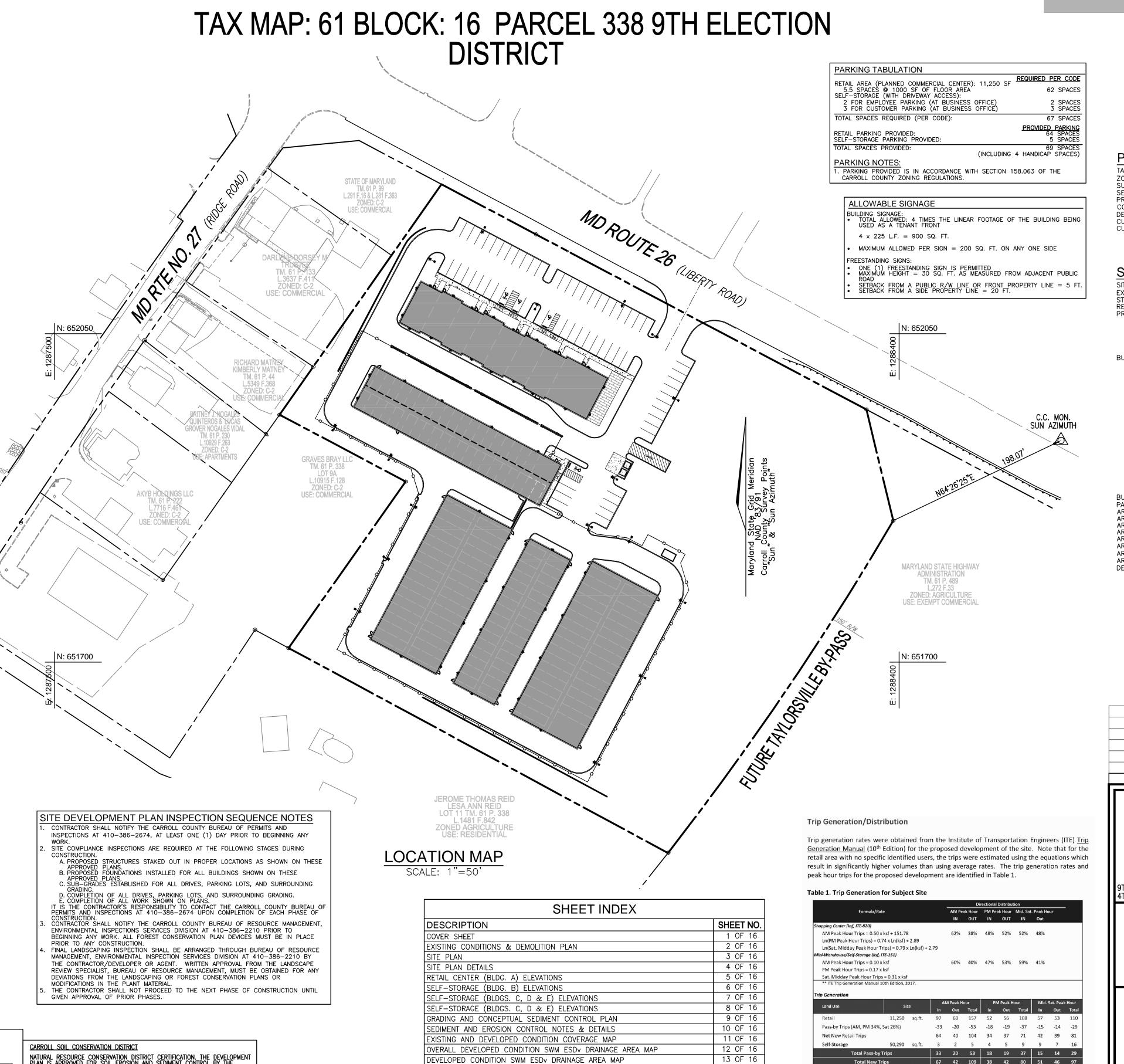
SENERAL NOTES ALL CONSTRUCTION ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES: A. DESIGN MANUAL – VOLUME 1 – "ROADS AND STORM DRAINS" OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS. B. DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS. C. "BOOK OF STANDARDS, HICHWAY AND INCIDENTAL STRUCTURES" OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION. "STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIAL" OF THE MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION. "HIGHWAY DRAINAGE MANUAL" OF THE MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION. . HIGHWAY DRAINAGE MANUAL OF THE MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION. "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE, AND ALL ADDENDA AND ERRATA TO ALL OF THE ABOVE. "MARYLAND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MIMUTCD) OF THE MARYLAND DEPARTMENT OF TRANSPORTATION CONTROL DEVICES." I. "MARYLAND ACCESSIBILITY CODE", COMAR 09.12.53, AS WELL AS THE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" (DEPARTMENT OF JUSTICE). ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS: AWINGS: ALLEGHENY POWER: BALTIMORE GAS & ELECTRIC: BALTIMORE GAS & ELECTRIC (EMERGENCY): BUREAU OF RESOURCE MANAGEMENT: AT&T: STATE HIGHWAY ADMINISTRATION: 410-531-5533 COLONIAL PIPELINE CO.: 410-795-1390 THE CONTRACTOR AND DEVELOPER OR A REPRESENTATIVE SHALL HAVE, ON THE JOB SITE, THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO CARROLL COUNTY DESIGN MANUAL FOR ROADS AND STORM DRAIN, S.H.A. SPECIFICATION BOOK, AND LATEST MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL. CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY PUBLIC RIGHT-OF-WAY. ANY DAMAGE TO PUBLIC RIGHT-OF-WAY. ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. O. CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MOMUTCO. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TRAFFIC ON ANY EXISTING ROADS. ALL SAFETY MEASURES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR. AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATIONS OF EXISTING UTILITIES AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATIONS OF EXISTING UTILITIES AND TO MAINTENANT OR GUARANTEE CORRECTINESS OR COMPLETENESS OF INFORMATION SHOWN. CONTRACTOR AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BELINNING WORK. CONTRACTOR SHALL TAKE ALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY. CONTRACTOR SHALL TAKE ALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY. L.291 F.16 & L.281 F.363 SERVICE. CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY. 5. ANY DAMAGE TO EXISTING UTILITIES DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT CONTRACTOR'S EXPENSE. 6. DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES. 7. THE PROPERTY SHOWN HEREON IS OWNED BY 2515 LIBERTY, LLC. BY DEED DATED MARCH 13, 2006, RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY IN LIBER 4802, FOLIO 650. 8. THE PROPERTY LINES, BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON PLAT BOOK 52 PAGE 12, PREPARED BY MARYLAND LAND DESIGN, INC., PREPARED RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY, MARYLAND DATED JUNE 18, 2010. 9. BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE MARYLAND STATE SYSTEM OF PLANE COORDINATES, 1983 NORTH AMERICAN DATUM, 1991 ADJUSTMENT, AS REFERENCED FROM CARROLL COUNTY SURVEY CONTROL POINTS: SUN AND SUN AZIMUTH. 10. A TOPOGRAPHIC SURVEY WAS PERFORMED BY HANOVER LAND SERVICES, INC., AUGUST 2005 BY FIELD RUN METHODS, AND SUPPLEMENTED WITH CARROLL COUNTY GIS. ELEVATIONS SHOWN HEREON ARE BASED ON THE 1988 NORTH AMERICAN VERTICAL DATUM, AS REFERENCED FROM CARROLL COUNTY SURVEY CONTROL POINTS: SUN AND SUN AZIMUTH. 11. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEERING OFFICE OF VOCEL ENGINEERING + TIMMONS GROUP AT 410-466 IN THE BEGINNING OF WORK. 12. THE OFFICIAL PRE-SUBMISSAL CONFERENCE FOR THIS PROJECT WAS HELD ON JULY 7, 2021. 13. THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL, IF NO BUILDING PERMIT OR ZONING CERTIFICATION HAS BEEN ISSUED FOR THE PROJECT, UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DEPARTMENT OF PLANNING AND LAND MANAGEMENT. CLANNING AND LAND MANAGEMENT. ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION. ESTIMATES OF EARTHWORK QUANTITIES (CUT/FILL) ARE SHOWN HEREON FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED BY THE SEDIMENT CONTROL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL VERIFY SUCH CALCULATIONS TO HIS OWN SATISFACTION FOR BID CONTRACT PURPOSES, AND WELL IN ADVANCE OF CONSTRUCTION. TRAFFIC STUDY FOR THIS PROJECT PREPARED BY THE TRAFFIC GROUP. GEOTECHNICAL REPORTS PREPARED BY SPECIALIZED ENGINEERING; DATED 02/07/2007, 09/23/2008, AND 02/08/2017. EXISTING MD ROUTE 26 (LIBERTY ROAD) IS CLASSIFIED AS A MINOR ARTERIAL. THERE ARE NO WETLANDS/BUFFERS, 100-YR FLOODPLAIN, OR STREAMS LOCATED WITHIN THE LIMITS OF DISTURBANCE. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES ARE LOCATED TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES ARE LOCATED ON THIS PROPERTY. 51. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION. 52. THE GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION. ALL PAVING TO COMPLY WITH CARROLL COUNTY STANDARD PLATE DETAILS, UNLESS OTHERWISE NOTED. 53. DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT. 54. ALL EXISTING PAVING DISTURBED BY UTILITY CUT'S SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 AS NOTED IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED ON THE UTILITY PERMIT. 55. ALL CURB AND GUTTER TO BE CARROLL COUNTY STANDARD PLATE 3 OR UNLESS OTHERWISE NOTED. 56. WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN. 57. ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED. 58. ALL DIMENSIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED. 59. IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN. 60. CONTRACTOR RESPONSIBLE FOR CONSTRUCTING ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS. ALL UTILITIES SHALL BE CLEARED BY A MINIMUM OF 1'-0". ALL UTILITY POLES SHALL BE CLEARED BY A MINIMUM OF 2'-0" OR TUNNELED IF REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR TUNNELING OR BRACING. DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF POLE RELOCATIONS. TUNNELED IF REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR TUNNELING OR BRACING. DEVELOPER SHALL B RESPONSIBLE FOR THE COST OF POLE RELOCATIONS. 42. ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I. 43. ALL STORM DRAIN PIPE BEDDING IS TO BE CLASS 'C', AS REQUIRED BY AASHTO—180. 14. ALL BUILDINGS TO HAVE ROOF LEADERS WHICH EMPTY INTO STORM DRAIN SYSTEM. 5. LOCATION OF THE NEAREST WATER SUPPLY AVAILABLE 4.75± MILES AWAY AT KLEES MILL ROAD. 6. THIS PROJECT SHALL BE SERVED BY PRIVATE WELL AND PRIVATE SEPTIC SYSTEM. 7. FIRE PROTECTION SHALL BE MET BY UTILIZING SPRINKLERS IN THE BUILDINGS, A FIRE PUMP HOUSE HAS BEEN PROVIDED WITH STORAGE TANKS TO SERVE THE FIRE LINE. A. SPRINKLER PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE AND THE STATE FIRE PREVENTION CODE FOR THE PROPOSED USES OF EACH BUILDING. THE FINAL SPRINKLER DESIGN SHALL BE PROVIDED AT BUILDING PERMIT STAGE. B. ALL BUILDINGS SHALL HAVE SPRINKLERS BUILDING PERMIT STAGE. B. ALL BUILDINGS SHALL HAVE SPRINKLERS. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF STRUCTURAL AND MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. THESE PRACTICES INCLUDE SIX (6) MICRO-BIORETENTION (M-6) FACILITIES, FOUR (4) PERVIOUS PAVEMENT FACILITIES (N-2), SIX (6) MODULAR WETLAND FACILITIES WITH ASSOCIATED PRE-TREATMENT PIPE STORAGE AND ONE (1) CONTECH CMP DETENTION SYSTEM INFILTRATION FACILITY. THE PROPOSED STORMWATER MANAGEMENT FACILITIES WHICH TREAT BOTH EXISTING AND NEW IMPERVIOUS AREAS. THESE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED. MAINTAINED. FOREST CONSERVATION OBLIGATIONS FOR THIS PROJECT HAVE BEEN PREVIOUSLY MET FOR THE INITIAL AFFORESTATION REQUIREMENTS FOR THIS SITE BY THE PURCHASE OF 0.96 ACRES FROM THE UNION BRIDGE FOREST BANK (FOREST BANK NO. FB-01-56200 UNDER S-05-038; AND THE ADDITIONAL AFFORESTATION REQUIREMENTS UNDER S-16-0018 WAS MET BY THE PURCHASE OF 0.24 ACRES FROM HARBAUGH FARM LLC FOREST BANK (FOREST BANK NO. FB-14-0037) (REF. DEED L.7774/F.85). THERE ARE NO FURTHER FOREST CONSERVATION REQUIREMENTS FOR THIS PLAN. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 157 OF THE CARROLL COUNTY CODE, AND THE LANDSCAPE MANUIAL D. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 157 OF THE CARROLL COUNTY CODE, AND I LANDSCAPE MANUAL. 1. ANY EXISTING TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR. 2. LANDSCAPING NOT PERMITTED WITHIN 7-1/2' OF EACH SIDE OF THE FIRE DEPARTMENT CONNECTION. PROVIDE A CLEAR UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. NFPA-1 13.1.4 3. SIGNS SHALL BE PERMITTED PER ARTICLE XV, PLANNED BUSINESS CENTERS, CHAPTER 155.094(E)(6). 4. SITE LIGHTING SHALL BE NO GLARE AND DIRECTED AWAY FROM ANY RESIDENTIAL DEVELOPMENTS AND ALL ADJACENT PROPERTIES AND ROADS. ALL LIGHTING SOURCES SHALL BE SHIELDED. NEW LIGHTING SHOULD USE FULL CUT-OFF OPTICS LUMINARIES TO MINIMIZE LIGHT POLLUTION. THE LIGHT DESIGN STANDARDS SHOULD BE COMPATIBLE WITH THE CHARACTER. 5. RETAINING WALLS SHOWN HEREON SHALL BE KEYSTONE OR EQUIVALENT TYPE. A SEPARATE BUILDING PERMIT SHALL BE OBTAINED FOR ALL RETAINING WALLS. THE DESIGN OF THE WALLS SHALL BE PREPARED BY THE WALL MANUFACTURER OR A QUALIFIED TRANSPORTED. N: 651700 FOR ALL RETAINING WALLS. THE DESIGN OF THE WALLS SHALL BE PREPARED BY THE WALL MANUFACTURER OR A QUALIFIED ENGINEER. 56. TRASH AND RECYCLING COLLECTION TO BE PRIVATE. 57. IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410—386—2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS. IF THE DEPARTMENT OF PUBLIC WORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW. 58. IT SHOULD BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE. 59. MOST OF THE PROPOSED DEVELOPMENT IS IN A SURFACE WATER PROTECTION AREA. 50. THE USE, TRANSFER OR STORAGE OF HAZARDOUS OR REGULATED SUBSTANCES WILL NOT BE PERMITTED ONSITE. 51. THE PROPERTY IS LOCATED IN THE TIER II CATCHMENT GILLS FALLS 1 AS DESIGNATED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE). PER MDE'S WEBSITE, THERE IS NO ASSIMILATIVE CAPACITY REMAINING. 52. ELEVEN (11) STORAGE UNITS SHALL BE ADA ACCESSIBLE UNITS. THE ACCESSIBLE UNITS SHALL BE DISPERSED THROUGHOUT THE VARIOUS CLASSES OF SPACED PROVIDED. THE 2010 ADA STANDARDS, SECTION 206.4.5 REQUIRES THESE SPACES TO HAVE A SIDE HINGED DOOR WITH A MINIMUM WIDTH OF 32 INCHES WHEN OPENED TO 90 DEGREES. SITE DEVELOPMENT PLAN INSPECTION SEQUENCE NOTES CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING A. PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS. PLANS. FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS. C. SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING. D. COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING. E. COMPLETION OF ALL WORK SHOWN ON PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410–386–2674 UPON COMPLETION OF EACH PHASE OF CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTIONS SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION. FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES. /WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE CARROLL COUNTY PLANNING AND ZONING COMMISSION CARROLL SOIL CONSERVATION DISTRICT NAME(S) PRINTED

CARROLL COUNTY HEALTH DEPARTMENT

CONCEPT SITE DEVELOPMENT PLAN LIBERTY ROAD CROSSING, AMENDED CARROLL COUNTY, MD TAX MAP: 61 BLOCK: 16 PARCEL 338 9TH ELECTION DISTRICT



DEVELOPED CONDITION SWM ESDV DRAINAGE AREA MAP

LANDSCAPE PLAN

LIGHTING AND PHOTOMETRIC PLAN

14 OF 16

15 OF 16

16 OF 16

The trip generation for Table 1 also identifies the effect of pass-by trips generated by the retail

use of the site, and the pass-by rates were obtained from the ITE Trip Generation Handbook.

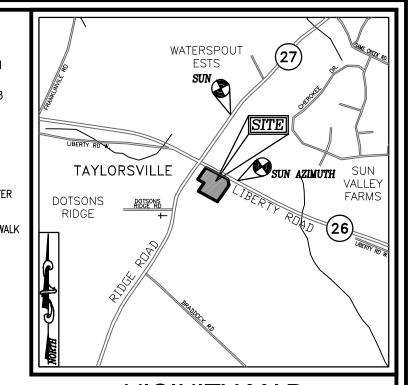
BENCHMARKS

N 653.312.1150 E 1.288.426.5200 ELEV. 840.681 CARROLL COUNTY GEODETIC SURVEY CONTROL: SUN AZIMUTH N 651,936.0880 E 1,288,572.5992 ELEV. 804.428

LEGEND:

PROPOSED CONCRETE SIDEWALK

PROPOSED BUILDINGS



PROJECT BACKGROUND

TAX MAP 61, BLOCK 16, PARCEL 338, LOT 10C ZONING: C-2 (COMMERCIAL MEDIUM INTENSITY DISTRICT) SUBDIVISION: OXFORD MEWS

SECTION/AREA: N/A
PROPERTY LIES WITHIN A RURAL VILLAGE
CC FILE # REFERENCES: S-05-038, F-08-021, S-16-0018 DEED/PLAT REFERENCES: L.4802/F.645, L.4802/F.650, PLAT 25/89, PLAT 26/151, PB 52/12

CURRENT TAX ACCOUNT NUMBER: 09-023968 CURRENT OWNER: 2515 LIBERTY LLC C/O KEVIN BELL 17590 CHERRYFIELD ROAD DRAYDEN, MARYLAND 20630

SITE ANALYSIS

EXISTING USE: VACANT FARM/RESIDENTIAL
STREAM USE CLASSIFICATION: GILLIS FALLS AND MONOCACY; USE III & IV-P
RESERVOIR WATERSHED NAME & NUMBER: S BRANCH PATAPSCO; 02130908
PROPOSED USE OF STRUCTURES: 11,250 SF RETAIL, 83,675 SF SELF-STORAGE (221 UNITS)

BUILDING B: SELF STORAGE (59 UNITS); INCLUDES OFFICE
BUILDING C: SELF STORAGE (64 UNITS)
BUILDING D: SELF STORAGE (32 UNITS)
BUILDING E: SELF STORAGE (66 UNITS); INCLUDES UTILITY ROOM

BUILDING AREAS:
BUILDING A: ONE-STORY RETAIL

FOOTPRINT/1ST FLOOR: 11,250 SF

BUILDING B: PARTIAL TWO-STORY SELF STORAGE FOOTPRINT: 11,250 SF 1ST FLOOR: 11,250 SF 2ND FLOOR: 6,075 SF

TOTAL (GROSS) AREA: 17,325 SF
BUILDING C: TWO-STORY SELF STORAGE
FOOTPRINT: 14,000 SF
1ST FLOOR: 14,000 SF

2ND FLOOR: 14,000 SF

ZND FLOOR: 14,000 SF
TOTAL (GROSS) AREA: 28,000 SF
BUILDING D: ONE—STORY SELF STORAGE
FOOTPRINT/1ST FLOOR: 8,750 SF
BUILDING E: TWO—STORY SELF STORAGE
FOOTPRINT: 14,800 SF
1ST FLOOR: 14,800 SF

BUILDING COVERAGE (FOOTPRINT): 60,050 SF (1.38 AC. OR 21.6% OF GROSS AREA)

AREA OF WETLANDS ON SITE: 0.00 AC.
AREA OF WETLAND BUFFERS ON SITE: 0.00 AC.
AREA OF STREAMS AND THEIR BUFFERS ON SITE: 0.00 AC.
AREA OF ON—SITE 100 YEAR FLOODPLAIN: 0.00 AC. AREA OF EXISTING FOREST ON SITE: 0.00 AC.

AREA OF ON-SITE MODERATE SLOPES (15%-25%): 5.435 SF (0.12 AC.) AREA OF ON-SITE STEEP SLOPES (GREATER THAN 25%): 1,108 SF (0.025 AC.)

AREA OF ERODIBLE SOILS: 0.00 AC. DEVELOPMENT AREA/LIMIT OF DISTURBED AREA: 231,490 SF (5.31 AC.)

OWNER/DEVELOPER

2515 LIBERTY LI

C/O KEVIN BELL 17590 CHERRYFIELD ROAD DRAYDEN, MARYLAND 20630 (410) 984-1654

CONCEPT SITE DEVELOPMENT PLAN

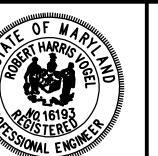
COVER SHEET

LIBERTY ROAD CROSSING, 2ND AMENDED EXISTING USE: VACANT FARM/RESIDENTIAL ROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27)

TH ELECTION DISTRICT TH COMMISSIONER DISTRICT

VOGEL ENGINEERING

TIMMONS GROUP 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043 P: 410.461.7666 F: 410.461.8961 www.timmons.com

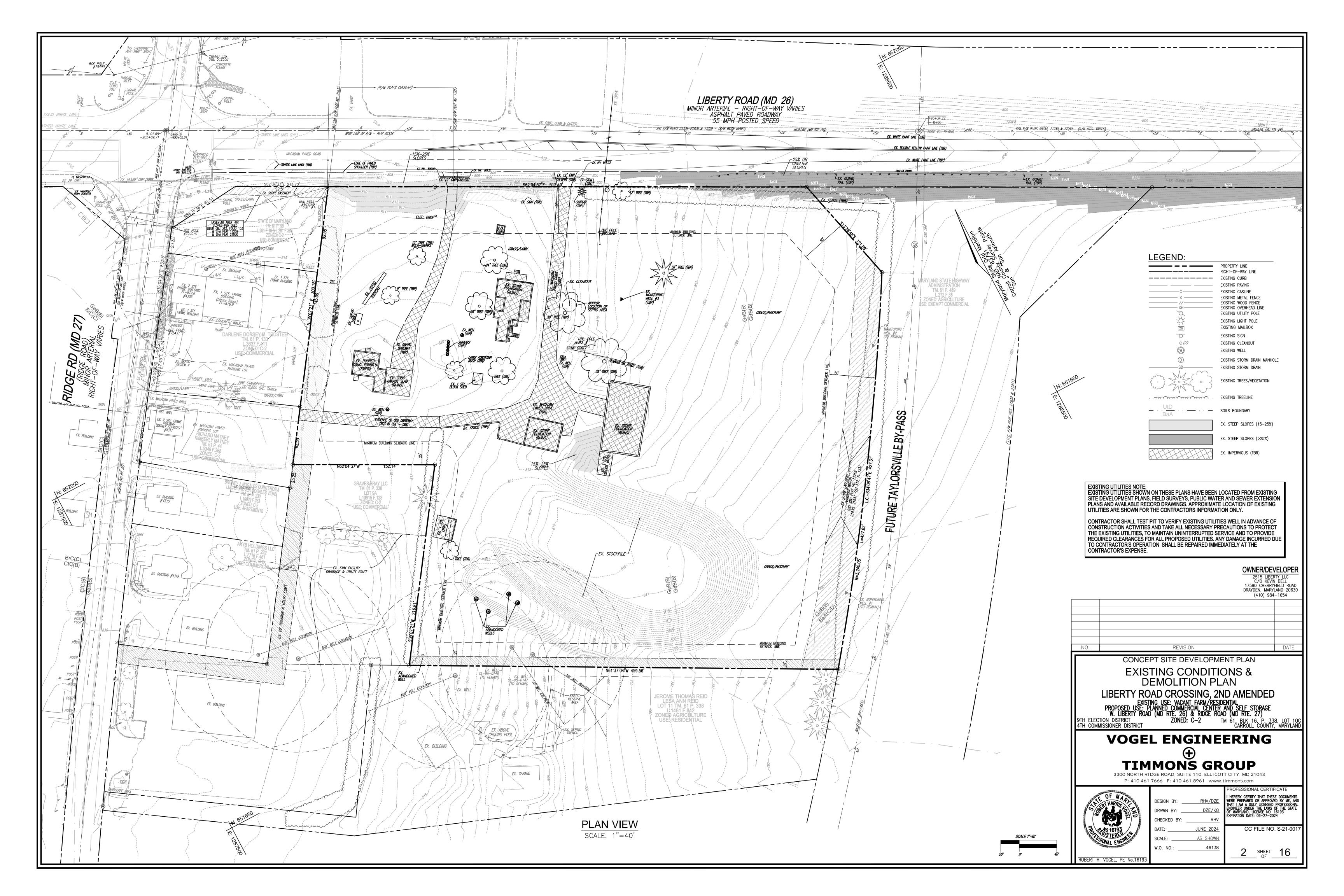


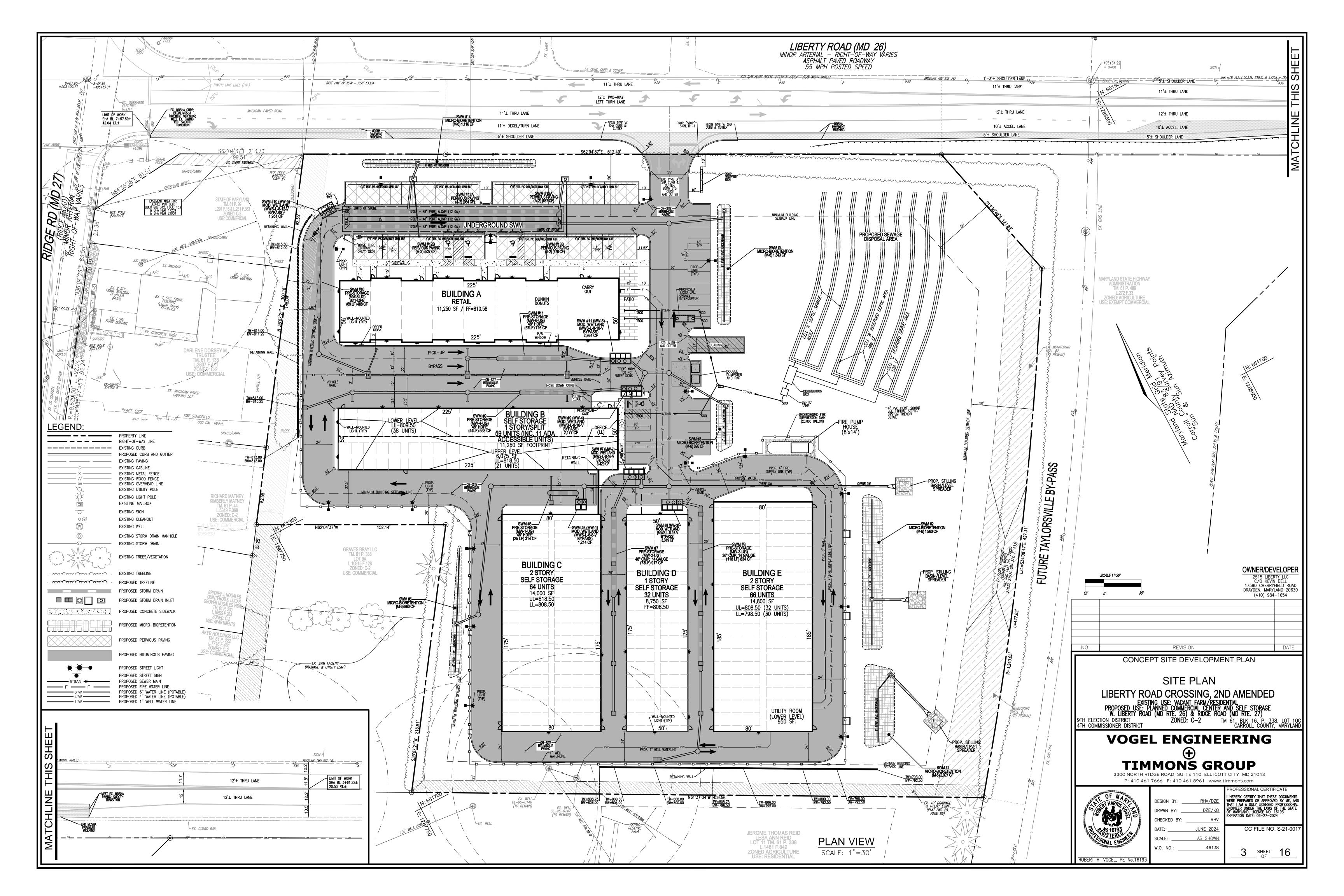
RHV/DZE CHECKED BY: SCALE: AS SHOWN

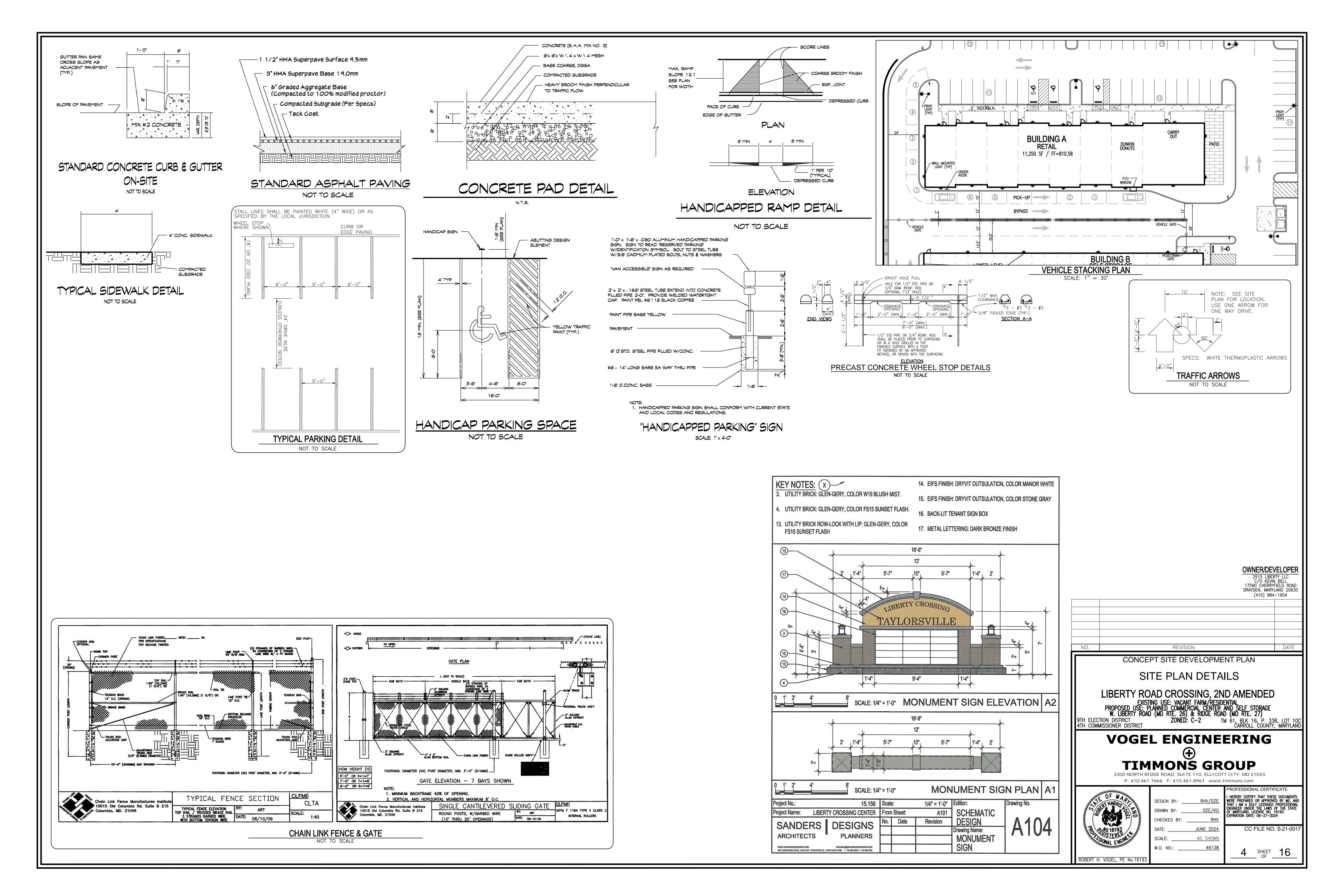
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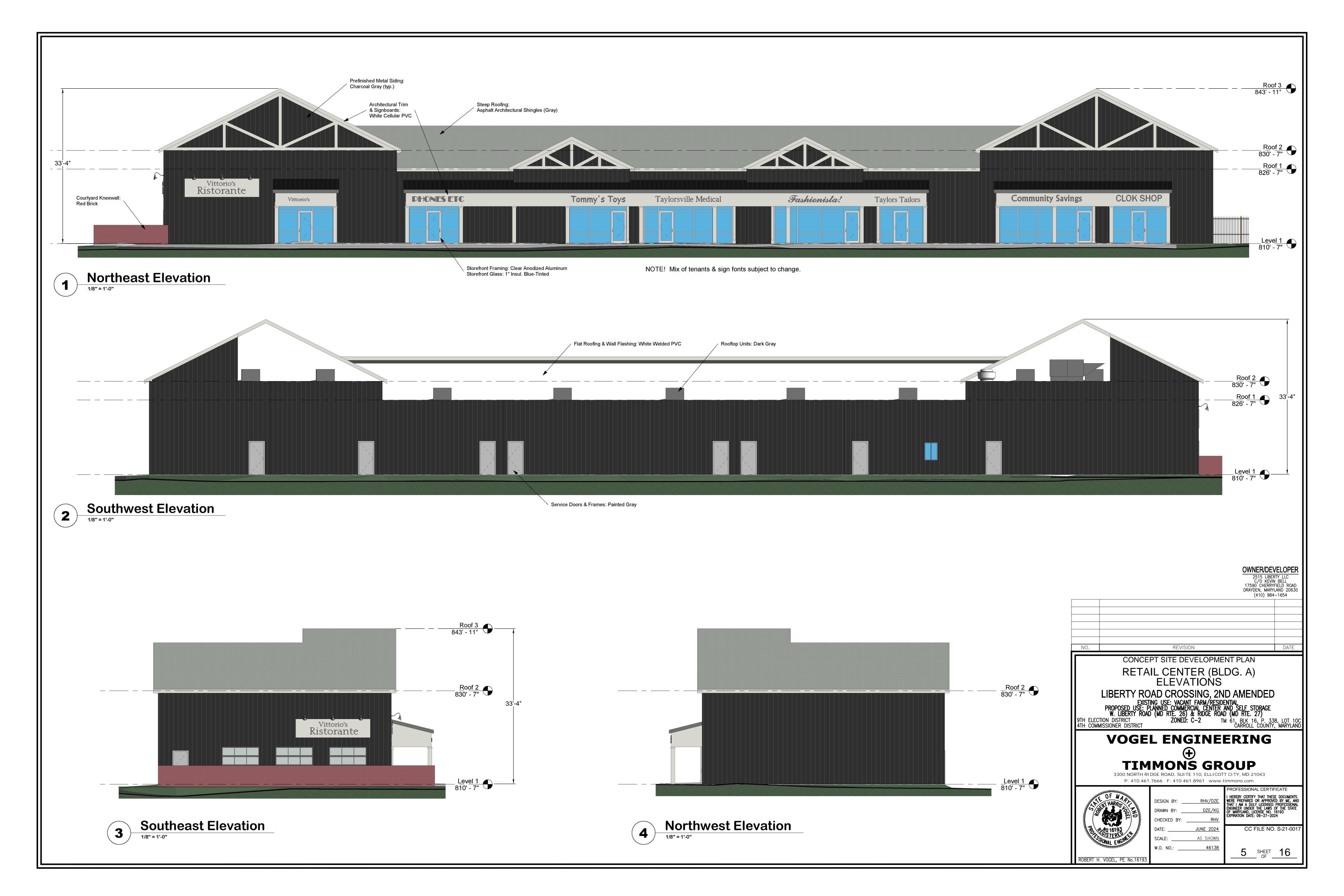
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

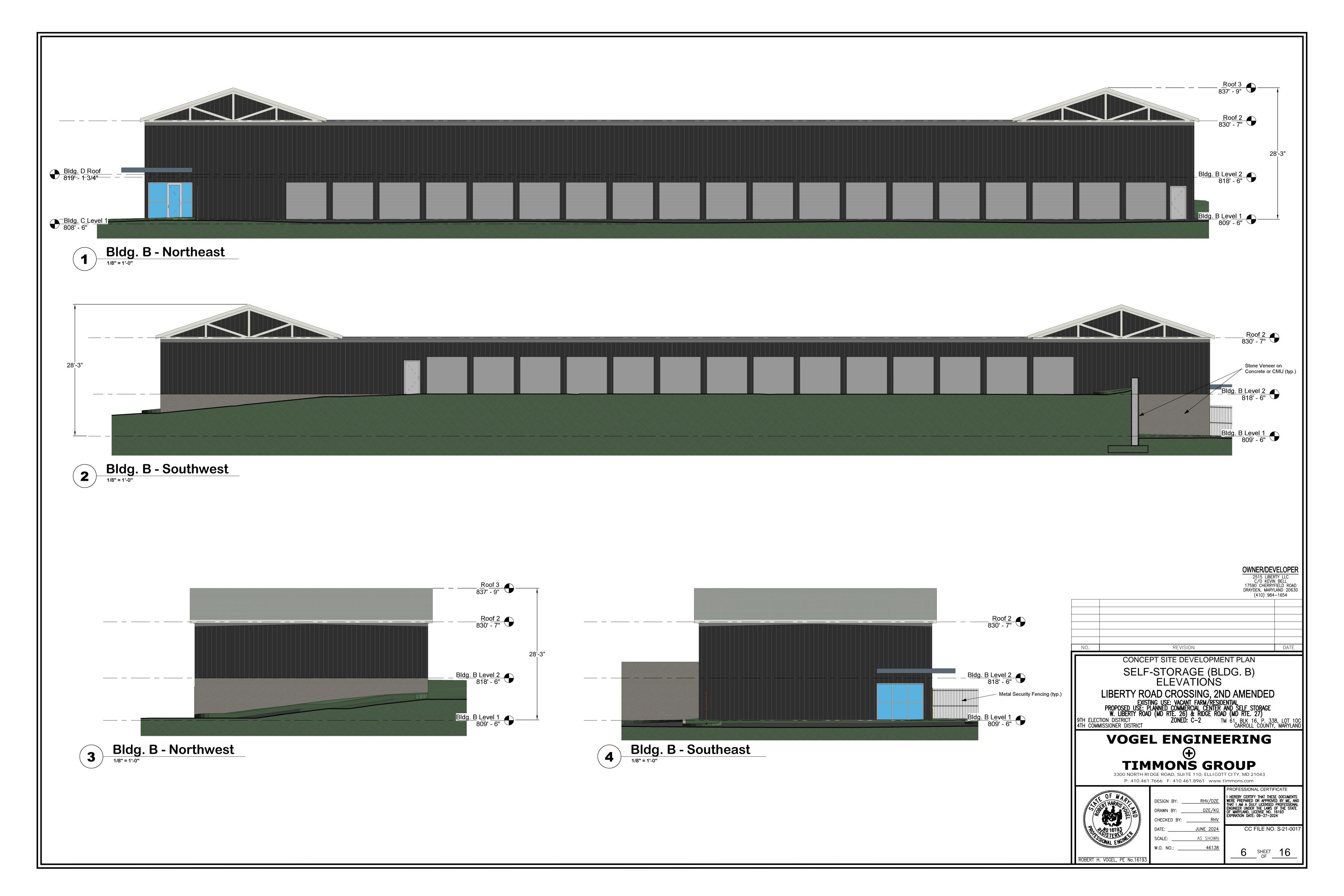
OBERT H. VOGEL, PE No.16

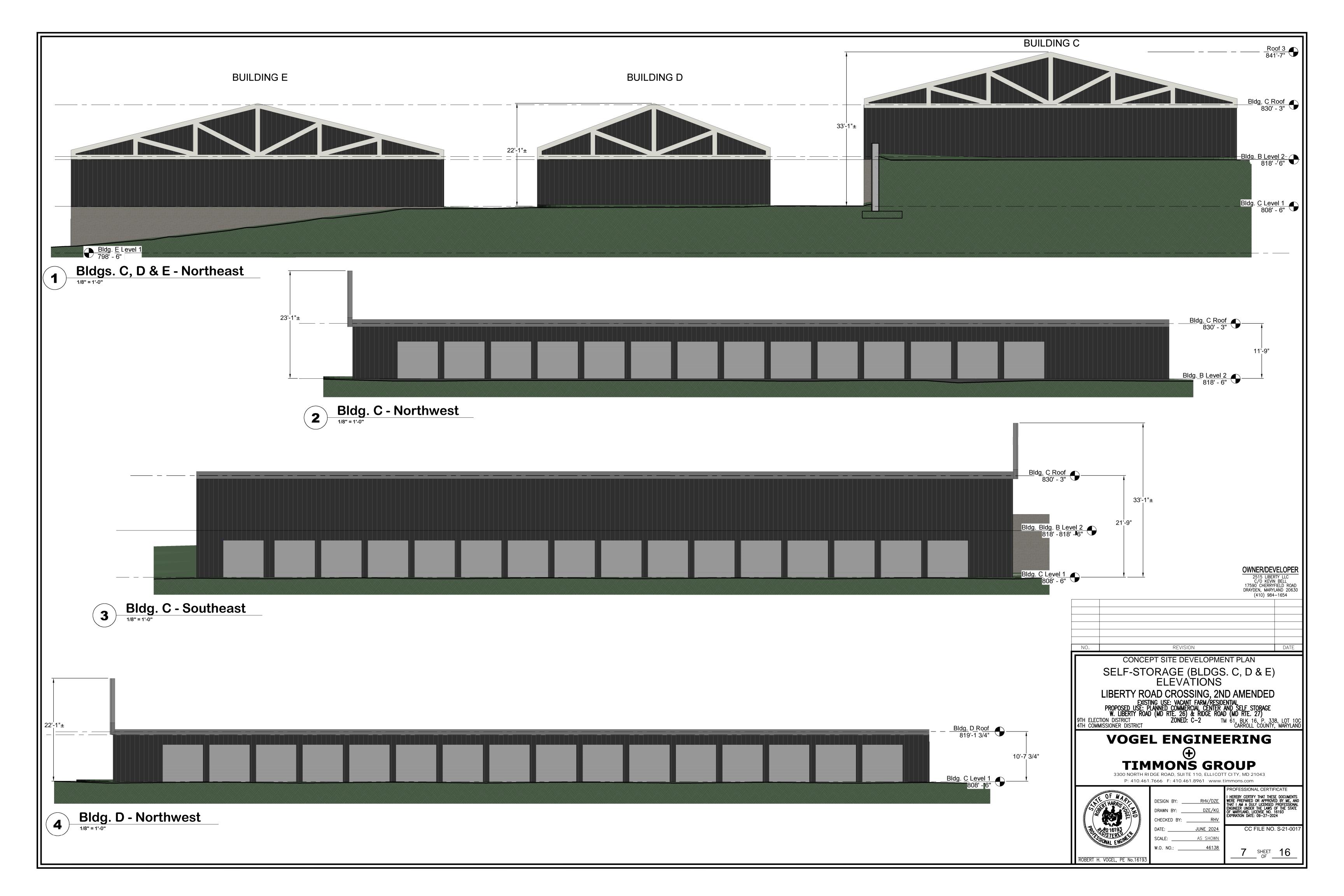


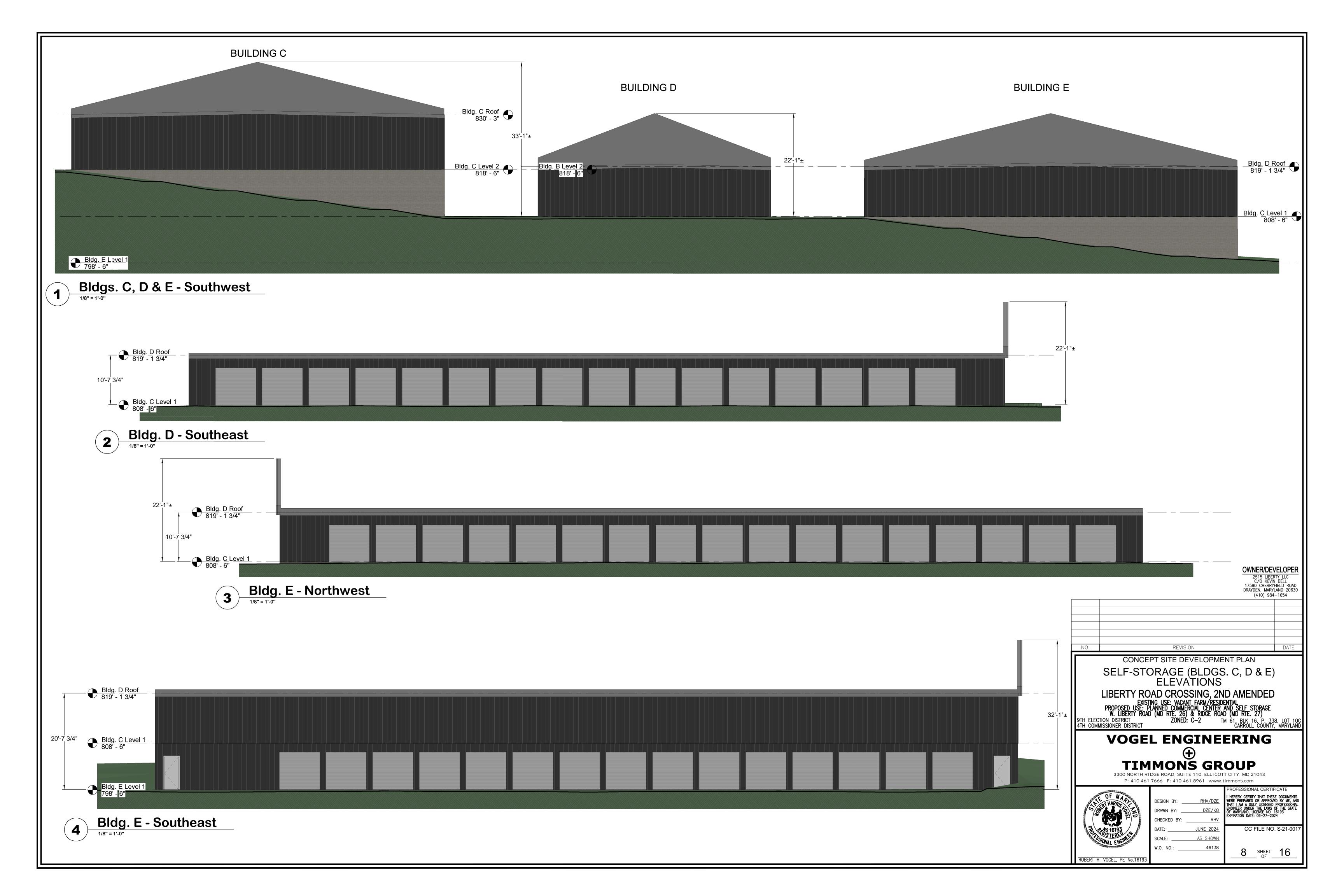


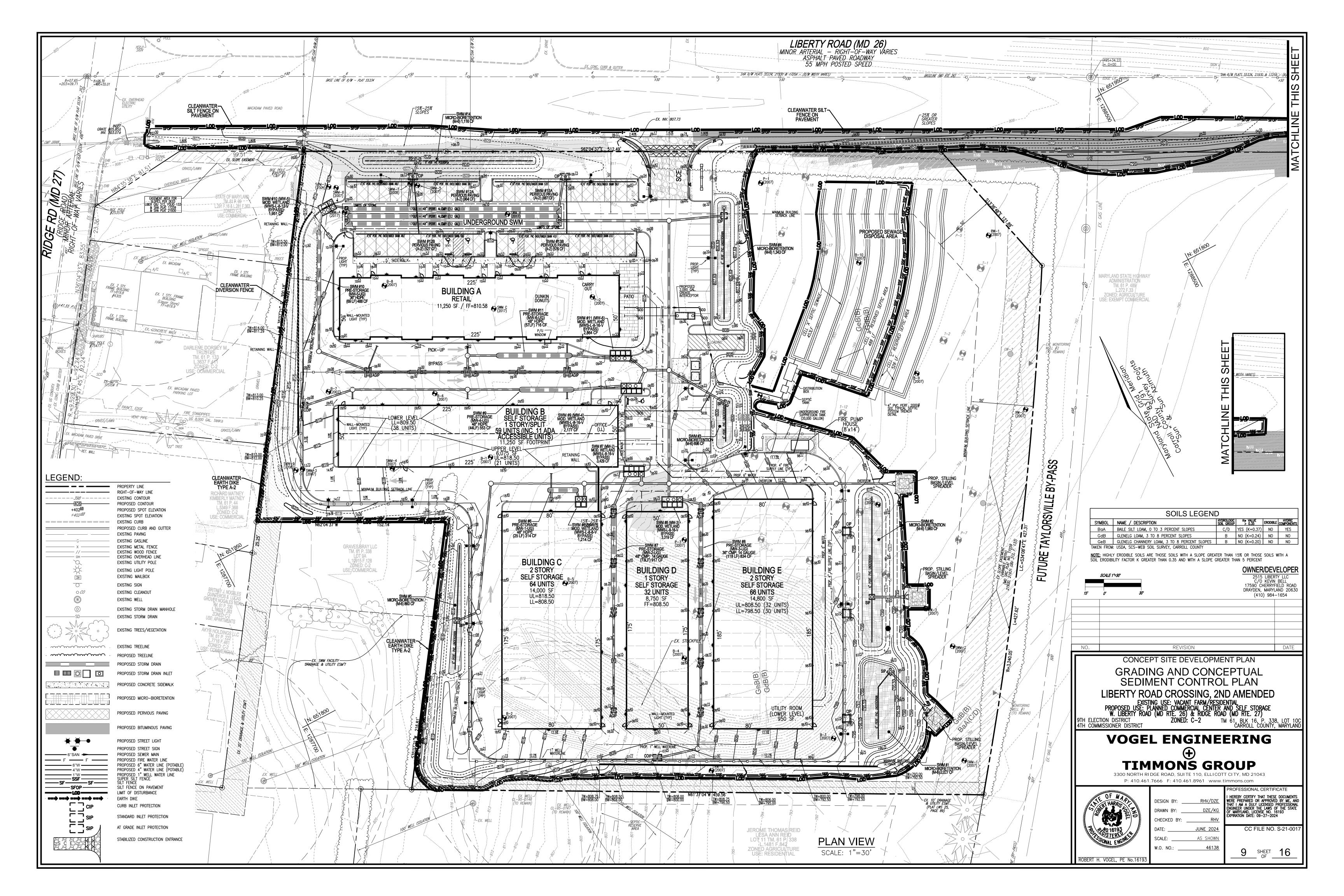












i-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION TOPSOILING AND SOIL AMENDMENTS

JEFINITIONTHE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.
CONDITIONS WHERE PRACTICE APPLIES
WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

- SOIL PREPARATION

 1. TEMPORARY STABILIZATION

 A. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISCHARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.

 B. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.

 C. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- SUITABLE MEANS.

 2. PERMANENT STABILIZATION

 A. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE, THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:

 I. SOIL PH BETWEEN 6.0 AND 7.0.
- III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT
- OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.

 IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.

 V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.

 B. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON—SITE SOILS DO NOT MEET THE ABOVE CONDITIONS
- CONDITIONS.

 C. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.

 D. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS
- OF A SOIL TEST.

 E. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.
- JESULING TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCEM HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

 2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA—NRCS.

 3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

- LARGER THAN 1½ INCHES IN DIAMETER.

 B. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

 C. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL
- SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

 6. TOPSOIL APPLICATION

 A. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.

 B. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

 C. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

 SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
- TO PROPER GRADING AND SEEDBED PREPARATION.

 SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.

 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.

 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED FXCEPT
- . LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.

 4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND INCORPORATED INTO THE TOP 3 TO 5 INCHESTONE AT THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND INCORPORATED INTO THE TOP 3 TO 5 INCHESTONE AT THE PASTE OF A TOP STONE (ADDITIONAL PROPERTY OF A TOP STONE) PROPERTY OF A TOP STONE (ADDITIONAL PROPERTY OF A TOP STONE).

LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA DEFINITION A MOUND OR PILE OF SOIL PROTECTION BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL

DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

CONDITIONS WHERE PRACTICE APPLIES
STOCKPILE AREAS ARE UTILILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

- STOCKPILE AREAS ARE UTILILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

 CRITERIA

 1. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN.

 2. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B—3 LAND GRADING.

 3. RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.

 4. ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.

 5. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON—EROSIVE MANNER.

 6. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.

 7. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS
- CONTROL PRACTICE MOST BE USED TO INTERCEPT THE DISCHARGE.

 7. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.

 8. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH INDEPRIVATIVE SUFFETING.
- IMPERMEABLE SHEETING. IMPERMIZE SHEETING.

 MAINTENANCE

 THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

 $\begin{array}{c} {\bf DEFINITION} \\ {\bf CONTROLLING} \end{array} \ {\bf THE} \ \ {\bf SUSPENSION} \ \ {\bf OF} \ \ {\bf DUST} \ \ {\bf PARTICLES} \ \ {\bf FROM} \ \ {\bf CONSTRUCTION} \ \ {\bf ACTIVITIES}. \end{array}$ PURPOSE
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES
SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SPECIFICATIONS

1. MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3
SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO
PREVENT BLOWING.

2. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION.

3. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE
OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR
PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED EFFECT.

4. IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SITE MUST NOT
BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS.

5. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR
MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

6. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW
AUTHORITY.

TIER II WATERSHED ANTI-DEGRADATION NOTES: ACCELERATED STABILIZATION MAY BE REQUIRED BY THE APPROVAL AUTHORITY.

. RUNNOFF MUST PASS THROUGH TWO SEDIMENT CONTROL DEVICES IN SERIES DEWATERING SUMP AREAS, SEDIMENT TRAPS/BASINS FIRST TO A PORTABLE SEDIMENT TANK AND THEN A FILTER BAG • ALL PERIMETER SILT FENCE/SUPER-SILT FENCE TO BE DOUBLE ROW. . ALL SILT FENCE TO BE UPGRADED TO SUPER SILT FENCE. . APPROVAL AUTHORITY MAY APPLY FURTHER EROSION AND SEDIMENT CONTROL MEASURES BASED ON LOCAL SITE CONDITIONS AND BEST PROFESSIONAL JUDGEMENT.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE
TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.
CONDITIONS WHERE PRACTICE APPLIES
TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

SPECIFICATIONS

A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.

B. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS.

C. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.

D. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT

CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS. APPLICATION

A. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.

I. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE

8.1, PERMANENT SEEDING TABLE 8.3, OR SITE—SPECIFIC SEEDING SUMMARIES.

II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER, APPLY HALF THE SEEDING RATE
IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED
TO SOIL CONTACT.

B. DRILL OR SEEDING. MECHANISED SEEDING AND COVER SEED WITH SOIL

10 SOIL CONTACT.

3. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.

1. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT

LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.

11. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE

13. APPLY DIRECTION. C. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).

I. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE. II. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.

III. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.

IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

MULCH MATERIALS (IN ORDER OF PREFERENCE)

A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, LYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY.

NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

B. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.

I. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.

II. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.

III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER—LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.

IV. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO—TOXIC.

V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPÁCITY OF 90 PERCENT MINIMUM.

APPLICATION

 A. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
 B. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.
 C. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

 ANCHORING

 A. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMITE LOSS BY WIND

ANCHORING

A. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD:

I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.

II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

III SYNTHETIC BINDERS SLICH AS ACRYLIC DLR (AGRO-TACK). DCA-70. PETROSET.

MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

III. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET,
TERRA TAX II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION
RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE
HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF
BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.

IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER
RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO
3,000 FEET LONG.

CARROLL SOIL CONSERVATION DISTRICT SEDIMENT AND EROSION CONTROL NOTES

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION IN ASSOCIATION WITH THE NATURAL RESOURCES CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS (REFERENCED AS THE 2011 STANDARDS AND SPECS).
- AREAS THAT HAVE BEEN CLEARED AND/OR GRADED, BUT WILL NOT BE CONSTRUCTED ON OR PERMANENTLY VEGETATED FOR MORE THAN 5 DAYS (3 DAYS FOR SEDIMENT CONTROL MEASURES AND FOR STEEP SLOPES) MUST BE STABILIZED WITH MULCH OR TEMPORARY STABILIZATION. ANY AREAS THAT ARE IN TEMPORARY VEGETATION FOR OVER 6 MONTHS WILL NEED TO BE PERMANENTLY VEGETATED. 3. FOR SPECIFICATIONS ON PERMANENT OR TEMPORARY STABILIZATION, SEE B-4-4 AND B-4-5.
- 5. FOR SPECIFICATIONS ON THE STABILIZATION OF CUT AND FILL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL, SEE INCREMENTAL STABILIZATION B-4-1 THE EXISTING TOPSOIL FROM ON OR OFF SITE THAT IS USED MUST MEET THE MINIMUM SPECIFICATION IN B-4-2
- THE REQUIRED SEQUENCE OF CONSTRUCTION MUST BE FOLLOWED DURING SITE DEVELOPMENT. ANY CHANGES IN THE SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ANY REVISIONS TO THE SEDIMENT CONTROL PLAN, NOT COVERED UNDER THE LIST OF PLAN MODIFICATIONS THAT CAN BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR, NEED TO BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR APPROVAL.
- NO PROPOSED SLOPE THAT IS REQUIRED TO BE SEEDED AND/OR MULCHED SHALL BE STEEPER THAN 2:1. SLOPES STEEPER THEN 2:1 SHALL REQUIRE A ENGINEERED DESIGN FOR STABILIZATION SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED ONCE A WEEK AND AFTER EACH RAINFALL AND BE REPAIRED, AS NEEDED, SO THAT THE STRUCTURE MEETS THE MINIMUM SPECIFICATIONS AS SHOWN HE 2011 STANDARDS AND SPECS.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- 12. THE DISTRICT APPROVAL FOR THIS SEDIMENT CONTROL PLAN IS GOOD FOR 2 YEARS. AT THE END OF 2 YEARS, IF CONSTRUCTION OF THE PLAN HAS NOT STARTED, THE PLAN WILL NEED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT FOR REVIEW AND RE—APPROVAL. ANY PLANS THAT ARE CURRENTLY UNDER CONSTRUCTION AFTER 2 YEARS MAY BE REQUIRED TO BE RESUBMITTED TO THE SOIL CONSERVATION DISTRICT BY THE SEDIMENT CONTROL INSPECTOR.

TAL AREA OF SITE: (ON-SITE 6.37 AC. + OFF-SITE 0.15 AC.

REA TO BE ROOFED OR PAVED: REA TO BE VEGETATIVELY STABILIZED:



STABILIZATION SPECIFICATIONS

TEMPORARY SEEDING NOTES SCOPE: PLANTING SHORT TERM (NO MORE THAN 6 MONTHS) VEGETATION TO TEMPORARILY STABILIZE ANY AREAS WHERE SOLD INTERPRETATIVE PROJECTION OR STANDARDS: THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE"2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT — WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCE CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS

FOR TEMPORARY STABILIZATION, FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT A RATE OF 436 LB. PER ACRE (10 LB. PER 1000 SQ. FT.) AND WILL MEET THE REQUIREMENTS IN SECTION B-4-2. LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB. PER SQ. FT.) AND SHALL MEET THE REQUIREMENTS IN SECTION B-4-2 AND B-4-4

SEED TYPE AND APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4-3 SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY THE TYPE AND RATE OF SEED USED.

MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION B-4-3 A, B AND C AND WILL BE APPLICATION WILL PROPERTY AFTER SECTIONS. MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS APPLIED ALONG WITH THE SEED OR IMMEDIATELY AFTER SEEDING SEEDING MIXTURES SHALL BE SELECTED FROM OR WILL BE EQUAL TO THOSE ON TABLE B.1 (PAGE B.20).

THE S	SEEDING	CHART BELO HARDINESS Z SEED MIXTUR	n the sedimen' FELIZER RATE	T CONTROL PLAN				
	NO	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	(10-20-20)		
	1	cool season Annual Ryegrass Or equal	40 LB / AC	MAR 1 TO MAY 15 AUG 1 TO OCT 15	0.5 IN.	436 LB/AC (10 LB PER	2 TONS/AC (90 LB PER	
	2	WARM SEASON FOXTAIL MILLET OR EQUAL	30 LB / AC	MAY 16 TO JUL 31	0.5 IN.	1000 SF)	1000 SF)	

SCOPE: PLANTING PERMANENT, LONG LIVED VEGETATIVE COVER ON GRADED AND/OR CLEARED AREAS AND AREAS THAT HAVE BEEN IN TEMPORARY VÉGETATION FOR MORE THAN 6 MONTHS. STANDARDS: THE FOLLOWING NOTES SHALL CONFORM TO SECTION B-4 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED JOINTLY BY THE MARYLAND DEPARTMENT OF ENVIRONMENT - WATER MANAGEMENT ADMINISTRATION, THE NATIONAL RESOURCE CONSERVATION SERVICE AND THE MARYLAND ASSOCIATION OF SOIL CONSERVATION DISTRICTS. THE SEED BED SHALL BE PREPARED BY LOOSENING THE SOIL TO A DEPTH OF 3 TO 5 INCHES AND INCORPORATING THE LIME AND FERTILIZER INTO THIS LOOSENED LAYER OF SOIL. SEE SECTION B-4-2.

FOR SITES OVER 5 AC. SOIL TESTS WILL BE PERFORMED. SOIL TESTS WILL BE CONDUCTED BY THE UNIVERSITY OF MARYLAND OR A RECOGNIZED COMMERCIAL LABORATORY. MINIMUM SOIL CONDITIONS SHALL MEET THE REQUIREMENTS OF SECTION B-4-2-A-2-A, OTHERWISE SOIL AMENDMENTS OR TOPSOIL WILL NEED TO BE APPLIED. TOPSOILING MAY OCCUR WHEN SOIL CONDITIONS MEET THE MINIMUM REQUIREMENTS AS STATED IN SECTION B-4-2-B. SOIL AMENDMENTS MUST MEET THE REQUIREMENTS AS SET FORTH IN SECTION B-4-2-C AND MUST BE APPLIED AS INDICATED BY THE SOILS TESTS. FOR SITES OF 5 AC. OR LESS OF DISTURBANCE, THE FOLLOWING FERTILIZER AND LIME RATES SHALL APPLY. FERTILIZER SHALL CONSIST OF A MIXTURE OF 10-20-20 AND BE APPLIED AT THE FOLLOWING RATES:

N = 45 LB. PER ACRE (1 LB. PER 1000 SQ.FT.)

P205 = 90 LB. PER ACRE (2 LB. PER 1000 SQ.FT.)

LIME SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (90 LB. PER 1000 SQ.FT.) SEED TYPE, TURFGRASS OR SOD APPLICATION SHALL MEET THE REQUIREMENTS IN SECTION B-4-5. SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY THE TYPE AND APPLICATION RATE OF SEED USED. MULCH TYPE AND ITS APPLICATION WILL MEET THE REQUIREMENTS IN SECTION B-4-3 A, B AND C, AND WILL BE APPLIED ALONG WITH SEED OR IMMEDIATELY AFTER SEEDING SEEDING MIXTURES SHALL BE SELECTED FROM OR WILL BE EQUAL TO THOSE ON TABLE B-3. THE SEEDING CHART

BELOW WILL NEED TO BE PLACED ON AND FILLED IN ON THE SEDIMENT CONTROL PLAN											
		ONE (FROM FIGURE E (FROM TABLE B.3		FELIZER RATE (10–20–20)							
NO	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	N	P ₂ 0 ₅	K ₂ 0				
1	COOL SEASON TALL FESCUE & KENTUCKY BLUEGRASS OR EQUAL	T.F. 60 LB / AC K.B. 40 LB / AC	MAR 1 TO MAY 15 AUG 15 TO OCT 15	1/4-1/2 IN.	(1 LB PER	(2 LB PER	(2 LB PER	2 TONS/AC (90 LB PER 1000 SF)			

SEQUENCE OF CONSTRUCTION

CONTACT THE CARROLL COUNTY SEDIMENT CONTROL INSPECTOR (1-410-386-2210) 24 HOURS PRIOR TO DOING ANYTHING ON THE SITE TO SETUP A PRE-CONSTRUCTION MEETING AND TO MAKE SURE ALL LOCAL ORDINANCE ITEMS HAVE BEEN SATISFIED. THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF SWM AND SEDIMENT CONTROL INSPECTOR AT (410) 386-2100 AT LEAST (3) THREE WORKING DAYS PRIOR TO BEGINNING WORK. OBTAIN ALL REQUIRED PERMITS.

INITIAL AND INTERMEDIATE CONSTRUCTION PHASE

4. STAKEOUT LIMITS OF DISTURBANCE (2 DAYS)

5. INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM, LENGTH AS SHOWN ON THE PLAN, OR WHERE DIRECTED BY SEDIMENT CONTROL INSPECTOR. CLEAR AND GRUB FOR THE INSTALLATION OF ALL PERIMETER CONTROLS. INSTALL PERIMETER CONTROLS INCLUDING EARTH DIKES, DIVERSION FENCE, SILT FENCE AND SUPER SILT FENCE. ADDITIONAL SEDIMENT CONTROLS/FACILITIES MAY BE REQUIRED AS DIRECTED.
WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR. CLEAR AND GRUB REMAINDER OF SITE TO LOD AND REGIN SITE GRADING AND RETAINING WALL CONSTRUCTION. (1 WEEK) BEGIN INSTALLATION OF SITE UTILITIES (IE. SEWER/SEPTIC, WATER, AND STORM DRAIN WITH INLET PROTECTION AS SHOWN). CONTROLS INTERRUPTED BY THE INSTALLATION OF UTILITY LINES SHALL

BE REPAIRED IMMEDIATELY. STABILIZE DISTURBANCES WITH PERMANENT SEEDING MIXTURE AND BEGIN INSTALLATION OF SWM FACILITIES INCLUDING MICRO-BIORETENTIONS, MODULAR WETLAND PRE-STORAGE PIPE, AND MODULAR WETLANDS. (SWM#1, SWM#2, SWM#3, SWM#4, AND SWM#5 TO BE INSTALLED IN PHASE 2) A. MICRO-BIORETENTION CONSTRUCTION: CONSTRUCT STORM DRAIN SYSTEM INCLUDING MICRO-BIORETENTION UNDERDRAINS AND #57 STONE. COVER STONE WITH POLY SHEET

PLASTIC TO PREVENT CONTAMINATION, AND TEMPORARILY BACKFILL. BEGIN BUILDING CONSTRUCTION PHASE 2 — FINAL CONSTRUCTION PHASE

11. ONCE PROJECT IS BROUGHT TO SUBGRADE AND UTILITIES HAVE PROGRESSED SUFFICIENTLY, AND WITH INSPECTOR'S APPROVAL, BEGIN INSTALLATION OF CONCRETE CURB AND GUTTER AND BASE PAVING. INSTALL PERVIOUS PAVING STONE SECTION AND ASSOCIATED UNDERDRAINS. PROTECT

PERVIOUS PAVING WITH PLASTIC (CONTRACTOR MUST PROTECT THE POROUS PAVING FROM ALL SEDIMENT LADEN RONOFF).

BEGIN CONSTRUCTION OF MD ROUTE 26 IMPROVEMENTS. SEE THE SHA IMPROVEMENT PLANS FOR THE PROPER STABILIZATION OF THE AREAS LOCATED WITHIN THE SHA RIGHT-OF-WAY. ALL WORK WITHIN THE STATE HIGHWAY SHALL BE STABILIZED THE SAME DAY AS WORK IS COMPLETED. COMPLETE ALL RETAINING WALL CONSTRUCTION, UTILITIES INSTALLATION, AND GRADING OPERATION. COMPLETE ALL BUILDING CONSTRUCTION.

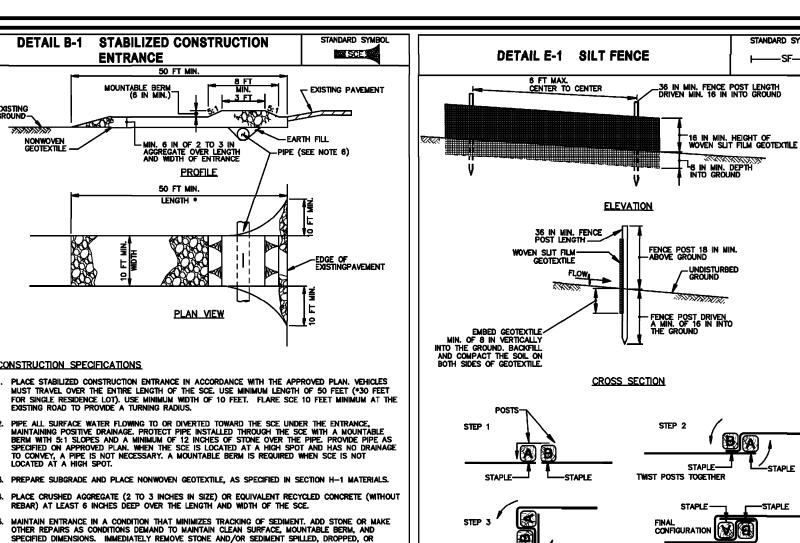
COMPLETE INSTALLATION OF MICRO-BIORETENTION FACILITIES. A. MICRO-BIORETENTION CONSTRUCTION: WITH SITE CONSTRUCTION COMPLETE, REMOVE TEMPORARY FILL IN MICRO-BIORETENTION FACILITIES AND CAREFULLY REMOVE POLY SHEET PLASTIC AND INSTALL FILTER FABRIC (SIDES ONLY), PEA GRAVEL AND PLANTING SOIL.
CONTRACTOR TO PROVIDE PLANTING SOIL CERTIFICATION. IMMEDIATELY PROTECT FACILITY WITH 16. INSTALL SIDEWALKS, AND SITE FENCING. WITH INSPECTOR'S APPROVAL, FINE GRADE AND STABILIZE

ALL AREAS OF PARCEL INCLUDING ANY EXPOSED EARTH AREAS OUTSIDE THE LOD. INSTALL PAVING SURFACE COURSE. REMOVE PLASTIC OVER PERVIOUS PAVING AND INSTALL PERVIOUS PAVING SURFACE COURSE. WITH APPROVAL FROM INSPECTOR, AND WHEN ALL CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED, REMOVE SILT FENCE AROUND MICRO-BIORETENTION FACILITIES. ANY COMPACTION OF THE PLANTING SOIL WILL REQUIRE REPLACEMENT OF THE PLANTING SOIL. INSTALL PLANTINGS INSTALL SITE LANDSCAPING

FLUSH STORM DRAIN SYSTEM AND REMOVE SEDIMENT CONTROLS AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR.
CONTACT THE CARROLL COUNTY SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVING ANY SEDIMENT CONTROL MEASURES. APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR IS REQUIRED. AFTER PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE ANY REMAINING CONTROLS AND STABILIZE ALL REMAINING DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW AND MULCH. REMOVE ALL TRASH JUNK AND DEBRIS FROM THE LIMIT OF DISTURBANCE. (3 WEEKS)

DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN. FOLLOWING INITIAL SOIL DISTURBANCES OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO VERTICAL (3:1); AND B. SEVEN (7) CALENDAR DAYS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.
CONTACT THE CARROLL COUNTY SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVING ANY
SEDIMENT CONTROL MEASURES. APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR IS REQUIRED.



MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MCUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL DETAIL E-9-6 COMBINATION INLET MAXIMUM DRAINAGE AREA = ¾ ACRE

6 FT MAX. SPACING OF 2 IN x 4 IN SPACERS

DETAIL E-9-6 COMBINATION INLET

2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.

CONSTRUCTION SPECIFICATIONS

. USE NOMINAL 2 INCH x 4 INCH LUMBER

PROTECTION

3. LIFT GRATE, AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS, THEN GRATE BACK IN PLACE.

ATTACH A CONTINUOUS PIECE OF $\frac{1}{2}$ INCH GALVANIZED HARDWARE CLOTH WITH A MINIMUM WIDTH 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2X4 WEIR, EXTENDING 2 FEET BEYOND THROAT ON EACH SIDE.

PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH IT TO THE WEIR.

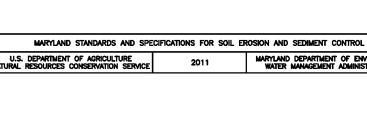
PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2X4 ANCHORS (MINIMUM 2 FOOT LENGTHS OF 2x4 Inch to the top of the weir at spacer locations). Extend 2x4 anchors across the inlet top and hold in place by sandbags or other approved anchoring method.

3. INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND BOTH ENDS OF THE THROAT OPENING.

2 IN x 4 IN ANCHORS 2 FT MIN. LENGTH

FENCE SECTIONS (TOP VIEW) MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL DETAIL E-1 SILT FENCE . Use wood posts 1% x 1% \pm % inch (minimum) square cut of sound quality hardwood. As an alternative to wooden post use standard "t" or "u" section steel posts weighing not less than 1 pound per linear foot. 2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART. 3. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.

- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
- . WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL FENCE.



STANDARD SYMBOL **DETAIL E-9-1 STANDARD INLET PROTECTION**

USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. . EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION

CONSTRUCTION SPECIFICATIONS

3. FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONSTRUCTION GRADE LUMBER POSTS, DRIVEN 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2X4 FRAME AS SHOWN, STRETCH ½ INCH GALVANIZED HARDWARE CLOTH TIGHTLY ADOUND THE FRAME AND FASTEN SECURELY. FASTEN GEOTEXTILE SECURELY TO THE HARDWARE CLOTH WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST, THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FASTENED TO THE POST. . NAIL THE 2X4 WEIR TO THE TOP OF A 9 INCH LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WEIR AND THE INLET FACE (MAXIMUM 4 FEET APART).

FOR TYPE B, USE 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND 6 FOOT LENGTH, DRIVEN A MINIMUM OF 35 INCHES BELOW THE WEIR CREST AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR PLEAVER CHAIN LINK FENCE, 42 INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH WIRE TIES, FASTEN GEOTEXTILE SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES IN THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 18 INCHES BELOW THE WEIR CREST.

BACKFILL AROUND THE INLET IN LOOSE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES. 5. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

11. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGIOG. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STOME.

10. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

TOP ELEVATION 16 IN MIN. NOTCH ELEVATION ISOMETRIC VIEW SECTION FOR TYPE A AND B

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL

2011

MARYLAND DEPARTMENT OF ENVIRONMEN
WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE
URAL RESOURCES CONSERVATION SERVICE

CONSTRUCTION SPECIFICATIONS . USE NOMINAL 2 INCH x 4 INCH LUMBER 2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.

⊢—SSF——I

CONSTRUCTION SPECIFICATIONS . INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.

<u>ELEVATION</u>

DETAIL E-3 SUPER SILT FENCE

WOVEN SLIT FILM GEOTEXTILE-

EMBED GEOTEXTILE AND — CHAIN LINK FENCE 8 IN MIN. INTO GROUND

DETAIL E-9-1 STANDARD INLET PROTECTION

EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.

DETAIL E-9-3 CURB INLET PROTECTION

6 FT MAX. SPACING OF % TO 1% STONE -

MAXIMUM DRAINAGE AREA = 1/4 ACRE

SECTION A-A

SANDBAG OR OTHER APPROVED ANCHORING METH

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING.

AGIP DETAIL E-9-2 AT-GRADE INLET PROTECTION

—¾ to 1½ in stone PLAN / CUT AWAY VIEW /--- ¼ in hardware cloth

CONSTRUCTION SPECIFICATIONS USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.

. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXT AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

2011

OWNER/DEVELOPER 2515 LIBERTY LLC C/O KEVIN BELL 17590 CHERRYFIELD ROAD DRAYDEN, MARYLAND 20630 (410) 984-1654

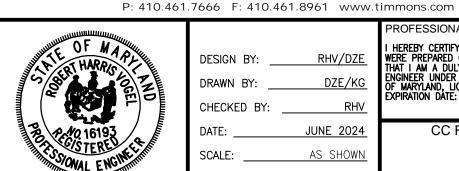
CONCEPT SITE DEVELOPMENT PLAN SEDIMENT AND EROSION **CONTROL NOTES & DETAILS** LIBERTY ROAD CROSSING, 2ND AMENDED

EXISTING USE: VACANT FARM/RESIDENTIAL ROPOSED USE: PLANNED COMMERCIAL CENTER AND SELF STORAGE W. LIBERTY ROAD (MD RTE. 26) & RIDGE ROAD (MD RTE. 27) ZONED: C-2

TM 61, BLK 16, P. 338, LOT 10C CARROLL COUNTY, MARYLAND TH ELECTION DISTRICT COMMISSIONER DISTRICT

> **VOGEL ENGINEERING TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043



OBERT H. VOGEL, PE No.16

RHV/DZE DZE/KG DRAWN BY: CHECKED BY: JUNE 2024 SCALE: AS SHOWN W.O. NO.: 46138

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024 CC FILE NO. S-21-001 10__SHEET__16

NO SEDIMENT CONTROL DEVICE SHALL BE REMOVED WITHOU PRIOR APPROVAL OF THE SEDIMENT CONTROL INSPECTOR. ANY VARIATIONS FROM THE SEQUENCE OF CONSTRUCTION MUST BE APPROVED BY THE SEDIMENT CONTROL INSPECTOR. THE SEDIMENT CONTROL INSPECTOR MAY REQUIRE ADDITIONAL SEDIMENT CONTROLS DURING CONSTRUCTION IF DEEMED NECESSARY. . IF ANY EXISTING SWALES ARE DISTURBED IN THE COURSE OF THI WORK THEY SHALL BE REPAIRED TO ORIGINAL CROSS- SECTION AND STABILIZED WITH SEEDING AND EROSION CONTROL MATTING SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY. MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEE IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPECS. 8. SILT FENCE SHALL BE CURLED UPHILL AT 35 FT. INTERVALS WHEREVER IT RUNS DOWNHILL.

SEDIMENT CONTROL NOTES

9. SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR. 10. DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR. 1. EITHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION

AND SEDIMENT CONTROL, WHICHEVER IS MORE STRINGENT. 2. EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS

NEEDED OR DIRECTED BY THE CID INSPECTOR.

