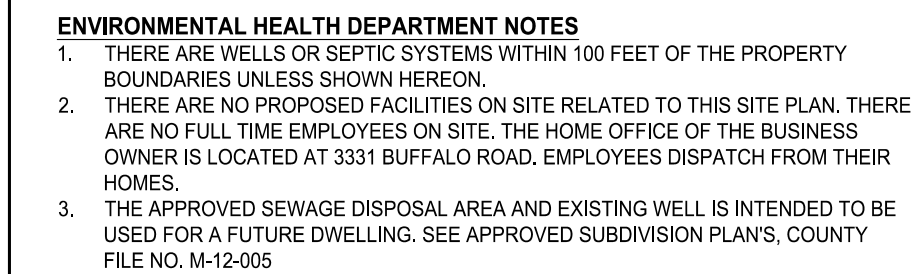


STREAM BUFFER WIDTH CALCULATION						
TRANSECT	% SLOPE	BUFFER EXTENSION	MINIMUM BUFFER	WETLAND BUFFER	25% STEEP SLOPES	TOTAL BUFFER
T-1	2.5%	5'	50'	_____	_____	55'
T-2	2.0%	4'	50'	_____	_____	54'
T-3	2.5%	5'	50'	_____	_____	55'
T-4	2.0%	4'	50'	_____	_____	54'



CARROLL COUNTY PLANNING AND ZONING COMMISSION:

BY \_\_\_\_\_ DATE \_\_\_\_\_

CARROLL COUNTY HEALTH DEPARTMENT:

BY \_\_\_\_\_ DATE \_\_\_\_\_

**ENGINEER'S/SURVEYOR'S DESIGN CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER/SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

DEVELOPER'S/LANDOWNER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT THE PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT IT IS MY/OUR RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY/FACILITIES. I/WE ALSO CERTIFY THAT THIS/THESE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH TITLE XIV, CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY.

**ENGINEER'S/SURVEYOR'S "AS-BUILT" CERTIFICATION**

I/WE HEREBY CERTIFY THAT THE FACILITY/FACILITIES SHOWN ON THIS/THESE PLAN(S) WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS, I ALSO CERTIFY THAT THISTHSE FACILITIES WERE INSPECTED IN ACCORDANCE WITH TITLE XV, CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

PRINTED NAME OF DEVELOPER

DEVELOPER COMPANY NAME

DEVELOPER PHONE NUMBER

**OWNER/DEVELOPER**  
 I CERTIFY THAT ALL PROPOSED WORK SHOWN ON THE ATTACHED SITE PLAN AND CONSTRUCTION DRAWING(S) HAS BEEN REVIEWED BY ME AND I FULLY UNDERSTAND WHAT IS BEING PROPOSED. I AGREE TO COMPLY WITH THIS WORK AND THAT THE WORK WILL BE DONE IN STRICT ACCORDANCE WITH THESE REQUIREMENTS. I FULLY UNDERSTAND THAT ANY CHANGES TO THE PLAN WILL REQUIRE AN AMENDED PLAN TO BE SUBMITTED AND APPROVED BY THE CARROLL COUNTY PLANNING COMMISSION BEFORE ANY CHANGE IN THE PROJECT CAN BE MADE.

PROFESSIONAL LAND SURVEYOR/ENGINEER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE CONDITION AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL SOIL CONSERVATION DISTRICT.

LAND SURVEYOR #21096                      DATE

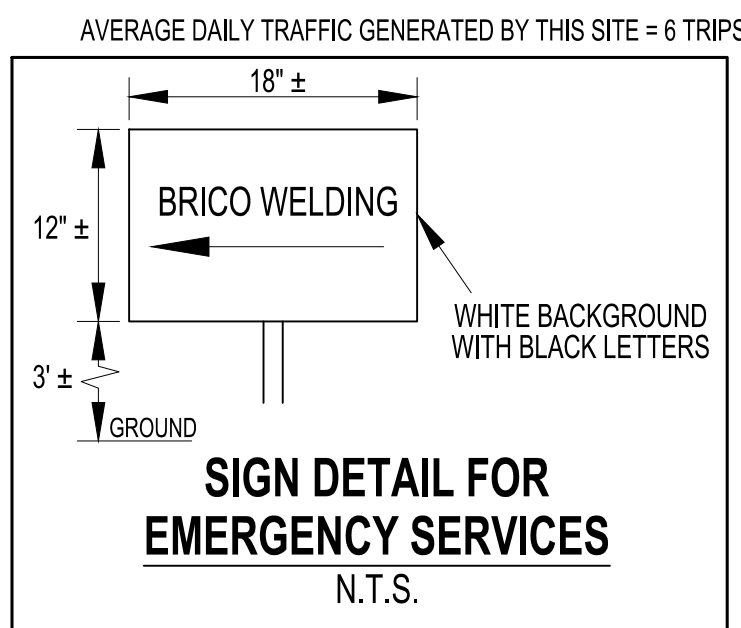
## BUILDING DETAIL

SCALE: 1" = 30'



REVISIONS	
DATE	REASON
10-26-2021	COUNTY COMMENTS
12-14-2023	FINAL SITE PLAN SUBMITTAL
2-15-2024	FINAL REVIEW COMMENTS

**JOHN E. LEMMERMAN**  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 21091  
GENUINE / EXPI. 03-23-2025



**FLLOOD PLAIN**  
THIS DEVELOPMENT IS EXEMPT FROM CHAPTER 153. SEE APPROVAL LETTER FROM CARROLL COUNTY DATED 10-12-2021.

**SOIL CONSERVATION**  
TOTAL AREA OF DISTURBANCE IS 14.84 SQ. FT. A STANDARD SEDIMENT & EROSION CONTROL PLAN IS TO BE USED WITH GRADING PERMIT.

**FOREST CONSERVATION**  
• THE FOREST CONSERVATION ORDINANCE FOR THIS SITE HAS BEEN ADDRESSED AND AGREED TO IN PREVIOUS SUBDIVISION REQUIREMENTS. SEE COUNTY FILE # M-04-0-12-1005. EASEMENTS RECORDED IN PLAT B PAGE 140 AND PLAT BOOK 53, PAGE 221.

**LANDSCAPING**  
EXISTING TREE ROWS, WOODS, PLANTINGS AND  
BERMS MEET OR EXCEED LANDSCAPING  
MANUAL REQUIREMENTS FOR BUILDING,  
PARKING LOTS AND DUMPSTER LOCATION.

**PARKING TABULATION**

- THERE IS NO RETAIL FROM THIS PROPERTY.  
EMPLOYEES DISPATCH DIRECTLY FROM HOME  
OWNERS OFFICE IS LOCATED AT 3331  
BUFFALO ROAD
- OWNER(S) PARK ANYWHERE IN GRAVEL  
PARKING AREA INSIDE APPROVED  
CONTRACTORS STORAGE YARD AREA.
- NO HANDICAP SPACES ARE REQUIRED.

### SITE DEVELOPMENT PLAN INSPECTION SEQUENCE NOTES

1. CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK.
2. SITE PREPARATION AND CONSTRUCTION ARE REQUIRED THROUGH THE FOLLOWING STAGES DURING CONSTRUCTION:
- a. PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS
  - b. PROPOSED FOUNDATION INSTALLED FOR ALL BUILDING SHOWN ON THESE APPROVED PLANS.
  - c. SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS AND SURROUNDING GRADING.
  - d. COMPLETION OF ALL DRIVEWAYS, PARKING LOTS, SIDEWALKS, STAIRWAYS AND CURBS.
  - e. COMPLETION OF ALL WORK SHOWN ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2210 PRIOR TO BEGINNING ANY WORK AT EACH STAGE OF CONSTRUCTION.
3. CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK, ALL FORESIGHTS AND/OR ANY ACTIVITIES IDENTIFIED ON THE PLANS.
4. FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH THE BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR. INTERVIEW REQUESTS IDENTIFIED ON THE PLANS SHALL BE REVIEWED BY THE SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
5. CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.

**FIRE PROTECTION**

1. BUILDING CAN NOT BE SPRINKLED DUE TO IT BEING A WELDING SHOP.
2. WATER SOURCES:
  - a. 130 FEET WEST OF SITE ON NORTH SIDE OF WAKEFIELD VALLEY ROAD AT HEADWALL FOR STREAM (DICKENSON RUN)
  - b. 75'-150' WEST OF ENTIRE SITE, DICKENSON RUN
  - c. PRIVATE POND 570'± DUE SOUTH OF SITE

### **ANTICIPATED TRIP GENERATION**

- VEHICLES PER DAY = 8
- PEAK HOUR TRIP GENERATION
  - WEEKDAYS (8-9AM) = 4
  - WEEKDAYS (4-7PM) = 4
  - SATURDAY (10-3PM) = 2
- EMPLOYEES ARE DISPATCHED FROM THEIR HOMES

SITE PLAN  
OF  
**CONTRACTOR EQUIPMENT STORAGE**  
FOR

LOT 1A  
SECTION TWO AND AMENDED PLAT OF LOT

## MAJOR PROPERTY

RECORDED IN PLATBOOK 53, PAGE 221  
SOUTH SIDE OF WAKEFIELD VALLEY ROAD  
11TH ELECTION DISTRICT, CARROLL CO. MD

TAX MAP: 50, GRID: 15, PARCEL: 65  
= CONTRACTORS STORAGE YARD AND RESI

EXISTING & PROPOSED USE = CONTRACTORS STORAGE YARD AND RESIDENTIAL LOT.

**OWNER / DEVELOPER**  
JBD ASSOCIATES, LLC  
C/O BRIAN COONEY  
3331 BUFFALO ROAD  
NEW WINDSOR, MD 21776  
410-875-2111



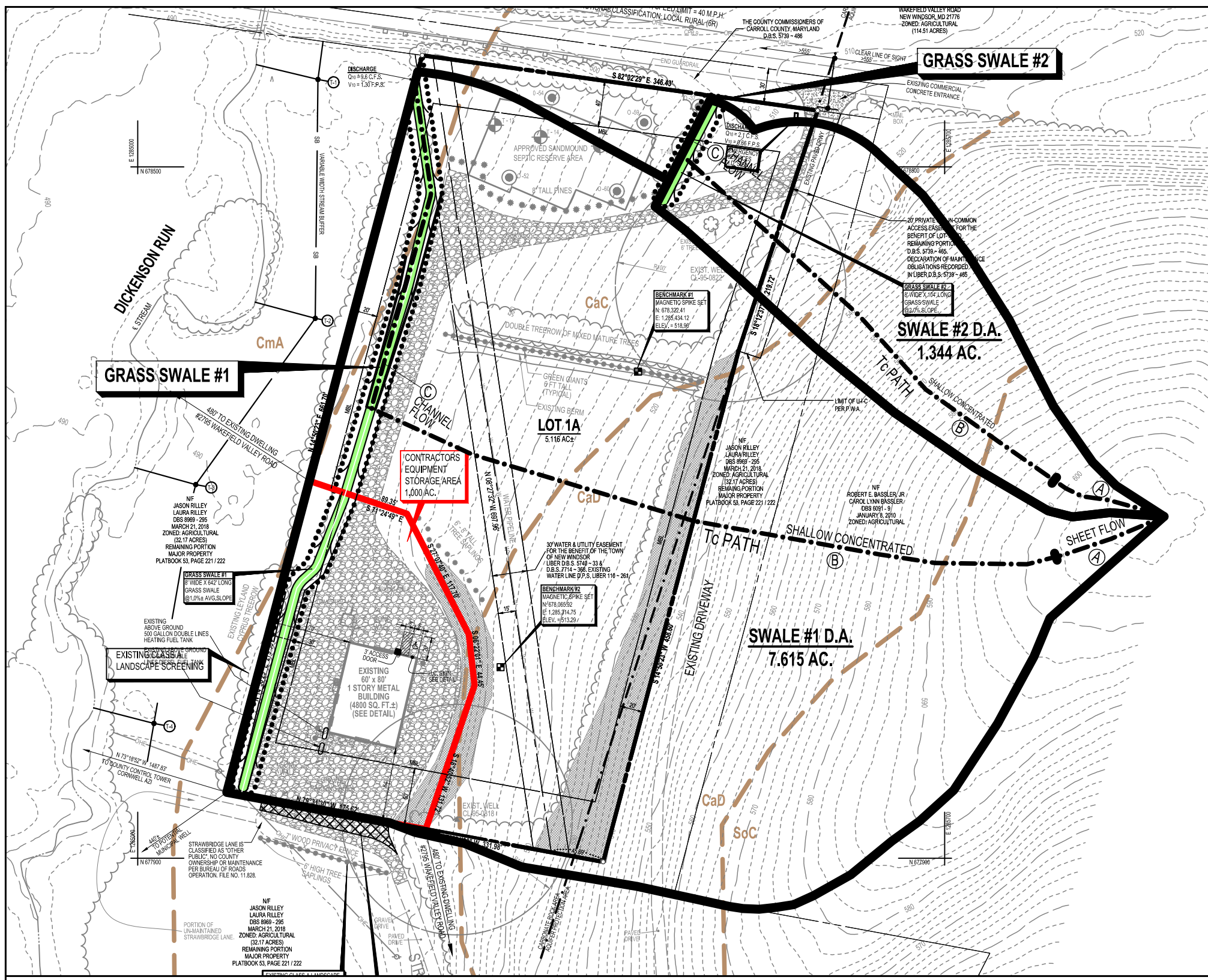
**RTF**  
Associates, Inc.  
LAND SURVEYORS  
& PLANNERS

142 EAST MAIN STREET WESTMINSTER, MD 21157  
410-848-2040 FAX# 443-289-8942 410-876-1222  
EMAIL: RTF142@GMAIL.COM WWW.RTFSURVEYING.COM

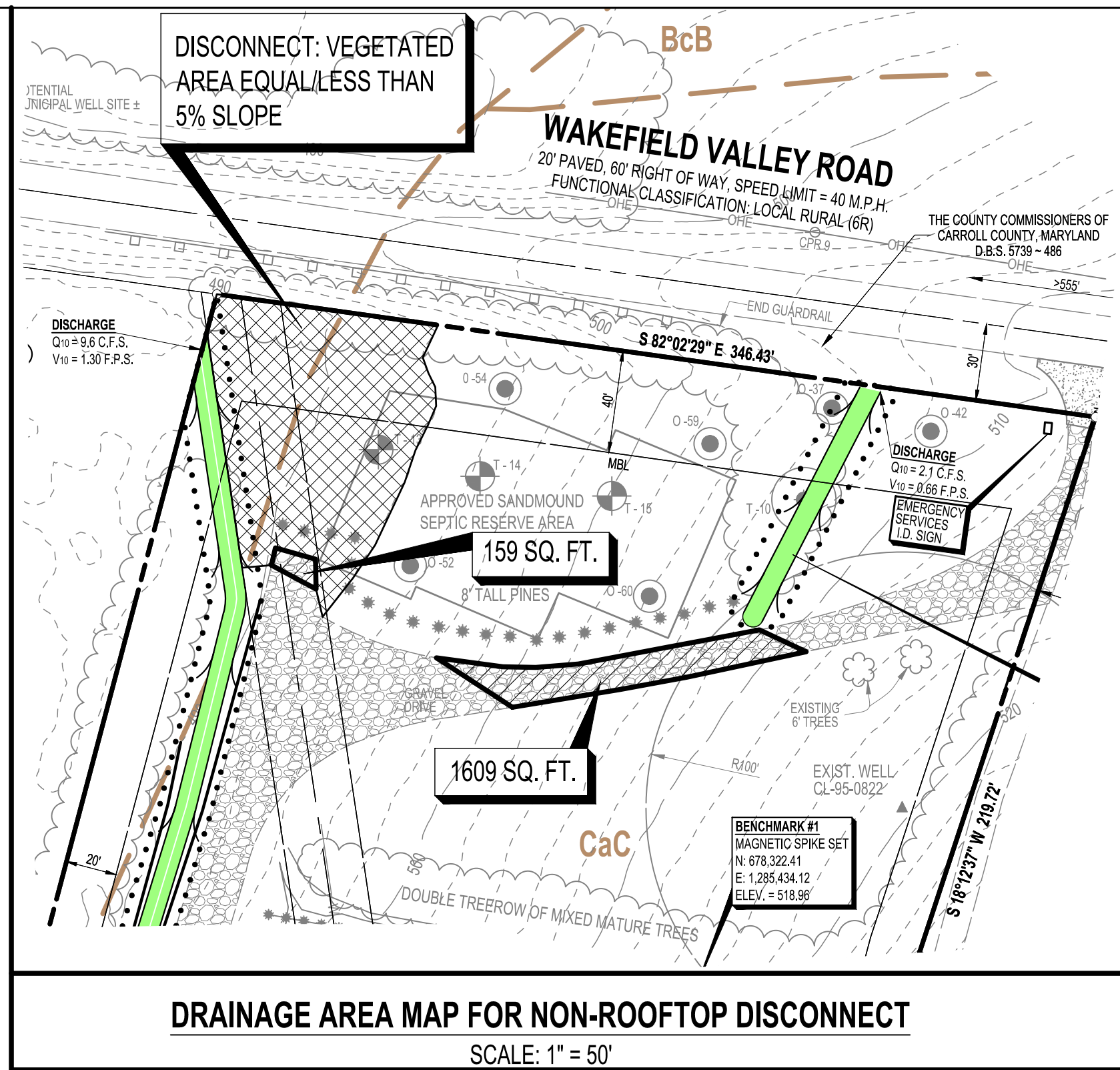
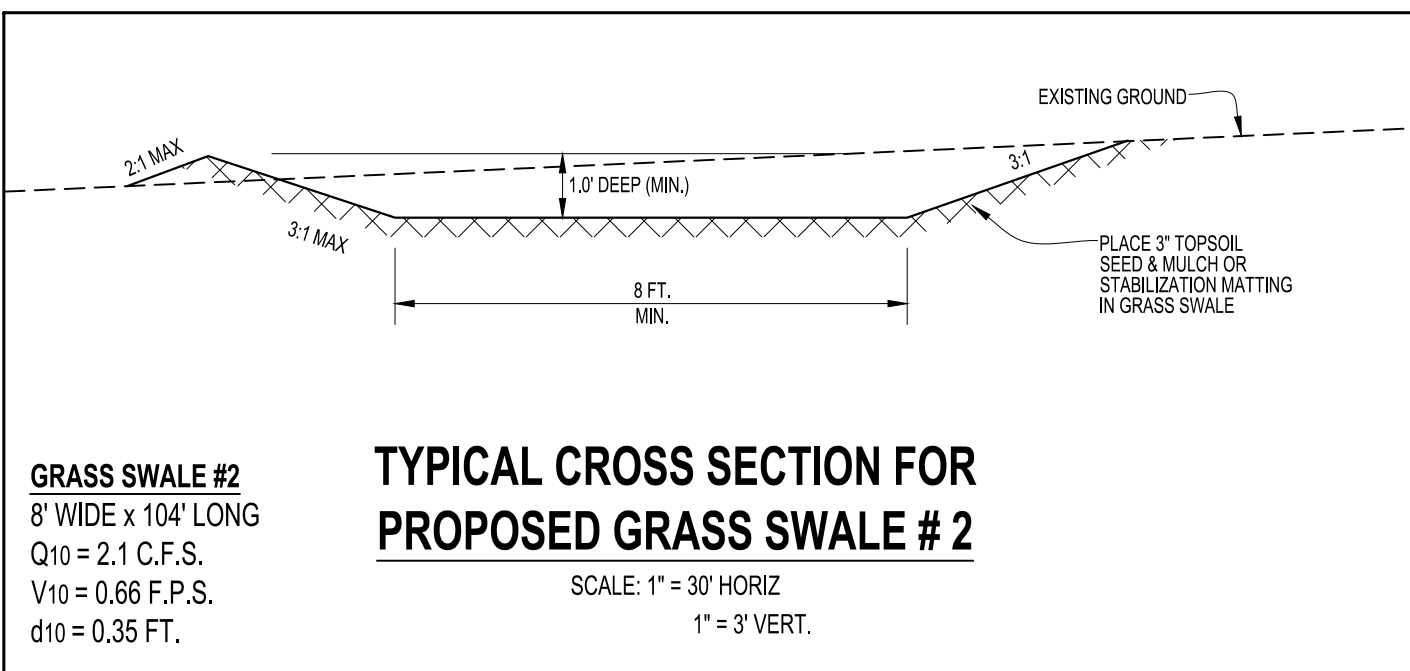
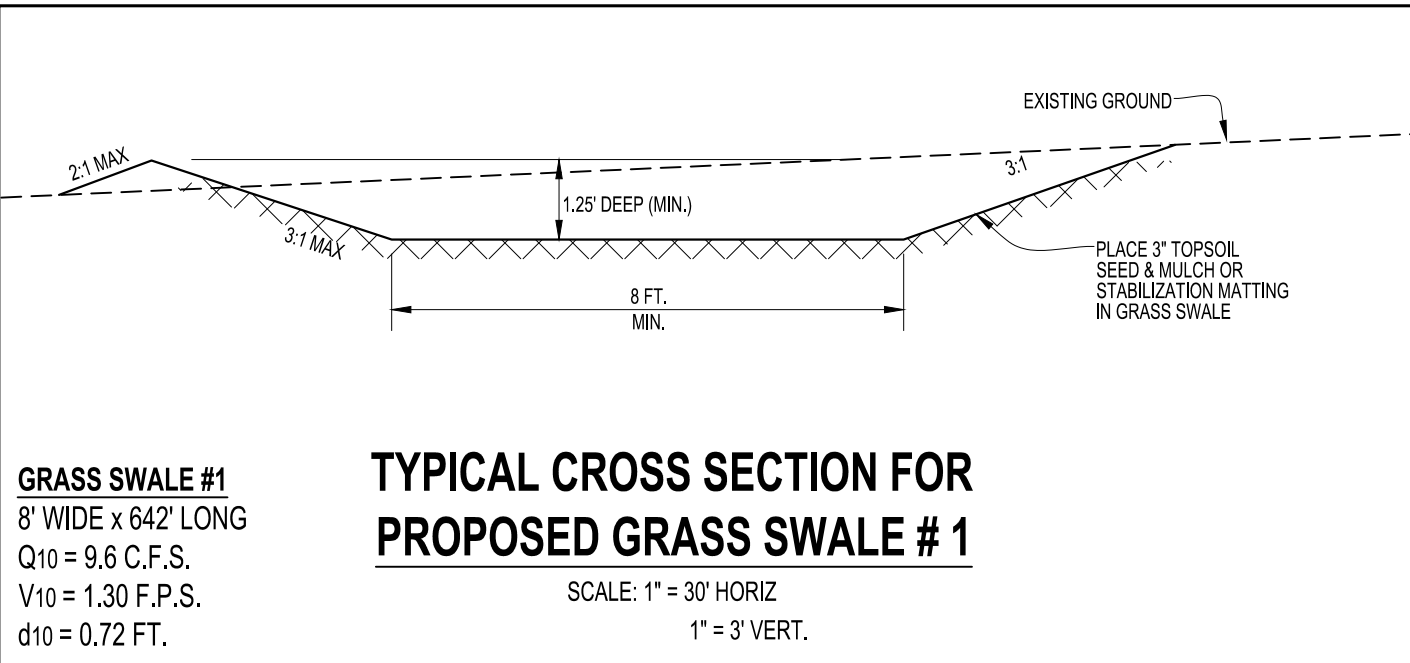
CHECKED BY: JEL DATE: 09-20-2021

DRAWN BY: AR DATE: 09-19-2021

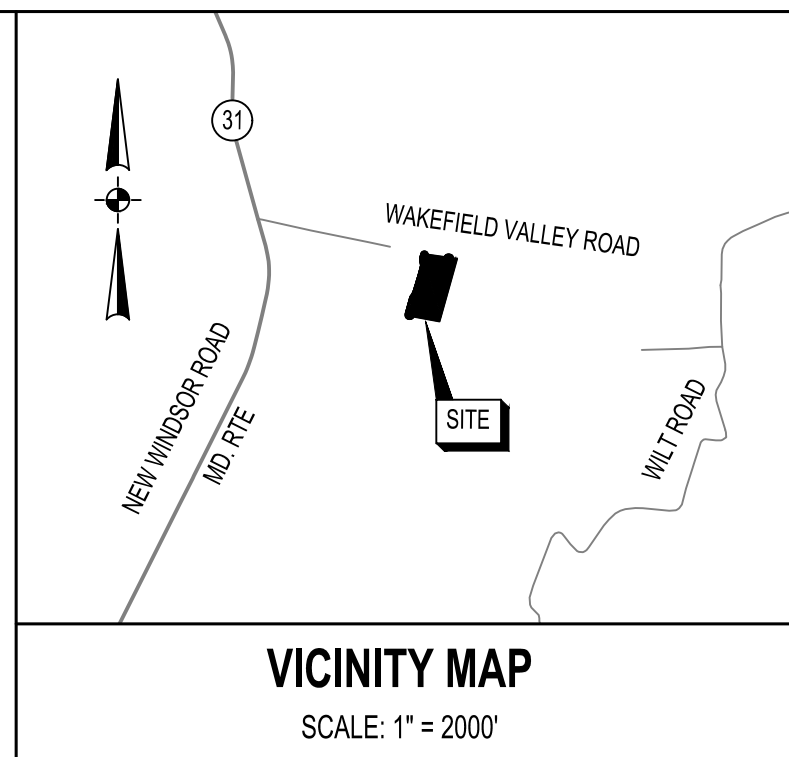
SCALE: 1" = 50' COUNTY FILE #: S-21-0024 RTF JOB#: 20-13 SHEET 1 OF 2



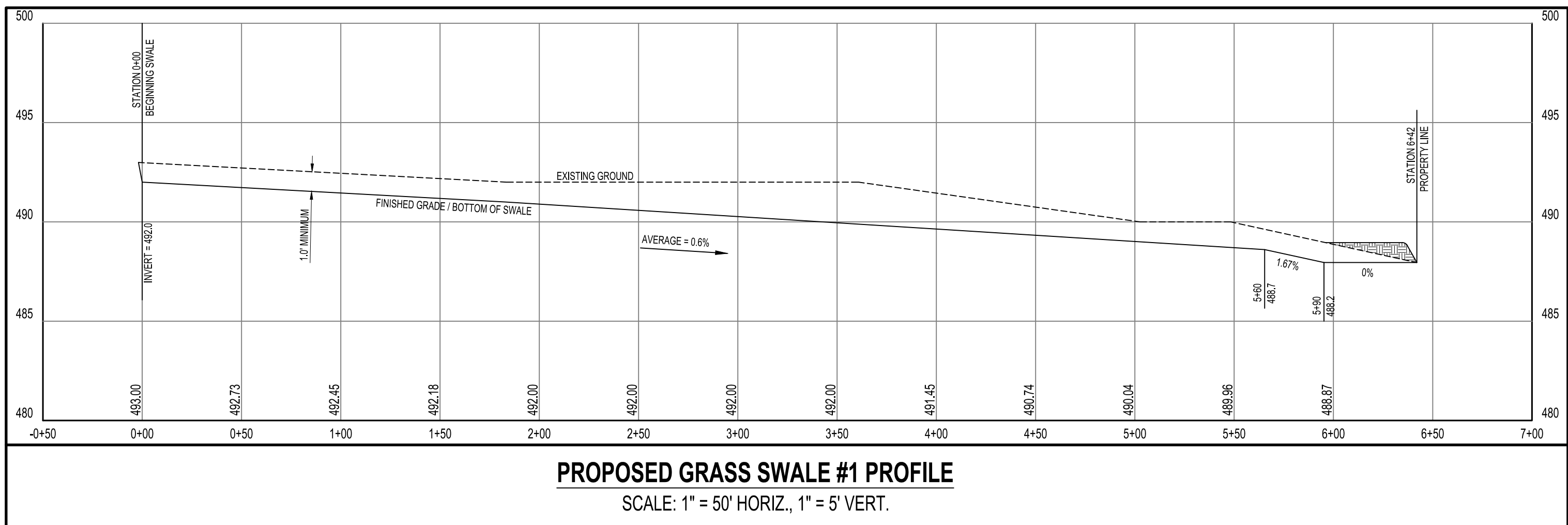
**DRAINAGE AREA MAP FOR GRASS SWALES**  
SCALE: 1" = 100'



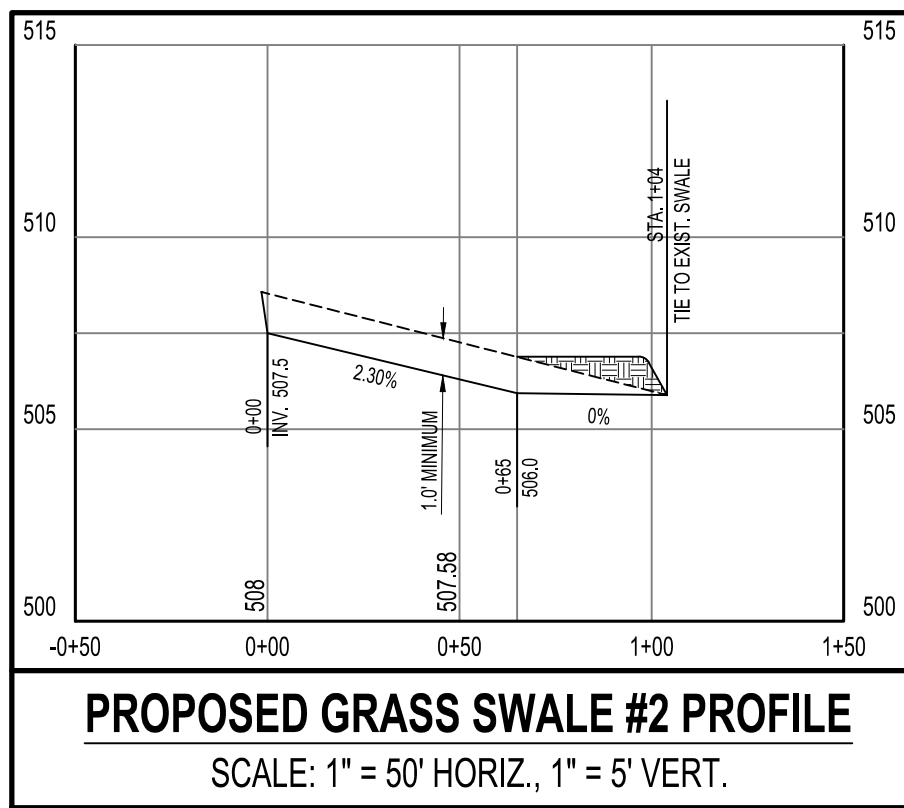
**DRAINAGE AREA MAP FOR NON-ROOFTOP DISCONNECT**  
SCALE: 1" = 50'



- STORMWATER MANAGEMENT MAINTENANCE AGREEMENT SCHEDULE**
1. THE STORMWATER MANAGEMENT FACILITY/FACILITIES SHOWN ON THESE PLANS SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER(S).
  2. THE OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR CONTINUING MAINTENANCE OF THE FACILITY/FACILITIES, WHICH SHALL INCLUDE SUCH ITEMS AS MOVING, CLEANING AND REMOVING SEDIMENT, TREES, SHRUBS AND DEBRIS. REQUIREMENTS AND SCHEDULES FOR SPECIFIC TYPES OF FACILITIES AND PRACTICES AS LISTED ON THE PLANS ARE HEREBY INCLUDED. THE TIME PERIOD FOR THIS CONTINUING MAINTENANCE SHALL BE ON "AS-NEEDED" BASIS BUT SHALL BE DELAYED NO LONGER THAN THIRTY (30) DAYS.
  3. THE OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR REPAIRING OR ANY STRUCTURAL DAMAGES OR FAILURE WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE. IN THE EVENT OF STRUCTURAL DAMAGE, OWNER SHALL BE REQUIRED TO MAKE THE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE BUT IN ANY CASE WITHIN THIRTY (30) DAYS.
  4. IF AFTER NOTICE BY THE COUNTY/TOWN TO CORRECT A VIOLATION REQUIRING MAINTENANCE WORK, SATISFACTORY CORRECTIONS ARE NOT MADE BY THE OWNER(S) WITHIN THIRTY (30) DAYS, THE COUNTY/TOWN MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE OWNER(S) OF THE FACILITY SHALL BE ASSESSED THE COST OF WORK AND ANY PENALTIES. THESE MONIES SHALL BE COATED FROM A BOND, WHICH THE DEVELOPER IS REQUIRED TO POST WITH THE COUNTY/TOWN TO COVER SUCH EXPENSES UNTIL "COMPLETION OF THE FACILITY". "COMPLETION OF THE FACILITY" IS CONSTRUED TO MEAN THAT ALL CONTRIBUTORY DRAINAGE AREAS ARE PAVED OR SUPPORTING A TWO INCH STAND OF GRASS AND THAT THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT HAS INSPECTED THE CONSTRUCTION AND A REGISTERED PROFESSIONAL ENGINEER/SURVEYOR HAS CERTIFIED THAT THE "AS-BUILT" PLANS MEET THE PLANS AND SPECIFICATIONS FOR CONSTRUCTION. AFTER "COMPLETION OF THE FACILITY" THE OWNER(S) WILL BE ASSESSED FOR ANY WORK AND PENALTIES. THIS MAY BE ACCOMPLISHED BY PLACING A LIEN ON THE PROPERTY, WHICH MAY BE PLACED ON THE TAX BILL AND COLLECTED AS ORDINARY TAXES BY THE COUNTY/TOWN/CITY.
  5. OWNER(S) SHALL GRANT RIGHT OF ENTRY TO AUTHORIZED COUNTY/TOWN/CITY PERSONNEL FOR PURPOSES OF INSPECTION, MONITORING AND/OR REPAIR. SITE VISITS FOR INSPECTION AND/OR MONITORING SHALL BE CONDUCTED ONLY DURING NORMAL COUNTY WORKING HOURS (8:00 A.M. TO 5:00 P.M. MONDAY THRU FRIDAY).
  6. THIS AGREEMENT INCLUDING RIGHT OF ENTRY FOR INSPECTION/MAINTENANCE AND REPAIR SHALL BE RECORDED BY THE APPLICANT AND/OR OWNER IN THE LAND RECORDS OF THE COUNTY.



**PROPOSED GRASS SWALE #1 PROFILE**  
SCALE: 1" = 50' HORIZ., 1" = 5' VERT.



**PROPOSED GRASS SWALE #2 PROFILE**  
SCALE: 1" = 50' HORIZ., 1" = 5' VERT.

INSPECTION CHART FOR GRASS SWALE #1 (M-8)		
INSTALLATION	INSPECTORS	APPROVAL
STAGE	INITIALS	DATE
1. GRASS CHANNEL STAKED OUT PER PLAN LINE AND GRADE		
2. SWALE BOTTOM AND SIDES EXCAVATED TO SUBGRADE		
3. PLACEMENT OF 3" TOPSOIL, SEED & MULCH OR STABILIZATION MATTING IN GRASS SWALE		
4. ALL VEGETATED DISTURBED AREAS ARE STABILIZED WITH A 2" STAND OF GRASS.		
5. SIGNED AND CERTIFIED AS-BUILT SUBMITTED TO THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT		

**STORMWATER MAINTENANCE SCHEDULE GRASS SWALE**

MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in channel including inlets, outlets, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Grass Cover	Grass in swale must be maintained at a height of 4 to 6 inches. Check for channelizing and bare spots.	Mow side slopes when grass exceeds 12 inches in height. Mow channel at least bi-annually. Remove grass clippings. Re-plant with topsoil, seed, and matting.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Sediment Accumulation	Check for accumulated sediment and clogged openings.	When sediment accumulates to 2 inches in depth, remove sediment. Remove sediment from any clogged openings. Dispose of all sediment in an acceptable location.
Erosion	Check inflow, channel, outfall, and side slopes for evidence of erosion, rills, gullies, and runoff channelization.	Re-plant with topsoil, seed, and matting. Re-grade if concentrated runoff to the facility is causing rills or gullying. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Overall Function of Facility	Check that flow conveyance is operating as designed.	Repair to good condition according to specifications on the approved plans.

**(M-8) GRASS SWALE - STORMWATER MANAGEMENT SEQUENCE OF CONSTRUCTION**

1. REQUEST STAKEOUT
2. CONTACT THE CERTIFYING PROFESSIONAL ENGINEER/PROFESSIONAL LAND SURVEYOR (JOHN E. LEMMERMAN, RTF ASSOCIATES, INC. 410-848-2040) A MINIMUM OF 24 HOURS PRIOR EXCAVATION OF GRASS SWALE TO INSPECT EXCAVATION SIZE AND LOCATION.
3. EXCAVATE THE SWALE TO APPROVED PLAN SUBGRADE.
4. PLACE 3" TOPSOIL ON SWALE BOTTOM AND SIDE SLOPES AND STABILIZE WITH PERMANENT GRASS SEED AND MULCH.
5. ONCE THE ENTIRE DRAINAGE AREA TO THE GRASS CHANNEL IS STABILIZED WITH PAVEMENT OR 2" STAND OF GRASS, SUBMIT AN AS-BUILT CERTIFICATION TO THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT FOR BOND RELEASE.

**SWM FACILITY: GRASS SWALE #1**

- a. FACILITY OWNERSHIP AND MAINTENANCE RESPONSIBILITY = PROPERTY OWNER
- b. STRUCTURAL CLASSIFICATION = ESD TECHNIQUE
- c. DRAINAGE AREA TO ESD PRACTICE = 0.7615 AC.
- d. IMPERVIOUS AREA TO ESD TECHNIQUE = 1.075 AC. (TOTAL)
- e. HEIGHT AND TOP WIDTH OF EMBANKMENT = N/A
- f. WATERSHED NAME = DOUBLE PIPE CREEK, RECEIVING STREAM CLASSIFICATION = USE I-V-P
- g. LEVEL OF SWM REQUIRED AND PROVIDED = ESD TO MEP
- h. COORDINATES OF THE CENTROID OF ESD PRACTICE: N 678.515, E 1,285.200

**SWM FACILITY: GRASS SWALE #2**

- a. FACILITY OWNERSHIP AND MAINTENANCE RESPONSIBILITY = PROPERTY OWNER
- b. STRUCTURAL CLASSIFICATION = ESD TECHNIQUE
- c. DRAINAGE AREA TO ESD PRACTICE = 1.344 AC.
- d. IMPERVIOUS AREA TO ESD TECHNIQUE = 0.105 AC.
- e. HEIGHT AND TOP WIDTH OF EMBANKMENT = N/A
- f. WATERSHED NAME = DOUBLE PIPE CREEK, RECEIVING STREAM CLASSIFICATION = USE I-V-P
- g. LEVEL OF SWM REQUIRED AND PROVIDED = ESD TO MEP
- h. COORDINATES OF THE CENTROID OF ESD PRACTICE: N 678.515, E 1,285.480

**OVERALL REQUIRED SEQUENCE OF CONSTRUCTION**

1. CONTACT THE SEDIMENT CONTROL INSPECTOR 24 HOURS PRIOR TO ANY WORK BEING DONE. ALL PROTECTION FENCING AND SIGNAGE REQUIRED UNDER THE CODE OF PUBLIC LOCAL LAWS & ORDINANCES CHAPTER 150, FOREST CONSERVATION AND CHAPTER 154, WATER RESOURCE PROTECTION, MUST BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR.
2. PERFORM CLEARING AND GRUBBING FOR AND INSTALL ANY SILT FENCING REQUIRED BY SEDIMENT CONTROL INSPECTOR CONSISTENT WITH CARROLL COUNTY STANDARD SEDIMENT & EROSION CONTROL PLAN USED WITH GRADING PERMIT (DISTURBANCE IS LESS THAN 20,000 SQUARE FEET).
3. COMPLETE ALL REQUIRED CLEARING AND GRUBBING FOR GRASS SWALES
4. CONSTRUCT GRASS SWALES. SEE "M-8" GRASS SWALE - STORMWATER MANAGEMENT SEQUENCE OF CONSTRUCTION.
5. FINAL GRADE AND PERMANENTLY STABILIZE ALL AREAS DISTURBED
6. ONCE PERMANENT STABILIZATION IS ESTABLISHED, NOTIFY THE SEDIMENT CONTROL INSPECTOR TO GAIN APPROVAL FOR THE REMOVAL OF THE SEDIMENT CONTROL MEASURES.
7. REMOVE ALL CONTROL MEASURES AND PERMANENTLY STABILIZE THE REMAINING DISTURBED AREAS.

**OVERALL SITE TABLE**

- a. TOTAL SITE AREA = 5.116 ACRES
- b. TOTAL DISTURBED AREA = 14,984 SQ. FT. (0.344 ACRE)
- c. NEW IMPERVIOUS AREA = NONE
- d. TOTAL IMPERVIOUS AREA = 46,842 SQ. FT. (1.075 ACRE)

**ESDs PROVIDED SUMMARY CHART**

ESD	DA (ac)	IA (ac)	%IA	Rv	PE (in)	ESDs PROVIDED (cu ft.)
Grass swale#1	7.615	1.075	14.1	0.176	1.10	4280
Grass swale#2	1.344	0.105	7.8	0.120	1.81	693
Non-rooftop	0.041	0.041	100	0.95	1.00	140
<b>TOTAL</b>						<b>5113 cu.ft. PROVIDED</b>

**SWM EASEMENT NOTE:**

A "STORMWATER MANAGEMENT EASEMENT AND MAINTENANCE AGREEMENT" IS TO BE GRANTED TO THE COUNTY COMMISSIONERS OF CARROLL COUNTY AS AN EASEMENT OF ACCESS TO THE COUNTY COMMISSIONERS OR AUTHORIZED REPRESENTATIVES BY A DEED INTENDED TO BE RECORDED SIMULTANEOUSLY HEREWITH.

STORMWATER MANAGEMENT DETAILS  
FOR  
**BRICO WELDING, LLC**  
LOT 1A  
SECTION TWO AND AMENDED PLAT OF LOT 1  
**MAJOR PROPERTY**  
RECORDED IN PLATBOOK 53, PAGE 221  
SOUTH SIDE OF WAKEFIELD VALLEY ROAD  
11TH ELECTION DISTRICT, CARROLL CO. MD  
TAX MAP: 50, GRID: 15, PARCEL: 65

**OWNER / DEVELOPER**  
JBD ASSOCIATES, LLC  
C/O BRIAN COONEY  
3331 BUFFALO ROAD  
NEW WINDSOR, MD 21776  
410-875-2111



**RTF**  
ssociates, Inc.  
LAND SURVEYORS  
& PLANNERS

142 EAST MAIN STREET WESTMINSTER, MD 21157  
410-848-2040 FAX# 443-289-8942 410-876-1222  
EMAIL: RTF142@GMAIL.COM WWW.RTF-SURVEYING.COM  
CHECKED BY: JEL DATE: 06-25-2023  
DRAWN BY: AR DATE: 06-20-2023

SCALE: 1" = 50' COUNTY FILE # S-21-0024 RTF JOB# 20-13 SHEET 2 OF 2

REVISIONS	
DATE	REASON
12-13-2023	FINAL SITE PLAN SUBMITTAL
2-15-2024	FINAL REVIEW COMMENTS

*John E. Lemmerman*  
**JOHN E. LEMMERMAN**  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 21096  
RENEWS EXP. 08-03-2025