B
ELEVATIONS

	4TH ELECTION DISTRICT CARROLL COUNTY, MD							
	REVISIO	NS						
_								
NO.	DESCRIPTION OF CHAI	NGES	DRN.	REV.	DATE			
CO.	FILE #: S-22-0038	DES. BY: LJC						
TAX	ACC. #: VARIOUS	DRN. BY: LJC CHK. BY: JLM						
TAX	MAP: 073							
BLO	CK / GRID: <b>002</b>	DATE: 5/3	/24					
PAR	CEL #: 3, 222, 702, 703	DDC JOB#: 21036.2						
ZON	E / USE: C-3	SHEET N	UMBEI	R:				
DWG	G. SCALE: AS NOTED	,	23	of 2	24			

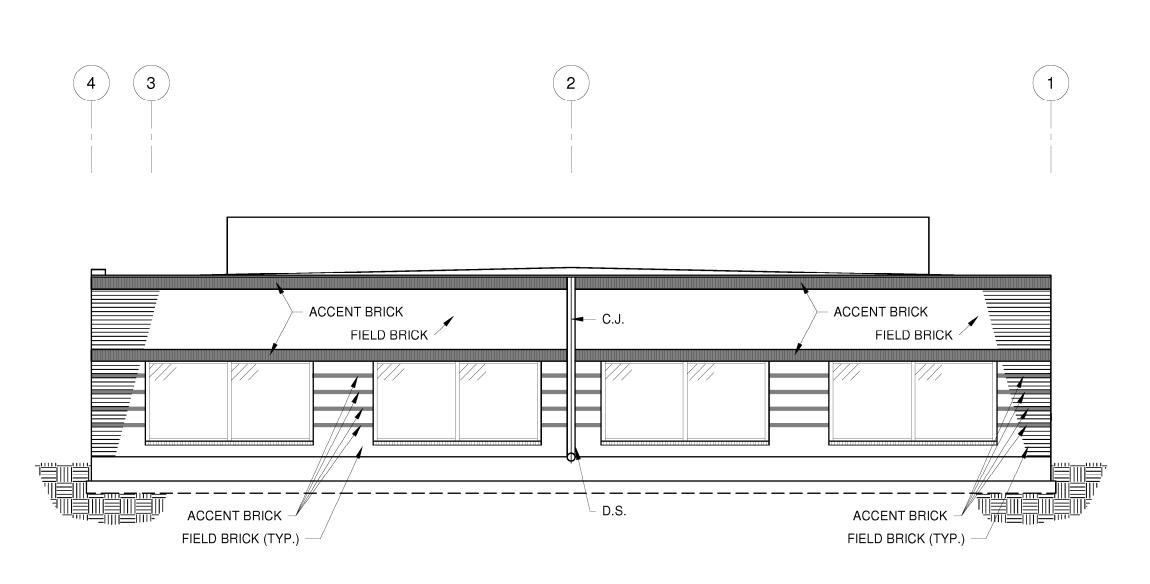




ACCENT BRICK -

ACCENT BRICK

- FIELD BRICK (TYP.)



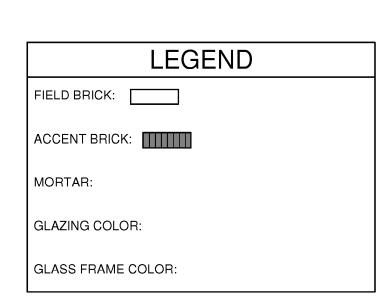
FIELD BRICK

ACCENT BRICK

- FIELD BRICK (TYP.)

# **RIGHT SIDE ELEVATION**

Scale: 1/8" = 1'-0"





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Surveyors 192 East Main Street

Westminster, MD 21157 410.386.0560 410.386.0564 (Fax)

OWNER:
ELDERSBURG INVESTORS II LLC
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 788-0100

DEVELOPER:
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
(410) 788-0100

SITE ADDRESS: 371 - 411 LIBERTY ROAD ELDERSBURG, MD 21784

CONCEPT SITE DEVELOPMENT PLAN FOR BUSINESS PARK LIBERTY EXCHANGE II BUILDING B

ELEVATIONS

14TH ELECTION DISTRICT CARROLL COUNTY, MD

	REVISIO	NS				
NO.	DESCRIPTION OF CHAI	NGES	DRN.	REV.	DATE	
CO.	. FILE #: S-22-0038	DES. BY: L	_JC			
TAX	ACC. #: VARIOUS	DRN. BY: LJC				
TA>	K MAP: 073	CHK. BY: 、	JLM			
BLC	DCK / GRID: <b>002</b>	DATE: 5/3/	/24			
PAF	RCEL #: 3, 222, 702, 703	DDC JOB#: 21036.2				
ZOI	NE / USE: C-3	SHEET N	UMBEI	₹:		
DW	G. SCALE: AS NOTED		24	of 2	24	