

GENERAL NOTES:

1. EXISTING ZONING: CONSERVATION
2. TOTAL AREA OF SITE: 210.61 ACRES
3. TOTAL DEVELOPED AREA: 30,718 SQ. FT.
4. THE PROPERTY SHOWN HEREON IS OWNED BY COUNTY COMMISSIONERS OF CARROLL COUNTY BY DEED DATED OCTOBER 4, 1973, RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY IN LIBER 553, FOLIO 213
5. TAX MAP: 22, BLOCK: 19, PARCEL: 76
6. TOPOGRAPHY SHOWN HEREON IS FIELD RUN, DATED JULY, 2022, AND PREPARED BY CLSI. ADDITIONAL TOPOGRAPHY WAS PROVIDED BY CARROLL COUNTY.
7. LOCATION OF THE NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION IS THE CITY OF WESTMINSTER (2 MILES)
8. THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
9. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES.
10. THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
11. ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
12. THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING.
13. BOARD OF ZONING APPEALS CASE NUMBER: REQUEST & APPROVAL DATE: ALL OF THE ABOVE
14. ALL CONSTRUCTION ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE 'DESIGN MANUAL-VOLUME 1-ROADS AND STORM DRAINS', THE 'BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES', 'HIGHWAY DRAINAGE MANUAL' OF THE STATE HIGHWAY ADMINISTRATION, '2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL' PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE, AND ALL ADDENDA AND ERRATA TO ALL OF THE ABOVE
15. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEERING OFFICE OF CLSI AT (410) 848-1790 IN THE EVENT OF ANY DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIPS OF FINISHED GRADES TO EXISTING GRADES PRIOR TO THE BEGINNING WORK.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TRAFFIC ON ANY EXISTING ROADS.
17. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
18. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK AS SHOWN ON THESE DRAWINGS:
ALLEGHENY POWER 301-829-7009
BALTIMORE GAS & ELECTRIC 410-234-6313
BUREAU OF RESOURCE MANAGEMENT 410-386-2506
VERIZON 410-676-9905
19. ALL UTILITIES SHALL BE CLEARED BY A MINIMUM OF '10". ALL UTILITY POLES SHALL BE CLEARED BY A MINIMUM OF '20' OR TUNNELED IF REQUIRED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR TUNNELING OR BRACING.
21. CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY.
22. ALL SAFETY MEASURES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
23. THE HORIZONTAL CONTROL SHOWN HEREON IS BASED ON THE 'MARYLAND COORDINATE SYSTEM' (NAD-83-91). THE VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
24. IN FILL AREAS, THE COMPACTION SHALL BE FULL HEIGHT COMPACTION TO THE SPECIFIED ELEVATION. FILL SHALL BE PLACED IN EIGHT (8) INCH (PLUS OR MINUS TWO (2) INCHES), MEASURED LOOSE LIFTS AND EACH LIFT COMPACTED TO NOT LESS THAN NINETY-FOUR PERCENT (94%) OF THE MAXIMUM DRY DENSITY AT PLUS OR MINUS TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE MODIFIED PROCTOR TEST (AASHTO T-99) UNLESS SPECIFIED OTHERWISE BY THE GEOTECHNICAL ENGINEER.
25. ALL CUT/FILL QUANTITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED BY THE SEDIMENT CONTROL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL VERIFY SUCH CALCULATIONS TO HIS OWN SATISFACTION FOR BID CONTRACT PURPOSES.
26. THE SITE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE MARYLAND ACCESSIBILITY CODE, COMR 03.12.53, AS WELL AS THE 2010 ADA STANDARDS OF THE ACCESSIBILITY DESIGN (DEPARTMENT OF JUSTICE). A 'FROM' INSPECTION IS REQUIRED ON ALL ACCESSIBLE ROUTES/RAMPS/CURB RAMPS PRIOR TO PLACEMENT OF FINAL MATERIAL. SLOPES OF RAMPS AND CURB RAMPS SHALL COMPLY WITH THE AFOREMENTIONED REGULATIONS/STANDARDS. CONTRACTOR TO COORDINATE WITH COUNTY INSPECTOR.

THIS SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND PARTIALLY WITHIN THE SURFACE WATER MANAGEMENT AREA. IF HAZARDOUS OR REGULATED SUBSTANCES ARE STORED ONSITE, STORAGE WILL BE PROVIDED INSIDE THE BUILDING IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS INCLUDING THE CARROLL COUNTY WATER RESOURCES MANUAL.

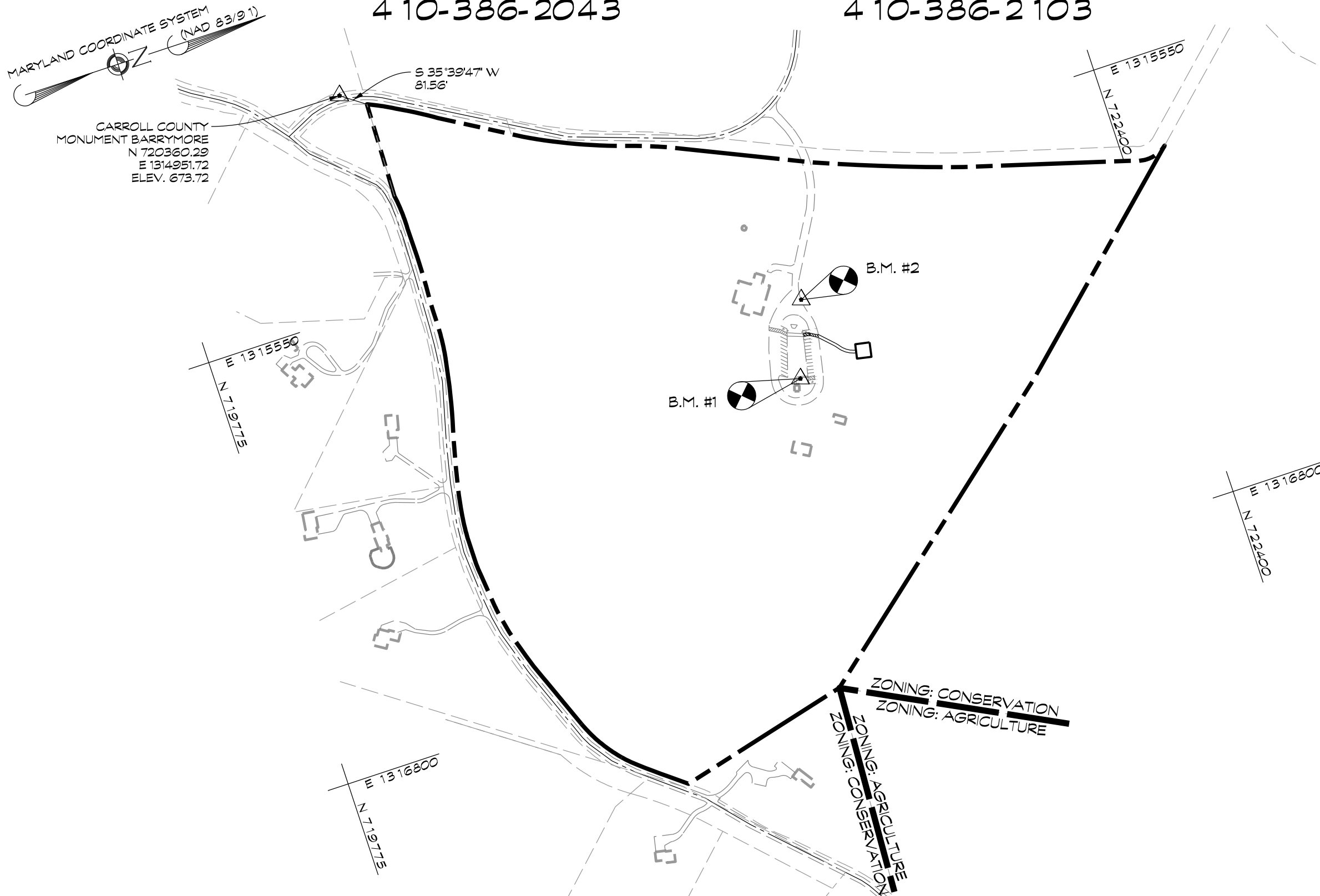
THERE ARE NO TIER II WATERS PRESENT ONSITE PER THE 'MARYLAND'S TIER II HIGH QUALITY WATERS (2021)' MAP.

AMENDED SITE PLAN
for
BEAR BRANCH NATURE
CENTER PAVILION

TAX MAP: 22 * BLOCK: 19 * PARCEL: 76
3rd ELECTION DISTRICT * CARROLL COUNTY, MD.

OWNER
COMMISSIONERS OF
CARROLL COUNTY
225 NORTH CENTER ST
WESTMINSTER, MD 21157
410-386-2043

DEVELOPER
CARROLL COUNTY DEPT.
OF RECREATION AND PARKS
225 N CENTER STREET
WESTMINSTER, MD 21157
410-386-2103



PLAN

SCALE: 1" = 300'

NOTE:
THE PROPOSED PAVILION WILL NOT INCREASE THE AVERAGE DAILY TRAFFIC COUNT.

PURPOSE NOTE:
THE PURPOSE OF THESE PLANS IS TO ADD A PAVILION AND PATHWAY TO THE EXISTING NATURE CENTER.

PARKING TABULATIONS
EXISTING SPACES: 29 SPACES (3 HANDICAP) HANDICAPPED SPACES PROVIDED: 3 SPACES VAN ACCESSIBLE SPACES PROVIDED: 2 SPACES

PROJECT CERTIFICATIONS

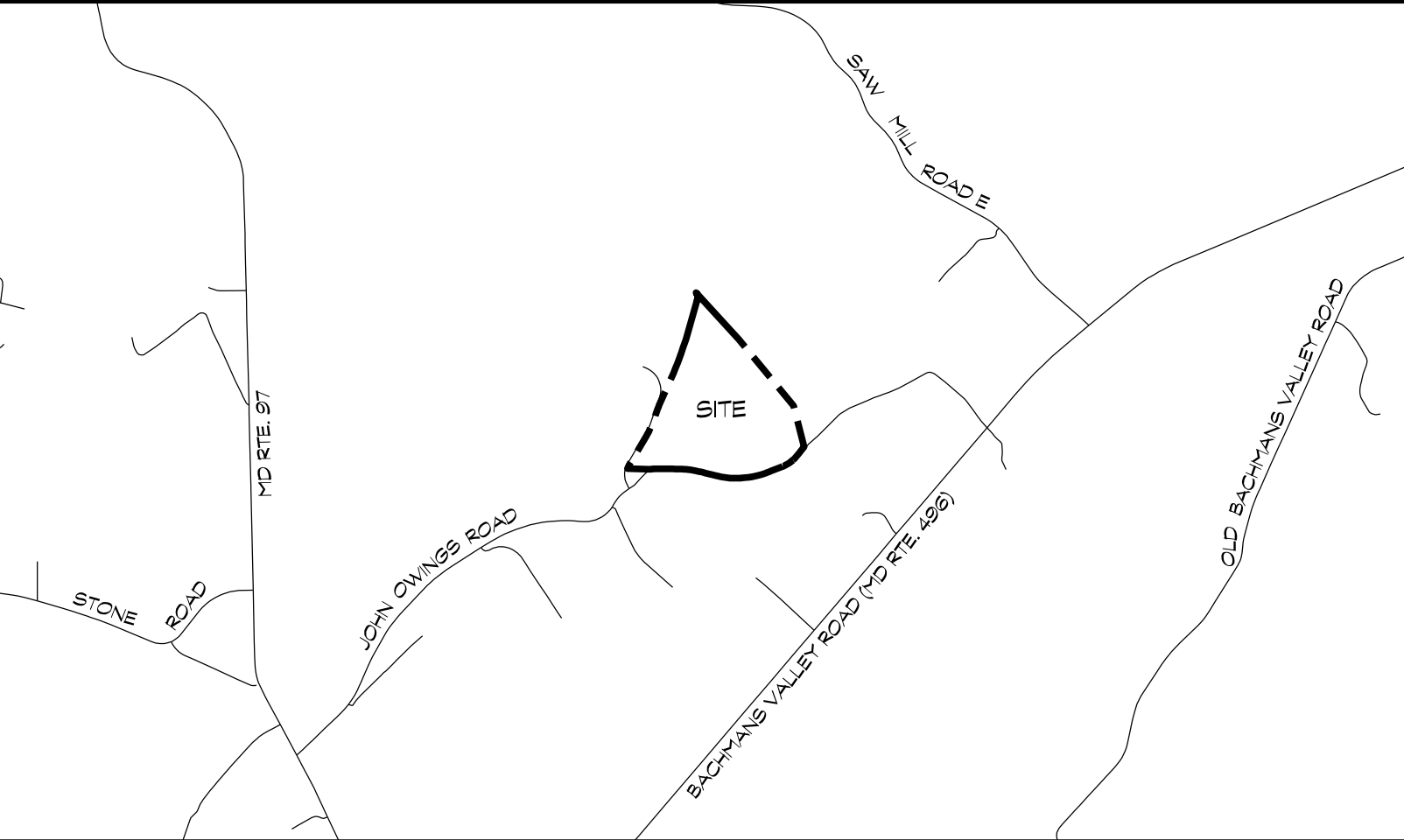
ENGINEER I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL SOIL CONSERVATION DISTRICT. BNA Braton D. Moore Professional Engineer Registration No. 51265	DEVELOPER I CERTIFY THAT THIS PLAN OF SOIL EROSION & SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION & SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES. DATE 12/4/2023	OWNER I WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE. DATE
DEVELOPER PRINTED NAME OF DEVELOPER DEVELOPER COMPANY NAME DEVELOPER PHONE NUMBER	OWNER DATE	



439 East Main Street Westminister, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

VICINITY MAP

SCALE: 1" = 2000'



LIST OF DRAWINGS

1. TITLE SHEET
2. GRADING & SEDIMENT CONTROL PLAN
3. SEDIMENT CONTROL NOTES AND DETAILS
4. STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS, AND MISCELLANEOUS DETAILS
5. BUILDING ELEVATIONS

SITE DEVELOPMENT PLAN INSPECTION SEQUENCE

1. CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT (410) 386-2674 AT LEAST ONE (1) WORKING DAY PRIOR TO BEGINNING ANY WORK.
2. SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
A. PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
B. PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
C. SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
D. COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
E. COMPLETION OF ALL WORK SHOWN ON PLANS.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT (410) 386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.
3. CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT (410) 386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
4. FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT (410) 386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
5. THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.

BENCHMARKS:

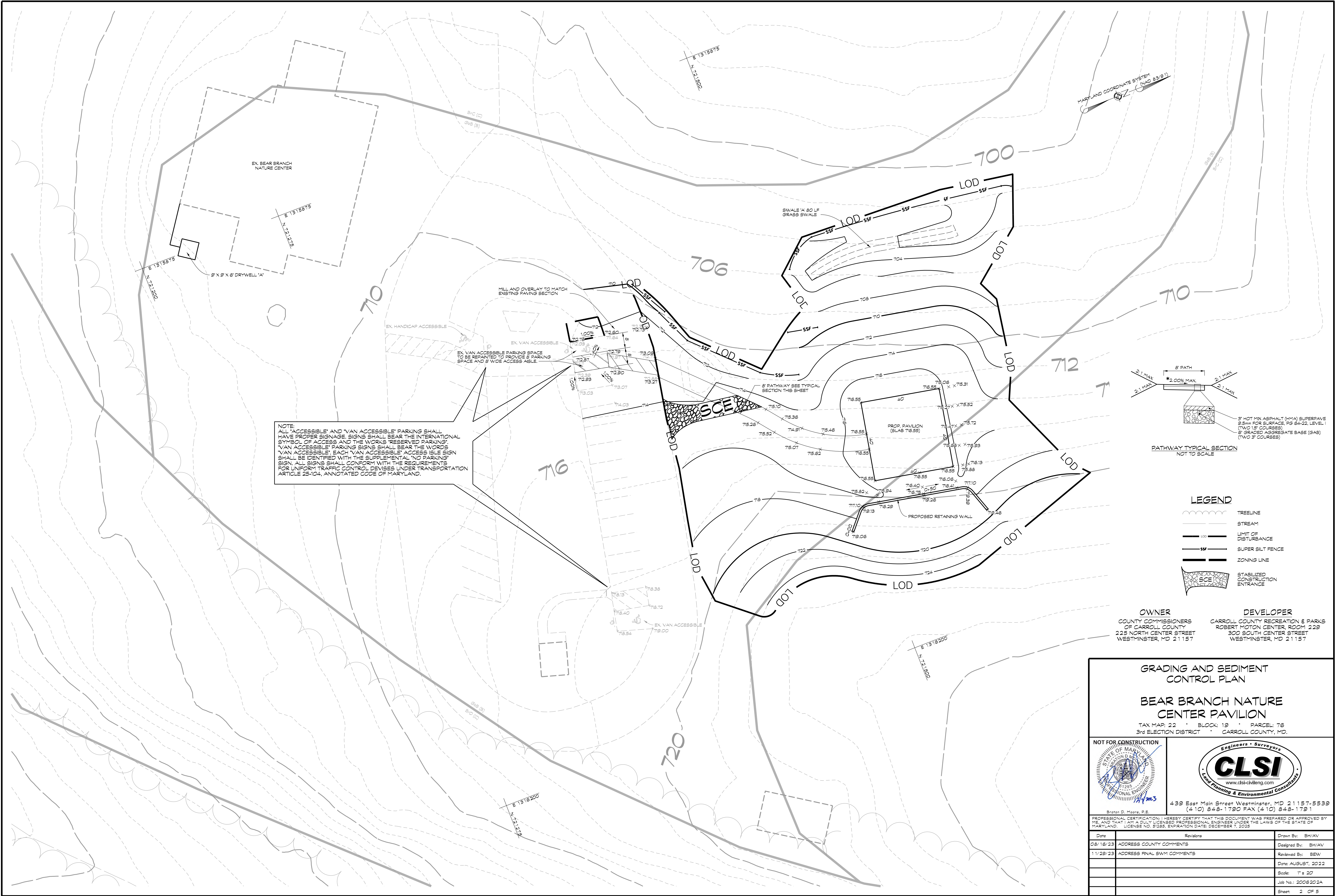
B.M.#1: N 721342.7240 E 1316115.9514 ELEV. 719.01
CLSI PT #F1 REBAR & CAP SET
B.M.#2: N 721414.5817 E 1315905.4950 ELEV. 706.74
CLSI PT #F2 REBAR & CAP SET

SITE PLAN
for
BEAR BRANCH NATURE
CENTER PAVILION

TAX MAP: 22 * BLOCK: 19 * PARCEL: 76
3rd ELECTION DISTRICT * CARROLL COUNTY, MD.

NOT FOR CONSTRUCTION 		OWNER COMMISSIONERS OF CARROLL COUNTY 225 NORTH CENTER ST WESTMINSTER, MD 21157 410-386-2043 DEVELOPER CARROLL COUNTY DEPT. OF RECREATION AND PARKS 225 N CENTER STREET WESTMINSTER, MD 21157 410-386-2103
439 East Main Street Westminister, MD 21157-5539 (410) 848-1790 FAX (410) 848-1791		

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51265, EXPIRATION DATE: DECEMBER 7, 2025.		
DATE	REVISIONS	DATE: AUGUST, 2023
08/16/23	ADDRESS COUNTY COMMENTS	
11/30/2023	ADDRESS COUNTY COMMENTS	C.C. FILE NO.: S-22-0022
		JOB NO.: 2006202A
		SHEET: 1 OF 5



OWNER
COUNTY COMMISSIONERS
OF CARROLL COUNTY
225 NORTH CENTER STREET
WESTMINSTER, MD 21157

DEVELOPER
CARROLL COUNTY RECREATION & PARKS
ROBERT MOTON CENTER, ROOM 225
300 SOUTH CENTER STREET
WESTMINSTER, MD 21157

**GRADING AND SEDIMENT
CONTROL PLAN**

**BEAR BRANCH NATURE
CENTER PAVILION**

TAX MAP: 22 • BLOCK: 19 • PARCEL: 76
3rd ELECTION DISTRICT • CARROLL COUNTY, MD.



439 East Main Street Westminister, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 81285, EXPIRATION DATE: DECEMBER 7, 2025

Date	Revisions	Drawn By:	BH/AV
08/18/23	ADDRESS COUNTY COMMENTS	Designed By:	BH/AV
11/29/23	ADDRESS FINAL SWM COMMENTS	Reviewed By:	BEV
		Date:	AUGUST, 2022
		Scale:	1" = 20'
		Job No.:	2006202A
		Sheet:	2 OF 5

SEDIMENT & EROSION CONTROL NOTES

1. All erosion/sediment control measures shall comply with the Maryland Standards and Specifications for Soil Erosion and Sediment Control by the Maryland Department of the Environment, Water Management Administration in association with the Natural Resources Conservation Service and Maryland Association of Soil Conservation Districts (referenced as the 2011 Standards and Specs).
2. Areas that have been cleared and/or graded, but will not be constructed on or permanently vegetated for more than 3 days (3 days for sediment control measures (erosion slopes) must be stabilized with mulch or temporary stabilization. Any areas that are in temporary vegetation for over 6 months will need to be permanently vegetated.
3. For specifications on permanent or temporary stabilization see B-4-4 and B-4-5.
4. Mulching can only be used on disturbed areas as a temporary cover where vegetation is not feasible or where seedling germination cannot be completed because of weather conditions. For specifications see B-4-3, A.1.B.
5. For specifications on the stabilization of cut and fill slopes greater than 3:1 horizontal to 1 vertical, see Incremental Stabilization B-4-1.
6. The existing topsoil from on or off site that is used must meet the minimum specifications in B-4-2.
7. The required sequence of construction must be followed during site development. Any change in the sequence of construction must be approved by the Soil Conservation District.
8. Any revisions to the sediment control plan, not covered under the list of plan modifications that can be approved by the sediment control inspector, need to be submitted to the Soil Conservation District for approval.
9. No proposed slope that is seeded and/or mulched shall be greater than 2:1. Slopes greater than 2:1 shall require an engineered design for stabilization.
10. All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 2011 Standards and Specs.
11. The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.
12. The design approval for this sediment control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be resubmitted to the soil conservation district for review and re-approval. Any plans that are currently under construction after 2 years may be required to be re-submitted to the soil conservation district by the sediment control inspector.

DUST CONTROL SCHEDULE

May-October - All graded areas not being immediately stabilized as noted in the "Required Sequence of Construction" shall be watered on a continuing basis as necessary to provide for dust proofing. Contractor shall provide tank truck with spray bar on site at any time the disturbed area exceeds three (3) acres.

SITE ANALYSIS

1. TOTAL AREA OF SITE: 210,811 AC.
2. AREA DISTURBED: 30,718 S.F.
3. TOTAL CUT: 838 C.Y.
4. TOTAL FILL: 557 C.Y.

NOTE: EARTHWORK CUT AND FILL QUANTITIES INDICATED ON THIS PLAN ARE SHOWN FOR PURPOSES OF OBTAINING SEDIMENT CONTROL PLAN APPROVAL AND NOT TO BE USED FOR CONTRACTUAL OBLIGATIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY QUANTITIES.

REQUIRED SEQUENCE OF CONSTRUCTION

1. NOTIFY THE CARROLL COUNTY BUREAU OF SEDIMENT CONTROL (410-386-2210) 24 HOURS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. ALL PROTECTION FENCINGS AND PERMANENT SIGNS REQUIRED UNDER THE CARROLL COUNTY CODE OF PUBLIC LAWS AND ORDINANCES, FOREST CONSERVATION (CHAPTER 150) AND WATER RESOURCE MANAGEMENT (CHAPTER 154) SHALL BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE CARROLL COUNTY SEDIMENT INSPECTOR.
2. INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE.
3. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB SITE TO INSTALL PERIMETER CONTROL SUPER SILT FENCE.
4. MASS GRADE SITE AND CONSTRUCT RETAINING WALL.
5. INSTALL SIDEWALK AND PAVILION.
6. CONSTRUCT GRASS SWALE AND DRYWELL.
7. MILL AND OVERLAY EXISTING ROAD PER PLAN.
8. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES, FINAL STABILIZE ALL DISTURBED AREAS.

NOTE:
ALL SEDIMENT CONTROL MEASURES SHOWN HEREON ARE TEMPORARY UNLESS OTHERWISE NOTED.

NOTE:
ALL STOCKPILE AREAS SHALL BE CONFINED WITHIN PERIMETER CONTROLS. IN THE EVENT THAT STOCKPILE AREAS MUST BE LOCATED OUTSIDE OF DISTURBED AREAS, THE LOCATION SHALL BE AS DIRECTED BY THE INSPECTOR IN THE FIELD.

STABILIZATION SPECIFICATIONS

TEMPORARY SEEDING NOTES

Scope: Planting short term (no more than 6 months) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.

Standards: The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

1. The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into the loosened layer of soil. See section B-4-2.

2. For temporary stabilization, fertilizer shall consist of a mixture of 10-20-20 and be applied at a rate of 4.96 lb. per acre (10 lb. per 1000 sq. ft.) and will meet the requirements in section B-4-2. Lime shall be applied at a rate of 2 tons per acre (80 lb. per ac. ft.) and shall meet the requirements in section B-4-2 and B-4-4.

3. Seed type and application shall meet the requirements in section B-4-3. Seed tags shall be made available to the inspector to verify the type and rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c and will be applied along with the seed or immediately after seeding.

4. Seeding mixtures shall be selected from or will be equal to those on Table B. 1 (page B. 20).

Temporary Seeding Summary

The seeding chart below will need to be placed on and filed in on the sediment control plan.

Hardness Zone (from Figure B. 3): GB Seed Mixture (from Table B. 1):					
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth	Fertilizer Rate (10-20-20)
1	Annual Ryegrass (Lolium perenne ssp. multiflorum)	40 lb/ac	3/15 - 5/31 5/1 - 9/30	0.5"	4.96 lb/ac (10 lb/1000 sf)
2	Perennial Millet (Setaria holcus)	30 lb/ac	5/15 - 7/31	0.5"	2 tons/ac (80 lb/1000 sf)

PERMANENT SEEDING NOTES

Scope: Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 6 months.

Standards: The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.

For areas over 5 ac. soil tests will be performed. Soil tests will be conducted by the University of Maryland or a recognized commercial laboratory. Minimum soil conditions shall meet the requirements of section B-4-2-A-2-a, otherwise soil amendments or topsoil will need to be applied. Topsoiling may occur when soil conditions meet the minimum requirements as stated in section B-4-2-B. Soil amendments must meet the requirements as set forth in section B-4-2-C and must be applied as indicated by the soil tests.

For areas of 5 ac. or less of disturbance, the following fertilizer and lime rates shall apply. Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates: N is 4.5 lb. per acre (1 lb. per 1000 sq. ft.), P2O5 is 80 lb. per acre (2 lb. per 1000 sq. ft.) K2O is 80 lb. per acre (2 lb. per 1000 sq. ft.) Lime shall be applied at a rate of 2 tons per acre (80 lb. per 1000 sq. ft.)

Seed type, turfgrass or sod application shall meet the requirements in section B-4-5. Seed tags shall be made available to the inspector to verify the type and application rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c, and will be applied along with seed or immediately after seeding.

Seeding mixtures shall be selected from or will be equal to those on Table B-3. The seeding chart below will need to be placed on and filed in on the sediment control plan.

Hardness Zone (from Figure B. 3): GB Seed Mixture (from Table B. 3):					Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth	N	P ₂ O ₅	K ₂ O	
19	Improved Tall Fescue (Lolium arundinaceum)	80 lb/ac	3/1 - 5/15 6/1 - 10/15	1/4 - 1/2 in	4.5 pounds per acre (1 lb/1000 sf)	80 lb/ac (20 lb/1000 sf)	80 lb/ac (20 lb/1000 sf)	2 tons/ac (80 lb/1000 sf)
	Improved Kentucky Bluegrass	40 lb/ac	3/1 - 5/15 6/1 - 10/15	1/4 - 1/2 in				
	Improved Perennial Ryegrass	20 lb/ac	3/1 - 5/15 6/1 - 10/15	1/4 - 1/2 in				
	Switch Grass (Panicum virgatum)	10 lb/ac	3/1 - 5/15 6/1 - 10/15	1/4 - 1/2 in				
11	Creeping Red Fescue (Festuca ssp.)	15 lb/ac	3/1 - 5/15 6/1 - 10/15	1/4 - 1/2 in	4.5 pounds per acre (1 lb/1000 sf)	80 lb/ac (20 lb/1000 sf)	80 lb/ac (20 lb/1000 sf)	2 tons/ac (80 lb/1000 sf)
	Perennial Pea (Chamaecrista fasciculata)	4 lb/ac	3/1 - 5/15 6/1 - 10/15	1/4 - 1/2 in				

19 - use 1 variety on the MD/VA recommended list (T1-T7)

11 - use 2-4 varieties on the MD/VA recommended list (T1-T7)

Trailing note

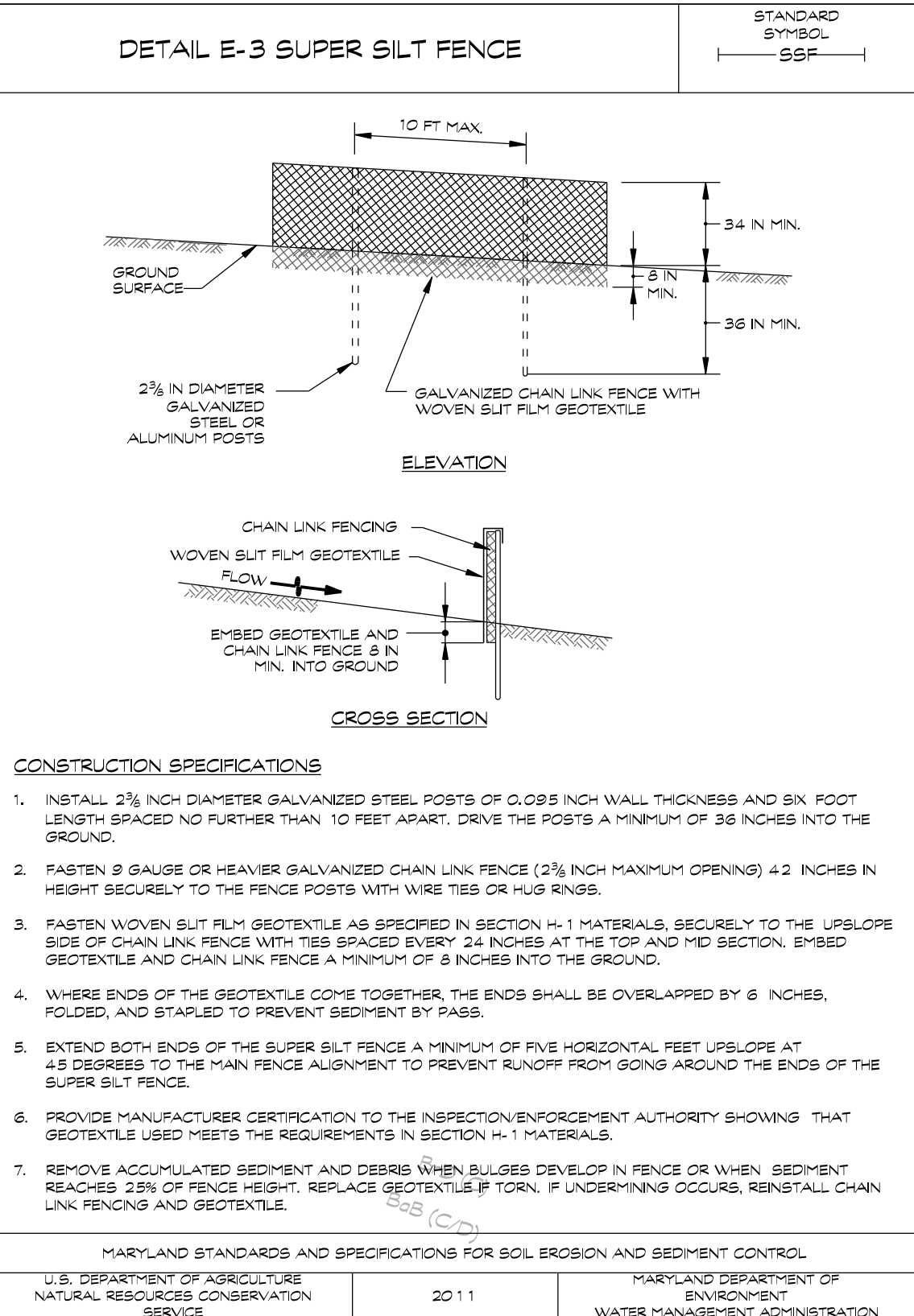
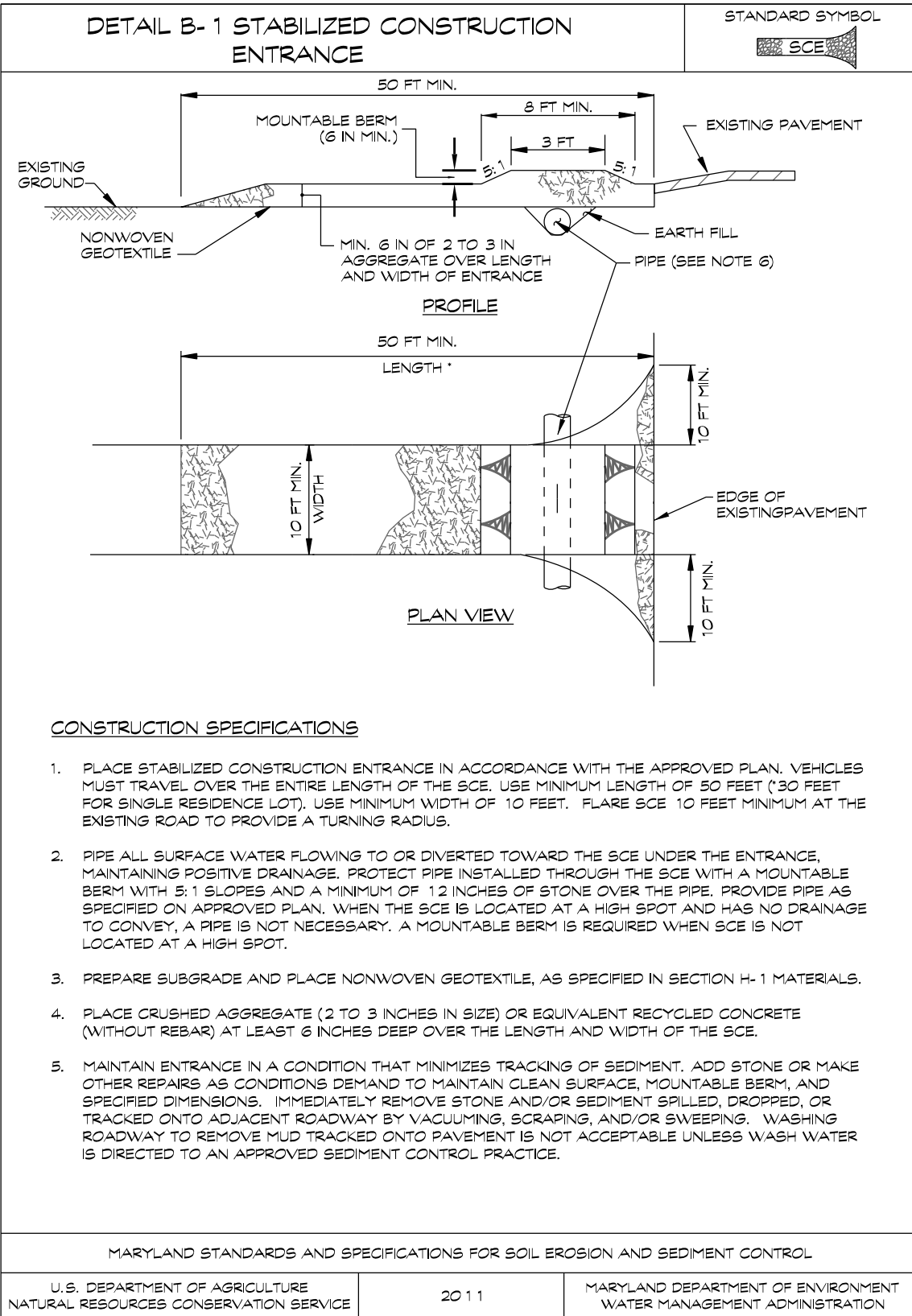
On areas where the slope is 3:1 or steeper and the height is 8' or greater, contractor shall track the slope using cleaned dozer prior to placing asphalt binder. Dozer shall run up-and-down so that dirt marks are horizontal. Where tracking is required, it shall be done from existing grade level to finished grade level within the limits established by the 8' height criteria.

UTILITY CONSTRUCTION NOTES

1. Place all excavated material on the high side of the trench.
2. Only do as much work as can be done in one day as backfilling, final grading, and permanent stabilization can occur.
3. Any sediment control measures disturbed by the utility construction will be repaired the same day.

STOCKPILE/TOPSOIL NOTES

1. Stockpiling will not be allowed on any impervious area.
2. All stockpiles left at the end of the day will need to be temporarily stabilized until they are again disturbed, unless they are within existing perimeter sediment controls.
3. All stockpile areas shall be confined within perimeter controls. In the event that stockpile areas must be located outside disturbed areas, the location shall be as directed by the inspector in the field.



OWNER
COUNTY COMMISSIONERS
OF CARROLL COUNTY
223 NORTH CENTER STREET
WESTMINSTER, MD 21157

DEVELOPER
CARROLL COUNTY RECREATION & PARKS
ROBERT MOTON CENTER, ROOM 223
300 SOUTH CENTER STREET
WESTMINSTER, MD 21157

SEDIMENT CONTROL NOTES AND DETAILS

BEAR BRANCH NATURE
CENTER PAVILION

TAX MAP: 22 * BLOCK: 19 * PARCEL: 76
3rd ELECTION DISTRICT * CARROLL COUNTY, MD.



439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 81285, EXPIRATION DATE: DECEMBER 7, 2025

Date	Revisions	Drawn By:
08/18/23	ADDRESS COUNTY COMMENTS	Designed By: AV
11/29/23	ADDRESS FINAL BWM COMMENTS	Reviewed By: BDM
		Date: AUGUST, 2022
		Scale: AS SHOWN
		Job No.: 2008-202A
		Sheet: OF 5



SCALE: HORIZ. 1"= 20'
VERT. 1"= 5'

STORMWATER MANAGEMENT SUMMARY DATA	
DRYWELL 'A'	
1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED	
2. DRYWELL	
3. 0.022 AC. DRAINAGE AREA	
4. 0.022 AC. IMPERVIOUS AREA	
5. WATERSHED: B/G PIPE CREEK	, USE N-P
6. BSDV PROVIDED: 121 CF	
7. CENTROID OF FACILITY:	
N: 721226	
E: 1315874	

STAGE	ENGINEERS APPROVAL DRYWELL 'A'	
	INITIALS	DATE
1. PLACEMENT OF SAND		
2. PLACEMENT OF NO. 2 STONE AND PIPE		
3. PLACEMENT OF 4" PVC PIPE		
4. FINE GRADE & STABILIZATION OF AREAS DISTURBED DURING CONSTRUCTION OF DRYWELL		

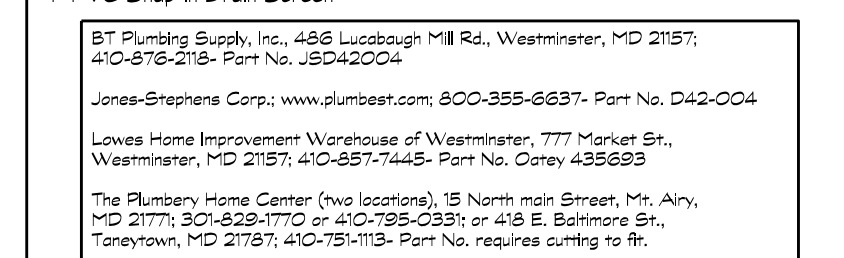
ENGINEER'S NAME : CLSI
PHONE NUMBER: 410 - 848-1790

STORMWATER MAINTENANCE SCHEDULE DRYWELL

MODIFIED TO CORRESPOND TO CARROLL COUNTY DETAILS

NOTES:

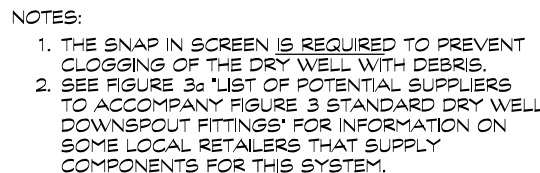
1. THE STANDARD DRY WELL IS 8" X 8" X 6' WITH AN ADDITIONAL 1/2 OF ASTM C SAND Poured UNDER STONE PERMIT, MAXIMUM ROOF TOP DRAINAGE TO EACH DRY WELL MUST EXCEED 50% DRAINAGE AREAS TO EACH DRY WELL BE DETERMINED FOR THE BUILDING PERMIT.
2. MINIMUM SETBACKS:
 - A. 100 FT FROM WELLS
 - B. 25 FT FROM SEPTIC AREAS
 - C. 10 FT FROM BUILDINGS
3. FROM THE DOWNSPOUT TO THE DRY WELL THE DRAIN PIPE MUST BE AT LEAST 8" BELOW GRADE.
4. THE LOCATIONS AND SIZE OF ALL DRY WELLS MUST BE SHOWN ON THE GRADING PLAN.
5. THESE GEOTEXTILES ARE AVAILABLE IN PKGS/500' @ \$5 & 6 DISTRIBUTORS: 2602 EIGHTH RD, BLDG. 8, 866-744-5001, ANY EQUIVALENT GEOTEXTILE



Note: The Carroll County Bureau of Resource Management obtained this part information after sending out a letter to known local plumbing supply companies and after receiving information from each respective company. The suppliers listed above are provided for reference purposes only. Any professional schedule 40 PVC fittings from any vendor may be used.

I hereby certify that these plans have been designed according to Chapter 151 of the Code of Public Local Laws and Ordinances of Carroll County and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the state of Maryland.

SIGNED BNA DATE 12/4/2013



DEVELOPER'S/LANDOWNER'S CERTIFICATION

I/We hereby certify that all proposed work shown on these construction drawing(s) will be conducted in strict accordance with these plans. I/We also understand that it is my/our responsibility to have the construction supervised and certified, including the submittal of "As-Built" plans certified by a Registered Professional Engineer or Professional Land Surveyor, as appropriate, within this (30) day period of completion of work on the stormwater management facility/facilities. I/We also certify that this/these stormwater management facility/facilities will be inspected during construction by a Registered Professional Engineer or Professional Land Surveyor as appropriate, in accordance with Sections 151.095 and 151.096 of the Code of Public Local Laws and Ordinances of Carroll County.

SIGNED: _____ DATE: _____

ENGINEER'S "AS-BUILT" CERTIFICATION

I/We hereby certify that the facility/facilities shown on this/these plan(s) was constructed as shown on the 'As-Built' plans and meets the approved plans and specifications. I also certify that this/these facilities were inspected in accordance with Sections 151.035 and 151.036 of the Code of Public Local Laws and Ordinances of Carroll County, and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the state of Maryland.

SIGNED _____ DATE _____
 LICENSE NO. _____ EXPIRATION DATE _____

ENGINEER'S DESIGN CERTIFICATION

I hereby certify that these plans have been designed according to Chapter 151 of the Code of Public Local Laws and Ordinances of Carroll County and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the state of Maryland.

SIGNED BNA DATE 12/14/2023
 LICENSE NO. 51285 EXPIRATION DATE 12/7/2025



STAGE	INITIALS	DATE	INSPECTING AGENCY
1. EXCAVATE SWALE TO APPROPRIATE DIMENSIONS.			CLSI
2. STABILIZE SWALE WITH SOLID BODDING. SEE TYPICAL SECTION FOR SPECIFS			CLSI
3. ONCE 2' STAND OF GRASS ESTABLISHED, SUBMIT SIGNED AND CERTIFIED "AS-BUILT" TO C.C. BUREAU OF RESOURCE MANAGEMENT.			CLSI

ENGINEER'S NAME: CLSI
PHONE NUMBER: (410) 848-1790

ENGINEER'S NAME: _____
PHONE NUMBER: _____
ENGINEER'S NAME: _____
PHONE NUMBER: _____

STORMWATER MAINTENANCE SCHEDULE DRY SWALE

MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Vegetative Cover	Check grass. Check for channelizing, erosion, and bare spots. Check for vegetation blocking inlets, weirs, and outlet.	Mow grass to maintain a height of 4 to 6 inches. Remove clippings. Re-vegetate with topsoil, seed, and matting. Remove or cut back vegetation around inlets, weirs, and outlet.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Dewatering	Facility must dewater within 48 hours of rainfall. Noticeable odors, stained water on the filter surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions and inadequate dewatering of the facility.	Remove top three inches of soil and replace with soil material as per plan specifications. Follow-up inspections must confirm adequate dewatering. If the facility does not function as intended after the above action, the entire system including the underdrain may need refurbishing.
Erosion	Check inlets, channel, outfall, and side slopes for evidence of erosion, rills, gullies, and runoff channelization.	Re-grading may be required when concentrated flow causes rills or gullying through the facility. Grass, vegetate, and/or armor to provide stable conveyance in accordance with approval plans.
Check Dams	Check for evidence of flow cutting around the structure and evidence of erosion at the downstream toe.	Re-grade and repair with topsoil, seed and matting. Provide stone at downstream toe.
Sediment Accumulation	Check for accumulated sediment in conveyance systems and in swale. Check for clogged openings.	When sediment accumulates to 1 inch depth, remove sediment. Remove sediment from clogged openings. Dispose of all sediment in an acceptable location.
Underflow and Overflow Structures	Check for misalignments, broken pipes, and blockages. Check observation well for water levels.	Repair any broken or faulty piping. Clear out any blockages.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riprap outlets must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that flow conveyance and bypasses are functioning as designed.	Repair to good condition according to specifications on the approved plans.

LIMIT OF DISTURBANCE = 29.984 SF

THIS SITE IS IN A SURFACE WATER PROTECTION
AREA AND A SURFACE WATER MANAGEMENT ZONE.

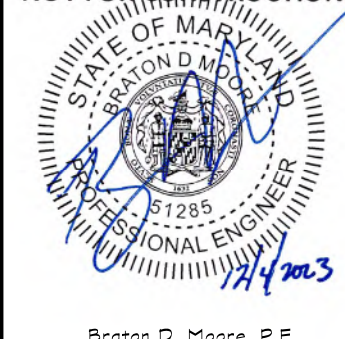
<u>OWNER</u>	<u>DEVELOPER</u>
COUNTY COMMISSIONERS OF CARROLL COUNTY 225 NORTH CENTER STREET WESTMINSTER, MD 21157	CARROLL COUNTY RECREATION & PARKS ROBERT MOTON CENTER, ROOM 229 300 SOUTH CENTER STREET WESTMINSTER, MD 21157

STORMWATER MANAGEMENT PLAN, NOTES
AND DETAILS, AND MISCELLANEOUS DETAILS

BEAR BRANCH NATURE
CENTER PAVILION

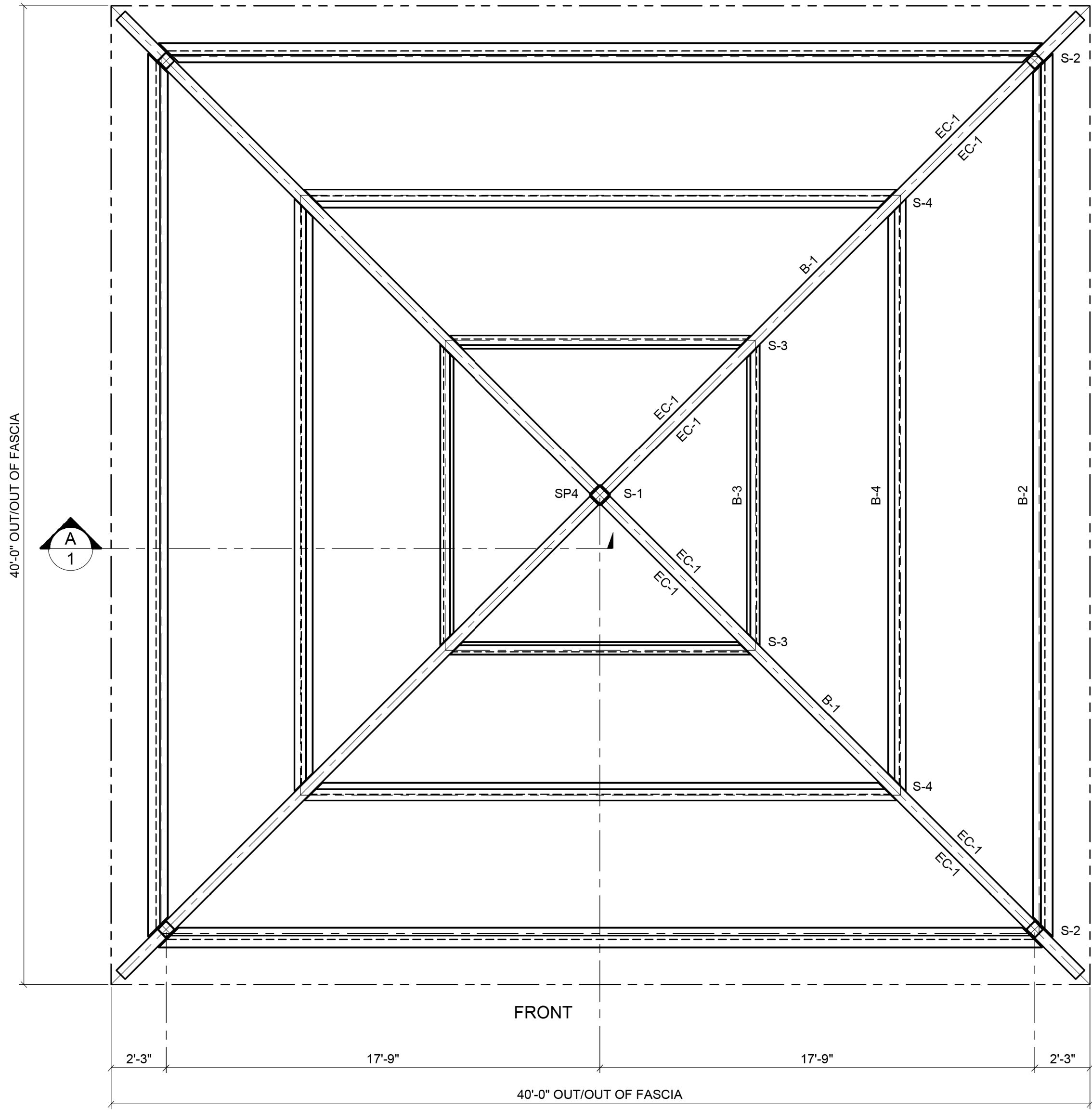
TAX MAP: 22 * BLOCK: 19 * PARCEL: 76
3rd ELECTION DISTRICT * CARROLL COUNTY, MD

NOT FOR CONSTRUCTION



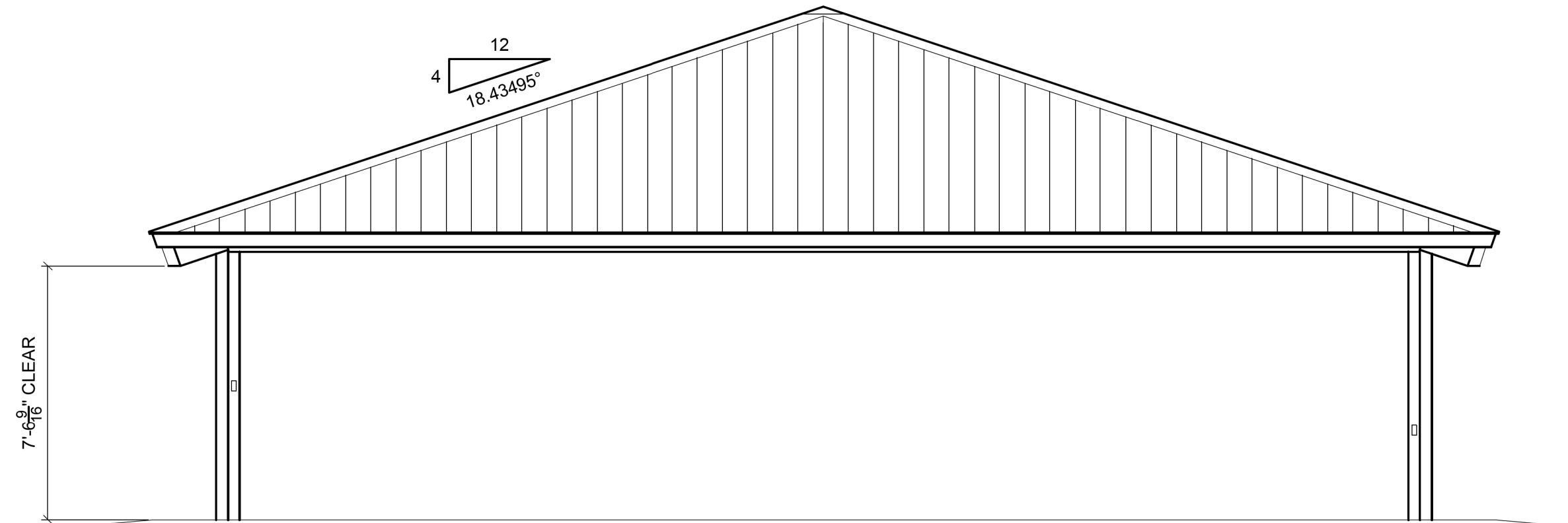
439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS. LICENSE NO. 01822 EXPIRATION DATE: DECEMBER 7, 2022		
Date	Revisions	
05/18/23	ADDRESS COUNTY COMMENTS	Drawn By: BH/AV
		Designed By: BH/AV
11/23/23	ADDRESS FINAL SWMT COMMENTS	Reviewed By: BDM
		Date: AUGUST, 2022
		Scale: AS SHOWN
		Job No.: 2006202A
		Sheet: 4 OF 5

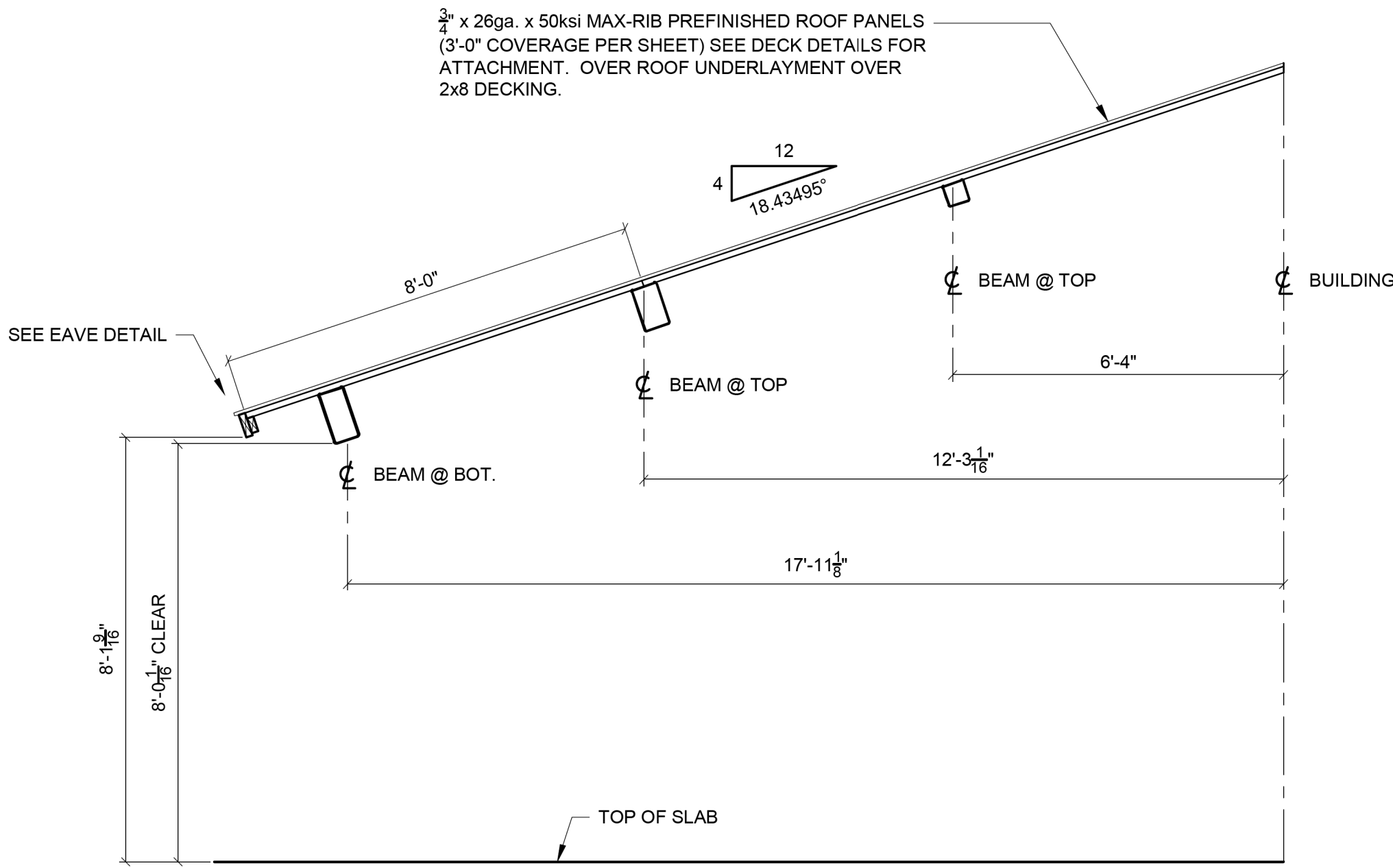


ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

ERECTOR NOTE:
SEE METAL DECK DETAILS FOR
ATTACHMENT OF CAP/TRIM PIECES.

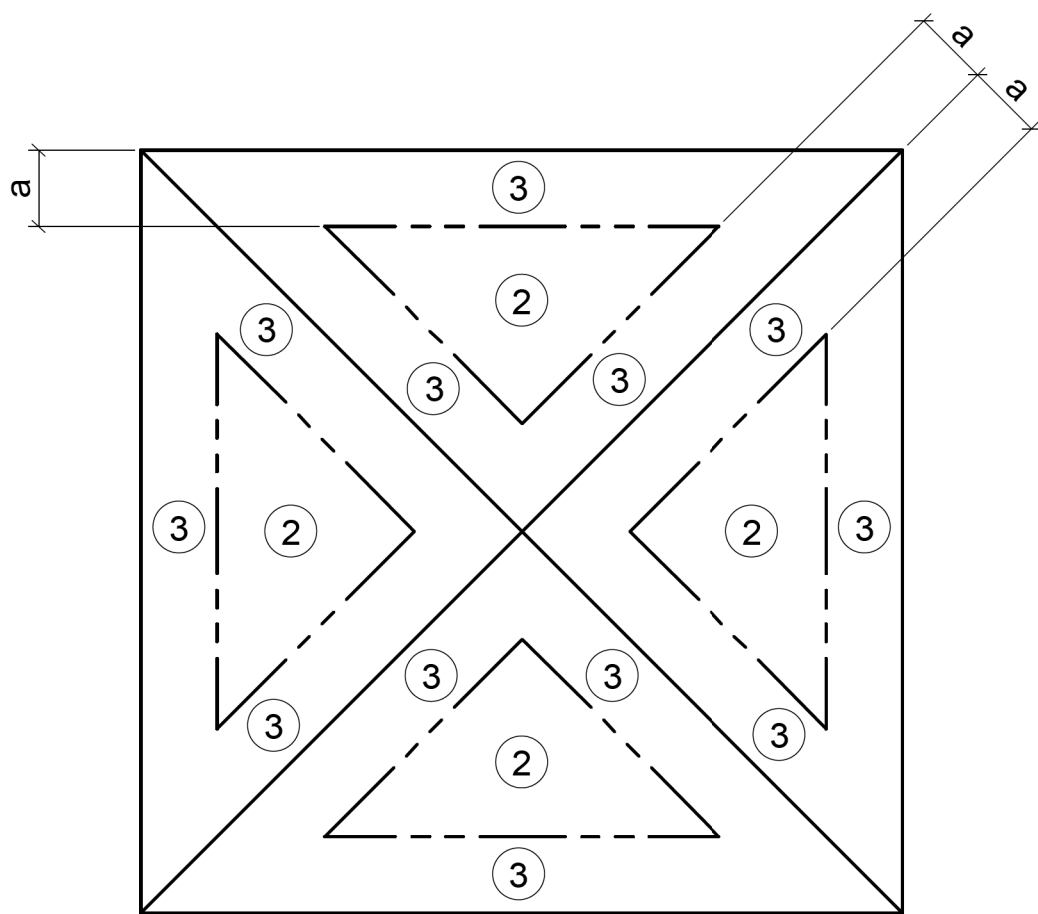


FRONT ELEVATION



SECTION A
SCALE: 3/8" = 1'-0"

TYP. MEMBERS &
CONNECTIONS
FOR EACH BAY



ROOF PLAN
a = 4'-0"

ULTIMATE PRESSURES FOR COMPONENTS & CLADDING

ZONE	PRESSURE	SUCTION
2	36.8 PSF	33.9 PSF
3	47.6 PSF	43.8 PSF

CONTRACT NOTE:
Reference accepted proposal and/or executed contract for identification of items furnished. Any item not specifically included shall be provided by owner, installer or others. Some items are specifically noted as N.I.C. (not in contract).

SOLID TIMBER SPECIFICATIONS
2 x 4 Nailer ----- #1 SYP, S4S, KD, Seal & Stain; color = _____
2 x 6 Fascia ----- #1 AYC, S4S, KD, Seal & Stain; color = _____
2 x 8 Roof Deck ----- #1 SYP, T&S, S/L, CM, EV1S, KD, Seal & Stain; color = _____
Deck furnished in specified lengths (S/L), not precision end trimmed (PET), field cutting required.

ROOF UNDERLAYMENT SPECIFICATIONS:
ONE LAYER OF SYNTHETIC UNDERLAYMENT.
SYNTHETIC UNDERLAYMENT TO CONFORM TO ASTM D226 TYPE II OR ASTM D4869 TYPE IV.
ATTACH UNDERLAYMENT PER MANUFACTURER'S RECOMMENDATIONS
OR BUILDING CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.

STEEL & HARDWARE SHOP NOTES:
1. All steel plate to be ASTM A572 Grade 50.
2. Steel tubes to be ASTM A500 Grade C.
3. All welding is to be done in accordance with latest AWS standards. If welds are not specified, all welds are to develop full strength of all component parts.
4. All bolts to be ASTM F3125 Grade A325 Type 1. Exception: All bolts smaller than 1/2"Ø to be A307A. Anchor bolts as noted.
5. All nuts to be ASTM A563DH except as noted. At F1554 Gr. 36 anchor bolts and A307A bolts, nuts to be ASTM A563A.
6. All fabricated steel to be powder coated; color selected by owner.
7. Hardware (bolts, nuts, washers, etc.) to be hot-dipped galvanized (HDG). Shop to verify hole tolerances and tolerances of threaded parts for compatibility of the galvanized parts only.

ERECTION NOTES:
All steel members must be properly braced until the complete structural system has been constructed. Correction of minor misfits and a reasonable amount of reaming or alignment with drift pins will be considered a legitimate expense of erection.

In the event of error, defect in materials, and/or workmanship of shop work which prevents proper assembling and fitting up of parts by the moderate use of drift pins, or reaming, immediately report to the seller and obtain seller's approval of the method of correction.

Predrill wood for screws and nails if necessary to avoid splitting.

Bolts to be snug tight. Torque measurement is not required.

NOTE: This building has been designed as a free standing, open structure. If walls are to be added, or if the building is to adjoin another structure, or if other modifications are to be made, the structure must be re-engineered prior to these modifications (by others).

DESIGN CRITERIA:
2018 IBC w/ Amendments
Type of Construction: Type II-B
Occupancy Classification: Assembly A-3
Building Risk Category II
Mean Roof Height = 11'-0"
Building Volume = 17,600 ft³
No. of Occupants = 229 (7 ft² per person)

ROOF DL
Metal Roofing 0.9 psf
Underlayment 0.2 psf
2" Nom. T&G deck 4.4 psf
Misc. 1.5 psf
Total = 7.0 psf + weight of framing

FLOOR LL
L = 100 psf

ROOF LL
L_r = 20 psf

ROOF SL
P_s = 40 psf (Ground Snow)
P_f = 0.7*P_s*C_e*C_t*I_s
C_e = 1.0, C_t = 1.2, I_s = 1.0
P_f = 34 psf
P_s = P_f*C_s
4:12 pitch: C_s = 1.0, P_s = 34 psf + unbalanced on roof

WIND LOAD
V_{ult} = 115 mph, V_{asf} = 89 mph
Exposure 'C', Open Building w/ GC_z = 0
Component & Cladding Ultimate Wind Pressures: See ROOF PLAN on this sheet

SEISMIC
I_e = 1.0
S_s = 0.143, S₁ = 0.043
Site Class D (assumed)
S_{0.5} = 0.152, S_{0.1} = 0.069
Seismic Design Category B
Equivalent Lateral Force Procedure
Cantilevered Column Systems - Steel ordinary cantilever column system
R = 1.25, C_s = 0.122, ρ = 1.0, V = 4,100#

DESIGN CERTIFICATION FOR:

BUILDING SIZE: 40' SQUARE
BUILDING LOCATION: WESTMINSTER, MD

THIS CERTIFICATION OF DRAWINGS IS FOR THE ONE BUILDING ONLY AT THE SITE LISTED ABOVE. IT IS VALID ONLY IF THE MATERIALS SHOWN ON THESE DRAWINGS ARE FURNISHED BY RCP SHELTERS, INC. AND ONLY IF MATERIALS ARE PAID FOR IN FULL.

IF MODIFICATION IS MADE WITHOUT EXPRESSED WRITTEN CONSENT OF RCP SHELTERS, INC., OR IF PAYMENT IS NOT MADE IN FULL, THEN CERTIFICATION BECOMES NULL & VOID.

DANIEL P. SEYMOUR, P.E.
710 FRENCH STREET
PESHTIGO, WI 54157

PROFESSIONAL CERTIFICATION.
I HEARBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 39612,
EXPIRATION DATE: 11-03-2022.

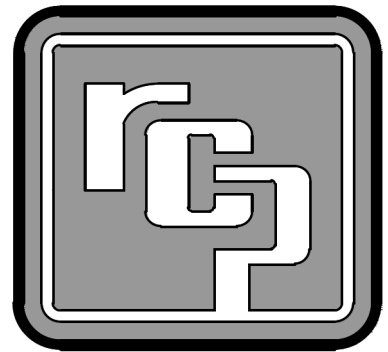


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CHKD:	DPP 1-3-22
REV 1:	
REV 2:	
REV 3:	
REV 4:	
SHOP DWG NO.:	14155 R1
EEC JOB NO.:	14155 R
SHEET NO.:	

1 OF 6