

GENERAL NOTES

1. ALL CONSTRUCTION ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS OF THE FOLLOWING, INCLUDING ALL ADDENDUMS, SUPPLEMENTS OR UPDATES:
- A. DESIGN MANUAL, VOLUME 1 - "ROADS AND STORM DRAINS" OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
- B. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
- C. "BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES" OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
- D. "STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIAL" OF THE MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION.
- E. "HIGHWAY DRAINAGE MANUAL" OF THE MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION.
- F. "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE, AND ALL ADDENDA AND ERRATA TO ALL OF THE ABOVE.
- G. "MARYLAND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MANUTOD) OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
- H. "MARYLAND ACCESSIBILITY CODE", COMAR 09.12.53, AS WELL AS THE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" (DEPARTMENT OF JUSTICE).
2. ALL OF THE ABOVE NOTES AND PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
3. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
4. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
5. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
6. PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.
7. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
- ALLIANCE POWER: 301-829-7009
- BALTIMORE GAS & ELECTRIC: 410-234-6313
- BALTIMORE GAS & ELECTRIC (EMERGENCY): 410-686-0123
- BUREAU OF RESOURCE MANAGEMENT: 410-366-2506
- VERIZON: 1-800-745-0033
- AT&T: 1-800-252-1133
- STATE HIGHWAY ADMINISTRATION: 410-311-5111
- COLUMBIA PIPELINE CO.: 410-756-1390
8. THE CONTRACTOR AND DEVELOPER OR A REPRESENTATIVE SHALL HAVE, ON THE JOB SITE, THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO CARROLL COUNTY DESIGN MANUAL FOR ROADS AND STORM DRAIN, S.H.A. SPECIFICATION, EROSION AND LATEST MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, CONSTRUCTION VEHICLES, CONTRACTOR, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY PUBLIC RIGHT-OF-WAY.
9. ANY DAMAGE TO PUBLIC RIGHT-OF-WAY PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
10. CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MONUMENT. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TRAFFIC ON ANY EXISTING ROADS.
12. ALL SAFETY MEASURES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
13. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS, APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE SHOWN ONLY AS NOTIFICATION TO CONTRACTOR OF THE PRESENCE OF UNDERGROUND UTILITIES. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ANY EXISTING UTILITIES PRIOR TO BEGINNING WORK.
14. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. CONTRACTOR SHALL INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY.
15. DAMAGE TO EXISTING UTILITIES DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
16. DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.
17. THE PROPERTY SHOWN 2015 LIBERTY LLC, BY DEED DATED MARCH 13, 2006, RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY IN LIBER 4802, FOLIO 650.
18. THE PROPERTY LINES, BEARINGS AND DISTANCES HEREON ARE BASED ON PLAT BOOK 52 PAGE 12, PREPARED BY MARYLAND LAND DESIGN, INC., PREPARED RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY, MARYLAND DATED JUNE 18, 2010.
19. BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON THE PLAT BOOK 52 PAGE 12, PREPARED BY MARYLAND LAND DESIGN, INC., PREPARED RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY, MARYLAND DATED JUNE 18, 2010.
20. A TOPOGRAPHIC SURVEY WAS PERFORMED BY MARYLAND LAND DESIGN, INC. AUGUST 2007 BY FIELD RUN METHODS AND SUPPLEMENTED WITH CARROLL COUNTY GIS. ELEVATIONS SHOWN HEREON ARE BASED ON THE 1988 NORTH AMERICAN VERTICAL DATUM, AS REFERENCED FROM CARROLL COUNTY SURVEY POINTS: SUN AND SUN AZMUTH.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEERING OFFICE OF VOGEL ENGINEERING + TIMMONS GROUP AT 410-617-7668 IN THE EVENT OF ANY DISCREPANCIES IN THE PLAN OR IN THE RELATIONSHIPS OF FINISHED GRADES TO EXISTING GRADES PRIOR TO THE BEGINNING OF WORK.
22. THE OFFICIAL PRE-SUBMITTAL CONFERENCE FOR THIS PROJECT WAS HELD ON JULY 2, 2021.
23. THIS SITE PLAN SHALL BECOME VALID EIGHT MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATION HAS BEEN ISSUED FOR THE PROJECT, UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DEPARTMENT OF PLANNING AND LAND MANAGEMENT.
24. ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
25. ESTIMATES OF EARTHWORK QUANTITIES (CUT/FILL) ARE SHOWN HEREON FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED BY THE SEWAGE TREATMENT PLANT. CONTRACTOR SHALL VERIFY SUCH CALCULATIONS TO HIS OWN SATISFACTION FOR BID CONTRACT PURPOSES, AND WELL IN ADVANCE OF CONSTRUCTION.
26. TRAFFIC STUDY FOR THIS PROJECT WAS PERFORMED BY THE TIMMONS GROUP.
27. GEOTECHNICAL REPORTS PREPARED BY SPECIALIZED ENGINEERING, DATED 02/07/2007, 09/23/2008, AND 02/08/2017.
28. EXISTING MD ROUTE 26 (LIBERTY ROAD) IS CLASSIFIED AS A MINOR ARTERIAL.
29. THERE ARE NO WETLANDS LOCATED, OR STREAMS LOCATED WITHIN THE LIMITS OF DISTURBANCE.
30. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES ARE LOCATED ON THIS PROPERTY.
31. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
32. THE GEOTECHNICAL ENGINEER SHALL BE RESPONSIBLE FOR CONSTRUCTION, ALL PAVING TO COMPLY WITH CARROLL COUNTY STANDARD PLATE DETAILS, UNLESS OTHERWISE NOTED.
33. CEMENT IS RESPONSIBLE FOR CONSTRUCTION AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ON SITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE NOT MIX ASPHALT.
34. ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3, AS NOTED ON THE DESIGN MANUAL, VOLUME 1, AS NOTED ON THE UTILITY UTILITY PERMIT.
35. ALL CURB AND GUTTER TO BE CARROLL COUNTY STANDARD PLATE 3 OR UNLESS OTHERWISE NOTED.
36. WHERE DRAINAGE FLOWS FROM CURB CONTRACTOR TO REVERSE THE GUTTER PAVEMENT.
37. ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
38. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
39. IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
40. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION ALL HANDICAP RAMPS AND ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
41. ALL UTILITIES SHALL BE CLEARED BY A MINIMUM OF 1'-0" ALL UTILITY POLES SHALL BE CLEARED BY A MINIMUM OF 2'-0" OR UNLESS IF REQUIRED CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR TUNNELING OR BRACING DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF POLE RELOCATIONS.
42. ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
43. ALL STORM DRAIN PIPE BEDDING IS TO BE CLASS "C", AS REQUIRED BY ASGSD-180.
44. ALL BUILDINGS TO HAVE POLE LEADERS WHICH EMPTY INTO STORM DRAIN SYSTEM.
45. LOCATION OF THE NEAREST WATER SUPPLY AVAILABLE 4.75+ MILES AWAY AT KLEES MILL ROAD.
46. THIS PROJECT SHALL BE SERVED BY PRIVATE WELL AND PRIVATE SEPTIC SYSTEM.
47. FIRE PROTECTION SHALL BE MET BY UTILIZING SPRINKLERS IN THE BUILDINGS, A FIRE PUMP HOUSE HAS BEEN PROVIDED WITH STORAGE TANK TO SERVE THE FIRE LINE.
48. A SPRINKLER PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE AND THE STATE FIRE PREVENTION CODE FOR THE PROPOSED USES OF EACH BUILDING. THE FINAL SPRINKLER DESIGN SHALL BE PROVIDED AT BUILDING PERMIT STAGE.
49. BUILDINGS SHALL HAVE SPRINKLERS.
50. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF STRUCTURAL AND MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. THESE PRACTICES INCLUDE SIX (6) MICRO-BORSTENTION (M-6) FACILITIES, FOUR (4) PERVIOUS PAVEMENT FACILITIES (P-2), SIX (6) MODULAR WETLAND FACILITIES WITH ASSOCIATED PRE-TREATMENT PIPE STORAGE AND ONE (1) CONTECH CMP DETENTION SYSTEM INFILTRATION FACILITY. THE PROPOSED STORMWATER MANAGEMENT FACILITIES WHICH TREAT BOTH EXISTING AND NEW IMPROVISED AREAS, THESE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
51. FOREST CONSERVATION OBLIGATIONS FOR THIS PROJECT HAVE BEEN PREVIOUSLY MET FOR THE INITIAL AFFORESTATION REQUIREMENTS FOR THIS SITE BY THE PURCHASE OF 0.96 ACRES FROM THE UNION BRIDGE FOREST BANK (FOREST BANK NO. FB-01-56200 UNDER S-16-0018) AND THE ADDITIONAL AFFORESTATION REQUIREMENTS UNDER S-16-0018 WAS MET BY THE PURCHASE OF 47.44 ACRES FROM HARGRAVE FARM LLC FOREST BANK (FOREST BANK NO. FB-14-0037) (REF. DEED L7774/F-85). THERE ARE NO FURTHER FOREST CONSERVATION REQUIREMENTS FOR THIS PLAN.
52. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 157 OF THE CARROLL COUNTY CODE, AND THE LANDSCAPE MANUAL.
53. ANY EXISTING TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
54. LANDSCAPING NOT PERMITTED WITHIN 7'-1/2" OF EACH SIDE OF THE FIRE DEPARTMENT CONNECTION. PROVIDE A CLEAR UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION, MINIMUM 13'-1.4
55. SIGNS SHALL BE PERMITTED PER ARTICLE XV, PLANNED BUSINESS CENTERS, CHAPTER 155.094(C)(6).
56. SITE LIGHTING SHALL BE NO DARKER AND DIRECTED AWAY FROM ANY RESIDENTIAL OR ALL ADJACENT PROPERTIES AND ROADS. ALL LIGHTING SOURCES SHALL BE SHIELDED, NEW LIGHTING SHOULD USE FULL CUT-OFF OPTICS LUMINAIRES TO MINIMIZE LIGHT POLLUTION. THE LIGHT POLLUTION SHALL BE COMPATIBLE WITH THE CHARACTER.
57. RETAINING WALLS SHOWN HEREON SHALL BE KEYSTONE OR EQUIVALENT TYPE. A SEPARATE BUILDING PERMIT SHALL BE OBTAINED FOR ALL RETAINING WALLS. THE DESIGN OF THE WALLS SHALL BE PREPARED BY THE WALL MANUFACTURER OR A QUALIFIED ENGINEER.
58. TRASH AND RECYCLING COLLECTION TO BE PRIVATE.
59. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THESE ITEMS IF THE DEPARTMENT OF PUBLIC WORKS DETERMINES PLAN REVISIONS ARE NECESSARY. NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF REVIEW.
60. IT SHOULD BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.
61. MOST OF THE PROPOSED DEVELOPMENT IS IN A SURFACE WATER PROTECTION AREA.
62. USE, TRANSFER OR STORAGE OF HAZARDOUS OR REGULATED SUBSTANCES WILL NOT BE PERMITTED ON SITE.
63. THE PROPERTY IS LOCATED IN THE TER CATCHMENT GILLIS FALLS 1 AS DESIGNATED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE). PER MDE'S WEBSITE, THERE IS NO ASSUMATIVE CAPACITY REMAINING.
64. ELEVEN (11) STORAGE UNITS SHALL BE ADA ACCESSIBLE UNITS. THE ACCESSIBLE UNITS SHALL BE DISPERSED THROUGHOUT THE VARIOUS CLASSES OF SPACES PROVIDED. THE 2010 ADA STANDARDS, SECTION 206.4.5 REQUIRES THESE SPACES TO HAVE A SIDE HINGED DOOR WITH A MINIMUM WIDTH OF 32 INCHES WHEN OPENED TO 90 DEGREES.

OWNER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS(S) HAS BEEN REVIEWED BY ME/US AND THAT I/WE UNDERSTAND AND AGREE TO THE REQUIREMENTS OF THE CARROLL COUNTY PLANNING AND ZONING COMMISSION AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE.

CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY _____ DATE _____

CARROLL COUNTY HEALTH DEPARTMENT

BY _____ DATE _____

SITE DEVELOPMENT PLAN INSPECTION SEQUENCE NOTES

1. CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY WORK.
2. SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
- A. PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
- B. PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
- C. SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
- D. COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
- E. COMPLETION OF ALL WORK SHOWN ON PLANS.
3. CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTIONS SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
4. FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTIONS SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
5. THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.

CARROLL SOIL CONSERVATION DISTRICT

NATURAL RESOURCE CONSERVATION DISTRICT CERTIFICATION. THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT.

APPROVED CARROLL S.C.D. _____ DATE _____

LOCATION MAP

SCALE: 1"=50'

JEROME THOMAS REID
LESA ANN REID
LOT 11 TM 61 P 338
L 1481 F 842
ZONED AGRICULTURE
USE: RESIDENTIAL

SHEET INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 16
EXISTING CONDITIONS & DEMOLITION PLAN	2 OF 16
SITE PLAN	3 OF 16
SITE PLAN DETAILS	4 OF 16
RETAIL CENTER (BLDG. A) ELEVATIONS	5 OF 16
SELF-STORAGE (BLDG. B) ELEVATIONS	6 OF 16
SELF-STORAGE (BLDG. C, D & E) ELEVATIONS	7 OF 16
SELF-STORAGE (BLDG. C, D & E) ELEVATIONS	8 OF 16
GRADING AND CONCEPTUAL SEDIMENT CONTROL PLAN	9 OF 16
SEDIMENT AND EROSION CONTROL NOTES & DETAILS	10 OF 16
EXISTING AND DEVELOPED CONDITION COVERAGE MAP	11 OF 16
OVERALL DEVELOPED CONDITION SWM ESDV DRAINAGE AREA MAP	12 OF 16
DEVELOPED CONDITION SWM ESDV DRAINAGE AREA MAP	13 OF 16
DEVELOPED CONDITION SWM ESDV DRAINAGE AREA MAP	14 OF 16
LANDSCAPE PLAN	15 OF 16
LIGHTING AND PHOTOMETRIC PLAN	16 OF 16

CONCEPT SITE DEVELOPMENT PLAN
FOR
LIBERTY ROAD CROSSING, AMENDED
CARROLL COUNTY, MD
TAX MAP: 61 BLOCK: 16 PARCEL 338 9TH ELECTION
DISTRICT

PARKING TABULATION

RETAIL AREA (PLANNED COMMERCIAL CENTER):	11,250 SF	REQUIRED PER CODE
5.5 SPACES @ 1000 SF OF FLOOR AREA		62 SPACES
SELF-STORAGE (WITH DRIVEWAY ACCESS):		3 SPACES
2 FOR EMPLOYEE PARKING (AT BUSINESS OFFICE)		2 SPACES
3 FOR CUSTOMER PARKING (AT BUSINESS OFFICE)		3 SPACES
TOTAL SPACES REQUIRED (PER CODE):		67 SPACES
RETAIL PARKING PROVIDED:		64 SPACES
SELF-STORAGE PARKING PROVIDED:		3 SPACES
TOTAL SPACES PROVIDED:		67 SPACES
PARKING NOTES:		(INCLUDING 4 HANDICAP SPACES)
1. PARKING PROVIDED IS IN ACCORDANCE WITH SECTION 158.063 OF THE CARROLL COUNTY ZONING REGULATIONS.		

ALLOWABLE SIGNAGE

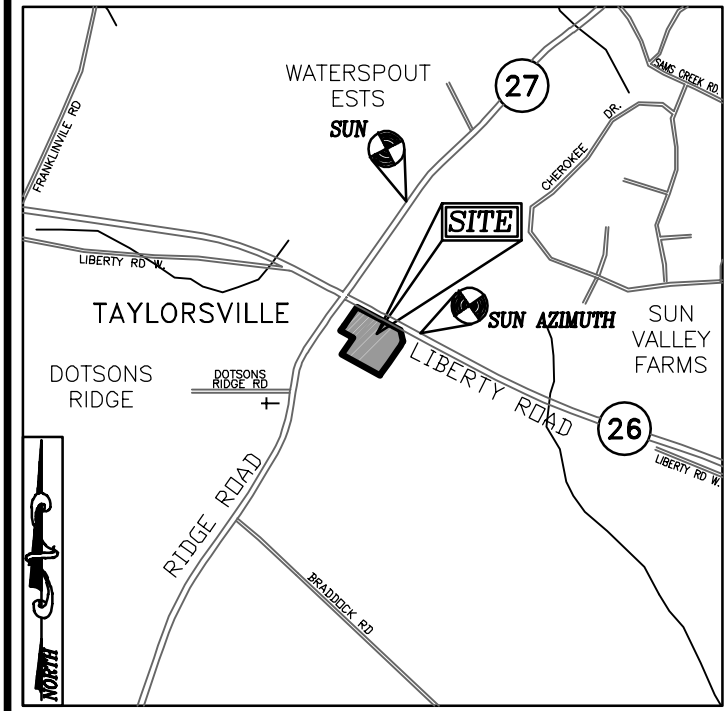
- BUILDING SIGNAGE:
- TOTAL ALLOWED: 4 TIMES THE LINEAR FOOTAGE OF THE BUILDING BEING USED AS A TENANT FRONT
- 4 x 225 L.F. = 900 SQ. FT.
- MAXIMUM ALLOWED PER SIGN = 200 SQ. FT. ON ANY ONE SIDE
- PRESTANDING SIGNS:
- ONE (1) PRESTANDING SIGN IS PERMITTED
- MAXIMUM HEIGHT = 30 SQ. FT. AS MEASURED FROM ADJACENT PUBLIC ROAD
- SETBACK FROM A PUBLIC R/W LINE OR FRONT PROPERTY LINE = 5 FT.
- SETBACK FROM A SIDE PROPERTY LINE = 20 FT.

BENCHMARKS

CARROLL COUNTY GEODETIC SURVEY CONTROL: SUN
N 653,312.1150 E 1,288,426.5200 ELEV. 840.681
CARROLL COUNTY GEODETIC SURVEY CONTROL: SUN AZMUTH
N 651,936.0880 E 1,288,572.5992 ELEV. 804.428

LEGEND:

- PROPERTY LINE
RIGHT-OF-WAY LINE
EXISTING CURB
PROPOSED CURB AND GUTTER
EXISTING PAVING
PROPOSED CONCRETE SIDEWALK
PROPOSED BUILDINGS



VICINITY MAP

SCALE = 1"=200'

PROJECT BACKGROUND

TAX MAP 61, BLOCK 16, PARCEL 338, LOT 10C
ZONING: C-2 (COMMERCIAL MEDIUM INTENSITY DISTRICT)
SUBDIVISION: OXFORD MEWS
SECTION/AREA: N/A
PROPERTY LIES WITHIN A RURAL VILLAGE
C/O FILE # REFERENCES: S-05-038, F-08-021, S-16-0018
DEED/PLAT REFERENCES: L4802/F.645, L4802/F.650, PLAT 25/89, PLAT 26/151, PB 52/12
CURRENT TAX ACCOUNT NUMBER: 09-023968
CURRENT OWNER: 2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630

SITE ANALYSIS

SITE AREA: 6.3899±
EXISTING USE: VACANT FARM/RESIDENTIAL
STREAM USE CLASSIFICATION: GILLIS FALLS AND MONOCACY; USE III & IV-P
RESERVOIR W/SHEDDED WATER; AC NUMBER: 0213098
PROPOSED USE OF STRUCTURES: 11,250 SF RETAIL, 83,675 SF SELF-STORAGE (221 UNITS)
BUILDING A: RETAIL
BUILDING B: SELF-STORAGE (59 UNITS); INCLUDES OFFICE
BUILDING C: SELF-STORAGE (64 UNITS)
BUILDING D: SELF-STORAGE (32 UNITS)
BUILDING E: SELF-STORAGE (66 UNITS); INCLUDES UTILITY ROOM
BUILDING AREAS:
BUILDING A: ONE-STORY RETAIL
FOOTPRINT/1ST FLOOR: 11,250 SF
BUILDING B: PARTIAL TWO-STORY SELF STORAGE
FOOTPRINT: 11,250 SF
2ND FLOOR: 11,250 SF
TOTAL (GROSS) AREA: 17,325 SF
BUILDING C: TWO-STORY SELF STORAGE
FOOTPRINT: 14,000 SF
1ST FLOOR: 14,000 SF
2ND FLOOR: 14,000 SF
TOTAL (GROSS) AREA: 28,000 SF
BUILDING D: ONE-STORY SELF STORAGE
FOOTPRINT/1ST FLOOR: 14,800 SF
BUILDING E: TWO-STORY SELF STORAGE
FOOTPRINT: 14,800 SF
1ST FLOOR: 14,800 SF
2ND FLOOR: 14,800 SF
TOTAL (GROSS) AREA: 29,600 SF
BUILDING COVERAGE (FOOTPRINT) 60,050 SF (1.38 AC. OR 21.6% OF GROSS AREA)
PAVED DRIVEWAYS/PARKING LOT: 74,972 SF (1.72 AC. OR 26.9% OF GROSS AREA)
AREA OF WETLANDS ON SITE: 0.00 AC.
AREA OF WETLANDS BUFFER ZONE: 0.00 AC.
AREA OF STREAMS AND THEIR BUFFERS ON SITE: 0.00 AC.
AREA OF ON-SITE 100 YEAR FLOODPLAIN: 0.00 AC.
AREA OF EXISTING FOREST ON SITE: 0.00 AC.
AREA OF ON-SITE MODERATE SLOPES (15%-25%): 5,435 SF (0.12 AC.)
AREA OF ON-SITE STEEP SLOPES (GREATER THAN 25%): 1,108 SF (0.025 AC.)
AREA OF ERODIBLE SOILS: 0.00 AC.
DEVELOPMENT AREA/LIMIT OF DISTURBED AREA: 231,490 SF (5.31 AC.)

OWNER/DEVELOPER

2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630
(410) 984-1654

Trip Generation/Distribution

Trip generation rates were obtained from the Institute of Transportation Engineers (ITE) Trip Generation Manual (10th Edition) for the proposed development of the site. Note that for the retail area with no specific identified users, the trips were estimated using the equivalent result in significantly higher volumes than using average rates. The trip generation rates and peak hour trips for the proposed development are identified in Table 1.

Table 1. Trip Generation for Subject Site

Formula/Rate		Directional Distribution					
		AM Peak Hour		PM Peak Hour		Mid. Sat. Peak Hour	
		In	Out	In	Out	In	Out
Shopping Center (adj. ITE-830)							
Retail	AM Peak Hour Trips = 0.50 x ksf + 151.78	62%	38%	48%	52%	52%	48%
	Lot/PM Peak Hour Trips = 0.74 x Lot/Sq + 2.89						
	Lot/Sat. Midday Peak Hour Trips = 0.79 x Lot/Sq + 2.79						
Mini-Warehouse/Self-Storage (adj. ITE-433)							
Auto-Storehouse	AM Peak Hour Trips = 0.10 x ksf			40%	47%	53%	59%
	PM Peak Hour Trips = 0.27 x ksf					41%	
	Sat. Midday Peak Hour Trips = 0.31 x ksf						
* ITE Trip Generation Manual: 10th Edition, 2017.							
Trip Generation							
Land Use	Site	AM Peak Hour		PM Peak Hour		Mid. Sat. Peak Hour	
		In	Out	In	Out	In	Out
Retail	11,250 sq.ft.	97	60	157	52	56	108
Pass-by Trips (AM, PM 34%, Sat 26%)		33	20	53	18	37	15
New Net Retail Trips		64	40	104	34	71	42
Self-Storage	50,290 sq.ft.	3	2	5	4	5	9
Total Pass-by Trips		33	20	53	18	37	15
Total New Trips		67	42	109	38	42	60

The trip generation for Table 1 also identifies the effect of pass-by trips generated by the retail use of the site, and the pass-by rates were obtained from the ITE Trip Generation Handbook.

CONCEPT SITE DEVELOPMENT PLAN

COVER SHEET

LIBERTY ROAD CROSSING, 2ND AMENDED

EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
LIBERTY ROAD (MD RTE 26) & RIDGE ROAD (MD RTE 27)
9TH ELECTION DISTRICT
4TH COMMISSIONER DISTRICT
ZONED: C-2
TM 61, BLK 16, P. 338, LOT 10C
CARROLL COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY: RHW/DZE

DRAWN BY: DZE/KG

CHECKED BY: RHW

DATE: JUNE 2024

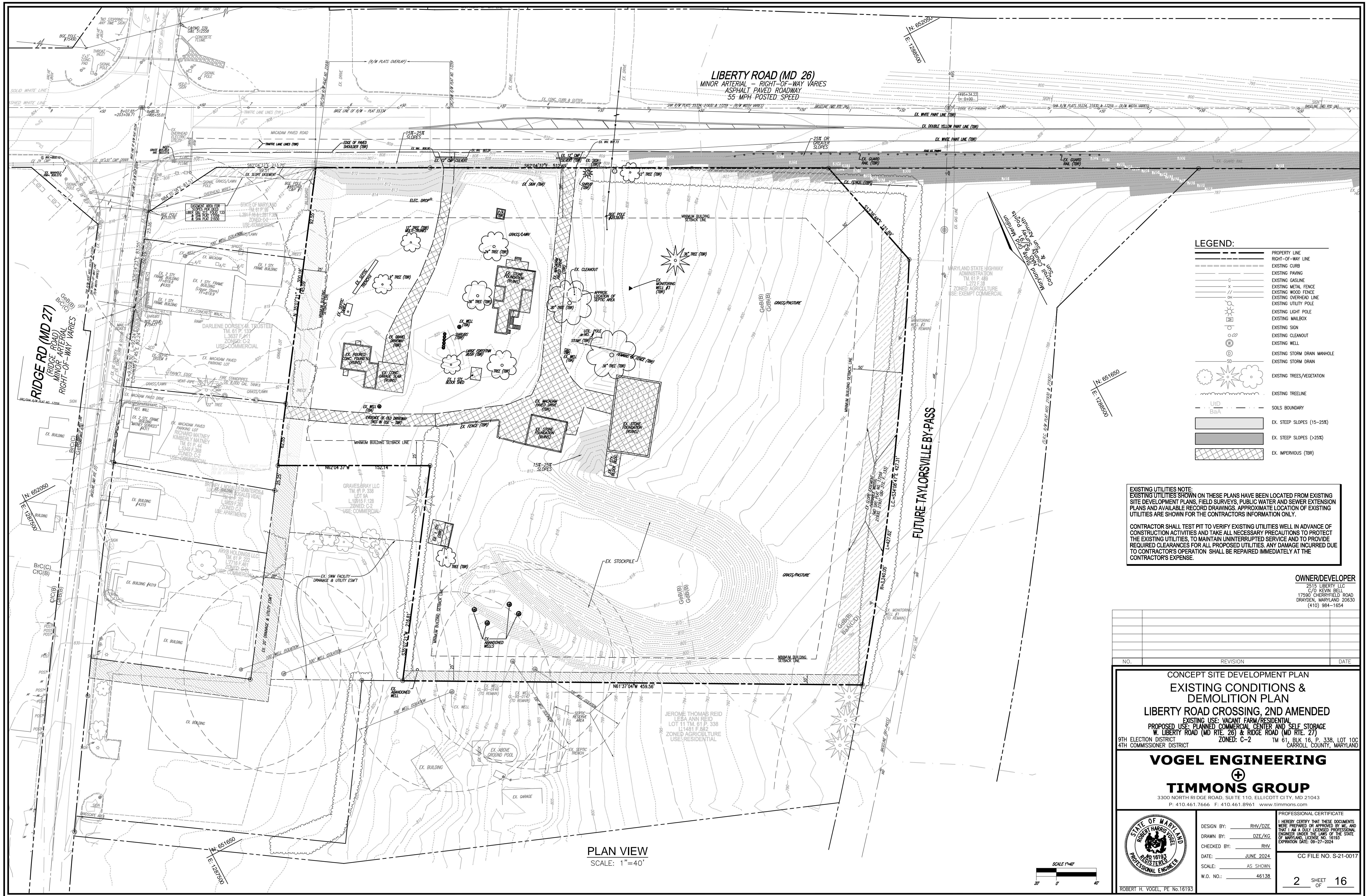
SCALE: AS SHOWN

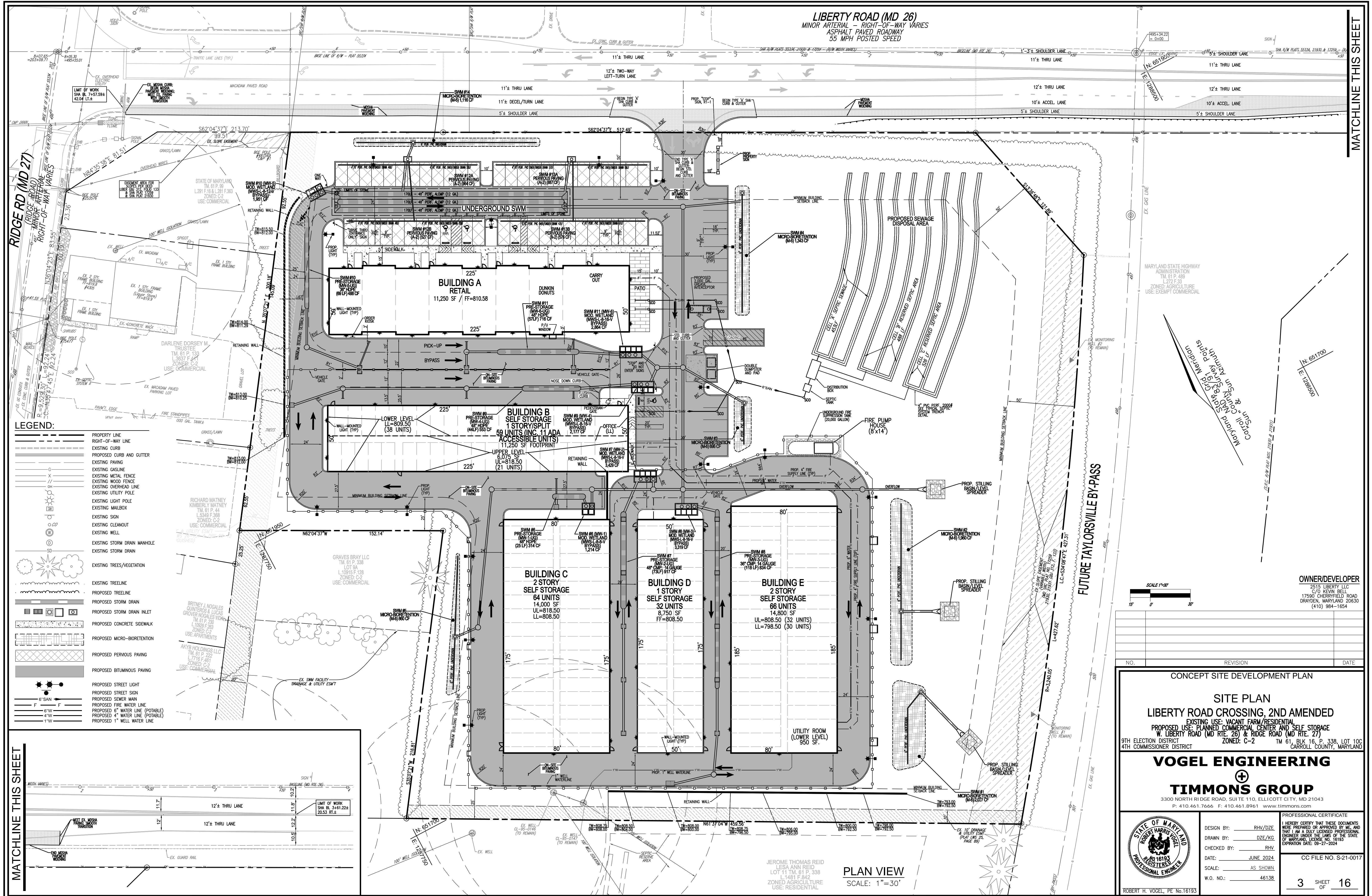
W.O. NO.: 46138

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

CC FILE NO. S-21-0017

1 SHEET OF 16



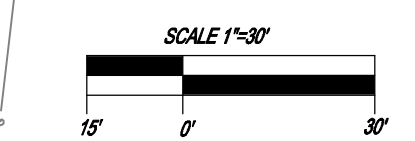


MATCHLINE THIS SHEET

MATCHLINE THIS SHEET

LIBERTY ROAD (MD 26)
MINOR ARTERIAL - RIGHT-OF-WAY VARIES
ASPHALT PAVED ROADWAY
55 MPH POSTED SPEED

- LEGEND:
- PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - EXISTING CURB
 - PROPOSED CURB AND GUTTER
 - EXISTING PAVING
 - EXISTING GASLINE
 - EXISTING METAL FENCE
 - EXISTING WOOD FENCE
 - EXISTING OVERHEAD LINE
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING MAILBOX
 - EXISTING CLEANOUT
 - EXISTING WELL
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING STORM DRAIN
 - EXISTING TREES/VEGETATION
 - EXISTING TREELINE
 - PROPOSED TREELINE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN INLET
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED MICRO-BIORETENTION
 - PROPOSED PERVIOUS PAVING
 - PROPOSED BITUMINOUS PAVING
 - PROPOSED STREET LIGHT
 - PROPOSED STREET SIGN
 - PROPOSED SEWER MAIN
 - PROPOSED FIRE WATER LINE
 - PROPOSED 6" WATER LINE (POTABLE)
 - PROPOSED 4" WATER LINE (POTABLE)
 - PROPOSED 1" WELL WATER LINE



NO.	REVISION	DATE

CONCEPT SITE DEVELOPMENT PLAN

SITE PLAN
LIBERTY ROAD CROSSING, 2ND AMENDED
EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
W. LIBERTY ROAD (MD Rte. 26) & RIDGE ROAD (MD Rte. 27)
ZONED: C-2

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

DESIGN BY: RHW/DZE
DRAWN BY: DZE/KG
CHECKED BY: RHW
DATE: JUNE 2024
SCALE: AS SHOWN
W.O. NO.: 46138

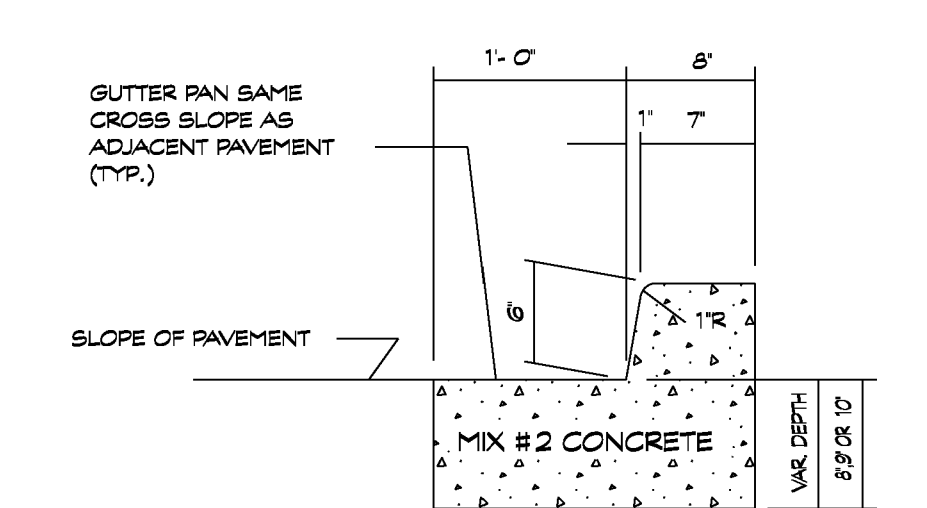
CC FILE NO. S-21-0017

3 SHEET OF 16

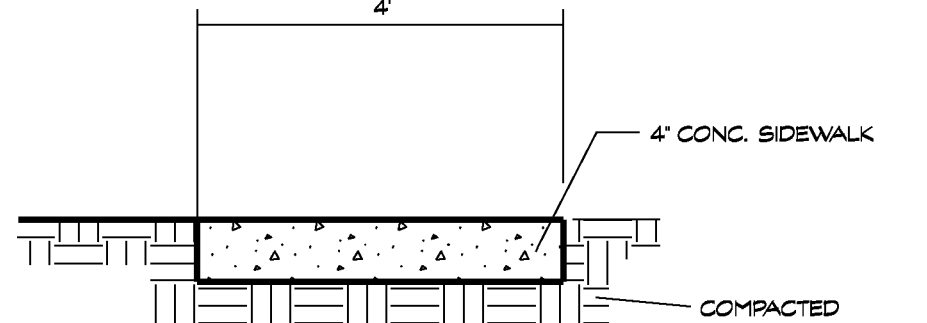
OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYTON, MARYLAND 20630
(410) 984-1654

JEROME THOMAS REID
LESA ANN REID
LOT 11 TM. 61 P. 338
L 1491 F 842
ZONED AGRICULTURE
USE: RESIDENTIAL

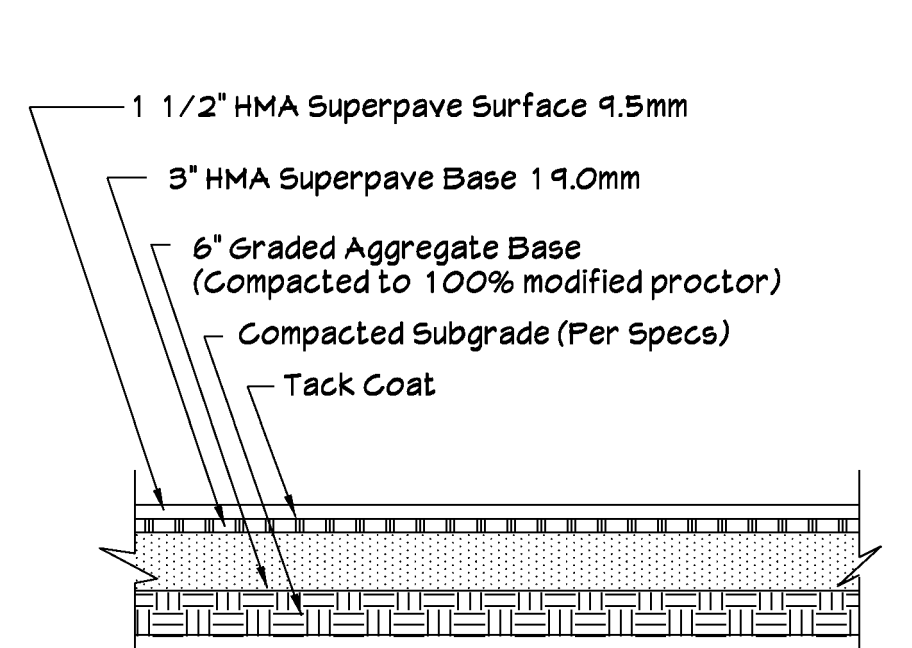
PLAN VIEW
SCALE: 1"=30'



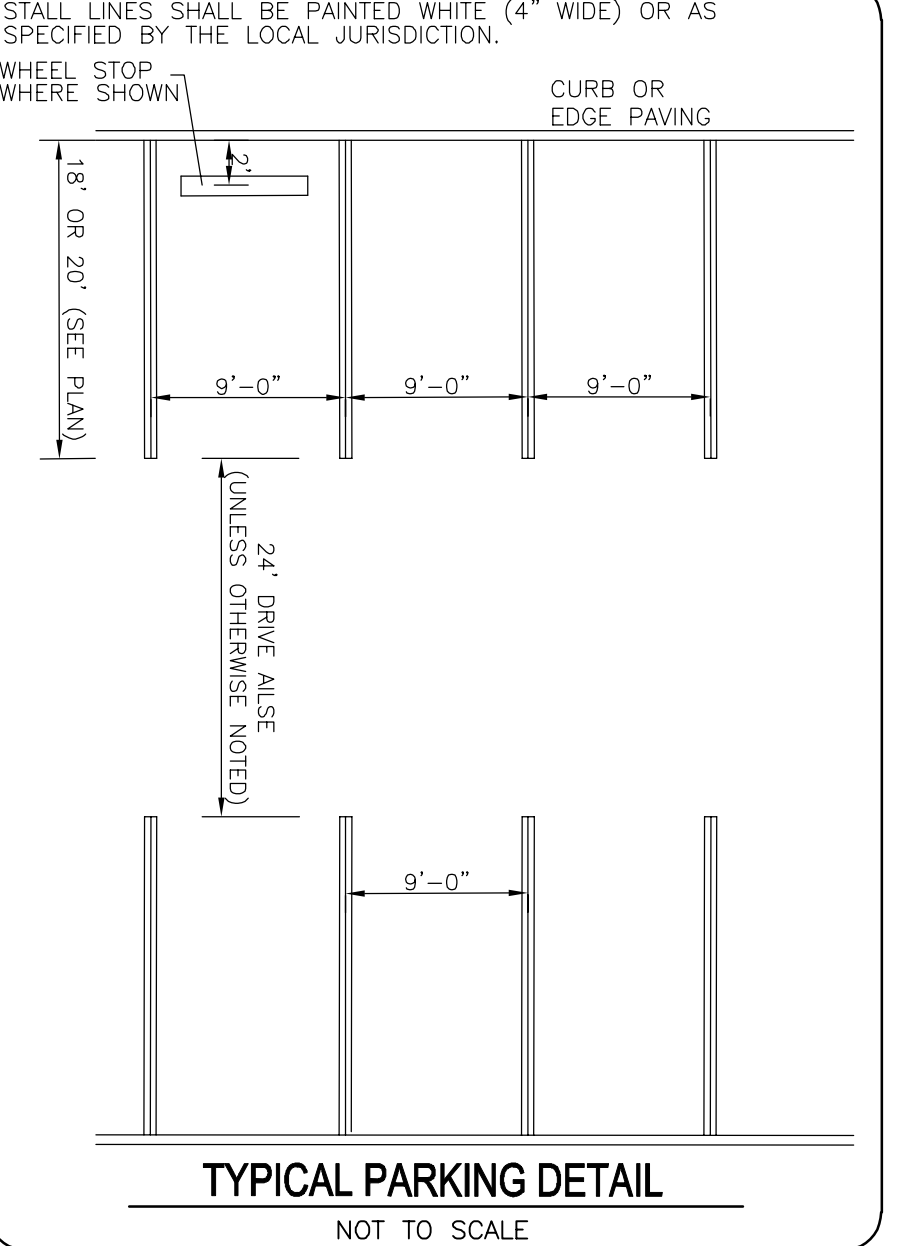
STANDARD CONCRETE CURB & GUTTER
ON-SITE
NOT TO SCALE



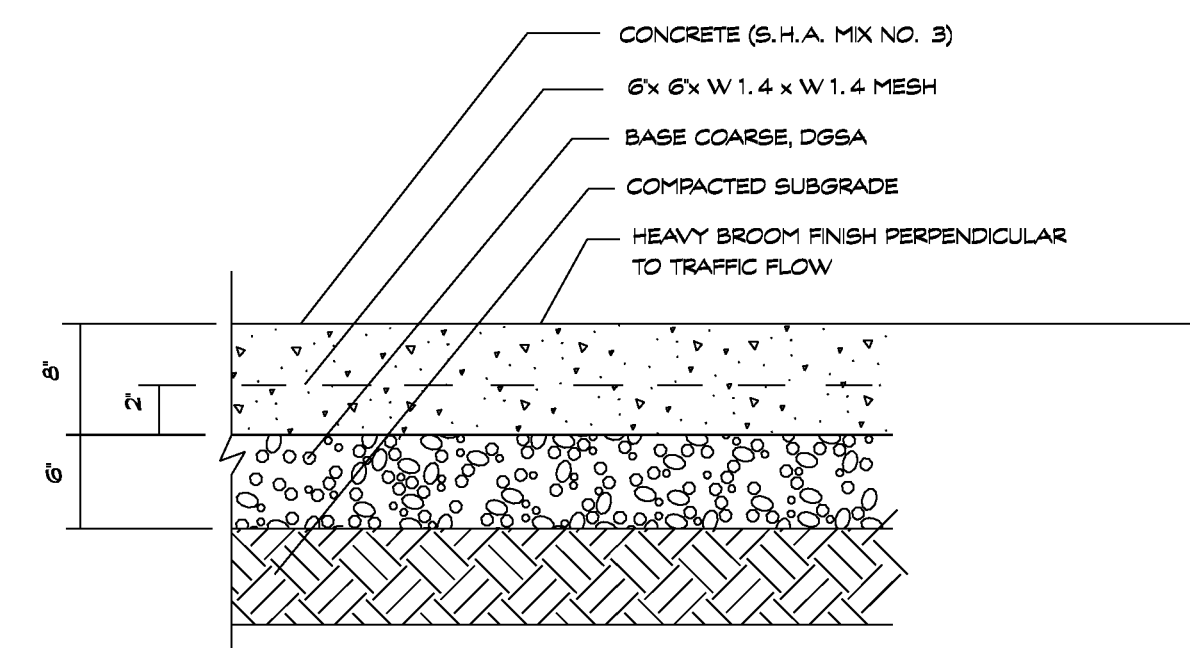
TYPICAL SIDEWALK DETAIL
NOT TO SCALE



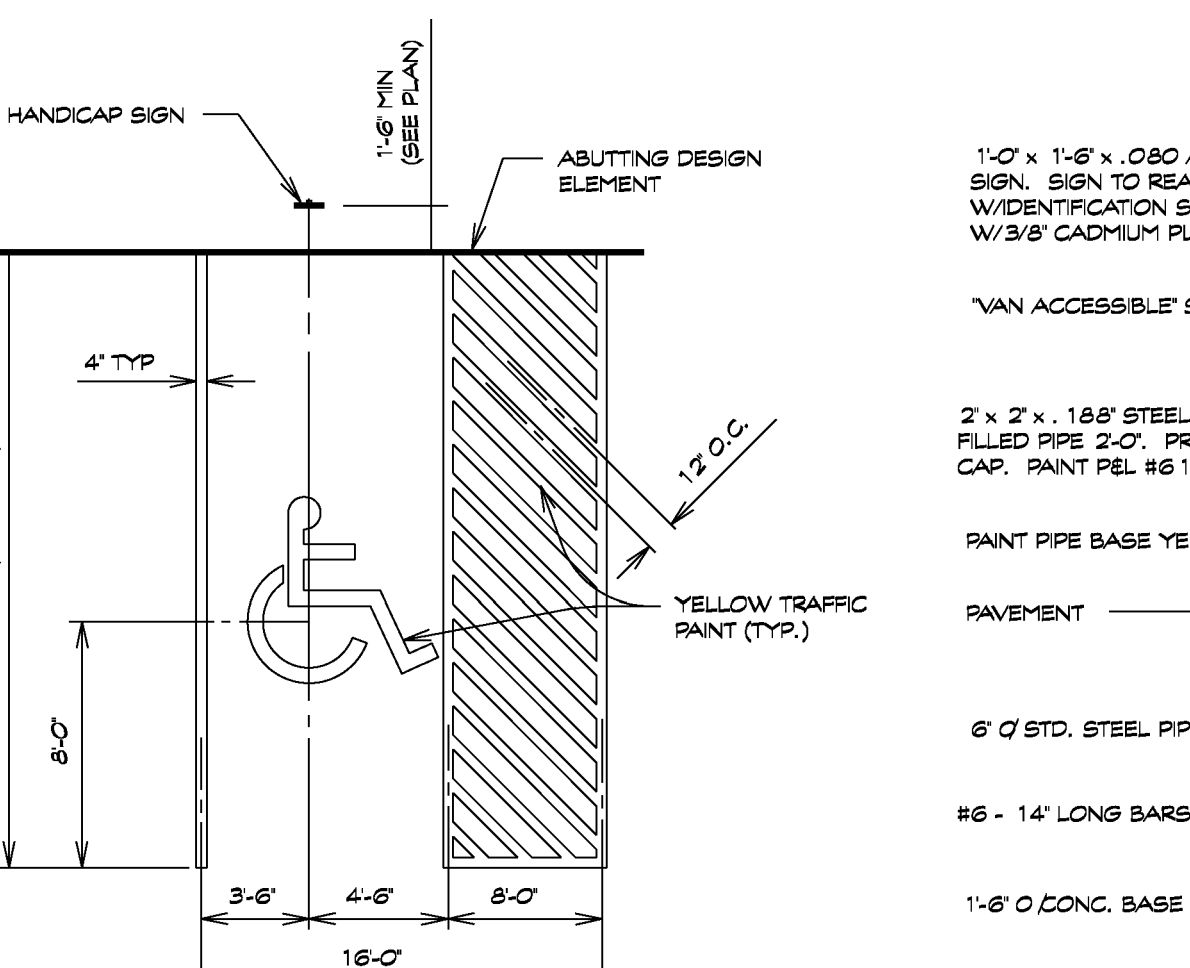
STANDARD ASPHALT PAVING
NOT TO SCALE



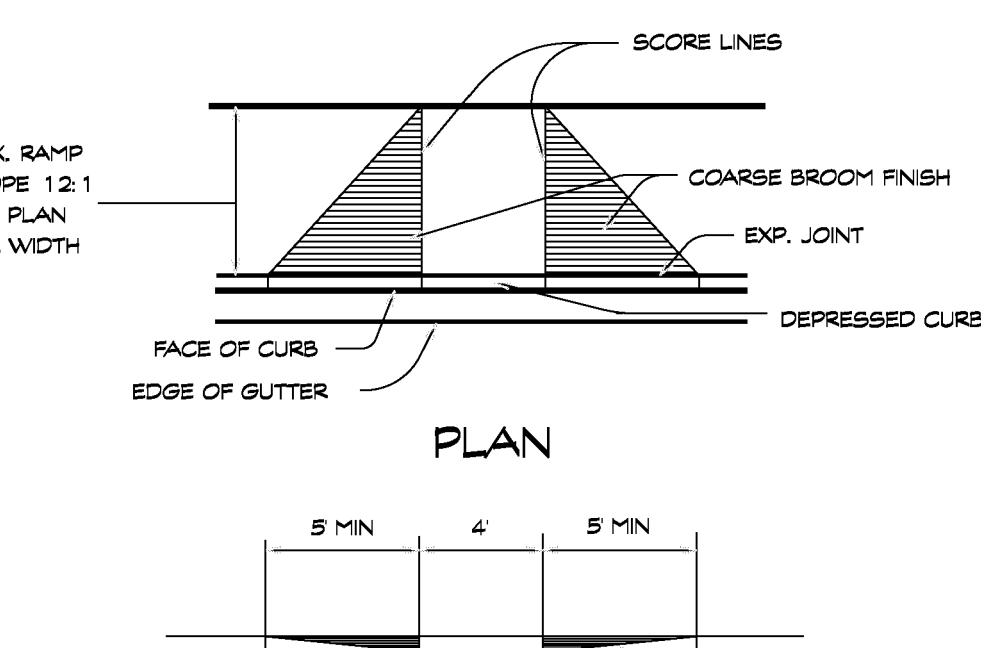
TYPICAL PARKING DETAIL
NOT TO SCALE



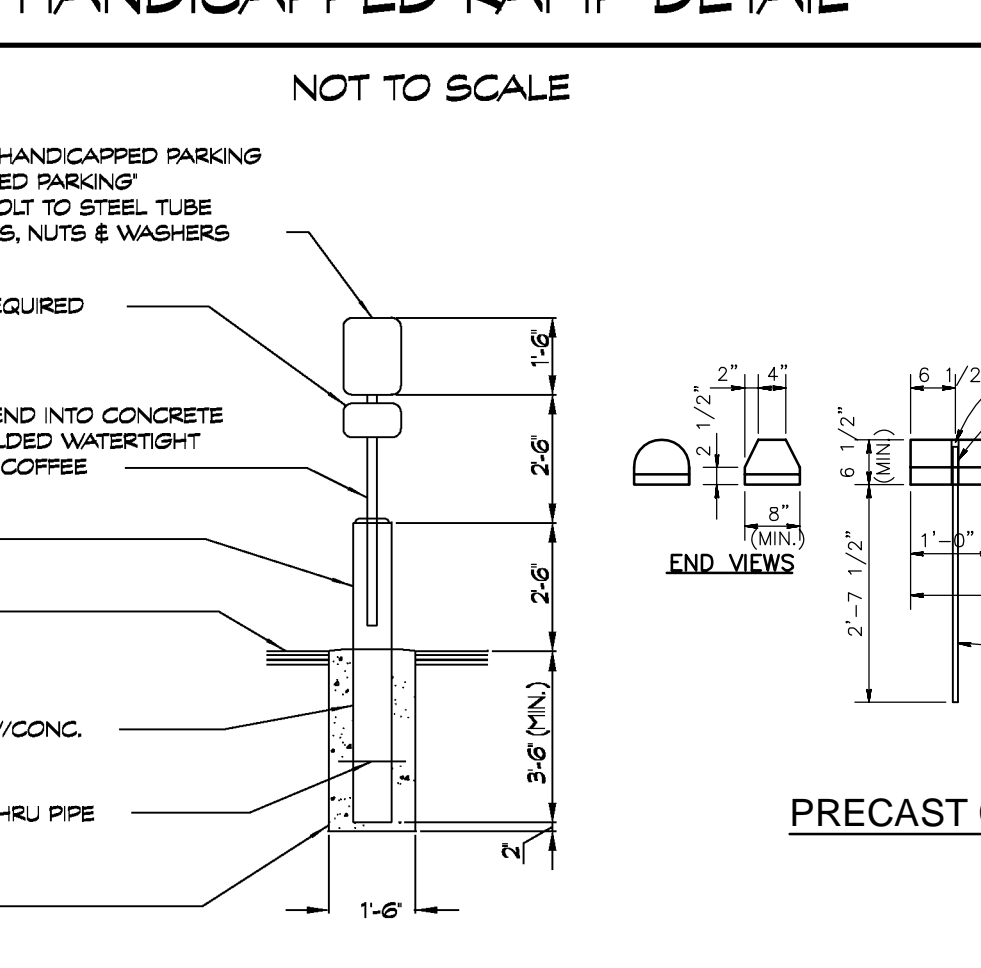
CONCRETE PAD DETAIL
N.T.S.



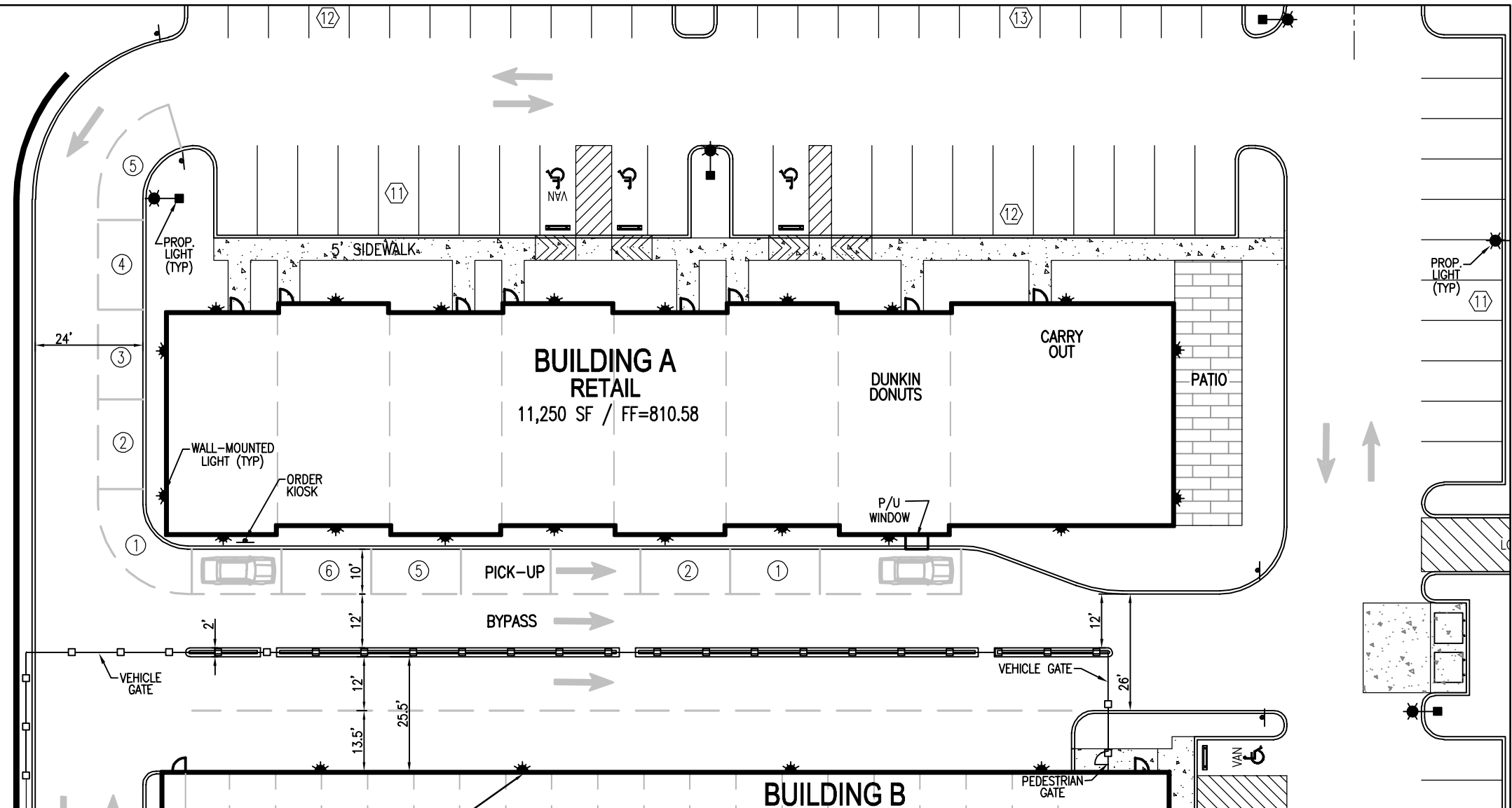
HANDICAP PARKING SPACE
NOT TO SCALE



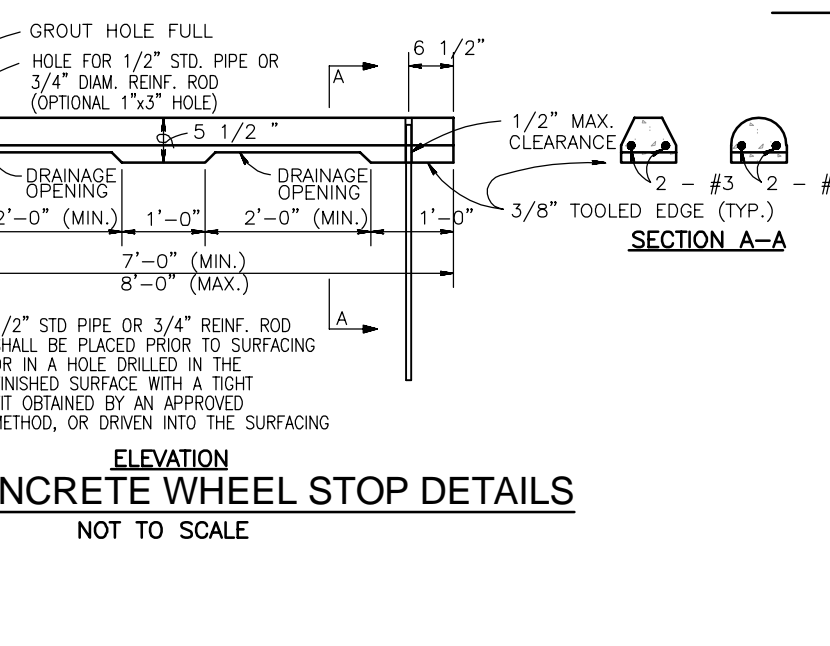
HANDICAPPED RAMP DETAIL
NOT TO SCALE



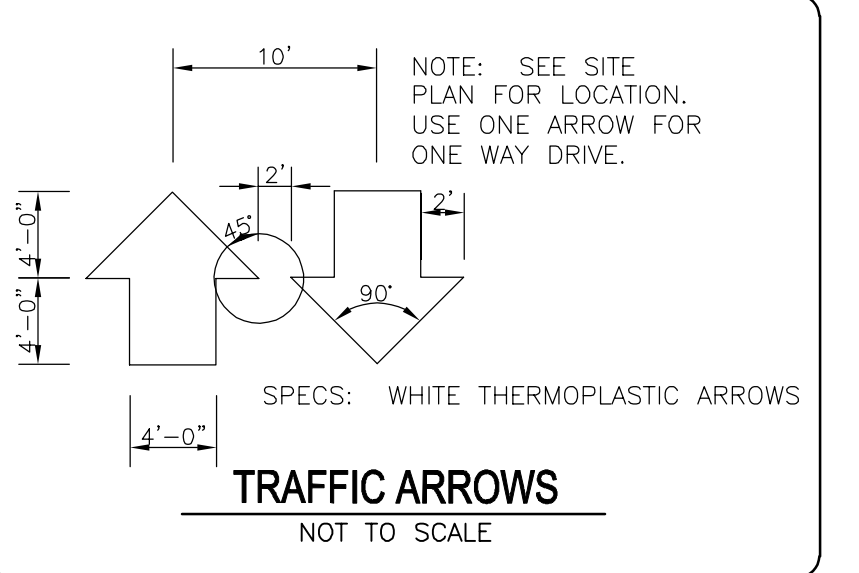
"HANDICAPPED PARKING" SIGN
SCALE: 1" = 4'-0"



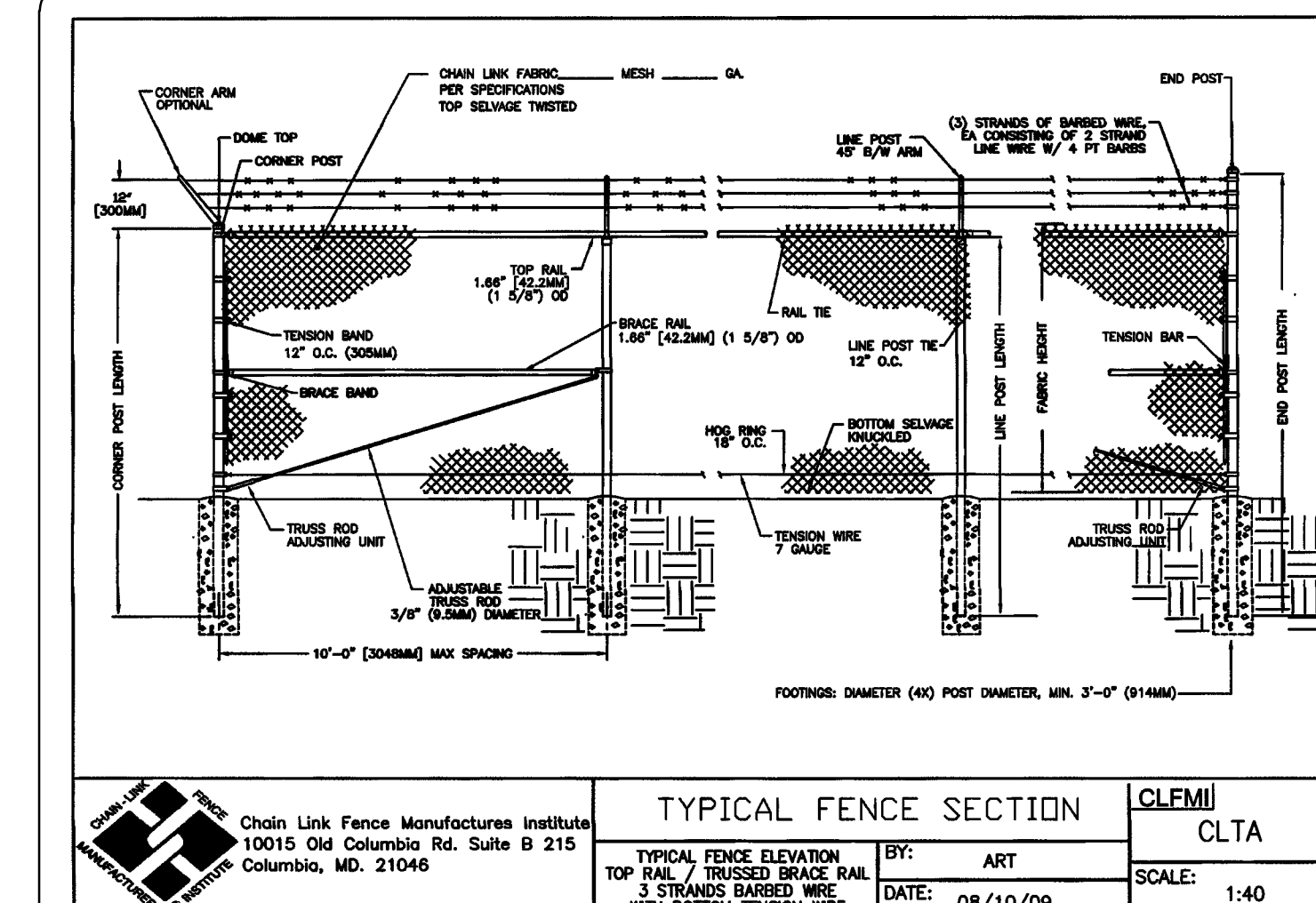
VEHICLE STACKING PLAN
SCALE: 1" = 30'



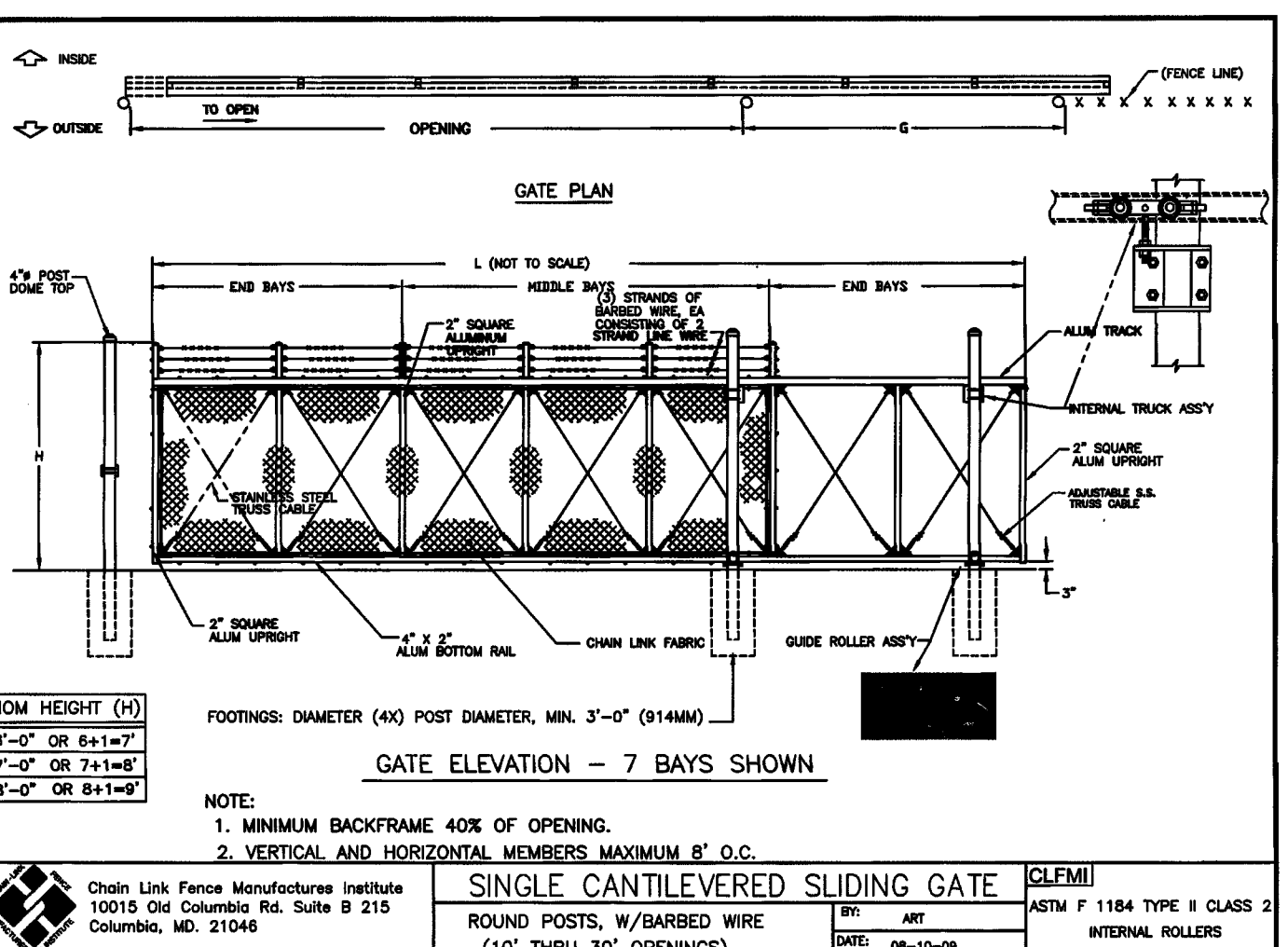
PRECAST CONCRETE WHEEL STOP DETAILS
NOT TO SCALE



TRAFFIC ARROWS
NOT TO SCALE

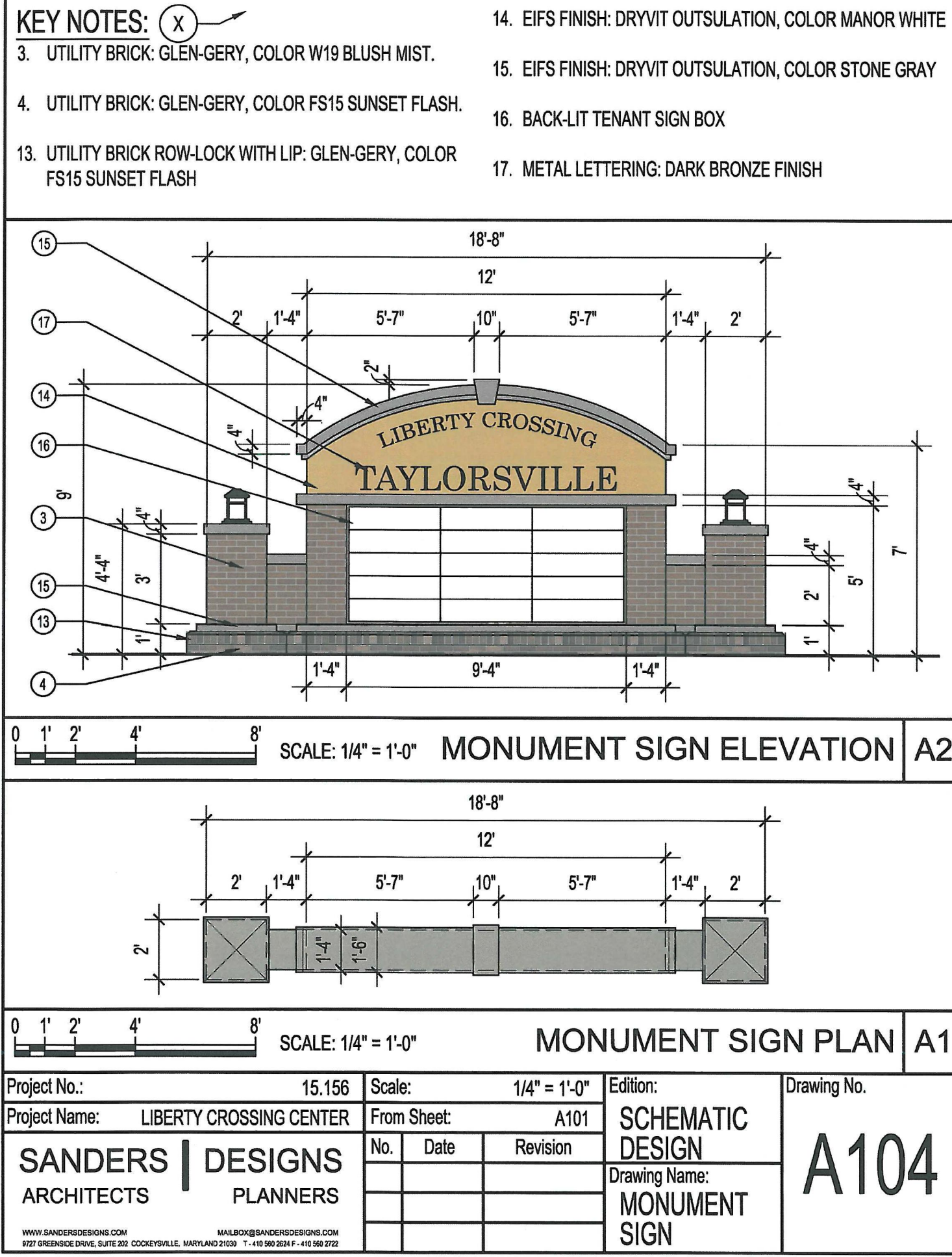


TYPICAL FENCE SECTION
BY: ART
DATE: 08/10/09
SCALE: 1:40



SINGLE CANTILEVERED SLIDING GATE
BY: ART
DATE: 08-10-09
SCALE: 1:40

CHAIN LINK FENCE & GATE
NOT TO SCALE



KEY NOTES:
3. UTILITY BRICK: GLEN-GERY, COLOR W19 BLUSH MIST.
4. UTILITY BRICK: GLEN-GERY, COLOR FS15 SUNSET FLASH.
13. UTILITY BRICK ROW-LOCK WITH LIP: GLEN-GERY, COLOR FS15 SUNSET FLASH.
14. EIFS FINISH: DRYVIT OUTSULATION, COLOR MANOR WHITE.
15. EIFS FINISH: DRYVIT OUTSULATION, COLOR STONE GRAY.
16. BACK-LIT TENANT SIGN BOX.
17. METAL LETTERING: DARK BRONZE FINISH.
MONUMENT SIGN ELEVATION A2
MONUMENT SIGN PLAN A1
Project No.: 15.156
Project Name: LIBERTY CROSSING CENTER
Scale: 1/4" = 1'-0"
Edition: A101
From Sheet: No. Date Revision
SANDERS | DESIGNS ARCHITECTS PLANNERS
Project No.: 15.156
Project Name: LIBERTY CROSSING CENTER
Scale: 1/4" = 1'-0"
Edition: A101
From Sheet: No. Date Revision
SANDERS | DESIGNS ARCHITECTS PLANNERS

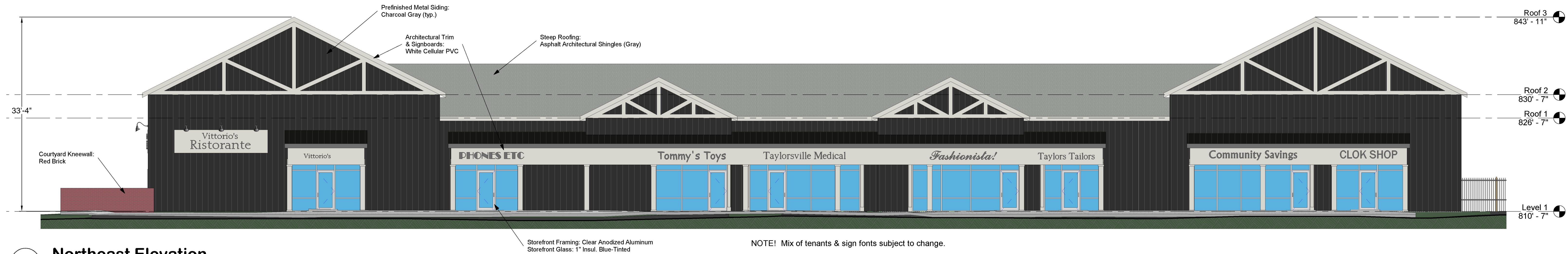
OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630
(410) 984-1654

NO.	REVISION	DATE

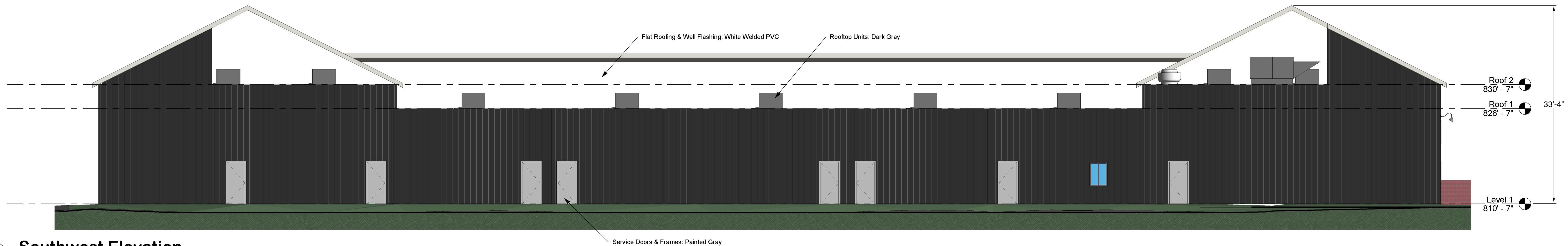
CONCEPT SITE DEVELOPMENT PLAN
SITE PLAN DETAILS
LIBERTY ROAD CROSSING, 2ND AMENDED
EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27)
9TH ELECTION DISTRICT
4TH COMMISSIONER DISTRICT
ZONED: C-2
TM 61, BLK 16, P. 338, LOT 10C
CARROLL COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

	DESIGN BY: RHV/DZE	PROFESSIONAL CERTIFICATE I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024 CC FILE NO. S-21-0017
	CHECKED BY: RHV	
	DATE: JUNE 2024	
	SCALE: AS SHOWN	
W.O. NO.: 46138	4 SHEET OF 16	



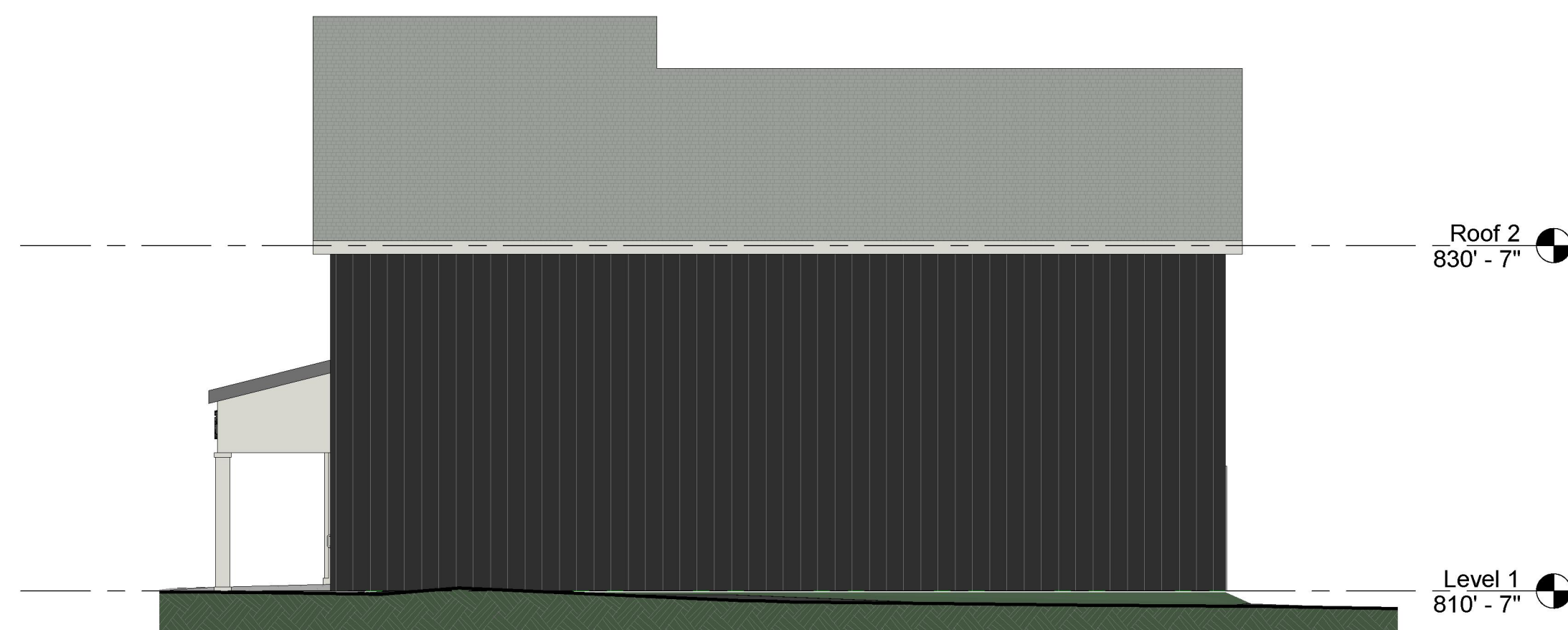
1 Northeast Elevation
1/8" = 1'-0"



2 Southwest Elevation
1/8" = 1'-0"



3 Southeast Elevation
1/8" = 1'-0"



4 Northwest Elevation
1/8" = 1'-0"

OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630
(410) 984-1654

NO.	REVISION	DATE

CONCEPT SITE DEVELOPMENT PLAN
RETAIL CENTER (BLDG. A)
ELEVATIONS
LIBERTY ROAD CROSSING, 2ND AMENDED
EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27)
9TH ELECTION DISTRICT
4TH COMMISSIONER DISTRICT
ZONED: C-2
TM 61, BLK 16, P. 338, LOT 10C
CARROLL COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



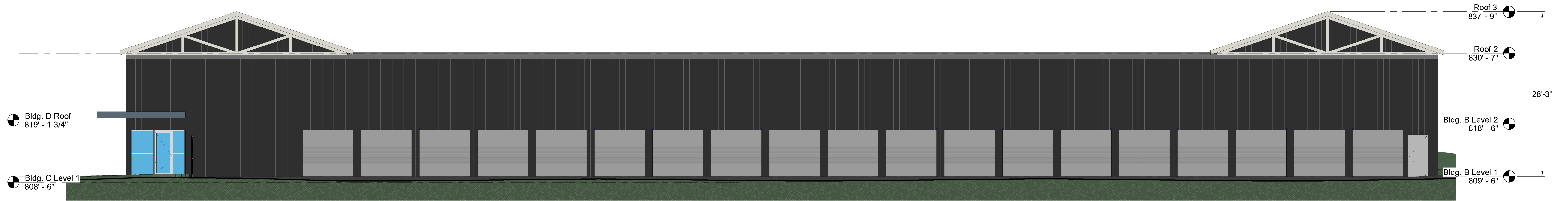
DESIGN BY: RHV/DZE
DRAWN BY: DZE/KG
CHECKED BY: RHV
DATE: JUNE 2024
SCALE: AS SHOWN
W.O. NO.: 46138

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2024

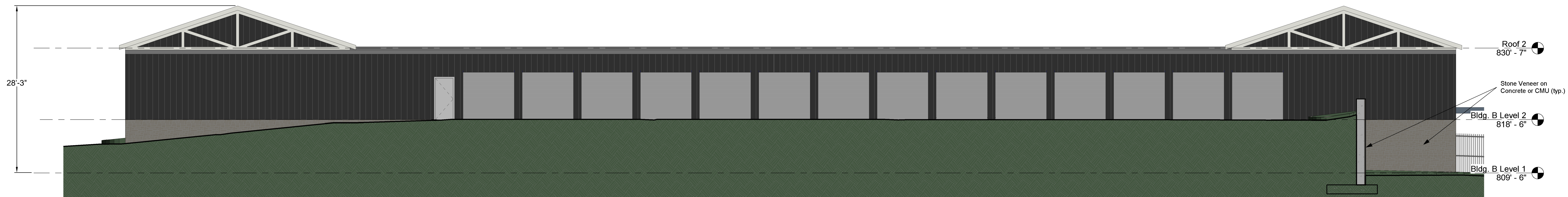
CC FILE NO. S-21-0017

5 SHEET OF 16

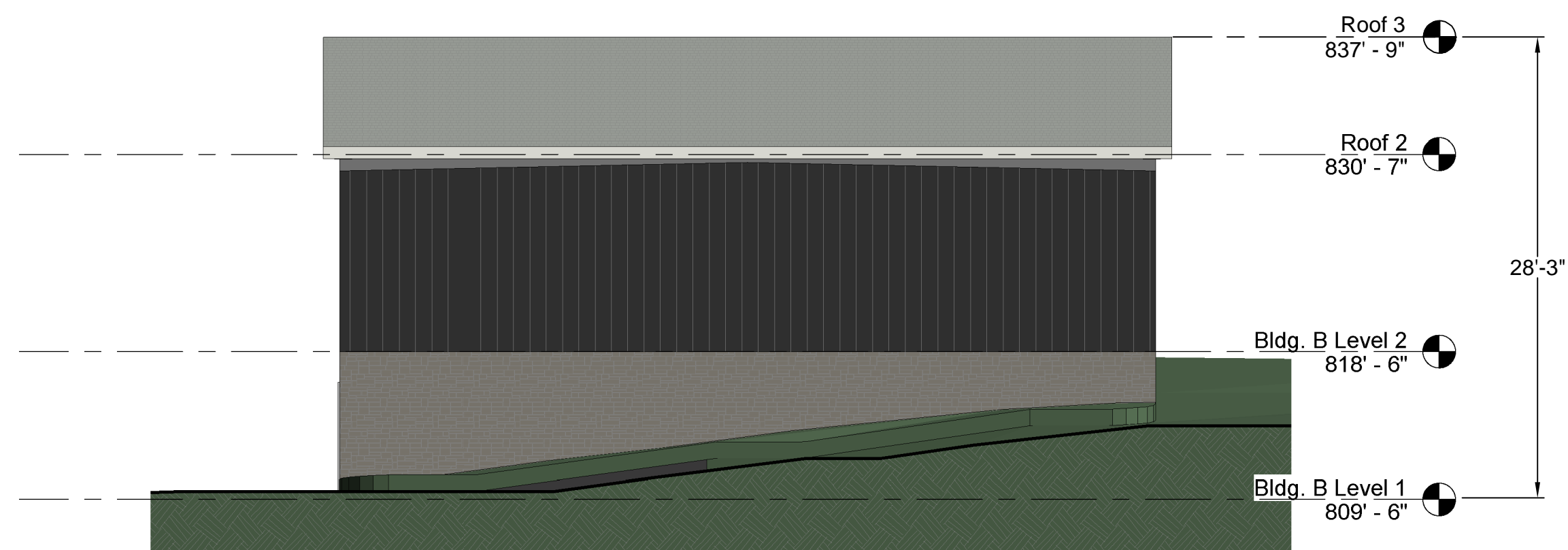
ROBERT H. VOGEL, PE No.16193



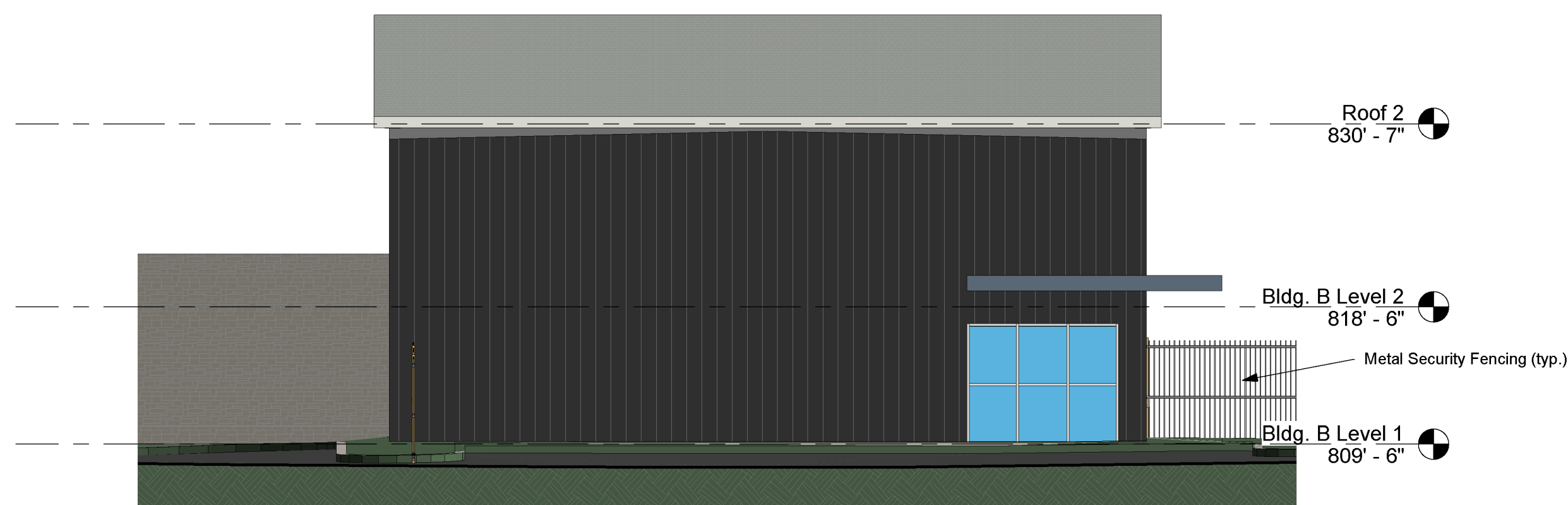
1 Bldg. B - Northeast
1/8" = 1'-0"



2 Bldg. B - Southwest
1/8" = 1'-0"



3 Bldg. B - Northwest
1/8" = 1'-0"



4 Bldg. B - Southeast
1/8" = 1'-0"

OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630
(410) 984-1654

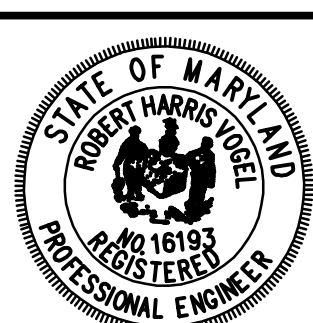
NO.	REVISION	DATE

CONCEPT SITE DEVELOPMENT PLAN
SELF-STORAGE (BLDG. B)
ELEVATIONS
LIBERTY ROAD CROSSING, 2ND AMENDED
EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27)
9TH ELECTION DISTRICT
4TH COMMISSIONER DISTRICT
ZONED: C-2
TM 61, BLK 16, P. 338, LOT 10C
CARROLL COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



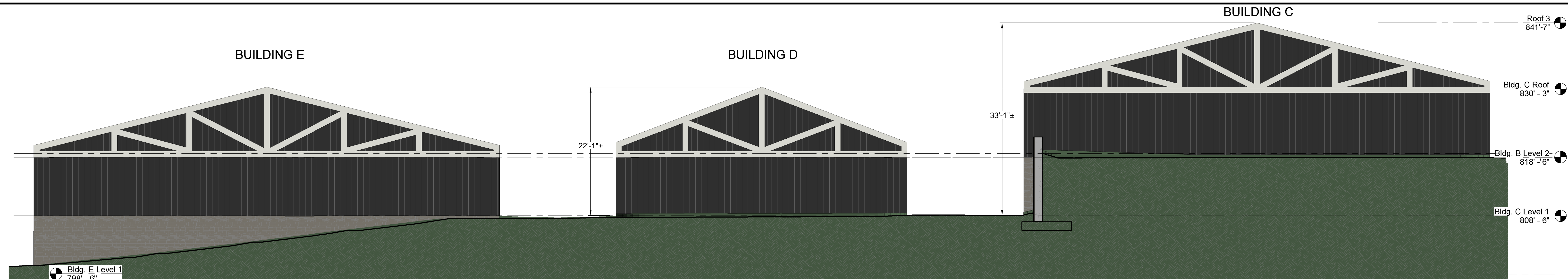
DESIGN BY: RHY/DZE
DRAWN BY: DZE/KG
CHECKED BY: RHY
DATE: JUNE 2024
SCALE: AS SHOWN
W.O. NO.: 46138

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2024

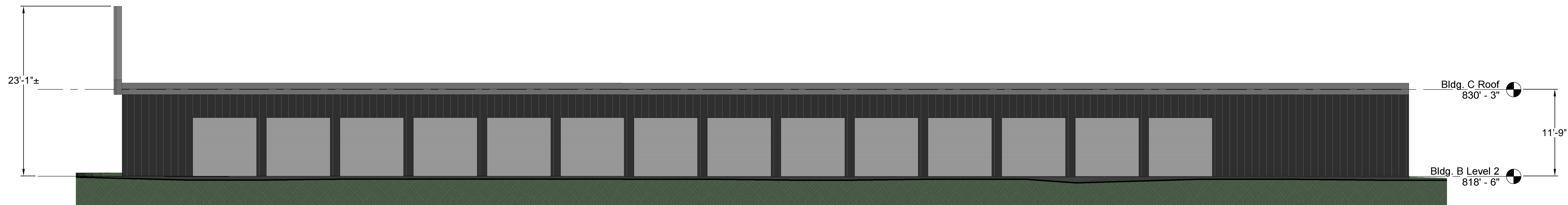
CC FILE NO. S-21-0017

6 SHEET OF 16

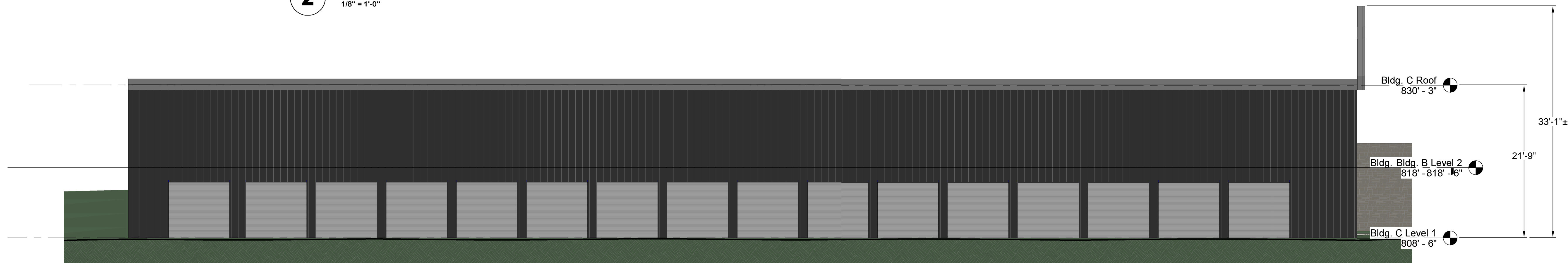
ROBERT H. VOGEL, PE No.16193



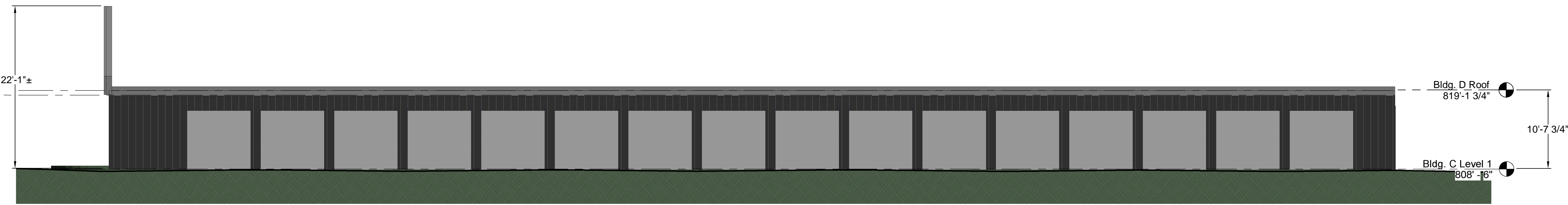
1 Bldgs. C, D & E - Northeast
1/8" = 1'-0"



2 Bldg. C - Northwest
1/8" = 1'-0"



3 Bldg. C - Southeast
1/8" = 1'-0"



4 Bldg. D - Northwest
1/8" = 1'-0"

OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630
(410) 984-1654

NO.	REVISION	DATE

CONCEPT SITE DEVELOPMENT PLAN
SELF-STORAGE (BLDGS. C, D & E)
ELEVATIONS
LIBERTY ROAD CROSSING, 2ND AMENDED
EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27)
9TH ELECTION DISTRICT
4TH COMMISSIONER DISTRICT
ZONED: C-2
TM 61, BLK 16, P. 338, LOT 10C
CARROLL COUNTY, MARYLAND

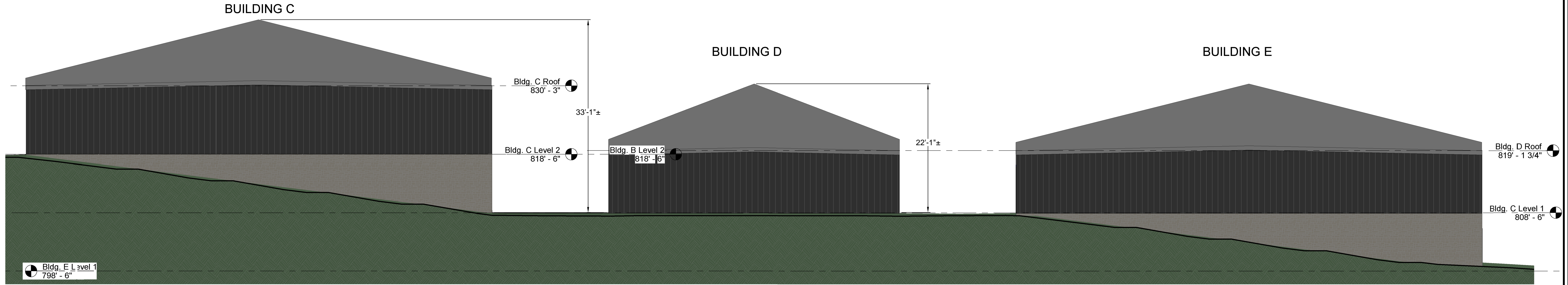
VOGEL ENGINEERING
⊕
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHV/DZE
DRAWN BY: DZE/KG
CHECKED BY: RHV
DATE: JUNE 2024
SCALE: AS SHOWN
W.O. NO.: 46138

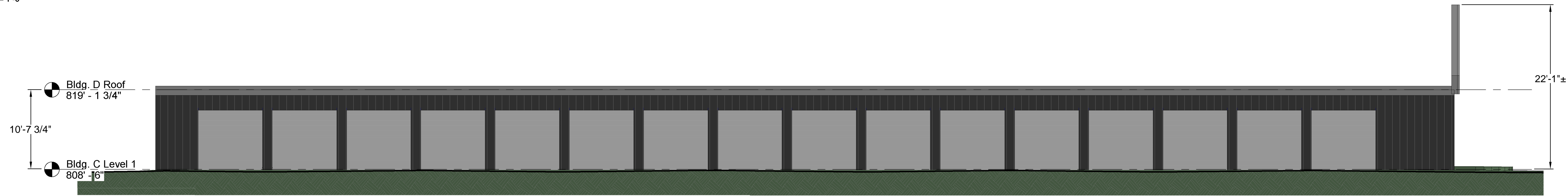
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

CC FILE NO. S-21-0017

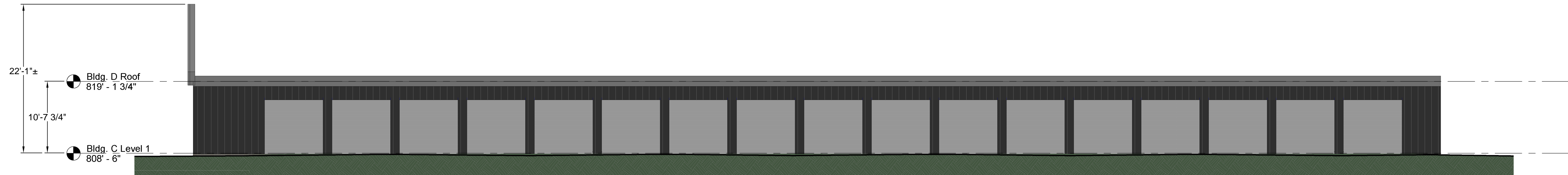
7 SHEET OF **16**



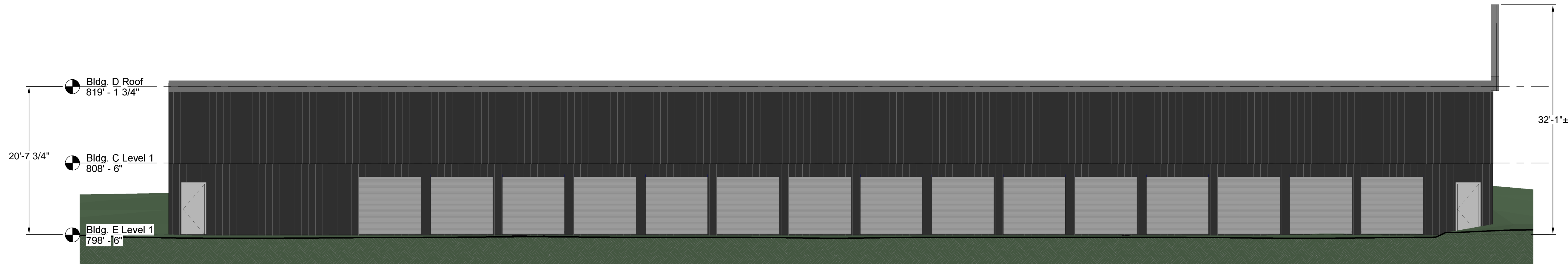
1 Bldgs. C, D & E - Southwest
1/8" = 1'-0"



2 Bldg. D - Southeast
1/8" = 1'-0"



3 Bldg. E - Northwest
1/8" = 1'-0"



4 Bldg. E - Southeast
1/8" = 1'-0"

OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630
(410) 984-1654

NO.	REVISION	DATE

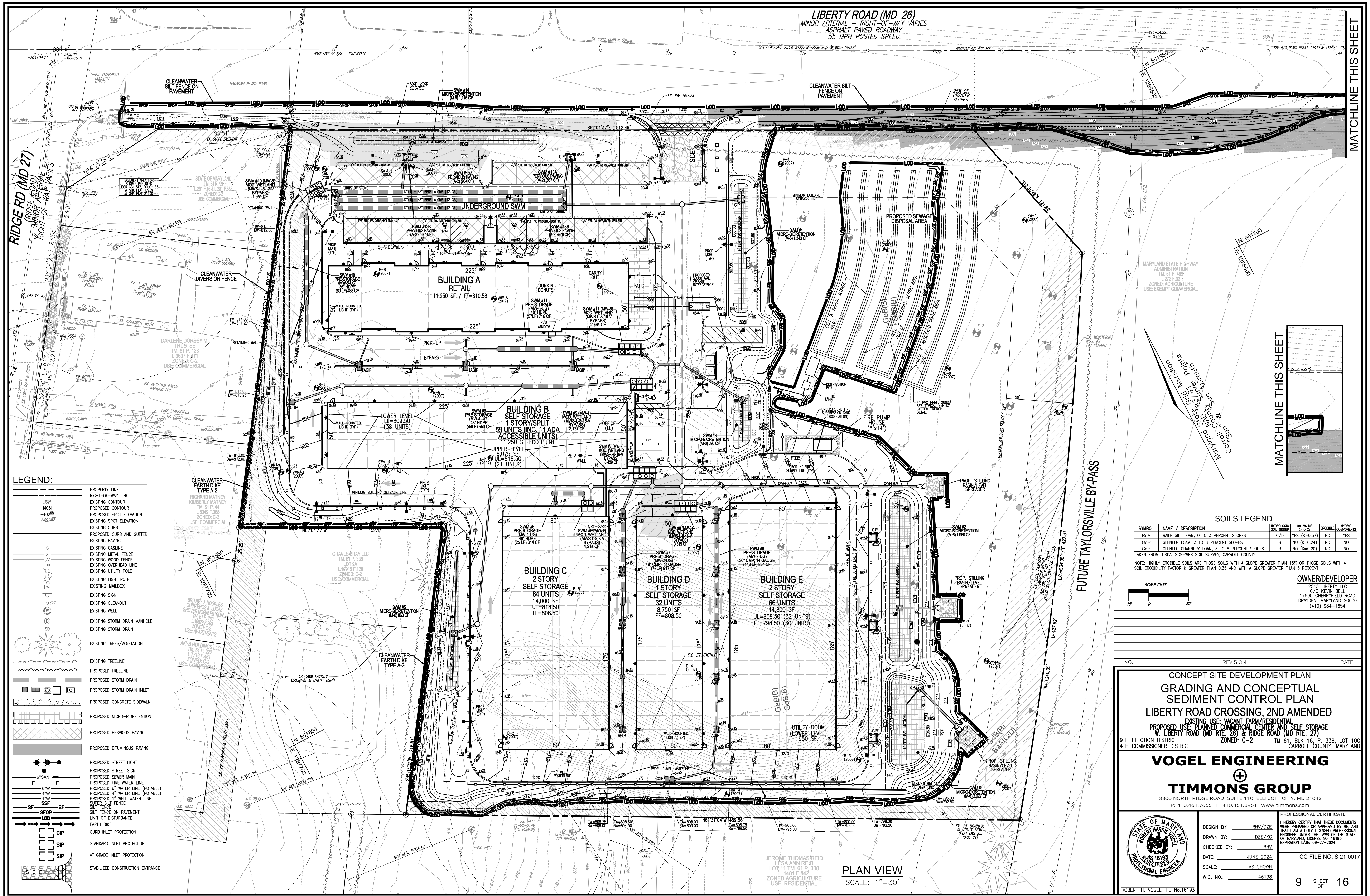
CONCEPT SITE DEVELOPMENT PLAN
SELF-STORAGE (BLDGS. C, D & E)
ELEVATIONS
LIBERTY ROAD CROSSING, 2ND AMENDED
EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27)
9TH ELECTION DISTRICT
4TH COMMISSIONER DISTRICT
ZONED: C-2
TM 61, BLK 16, P. 338, LOT 10C
CARROLL COUNTY, MARYLAND

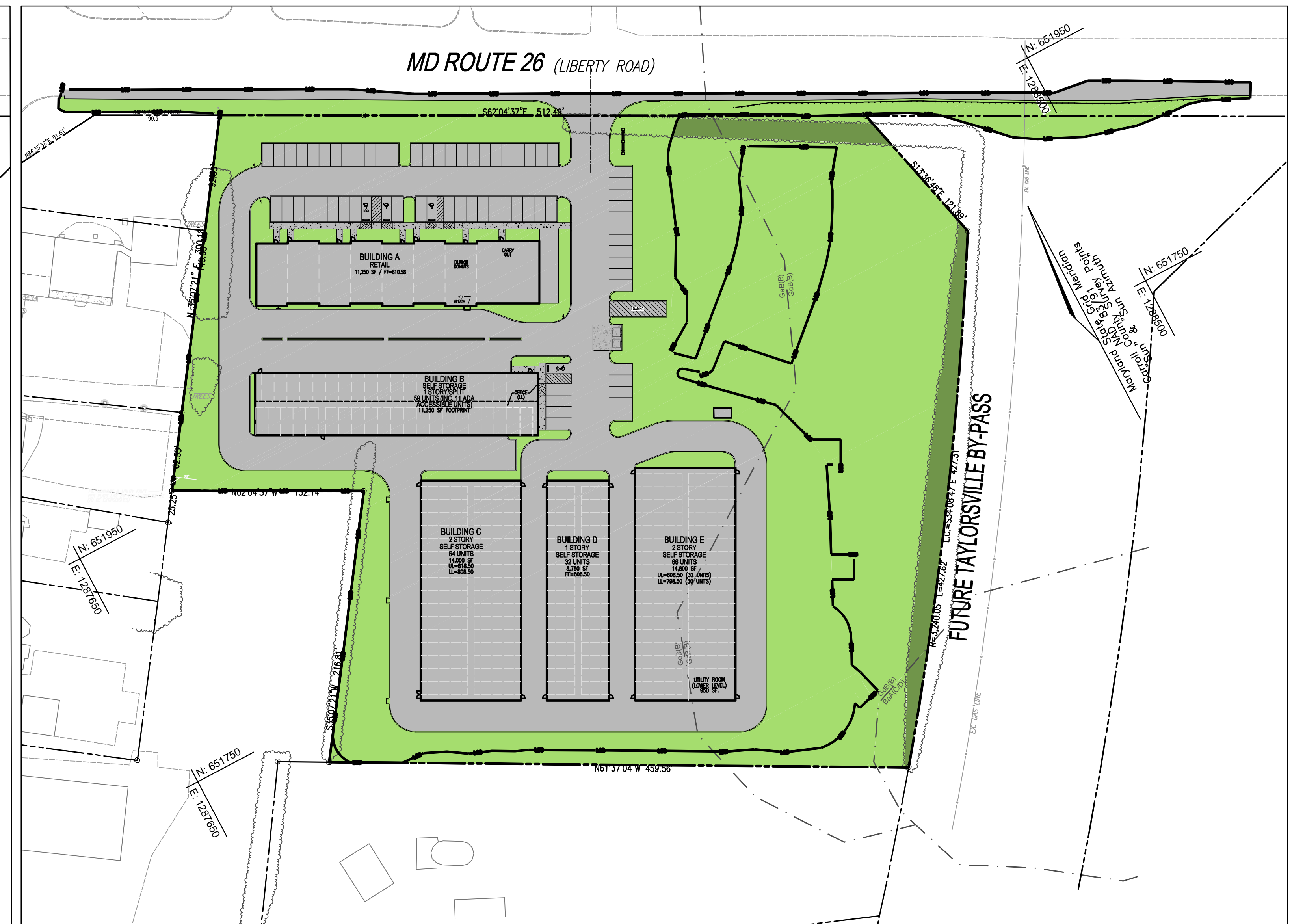
VOGEL ENGINEERING
⊕
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHV/DZE
DRAWN BY: DZE/KG
CHECKED BY: RHV
DATE: JUNE 2024
SCALE: AS SHOWN
W.O. NO.: 46138

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

CC FILE NO. S-21-0017
8 SHEET OF 16
ROBERT H. VOGEL, PE No.16193





SCALE: 1"=60'






- IMPERVIOUS AREA (RCN = 98): 26,325 S.F. OR 0.60 AC
- MEADOW AREA 'b' SOILS (RCN = 58): 255,308 S.F. OR 5.86 AC
- MEADOW AREA 'c' SOILS (RCN = 71): 1,470 S.F. OR 0.03 AC
- WOODS AREA 'b' SOILS (RCN = 55): 13,423 S.F. OR 0.31 AC
- WOODS AREA 'c' SOILS (RCN = 70): 798 S.F. OR 0.02 AC

PROPERTY BOUNDARY + OFFSITE LOD AREA: 297,322 S.F. OR 6.83 AC

SOILS LEGEND					
SYMBOL	NAME / DESCRIPTION	HYDROLOGIC SOIL GROUP	K _e VALUE > 0.35	ERODIBLE	HYPER- COMPACT
BaA	BAILE SILT LOAM, 0 TO 3 PERCENT SLOPES	C/D	YES (K=0.37)	NO	YES
GdB	GLENNEL LOAM, 3 TO 8 PERCENT SLOPES	B	NO (K=0.24)	NO	NO
GeB	GLENNEL CHANNERY LOAM, 3 TO 8 PERCENT SLOPES	B	NO (K=0.20)	NO	NO

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, CARROLL COUNTY

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15% OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

- | | |
|---|--|
|  | IMPERVIOUS AREA (RCN = 98): 147,667 S.F. OR 3.39 AC |
|  | GRASS AREA 'B' SOILS (RCN = 61): 139,958 S.F. OR 3.21 AC |
|  | GRASS AREA 'C' SOILS (RCN = 74): 1,470 S.F. OR 0.03 AC |
|  | WOODS AREA 'B' SOILS (RCN = 61): 7,430 S.F. OR 0.17 AC |
|  | WOODS AREA 'C' SOILS (RCN = 74): 798 S.F. OR 0.02 AC |

PROPERTY BOUNDARY + OFFSITE LOD AREA: 297,322 S.F. OR 6.83 AC

SCALE: 1"=60'

2515 LIBERTY LLC
C/O KEVIN BELL
7590 CHERRYFIELD ROAD
RAYDEN, MARYLAND 20630
(410) 984-1654

NO.
REVISION
DATE

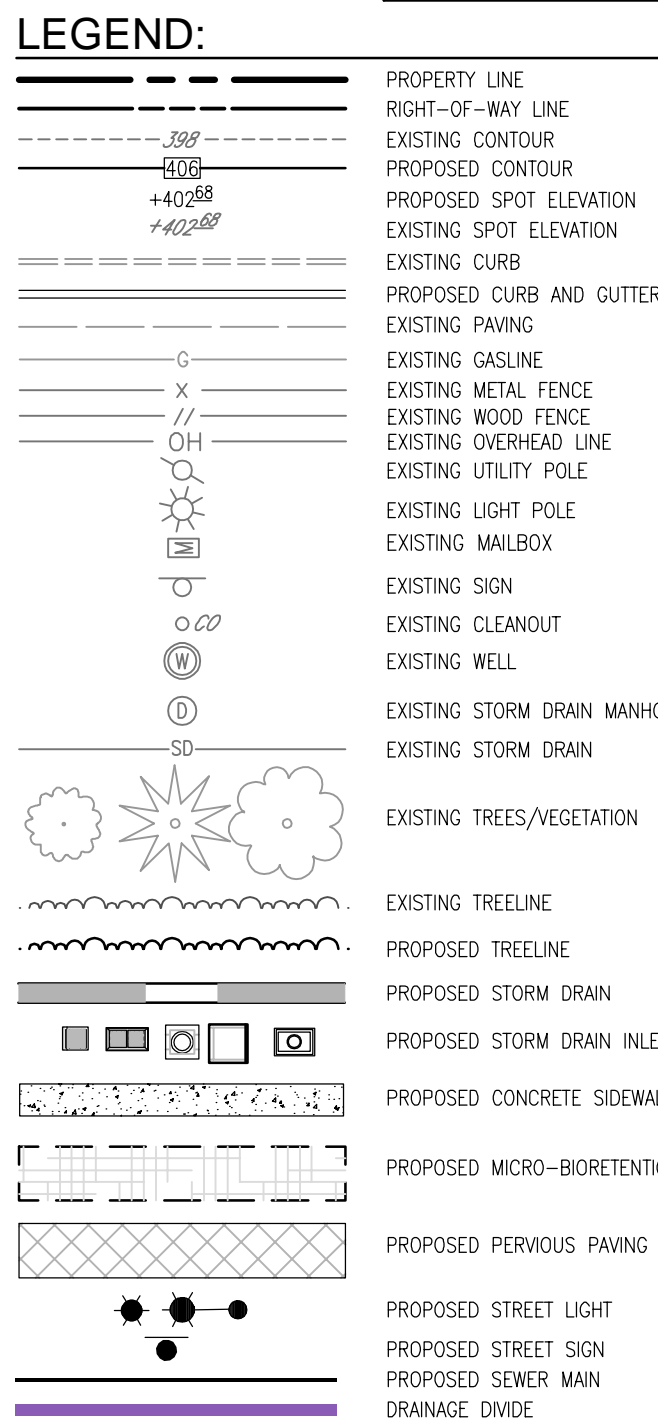
CONCEPT SITE DEVELOPMENT PLAN EXISTING AND DEVELOPED CONDITION COVERAGE MAP

LIBERTY ROAD CROSSING, 2ND AMENDED

EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27)

ZONED: C-2 TM 61, BLK 16, P. 338, LOT 10C
CARROLL COUNTY, MARYLAND

9TH ELECTION DISTRICT
4TH COMMISSIONER DISTRICT



ESDv SUMMARY TABLE		
	TARGET SITE ESDv =	21,101 CF
SWM FACILITY NO.	SWM FACILITY TYPE	VOLUME PROVIDED
SWMF#1	MBR (M-6)	2,027 CF
SWMF#2	MBR (M-6)	2,613 CF
SWMF#3	MBR (M-6)	656 CF
SWMF#4	MBR (M-6)	1,343 CF
SWMF#5	MBR (M-6)	860 CF
SWMF#6	MODULAR WETLAND	1,214 CF
SWMF#7	MODULAR WETLAND	3,633 CF
SWMF#8	MODULAR WETLAND	3,319 CF
SWMF#9	MODULAR WETLAND	2,177 CF
SWMF#10	MODULAR WETLAND	1,951 CF
SWMF#11	MODULAR WETLAND	2,864 CF
SWMF#12A	PERVIOUS PAVING (A-2)	696 CF
SWMF#12B	PERVIOUS PAVING (A-2)	505 CF
SWMF#13A	PERVIOUS PAVING (A-2)	981 CF
SWMF#13B	PERVIOUS PAVING (A-2)	614 CF
SWMF#14	MBR	1,156 CF
ESDv PROVIDED =		26,654 CF

OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630
(410) 984-1654

NO	REVISION	DATE

CONCEPT SITE DEVELOPMENT PLAN
OVERALL DEVELOPED CONDITION
SWM ESDv DRAINAGE AREA MAP
LIBERTY ROAD CROSSING, 2ND AMENDED

EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27)
9TH ELECTION DISTRICT
4TH COMMISSIONER DISTRICT
ZONED: C-2
TM 61, BLK 16, P. 338, LOT 10
CARROLL COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21041
P: 410.461.7666 F: 410.461.8961 www.timmons.com

STATE OF MARYLAND
ROBERT HARRIS VOGEL
No 16193
REGISTERED
PROFESSIONAL ENGINEER

ROBERT H. VOGEL, PE No.16193

DESIGN BY: _____ RHV/DZE
DRAWN BY: _____ DZE/KC
CHECKED BY: _____ RHV
DATE: _____ JUNE 2024
SCALE: _____ AS SHOWN
W.O. NO.: _____ 46138

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2024

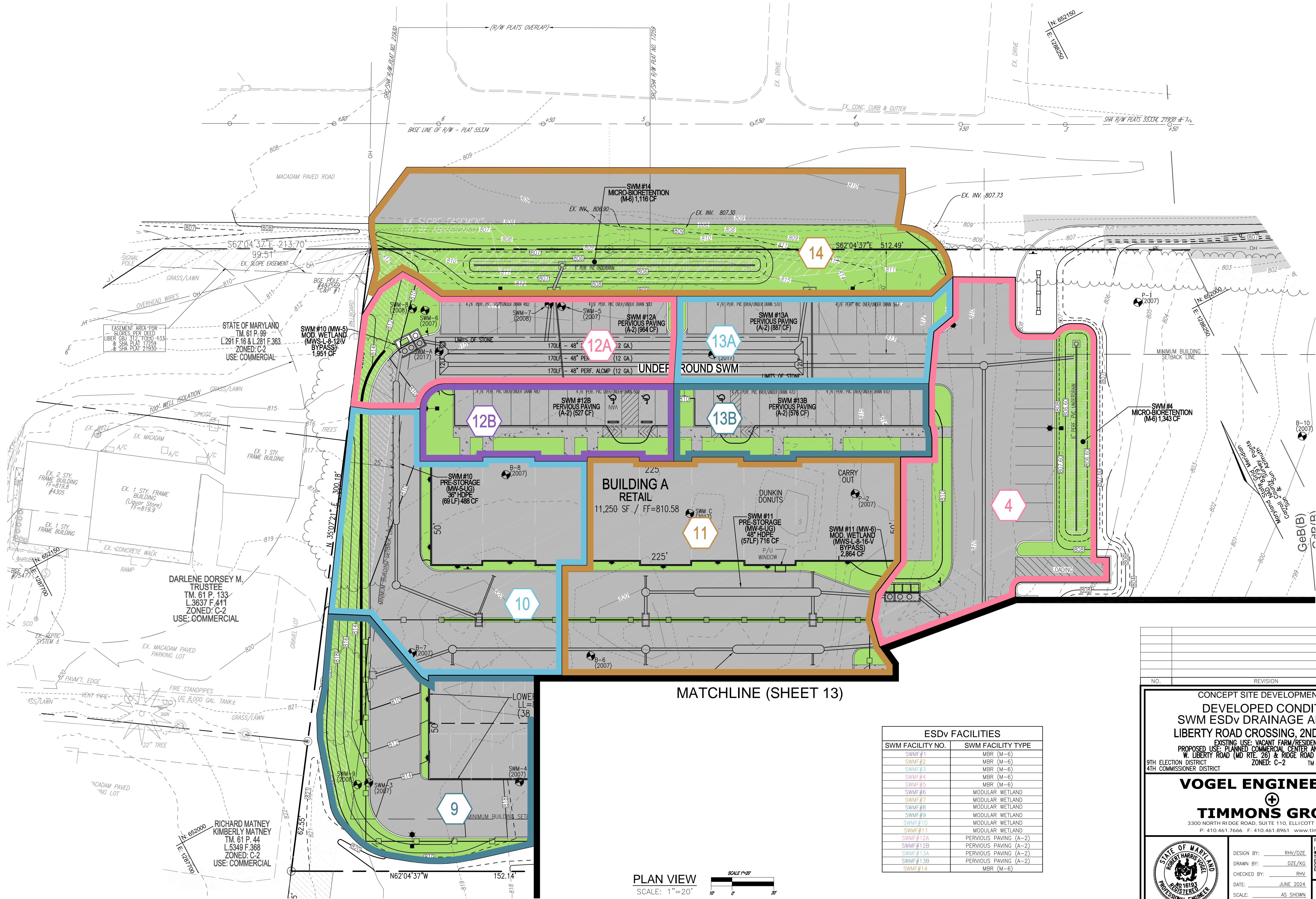
CC FILE NO. S-21-001

12 SHEET 16
OF



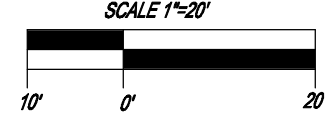
OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630
(410) 984-1654

[illegible]



MATCHLINE (SHEET 13)

PLAN VIEW
SCALE: 1"=20'



ESDv FACILITIES	
SWM FACILITY NO.	SWM FACILITY TYPE
SWMF #1	MBR (M-6)
SWMF #2	MBR (M-6)
SWMF #3	MBR (M-6)
SWMF #4	MBR (M-6)
SWMF #5	MBR (M-6)
SWMF #6	MODULAR WETLAND
SWMF #7	MODULAR WETLAND
SWMF #8	MODULAR WETLAND
SWMF #9	MODULAR WETLAND
SWMF #10	MODULAR WETLAND
SWMF #11	MODULAR WETLAND
SWMF #12A	PERVIOUS PAVING (A-2)
SWMF #12B	PERVIOUS PAVING (A-2)
SWMF #13A	PERVIOUS PAVING (A-2)
SWMF #13B	PERVIOUS PAVING (A-2)
SWMF #14	MBR (M-6)

OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630
(410) 984-1654

NO.

REVISION

DATE

CONCEPT SITE DEVELOPMENT PLAN
DEVELOPED CONDITION
SWM ESDv DRAINAGE AREA MAP
LIBERTY ROAD CROSSING, 2ND AMENDED
EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27)
9TH ELECTION DISTRICT
4TH COMMISSIONER DISTRICT
ZONED: C-2
TM 61, BLK 16, P. 338, LOT 10C
CARROLL COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

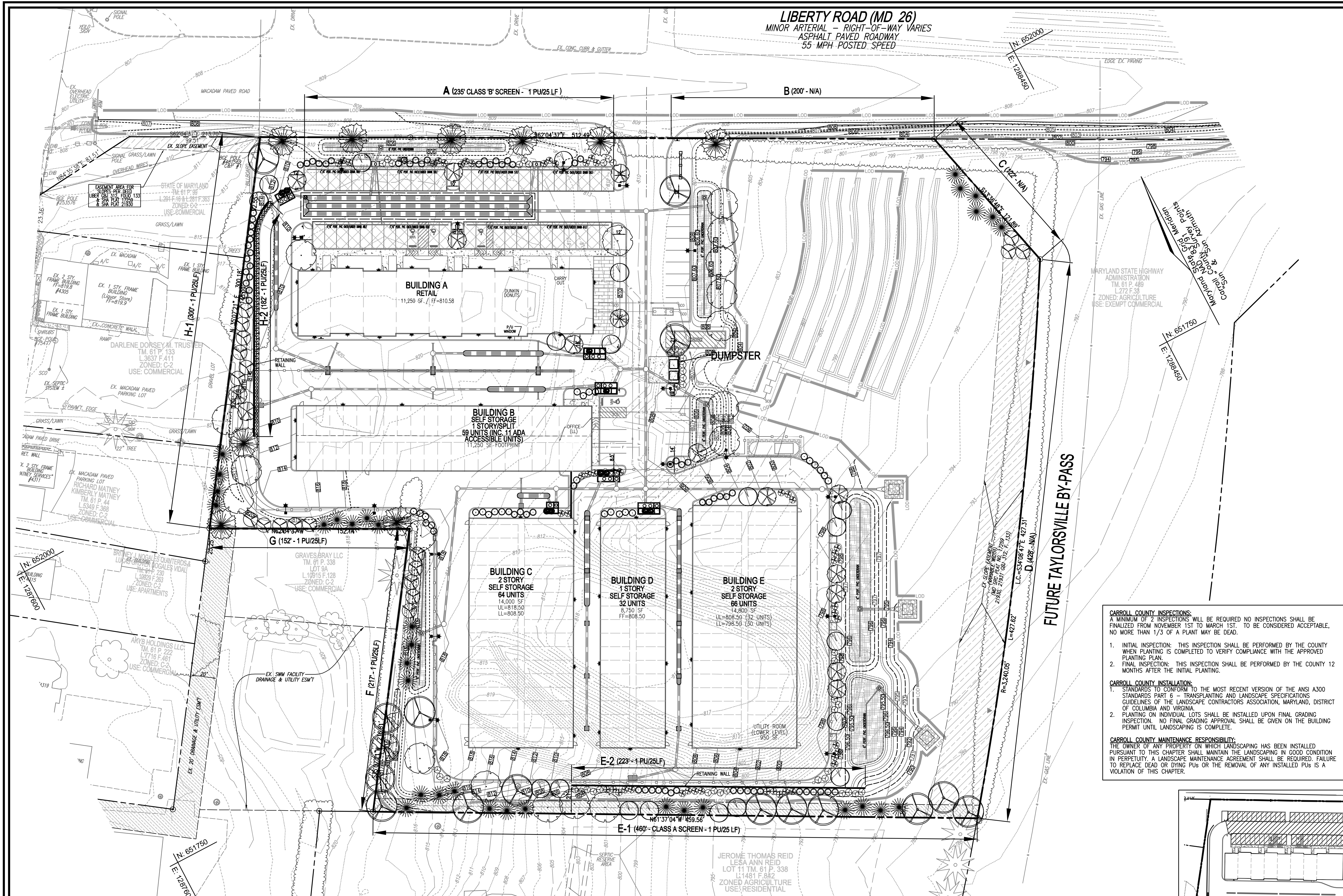
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

STATE OF MARYLAND
ROBERT H. VOGEL
REGISTERED PROFESSIONAL ENGINEER
NO. 16193
EXPIRATION DATE: 09-27-2024

DESIGN BY: RHW/DZE
DRAWN BY: DZE/KG
CHECKED BY: RHW
DATE: JUNE 2024
SCALE: AS SHOWN
W.O. NO.: 46138

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2024
CC FILE NO. S-21-0017

14 SHEET OF 16



PLANTING REQUIREMENTS PER CARROLL COUNTY LANDSCAPE MANUAL NON-RESIDENTIAL (COMMERCIAL, INDUSTRIAL, INSTITUTIONAL AND GOVERNMENTAL)						
PLANTING AREA IDENTIFIER	REQUIREMENT NUMBER	REQUIREMENT DESCRIPTION	BASIS	TOTAL PU REQUIRED	PROPOSED PLANT TYPES	EQUIVALENT PU PROVIDED
A	II.B.1.a	PARKING ADJACENT TO PUBLIC R/W. USE CLASS B SCREEN (1 PU/25 LF)	275 LF	CLASS B SCREEN (1 PU/25 LF) 235/25 = 9.4 PU	5 MAJOR 2 MINOR 0 EVERGREEN 45 SHRUBS 0 S.F. GR. COVER	5 PU 1 PU 0 PU 9 PU 0 PU TOTAL PU: 15
B	N/A	NO REQUIREMENT	200 LF	N/A	1 MAJOR 0 MINOR 0 EVERGREEN 0 SHRUBS 0 S.F. GR. COVER	1 PU 0 PU 0 PU 0 PU 0 PU TOTAL PU: 1
C	N/A	NO REQUIREMENT	112 LF	N/A	0 MAJOR 0 MINOR 8 EVERGREEN 0 SHRUBS 0 S.F. GR. COVER	0 PU 0 PU 4 PU 0 PU 0 PU TOTAL PU: 4
D	N/A	NO REQUIREMENT	428 LF	N/A	0 MAJOR 10 MINOR 0 EVERGREEN 25 SHRUBS 0 S.F. GR. COVER	0 PU 0 PU 5 PU 5 PU 0 PU TOTAL PU: 10
E-1	II.D.3	SERVICE LANES ADJACENT TO RESIDENTIAL PROPERTY, USE CLASS A SCREEN (1 PU/20 LF)	460 LF	CLASS A SCREEN (1 PU/20 LF) 460/20 = 23 PU	13 MAJOR 6 MINOR 14 EVERGREEN 0 SHRUBS 0 S.F. GR. COVER	13 PU 3 PU 7 PU 0 PU 0 PU TOTAL PU: 23
E-2	III.C	RETAINING WALL, 5 FT IN HEIGHT OR GREATER MINIMUM 5' WIDE LANDSCAPE AREA AT BASE (1 PU/25 LF)	223 LF	(1 PU/25 LF) 223/25 = 8.9 PU	0 MAJOR 0 MINOR 0 EVERGREEN 45 SHRUBS 0 S.F. GR. COVER	0 PU 0 PU 0 PU 8 PU 0 PU TOTAL PU: 8
F	II.D.2	SERVICE LANES ADJACENT TO COMMERCIAL USE/ZONE MINIMUM 6' WIDE LANDSCAPE SPACE BETWEEN PAVED SURFACE AND LOT LINE (1 PU/25 LF)	217 LF	(1 PU/25 LF) 217/25 = 8.7 PU	3 MAJOR 0 MINOR 12 EVERGREEN 0 SHRUBS 0 S.F. GR. COVER	3 PU 0 PU 6 PU 0 PU 0 PU TOTAL PU: 9
G	II.D.2	SERVICE LANES ADJACENT TO COMMERCIAL USE/ZONE MINIMUM 6' WIDE LANDSCAPE SPACE BETWEEN PAVED SURFACE AND LOT LINE (1 PU/25 LF)	152 LF	(1 PU/25 LF) 152/25 = 6.1 PU	2 MAJOR 0 MINOR 10 EVERGREEN 0 SHRUBS 0 S.F. GR. COVER	2 PU 0 PU 0 PU 0 PU 0 PU TOTAL PU: 2
H-1	II.D.2	SERVICE LANES ADJACENT TO COMMERCIAL USE/ZONE MINIMUM 6' WIDE LANDSCAPE SPACE BETWEEN PAVED SURFACE AND LOT LINE (1 PU/25 LF)	300 LF	(1 PU/25 LF) 300/25 = 12 PU	5 MAJOR 4 MINOR 15 EVERGREEN 10 SHRUBS 0 S.F. GR. COVER	5 PU 2 PU 2 PU 2 PU 0 PU TOTAL PU: 12
H-2	III.C	RETAINING WALL, LESS THAN 5 FT IN HEIGHT MINIMUM 5' WIDE LANDSCAPE AREA AT BASE (1 PU/25 LF)	182 LF	(1 PU/25 LF) 182/25 = 7.3 PU	0 MAJOR 0 MINOR 0 EVERGREEN 35 SHRUBS 0 S.F. GR. COVER	0 PU 0 PU 0 PU 0 PU 0.5 PU TOTAL PU: 0.5
DUMPSTER	III.A	DUMPSTER CLASS A SCREEN (1 PU/25 LF)	36 LF	CLASS A SCREEN (1 PU/25 LF) 36/20 = 1.8 PU	1 MAJOR 0 MINOR 0 EVERGREEN 5 SHRUBS 0 S.F. GR. COVER	1 PU 0 PU 0 PU 2 PU 0 PU TOTAL PU: 3
	II.B.2.a	RESERVE MINIMUM 10% OF PARKING LOT AREA FOR INTERIOR LANDSCAPING	24,546 SF	REQUIRED TO RESERVE: 2,455 S.F. x 10% = 2,455 S.F.	RESERVE AREA PROPOSED: 3,480 S.F. OR 14.2%	
	II.B.2.a.v	PARKING LOT PLANTING REQUIREMENT: 1 PU / 12 PARKING SPACES	68 SPACES	REQUIRED PARKING: 1 PU/12 SPACES: 68/12 = 5.7 PU	4 MAJOR 4 MINOR 0 EVERGREEN 0 SHRUBS 0 S.F. GR. COVER	4 PU 2 PU 0 PU 0 PU 0 PU TOTAL PU: 6
	N/A	ADDITIONAL INTERNAL LANDSCAPING (NO REQUIREMENTS)	N/A	N/A	0 MAJOR 18 MINOR 0 EVERGREEN 75 SHRUBS 0 S.F. GR. COVER	0 PU 9 PU 0 PU 15 PU 0 PU TOTAL PU: 24
CARROLL COUNTY PLANTING UNIT				TOTAL REQUIRED PU = 82.9		TOTAL PROVIDED PU = 118.5
1 PLANTING UNIT (PU) = 1 MAJOR DECIDUOUS TREE, OR 2 MINOR DECIDUOUS TREES, OR 2 EVERGREEN TREES, OR 5 SHRUBS, OR 500 S.F. OF GROUND COVER						

CARROLL COUNTY INSPECTIONS:
A MINIMUM OF 2 INSPECTIONS WILL BE REQUIRED. NO INSPECTIONS SHALL BE FINALIZED FROM NOVEMBER 1ST TO MARCH 1ST. TO BE CONSIDERED ACCEPTABLE, NO MORE THAN 1/3 OF A PLANT MAY BE DEAD.

1. INITIAL INSPECTION: THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY WHEN PLANTING IS COMPLETED TO VERIFY COMPLIANCE WITH THE APPROVED PLANTING PLAN.

2. FINAL INSPECTION: THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY 12 MONTHS AFTER THE INITIAL PLANTING.

CARROLL COUNTY INSTALLATION:
1. STANDARDS TO CONFORM TO THE MOST RECENT VERSION OF THE ANSI A300 STANDARDS PART 6 - TRANSPLANTING AND LANDSCAPE SPECIFICATIONS GUIDELINES OF THE LANDSCAPE CONTRACTORS ASSOCIATION, MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA.

2. PLANTING ON INDIVIDUAL LOTS SHALL BE INSTALLED UPON FINAL GRADING INSPECTION. NO FINAL GRADING APPROVAL SHALL BE GIVEN ON THE BUILDING PERMIT UNTIL LANDSCAPING IS COMPLETE.

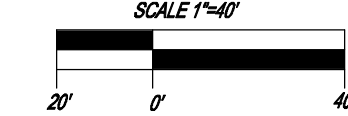
CARROLL COUNTY MAINTENANCE RESPONSIBILITY:
THE OWNER OF ANY PROPERTY ON WHICH LANDSCAPING HAS BEEN INSTALLED PURSUANT TO THIS CHAPTER SHALL MAINTAIN THE LANDSCAPING IN GOOD CONDITION IN PERPETUITY. A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE REQUIRED. FAILURE TO REPLACE DEAD OR DYING PUS OR THE REMOVAL OF ANY INSTALLED PUS IS A VIOLATION OF THIS CHAPTER.

CARROLL COUNTY PLANTING SPECIFICATIONS

- ARRANGE FOR INSPECTION OF PLANT MATERIAL BY OWNER (OR OWNER'S REPRESENTATIVE) PRIOR TO DELIVERY OF PLANTS TO THE SITE.
- STAKEOUT PROPOSED TREE LOCATIONS AND PLANTING BEDS. NOTIFY OWNER OF ANY CONFLICTS WITH EXISTING SITE FEATURES INCLUDING ANY UNDERGROUND UTILITIES BY GENERAL CONTRACTOR, MISS UTILITY OR OTHERS TO INSTALL PLANTINGS IN ACCORDANCE WITH THE LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS.
- ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GUIDELINES. A. IF THE SOIL IS WET OR COMPACTED, ALL CONTAINERIZED AND BALLED NURSERY STOCK SHOULD BE PLANTED SUCH THAT THE TOP ONE-THIRD OF THE ROOTBALL ABOVE THE EXISTING GRADE. THIS DEPARTURE IN THE ESTABLISHED PROCEDURES HAS BEEN DOCUMENTED TO INCREASE THE RATE OF TRANSPLANT SUCCESS IN THESE TYPES OF SOILS. B. ALL WIRE AND NON-DEGRADABLE MATERIALS SHOULD BE REMOVED BEFORE BACKFILLING TO PREVENT ROOT GIRDING. PROVIDE WARRANTY AND GUARANTEE IN ACCORDANCE WITH LANDSCAPE SPECIFICATION GUIDELINES. C. SUBSTITUTIONS, IF ALLOWED, MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING PRIOR TO PLANTING.
- ALL PLANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH HORTUS THRID, BY L. H. BAILEY, 1976.
- ALL NURSERY STOCK SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERMEN, INC., STANDARDS AS DESCRIBED IN AMERICAN STANDARDS FOR NURSERY STOCK, PUBLICATION ANSI Z60.1-1980 LATEST EDITION.
- THREE LAYERS OF TOPSOIL IS REQUIRED ON ALL DISTURBED AREAS TO BE LANDSCAPED, SEEDDED, OR SODDED.
- INSTALLATION: A. STANDARDS TO CONFORM TO THE MOST RECENT VERSION OF THE ANSI A300 STANDARDS PART 6 - TRANSPLANTING AND LANDSCAPE SPECIFICATIONS GUIDELINES OF THE LANDSCAPE CONTRACTORS ASSOCIATION, MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA. B. PLANTING ON INDIVIDUAL LOTS SHALL BE INSTALLED UPON FINAL GRADING INSPECTION. NO FINAL GRADING APPROVAL SHALL BE GIVEN ON THE BUILDING PERMIT UNTIL LANDSCAPING IS COMPLETE. C. MAINTENANCE: THE OWNER OF ANY PROPERTY ON WHICH LANDSCAPING HAS BEEN INSTALLED PURSUANT TO THIS CHAPTER SHALL MAINTAIN THE LANDSCAPING IN GOOD CONDITION IN PERPETUITY. A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE REQUIRED. FAILURE TO REPLACE DEAD OR DYING PUS OR THE REMOVAL OF ANY INSTALLED PUS IS A VIOLATION OF THIS CHAPTER. D. INSPECTIONS: A MINIMUM OF 2 INSPECTIONS WILL BE REQUIRED. NO INSPECTIONS SHALL BE FINALIZED FROM NOVEMBER 1ST TO MARCH 1ST. TO BE CONSIDERED ACCEPTABLE, NO MORE THAN 1/3 OF A PLANT MAY BE DEAD. E. INITIAL INSPECTION: THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY WHEN PLANTING IS COMPLETED TO VERIFY COMPLIANCE WITH THE APPROVED PLANTING PLAN. F. FINAL INSPECTION: THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY 12 MONTHS AFTER THE INITIAL PLANTING.

PLAN VIEW

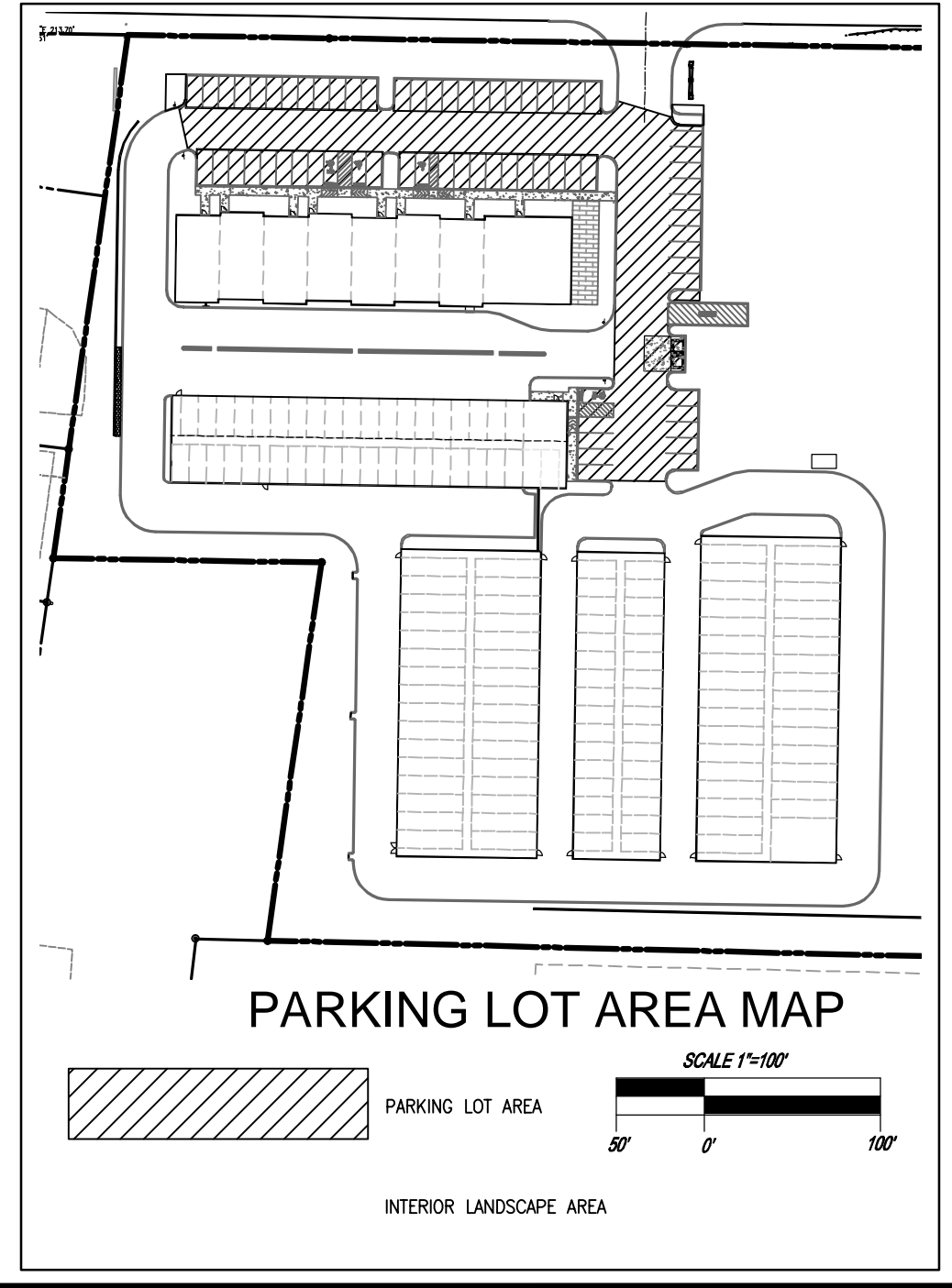
1" = 40'



LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING CURB
- PROPOSED CURB AND GUTTER
- EXISTING PAVING
- EXISTING GASLINE
- EXISTING METAL FENCE
- EXISTING WOOD FENCE
- EXISTING OVERHEAD LINE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING CLEANOUT
- EXISTING WELL
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN
- EXISTING TREES/VEGETATION
- EXISTING TREELINE
- PROPOSED TREELINE

- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED CONCRETE SIDEWALK
- PROPOSED MICRO-BIOTRETENTION
- PROPOSED STREET LIGHT
- PROPOSED SEWER MAIN
- PROPOSED FIRE WATER LINE
- PROPOSED 6" WATER LINE (POTABLE)
- PROPOSED 4" WATER LINE (POTABLE)
- PROPOSED 1" WELL WATER LINE
- LIMIT OF DISTURBANCE
- MAJOR DECIDUOUS TREE
- MINOR DECIDUOUS TREE
- EVERGREEN TREE
- SHRUBS
- GROUND COVER



FINAL LANDSCAPE PLAN OWNER CERTIFICATION FORM

I CERTIFY THAT I HAVE REVIEWED THIS FINAL LANDSCAPE PLAN, THAT I HAVE READ AND UNDERSTOOD THE REGULATIONS PRESENTED IN THE CARROLL COUNTY LANDSCAPE MANUAL, AND I AGREE TO COMPLY WITH THESE REGULATIONS AND ALL APPLICABLE POLICY, GUIDELINES AND ORDINANCES. I AGREE TO CERTIFY THE IMPLEMENTATION OF THIS APPROVED FINAL LANDSCAPE PLAN NO LATER THAN ONE (1) YEAR FROM THE DATE OF APPROVAL OF THIS PLAN TO THE DEPARTMENT OF PLANNING, ENVIRONMENTAL AND RESOURCE PROTECTION, ROOM 209, 225 NORTH CENTER STREET, WESTMINSTER, MD 21157-5194.

APPLICANT'S SIGNATURE _____ DATE _____ PRINT NAME _____

ADDRESS (PLEASE PRINT) _____ STREET _____

CITY _____ STATE _____ ZIP _____

FILE # _____

DESIGNER'S CERTIFICATION:
I CERTIFY THAT THE FINAL LANDSCAPE PLAN SHOWN HEREIN IS CONSISTENT WITH THE GOAL AND INTENT OF AND COMPLIES WITH THE CARROLL COUNTY LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICIES, GUIDELINES AND ORDINANCES.

QUALIFIED PROFESSIONAL'S SIGNATURE _____ DATE _____

OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYDEN, MARYLAND 20630
(410) 984-1654

CONCEPT SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
LIBERTY ROAD CROSSING, 2ND AMENDED
EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27)
ZONED: C-2 TM 61, BLK 16, P. 338, LOT 100
9TH ELECTION DISTRICT
4TH COMMISSIONER DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

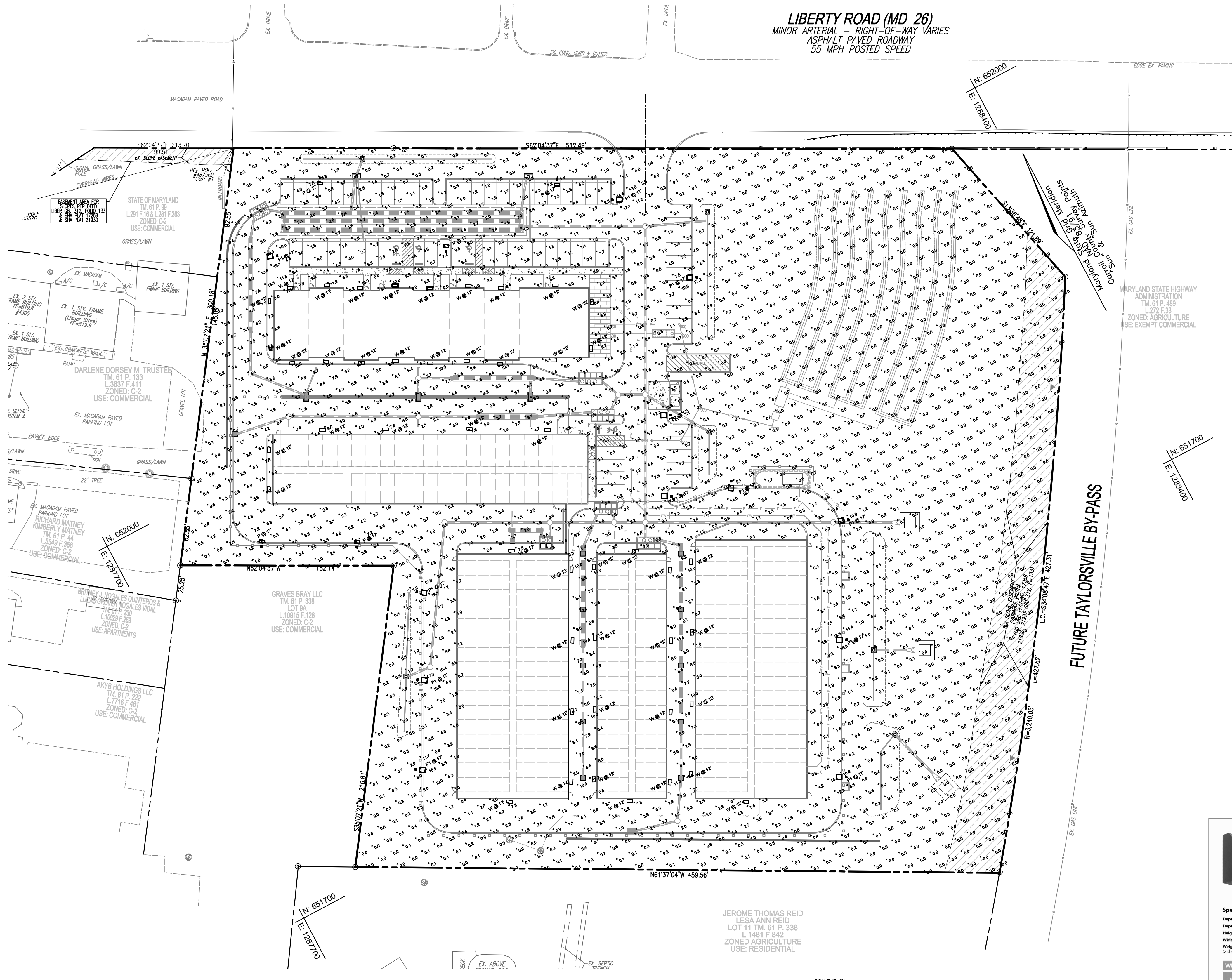
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

DESIGN BY: RHW/DZE
DRAWN BY: DZE/KG
CHECKED BY: RHW
DATE: JUNE 2024
SCALE: AS SHOWN
W.O. NO.: 46138

CC FILE NO. S-21-0017

15 SHEET OF 16

ROBERT H. VOGEL, PE No.16193



RSX1 LED Area Luminaire

Specifications

EPA (lm/ft²): 0.57 ft² (0.05 m²)
Length: 21.8" (55.4 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
Weight (SPA mount): 22.0 lbs (10.0 kg)

Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HED luminaires.

Ordering Information

Series	Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K	R2	120V	SA
	P1	40K	R2	120V	SA
	P1	50K	R2	120V	SA

Options

Option	Shipped Installed	Shipped Separately	
PE	Pre-wired, 100' max	PE	Pre-wired, 100' max
PE	Pre-wired, 100' max	PE	Pre-wired, 100' max
PE	Pre-wired, 100' max	PE	Pre-wired, 100' max

RSX1 LED Area Luminaire

Specifications

EPA (lm/ft²): 0.57 ft² (0.05 m²)
Length: 21.8" (55.4 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
Weight (SPA mount): 22.0 lbs (10.0 kg)

Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HED luminaires.

Ordering Information

Series	Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K	R2	120V	SA
	P1	40K	R2	120V	SA
	P1	50K	R2	120V	SA

Options

Option	Shipped Installed	Shipped Separately	
PE	Pre-wired, 100' max	PE	Pre-wired, 100' max
PE	Pre-wired, 100' max	PE	Pre-wired, 100' max
PE	Pre-wired, 100' max	PE	Pre-wired, 100' max

WDGE3 LED Architectural Wall Sconce

Specifications

Depth (D1): 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight (without options): 19.5 lbs

Introduction

The WDGE LED family is designed to meet specifiers' every wall-mounted lighting need in a variety of accepted shapes that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a full size-wide solution. Embedded with rugged AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

Ordering Information

Series	Package	Color Temperature	Distribution	Voltage	Mounting
WDGE3 LED	P1	30K	R2	120V	SA
	P1	40K	R2	120V	SA
	P1	50K	R2	120V	SA

Options

Option	Shipped Installed	Shipped Separately	
PE	Pre-wired, 100' max	PE	Pre-wired, 100' max
PE	Pre-wired, 100' max	PE	Pre-wired, 100' max
PE	Pre-wired, 100' max	PE	Pre-wired, 100' max

Schedule	Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number	Lamp	ULF	Input	Polar Plot
	P			5	Lithonia Lighting	RSX1 LED P4 30K R4 MVOLT SPA DBXDX	RSX Area Fixture Size 1 P4 Lumen Package 3000K CCT Type R4 Distribution - 15ft pole on 2ft base, 17ft mtg height	1	15084	0.9	133.14	
	P1			12	Lithonia Lighting	RSX1 LED P4 30K R2 MVOLT SPA DBXDX	RSX Area Luminaire Size 1 P4 Lumen Package 3000K CCT Type R2 Distribution - 15ft pole on 2ft base, 17ft mtg height	1	14943	0.9	133.1431	
	W			47	Lithonia Lighting	WDGE3 LED P1 30K 80CRI R3 DBXDX	WDGE3 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, TYPE 3 OPTIC - 12ft mtg height	1	4923	0.9	51.1717	

Statistics					
Description	Symbol	Avg	Max	Min	Max/Min
SITE	+	1.7 fc	19.3 fc	0.0 fc	N/A
Note					
1. Calculation planes at grade unless otherwise stated in the Statistics chart.					
2. Mounting height(s) noted in fixture schedule.					

CONCEPT SITE DEVELOPMENT PLAN

LIGHTING AND PHOTOMETRIC PLAN

LIBERTY ROAD CROSSING, 2ND AMENDED

EXISTING USE: VACANT FARM/RESIDENTIAL
PROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE
LIBERTY ROAD (MD Rte. 26) & RIDGE ROAD (MD Rte. 21)
ZONED: C-2 TM 61, BLK 16, P. 338, LOT 10C
CARROLL COUNTY, MARYLAND

OWNER/DEVELOPER
2515 LIBERTY LLC
C/O KEVIN BELL
17590 CHERRYFIELD ROAD
DRAYTON, MARYLAND 20630
(410) 984-1654

NO. REVISION DATE

DESIGN BY: RHW/DZE
DRAWN BY: DZE/KG
CHECKED BY: RHW
DATE: JUNE 2024
SCALE: AS SHOWN
W.O. NO.: 46138

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

CC FILE NO. S-21-0017

16 SHEET OF 16