## GENERAL CONSTRUCTION NOTES

ALL CONSTRUCTION ON SITE SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL CODES AND THE LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS, OR UPDATES:

DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994, OF THE CARROLL COUNTY DEPARTMENT BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES OF THE MARYLAND DEPARTMENT OF TRANSPORTATION - STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIAL, JULY 2024, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION - STATE HIGHWAY ADMINISTRATION. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MILLENNIUM EDITION OF THE U.S. DEPARTMENT TRANSPORTATION - FEDERAL HIGHWAY ADMINISTRATION, JANUARY 18, 2024. 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL

SHEET

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PROFESSIONAL CERTIFICATION

LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE

F MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME. IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY

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CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON THE PROJECT:

VERIZON (410) 857-7777 COMCAST CABLEVISION (800)787-3611 CARROLL COUNTY UTILITIES (410) 386-2157 BALTIMORE GAS & ELECTRIC CO. (410) 561-5905 ENGINEER IN CHARGE (410) 229-9851

CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO STARTING CONSTRUCTION. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND REQUIREMENTS AND STANDARDS OF LOCAL GOVERNING AUTHORITY. GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE PART OF REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS. CONTRACTOR SHALL NOTIFY SHEETZ ENGINEERING/PERMIT MANAGER OF ANY DISCREPANCY BETWEEN GEOTECHNICAL

THESE PLANS AND SPECIFICATIONS ARE SUBJECT TO MODIFICATION DURING CONSTRUCTION WHEN CONDITIONS DEVELOP THAT WERE NOT APPARENT DURING DESIGN AND PREPARATION OF THESE PLANS, ALL MODIFICATIONS MUST BE APPROVED BY LOCAL JURISDICTION PRIOR TO CONSTRUCTION

SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, CONTRACTOR SHALL CONTACT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY

DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT FROM ENGINEER AND SHEETZ ENGINEERING/PERMIT MANAGER MAY CAUSE WORK TO BE UNACCEPTABLE.

. FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE CONTRACTOR FROM PERFORMING SUCH WORK.

. CONTRACTOR SHALL NOTIFY ENGINEER OR SHEETZ ENGINEERING/PERMIT MANAGER IN CASE OF ANY DISCREPANCY OCCURRING BETWEEN INFORMATION CONTAINED ON THESE PLANS AND OTHER

10. A.L.T.A. SURVEY SHALL BE CONSIDERED PART OF THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.

BALTIMORE LAND DESIGN GROUP, INC. SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES OR PROCEDURES UTILIZED BY CONTRACTOR, NOR FOR SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES OR FOR FAILURE OF CONTRACTOR TO CARRY OUT WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS AND STANDARD CONSTRUCTION PRACTICES.

2. LOCATIONS OF UNDERGROUND FACILITIES AND UTILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. THEY ARE SHOWN FOR CONVENIENCE OF CONTRACTOR AND COMPLETENESS OR ACCURACY OF SAME IS NOT GUARANTEED. IT SHALL BE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT APPROPRIATE UTILITY COMPANY. NO COMPENSATION SHALL BE PAID TO CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL DETERMINE LOCATION AND ELEVATION OF EXISTING UTILITIES BEFORE ORDERING ANY STRUCTURE AND BEFORE STARTING TRENCH EXCAVATION.

13. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN FREE FROM DAMAGE AND MAINTAIN UNINTERRUPTED SERVICE TO ALL USERS. PROTECT WITH SAFETY FENCE OR ADEQUATE FLAGGING AS NECESSARY. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OR SUBCONTRACTOR'S ACTIONS SHALL BE REPAIRED IMMEDIATELY AT CONTRACTOR'S

14. BEFORE COMMENCEMENT OF WORK, CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND JOB SITE. ALL DIMENSIONS AND GRADES SHOWN ON THESE PLANS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY SHEETZ ENGINEERING/PERMIT MANAGER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS

15. CONTRACTOR SHALL INSPECT SITE TO DETERMINE IF ANY TREES, PAVING, STRUCTURES, ETC. ARE TO BE REMOVED PRIOR TO PLACING BIDS ON SUCH ITEMS.

16. CONTRACTOR SHALL CLEAR PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN CONSTRUCTION AREA AS SHOWN ON EXISTING CONDITION / DEMOLITION PLAN.

WHERE REQUIRED BY ENCOUNTERED SEEPAGE CONDITIONS, DEWATERING SYSTEM CONSISTING OF SERIES OF INTERCEPTOR TRENCHES, SUMPS, AND PUMPS MAY BE USED DURING CONSTRUCTION.

18. CONTRACTOR SHALL MAINTAIN ALL SEDIMENT CONTROL DEVICES WITHIN LIMITS OF DISTURBANCE DURING CONSTRUCTION OF SITE IMPROVEMENTS, CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS MAY BE NECESSARY DURING CONSTRUCTION AND/OR BY GOVERNING AGENCIES. CONTRACTOR SHALL KEEP SILT AND DEBRIES OUT OF STORM DRAINAGE SYSTEM FOR DURATION OF THIS PROJECT

9. STANDARD MANUFACTURERS LENGTH OF PIPE SHALL BE USED FOR ALL WATER, SEWER, STORM DRAIN PIPES DURING CONSTRUCTION.

20. ALL PIPE ELEVATIONS ARE TO INVERT OF PIPE.

21. CONTRACTOR SHALL PROVIDE MINIMUM OF TWO FEET OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.

22. CONTRACTOR SHALL PLACE WITNESS POST AT TERMINUS OF ALL UTILITY STUBS.

23. CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS AT BUILDING WITH MECHANICAL AND PLUMBING CONTRACTORS BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE BUILDING.

24. WATER MAINS SHALL HAVE MINIMUM OF 4.0'COVER, EXCEPT WHERE DIFFERENT DEPTHS ARE INDICATED. 25. IN EVENT OF ANY DISCREPANCY BETWEEN ANY PLANS AND FIGURES WRITTEN THEREON, FIGURES SHALL

26. CONTRACTOR SHALL MAINTAIN MINIMUM OF TWO FEET WIDE BENCH BEHIND ALL PROPOSED CURB IN FILL

7. UNLESS OTHERWISE NOTED, PAVEMENT MARKINGS SHALL BE TRAFFIC WHITE. ALL PARKING SPACES SHALL BE PAVED WITH DURABLE DUSTLESS SURFACE, PROPERLY DRAINED AND ALL PARKING SPACES SHALL BE STRIPPED

28. SITE SHALL COMPLY WITH WITH ALL APPLICABLE PROVISIONS OF THE MARYLAND ACCESSIBILITY CODE (MAC),

THE AMERICAN DISABILITIES ACT 2010 (ADA), AND ANSIA117.1. IF THERE ARE CONFLICTING REQUIREMENTS, THE MOST STRINGENT SHALL APPLY.

29. TRAFFIC CONTROL DEVICES, MARKING, AND SIGNS SHALL COMPLY WITH LATEST EDITION OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. 30. ALL DISTURBED AREAS NOT TO RECEIVE PAVING SHALL BE STABILIZED WITH MINIMUM OF 4" TOPSOIL, SEED AND MULCH, UNLESS SPECIFIED OTHERWISE ON SEDIMENT CONTROL OR LANDSCAPE PLANS.

1. IF REQUIRED, CONCRETE WHEEL STOPS SHALL BE INSTALLED WHERE SHOWN ON PLAN AND SHALL

PRECAST, STANDARD CONCRETE, ANCHORED TO PAVEMENT WITH 2 STEEL RODS PER EACH WHEEL STOP DRIVEN MINIMUM OF 8" INTO BITUMINOUS CONCRETE PAVEMENT OR TWO DOWELS PER EACH WHEEL STOP GROUTED MINIMUM OF 4" INTO CEMENT CONCRETE PAVEMENT.

32. A 5'PATH AT 2% (MAX.) CROSS SLOPE MUST BE MAINTAINED ACROSS ALL SITE ENTRANCES. 33.IF REQUIRED,GUARDRAIL SHALL BE INSTALLED WHERE SHOWN ON PLAN AND SHALL BE STATE OF MARYLAND STATE HIGHWAY ADMINISTRATION GUARDRAIL WITH BEAN, STANDARD NO. 660.00 SERIES INCLUDING END SECTION AT ALL TERMINUS

34. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS, DOOR AND STEP LOCATIONS, SIDEWALK DETAILS AND OTHER ITEMS ADJACENT TO THE BUILDING.

IN THIS SET) FOR ALL RELEVANT DETAILS.

36. THE PROPOSED PERPETUAL EASEMENT FOR DRAINAGE FACILITIES (1,446 SF OR 0.332 AC.) WILL BE CONVEYED TO THE CARROLL COUNTY COMMISSIONER.

35. REFER TO FUEL CONOPY, FUEL SYSTEM AND UST FIELD, SIGNAGE, DRIVE-THRU DRAWINGS (NOT INCLUDED

## **PURPOSE NOTE**

- AMEND PREVIOUSLY APPROVED SITE PLANS
- CONSOLIDATE THREE (3) EXISTING PARCELS INTO ONE (1) PARCEL DEDICATE RIGHT-OF-WAY ON SULLIVAN ROAD TO C.C. COMMISSIONERS (1,425 SF) SHOW PROPOSED SHEETZ DEVELOPMENT.

FEATURES, WILL BE REMOVED AS SHOWN ON THE DEMOLITION PLAN. NEW SHEETZ WITH SUPPORTING FEATURES WILL BE CONSTRUCTED.

Baltimore Land Design Group, Inc.

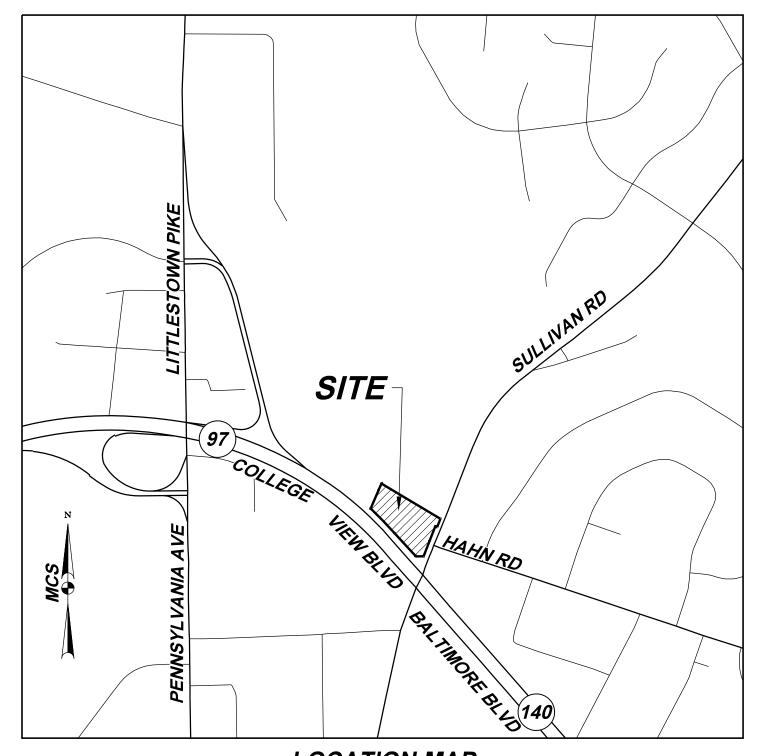
# Consulting Engineers

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

FIRST AMENDED SITE PLAN

# SHEETZ - WESTMINSTER AT SULLIVAN RD. AND RTE. 140

8 & 10 SULLIVAN RD. & 14 COLLEGE VIEW BLVD. WESTMINSTER, MARYLAND 21157



#### LOCATION MAP SCALE: 1" = 500"

## **ENVIRONMENTAL FEATURE NOTES**

NONTIDAL WETLANDS - NO NONTIDAL WETLANDS ARE PRESENT ON OR PROXIMAL TO THIS SITE.

2. BUFFERS - NO WETLAND OR CARROLL COUNTY VARIABLE STREAM BUFFERS ARE PRESENT ON THIS SITE

3. RTE ELEMENTS - NO RTE SPECIES ARE PRESENT WITHIN AND ADJACENT TO THIS SITE. 4. WELLHEAD PROTECTION AREAS - SITE IS NOT LOCATED WITHIN

A WELLHEAD PROTECTION AREA. 5. ROCK OUTCROPS - NO ROCK OUTCROPS ARE PRESENT ON THIS SITE.

6. CARBONATE ROCK - THIS SITE IS NOT LOCATED IN A CARBONATE

7. AQUIFER PROTECTION AREA - THIS SITE IS LOCATED WITHIN AQUIFER PROTECTION AREA AND MULTIPLE MANAGEMENT AREA.

8. FOREST - NO FOREST OR SPECIMEN TREES ARE PRESENT ON THIS SITE.

9. PUBLIC WATER SUPPLY - SITE DRAINS TO LIBERTY RESERVOIR, A PUBLIC WATER SUPPLY.

10. WATERCOURSES - NO STREAMS ARE PRESENT ON OR PROXIMAL TO

11. 100-YEAR FLOODPLAIN - NO KNOWN 100-YEAR FLOODPLAIN IS PRESENT

12. STREAM USE CLASS - THIS SITE DRAINS TO AN UNNAMED TRIBUTARY OF THE NORTH BRANCH PATAPSCO RIVER, A TRIBUTARY TO LIBERTY RESERVOIR, WHICH IS CLASSIFIED AS USE I-P - WATER CONTACT RECREATION AND PUBLIC WATER SUPPLY, BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE).

13. THIS SITE IS LOCATED IN SUBWATERSHED \*02130907

14. TIER II WATERS - NO TIER II WATERS ARE PRESENT ON THIS SITE; HOWEVER SITE IS LOCATED WITHIN TIER II CATCHMENT BASIN (NAME: "N BRANCH PATAPSCO RIVER UT 1"; MD\_12DIGIT NUMBER: 021309071048) WITH NO ASSIMILATIVE CAPACITY REMAINING.

#### STORMWATER MANAGEMENT **EASEMENT NOTE:**

A "STORMWATER MANAGEMENT EASEMENT AND MAINTENANCE AGREEMENT" IS TO BE GRANTED TO THE COUNTY COMMISSIONERS OF CARROLL COUNTY AS AN EASEMENT OF ACCESS TO THE COUNTY COMMISSIONERS OR AUTHORIZED REPRESENTATIVES BY A DEED INTENDED TO BE RECORDED SIMULTANEOUSLY HEREWITH.

#### DPW GENERAL NOTES

REFER TO SHEET C-39, EXISTING CONDITION/DEMOLITION PLAN, FOR DPW GENERAL NOTES.

## PATAMY, LLC

SITE DATA

1. AREA OF TRACT: 66,692 SF OR 1.531 AC

P. 249 & P. 752 & P.762 205 BELL ROAD WESTMINSTER, MD 21158

DEVELOPER: SHEETZ, INC. 351 SHEETZ WAY CLAYSBURG, PA 16625

4. TAX MAP REFERENCES: T.M.39; G.13; P.249; TAX ID.\*001169 T.M.39; G.13; P.752; TAX ID.\*048408 T.M.39; G.13; P.762; TAX ID.\*049242

5. DEED REFERENCES: P.249: L.5064; F.530 P.752: L.4751; F.209 P.762: L.9785; F.26

6. PLAT REFERENCE: N/A 7. ELECTION DISTRICT: 7

8. EXISTING ZONING: C-2 (COMMERCIAL MEDIUM INTENSITY DISTRICT)

9. EXISTING USES: EXXON GAS STATION/CONVENIENCE STORE - 1,318 SF PIZZA RESTAURANT - 2.030 SF

PROPOSED USE: GENERAL RETAIL WITH LESS THAN 60,000 SF FLOOR AREA (NEW 4,959 SF 24-HOUR SHEETZ CONVENIENCE STORE AND GAS STATION)

10. BULK REQUIREMENTS: MIN. LOT SIZE - NONE LISTED
MIN. LOT WIDTH - NONE LISTED MAX. LOT COVERAGE - NONE LISTED MAX. PAVED AREA - NONE LISTED MIN. FRONT SETBACK - 10 FT MIN. SIDE SETBACK - 10 FT MIN. REAR SETBACK - 15 FT

MIN. FRONT SETBACK - 89.3 FT MIN. SIDE SETBACK - 100.8 AND 151.3 FT MIN. REAR SETBACK - 15.2 FT

11. BUILDING HEIGHT: MAX. PERMITTED: 50 FT PROPOSED: 29.5 FT

12 LANDSCAPE REQUIREMENTS: LANDSCAPING WILL BE PROVIDED PER THE MOST RECENT CARROLL COUNTY LANDSCAPE MANUAL, UNLESS PERMITTED OTHERWISE BY CARROLL COUNTY.

13. STORM WATER MANAGEMENT (SWM):

SWM WILL BE PROVIDED IN ACCORDANCE WITH THE POLICY CALLED: "CARROL COUNTY CODE IMPLEMENTATION POLICY, STORMWATER MANAGEMENT - CHAPTER 191, EFFECTIVE DATE: APRIL 20, 2012; ISSUE: REDEVELOPMENT POLICY; CHAPTER 191-8 REDEVELOPMENT". THIS POLICY IS SUMMARIZED IN THE RECENT CARROLL

COUNTY CODE, CHAPTER 151, PARAGRAPH 151,019 (B) AREAS. SWM WILL BE PROVIDED BY REDUCTION OF EX. IMPERVIOUS AREAS WITHIN LIMIT OF DISTURBANCE AND BY CONTRIBUTION TO REGIONAL SWM FACILITY

(WESTMINSTER COMMUNITY POND), LOCATED DOWNSTREAM OF THIS SITE ADEQUATE PRE-TREATMENT, RUNOFF CAPTURE, AND STABLE CONVEYANCE TO THE REGIONAL FACILITY SHALL BE PROVIDED. IF POSSIBLE, STORM DRAIN INLETS WILL BE LOCATED IN UNPAVED AREAS TO PROMOTE PRE-TREATMENT OF STORMWATE RUNOFF. REQUIRED PRE-TREATMENT WILL BE PROVIDED IN THREE (3) STORM DRAIN INLETS HAVING CHAMBERS A MINIMUM OF THREE (3) FEET BELOW THE PROPOSED PIPE INVERT OUT ELEVATION AND IN FOUR (4) PERIMETER GRASS SWALES. PORTION OF THE REQUIRED PRE-TREATMENT IS/WILL BE PROVIDED IN EXISTING

OFF-SITE REGIONAL POND. 14. WATER AND SEWER SERVICE AREA: WESTMINSTER

WETLANDS, CRITICAL AREAS, ARCHEOLOGICAL SITES, ENDANGERED SPECIES HABITATS, STREAMS, 100 YEAR FLOODPLAIN, WOODED AREA, OR CARBONATE ROCK AREA ON SITE

16. THE SITE IS WITHIN AN AQUIFER PROTECTION AREA AND MULTIPLE MANAGEMENT AREA. 17. FOREST CONSERVATION REQUIREMENTS: NO FOREST IS PRESENT ON PROJECT SITE, PROJECT MUST COMPLY WITH CARROLL

COUNTY CODE CHAPTER 150 - FOREST CONSERVATION SINCE THE PROPOSED SITE DISTURBANCE AREA OF 72,516 SF EXCEEDS THE 40,000 SF DISTURBANCE THRESHOLI ESTABLISHED IN SECTION 150-21(A)(2) OF THE CODE AFFORESTATION OF 15 PERCENT OF DISTURBANCE AREA (0.25 ACRES) MUST BE PROVIDED. DEVELOPER PROPOSES TO MEET THIS AFFORESTATION OBLIGATION THROUGH PURCHASE OF CREDIT IN A COUNTY APPROVED FOREST MITIGATION BANK, MILLER FAMILY, LLC BANK 3, FBM 22-0017.

18. THERE ARE NO HISTORIC BUILDINGS OR HAZARDOUS MATERIALS ON THIS PROPERTY. PREMISE IS SHOWN ON MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, CARROLL COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 203 OF 450, MAP NUMBER

24013C0203D, EFFECTIVE DATE OCTOBER 2, 2015 AND IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN). 20. LIGHTING SHALL BE ERECTED AS NOT TO REFLECT INTO ANY ADJOINING RESIDENTIAL AREAS AND PUBLIC ROADS.

21. THE BOUNDARY SHOWN HEREON WAS TAKEN FROM ALTA/NSPS LAND TITLE SURVEY PREPARED BY MDM SURVEYORS & ENGINEERS, LLC, DATED MARCH 26, 2020 AND

THERE ARE NO EXISTING FIRE HYDRANT IN THE GENERAL VICINITY OF THIS SITE. A NEW FIRE HYDRANT WILL BE INSTALLED ON THE WESTERN SIDE OF SULLIVAN RD, NEAR THE INTERSECTION WITH HAHN RD.

23. TOTAL LIMIT OF DISTURBANCE: 72,516 SF OR 1.66 AC.

24. THIS FIRST AMENDED SITE PLAN SHALL BECOME NULL AND VOID 18 MONTHS AFTER DATE OF WRITTEN APPROVAL BY THE CARROLL COUNTY PLANNING COMMISSION, UNLESS BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT OR UNLESS EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE DEPARTMENT OF PLANNING AND LAND MANAGEMENT.

25. ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE GOVERNING JURISDICTION.

26. THESE PLANS ARE CONSISTENT WITH THE TRAFFIC MITIGATION PLAN WHICH WAS RECEIVED FAVORABLY BY THE PLANNING COMMISSION AT ITS PUBLIC SESSION ON

27. THE ANNEXATION AGREEMENT BETWEEN MAYOR AND COMMON COUNCIL OF WESTMINSTER (THE CITY) AND PATAMY, LLC (OWNER) HAS BEEN EXECUTED ON JULY 12, 2021.

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION

SHEETZ - WESTMINSTER

**COVER SHEET** 

AT SULLIVAN RD. AND RTE. 140

SHEET 1 OF 65

TRIP GENERATION TABLE

**BENCH MARK** 

CONTROL POINT POND RESET 2008: N 700,520.47; E 1,313,454.60; EL.727.78

ROAD IN WESTMINSTER, INVERSE WESTMINSTER RESET = 419.26'

CONTROL POINT WIMERT:

ELEVATIONS ARE BASED ON NAVD 88 DATUM PER CARROLL COUNTY CONTROL POINTS:

DESCRIPTION: CONC. MONUMENT SET APPROX

IN BELOW GROUND, LOCATED ON LEFT SIDE OF THE COMMUNITY POND ENTRANCE

N 699,752.88; E 1,313,721.68; EL.735.29 DESCRIPTION: PIN SET FLUSH WITH THE

ROUND. LOCATED AT THE INTERSECTION OF SULLIVAN RD. & WIMERT AVE. IN WESTMINSTER. AZISTATION IS WIMERT AZI

ITE LUC 960	AM		PM		SAT	
Convenience Store w/ Pumps	IN	OUT	IN	OUT	IN	OUT
4,959 GFA (Total New Trips)	209	208	172	172	158	158
Site Trips (Existing)	30	21	30	37	30	21
Site Trips (Balance New Trips)	179	187	142	135	128	137
Pass-by (76%)	136	142	108	103	97	104
New Site Trips Less Pass-by Trips	43	45	34	32	31	33
Average Daily Trips (Weekday)	1.			365	1.	

SCALE: 1" = 2.000'

#### **PARKING REQUIREMENTS**

PARKING SPACES REQUIRED (GENERAL RETAIL LESS THAN 60,000 SF FLOOR AREA): 4,959 SF @ 5 PS / 1000 SF = 25 PS PARKING SPACES PROVIDED (GENERAL RETAIL LESS THAN 60,000 SF FLOOR AREA): 36 PS (INCL. 2 HDCP)

VEHICLE QUEUING SPACES REQUIRED (GAS STATION):

1 SP / SIDE / GAS PUMP @ 5 GAS PUMPS = 10 SPACES

VEHICLE QUEUING SPACES PROVIDED (GAS STATION): 10 SPACES

## VARIANCE REQUESTS

APPLICANT REQUESTED A VARIANCE FROM THE 15' REQUIRED LANDSCAPE BUFFER TO A 10'LANDSCAPE BUFFER FOR A PROPOSED AUTOMOTIVE USE TO A RESIDENTIAL USE OR ZONE PER THE CARROLL COUNTY CODE OF ORDINANCES TITLE XV, PARAGRAPH 157.20(L).

THIS VARIANCE WAS DENIED ON MAY 6, 2022.

PER CARROLL COUNTY CODE OF ORDINANCES, TITLE XV, PARAGRAPH 157.05(H)
A WAIVER MAY BE GRANTED TO THE SCREENING REQUIREMENT IF THE
ADJACENT OWNER AFFECTED BY THE BUFFER PROVIDES A WRITTEN STATEMENT THAT THE REQUIREMENTS MAY BE WAIVED.

A WRITTEN STATEMENT THAT THE REQUIREMENTS MAY BE WAIVED WAS PROVIDED BY THE ADJACENT OWNER IN A LETTER DATED JUNE 29. 2022.

CONCEPT SITE WAS PRESENTED TO THE CARROLL COUNTY PLANNING AND ZONING COMMISSION ON TUESDAY, DECEMBER 19, 2023, FOR THE PURPOSE OF PROVIDING ADVISORY COMMENTS AND GUIDANCE TO THE OWNER/DEVELOPER.

THE COMMISSION DECIDED THAT THE FINAL PLAN WILL NEED TO BE PRESENTED TO THE FULL PLANNING AND ZONING COMMISSION.

#### OWNER'S CERTIFICATION

THESE CONSTRUCTION DRAWING(S) HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS, I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED. AND APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON

NAME(S) PRINTED/DATI SIGNED/DATE

CARROLL COUNTY PLANNING AND ZONING COMMISSION

CARROLL SOIL CONSERVATION DISTRICT SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION

CARROLL S.C.D./DATE

CARROLL COUNTY HEALTH DEPARTMENT

DATE

CITY OF WESTMINSTER <u>BUREAU OF UTILITIES</u>

DRAWING NO.

DATE: OCTOBER 21, 202

**OWNER** PATAMY, LLC

PHONE: 410-871-2600

WESTMINSTER, MD 21158

SHEETZ, INC.

DEVELOPER / APPLICANT

CLAYSBURG, PA 16625 PHONE: 814-552-0609

SITE DEVELOPMENT PLAN

2. SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE

FOLLOWING STAGES DURING CONSTRUCTION:

SHOWN ON THESE APPROVED PLANS

AND SURROUNDING GRADING.

PRIOR TO ANY CONSTRUCTION.

INSPECTION SEQUENCE NOTES

a) PROPOSED STRUCTURES STAKEOUT IN PROPER LOCATIONS

c) SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS,

AS SHOWN ON THESE APPROVED PLANS.
b) PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS

d) COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS

RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES

DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE

4. FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH

SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTORA

BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING

THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.

6. MAINTENANCE AND INSPECTION OF PUBLIC WATER AND SEWER

SHALL BE THE RESPONSIBILITY OF THE CITY OF WESTMINSTER.

OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE

BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION

REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST

DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE

AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF

3. CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU O

e) COMPLETION OF ALL WORK SHOWN ON PLANS.

CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK.

NO. DESCRIPTION

SCALE: AS SHOWN

**REVISIONS** 

TAX ACCT.\*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157

#### **ABBREVIATIONS** LEGEND RIGHT-OF-WAY LINE \_\_\_\_\_ "EXISTING" DESIGNATION PROPERTY LINE \_\_\_\_\_ "PROPOSED" DESIGNATION EX. EASEMENT \_\_\_\_\_\_ R–10,000 "FUTURE" DESIGNATION "TO BE REMOVED" DESIGNATION EX. CONCRET "PUBLIC" DESIGNATION CURB AND GUTTER "PRIVATE" DESIGNATION $\times \times \times \times \times \times \times \times \times -$ DRAINAGE AND UTILITY EASEMENT REMOVED STORM WATER MANAGEMENT EASEMENT EX. EDGE OF PAVING ABBREVIATION FOR BENCH MARK EX. CONCRETE ABBREVIATION FOR CARROLL COUNTY TO BE REMOVED (TBR) DESIGNATION EX. BUILDING \_\_\_\_\_ EX.SIGN -∠ EX.ID SIGN EX. SIGN EX. FENCE • • • • • • • • • • • • • • • • • EX. GUARD RAI $\boxed{\bigcirc} = \underbrace{= \underbrace{EX.24}_{-2} \underbrace{24}_{-2} \underbrace{24}_$ MANHOLE & INLE FX. SANITARY SEWER MANHOLE & CLEANOUT EX. WATER MAIN, VALVE & FIRE HYDRANT EX. ELECTRIC LINE ——F———F———F—— & TELEPHONE LINE EX. GAS LINE POLE & BOX \* (\*\*) === EX. POLE WITH LIGHT EX. UTILITY POLE & GUY WIRE EX. BOLLARD —— OH ——— OH ——— OH — EX. OVERHEAD LINE \_\_\_\_\_*/30*\_\_\_\_\_\_ CONTOURS EX. INTERMEDIATI CONTOURS EX. TREE LINE EX. TREE TO BE REMOVED GkB (GROUP C) EX. SOIL LINE GfB (GROUP B) "EXISTING" DESIGNATION BUILDING RESTRICTION PR. MAC. PAVING PR. CONCRETE PR. STORM DRAIN MANHOLE & INLE PR SANITARY SEWER & CLEANOUT PR WATER MAIN VALVE & FIRE HYDRANT CONTOURS PR INTERMEDIATE CONTOURS PR. SIGN PR. BOLLARD PR. PARKING COUN PR. LIGHT 'PROPOSED" DESIGNATION LIMIT OF DISTURBANCE •••••• LIMIT OF WORK

#### **BLDG NOTES**

PR.

TBR

PUB.

PRV.

D&U ESMT.

SWM ESMT

CA.CO.

#### <u>GENERAL SITE NOTES</u>

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY ENGINEER ARE THE RESPONSIBILITY OF CONTRACTOR, ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT
- . ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. GENERAL CONTRACTOR TO INSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
- ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN FIELD BY GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE CONSTRUCTION MANAGER AND ENGINEER FOR REVIEW. CHANGES T ORIGINAL DESIGN OF PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY THE CONSTRUCTION MANAGER PRIOR TO MAKING ANY CHANGES.
- . GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. FAILURE TO ACQUAINT HIM / HERSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM / HER OF ANY RESPONSIBILITY FOR PERFORMING HIS / HER WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
- 5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING SAFETY OF ALL PERSONS ON JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
- 6. GENERAL CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAG MEN, OR OTHER
- . GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR DURATION OF PROJECT.
- 8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION.
- 9. EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION, IF APPLICABLE, SHALL BE PROTECTED FROM DAMAGE. AREAS OF EXISTING PAVING THAT IS DAMAGED DURING

CONSTRUCTION SHALL BE SAW CUT THEN REMOVED AND REPLACED.

#### **DEMOLITION GENERAL NOTES**

- SEE COVER SHEET FOR "GENERAL SITE NOTES" AND "GENERAL CONSTRUCTION NOTES" 2. CONTRACTOR MUST OBTAIN SEPARATE PERMIT FOR DEMOLITION OF EXISTING (EX.)
- STRUCTURES ON-SITE 3. CONTRACTOR SHALL INSPECT SITE  $\underline{TO}$  DETERMINE EXTENT OF DEMOLITION TO BE DONE
- PRIOR TO PLACING BIDS ON SUCH ITEMS.
- 4. CONTRACTOR MUST REMOVE ALL EX.FEATURES LOCATED WITHIN LIMIT OF DISTURBANCE SHOWN OR LABELED AS TO BE REMOVED (TBR) ON THIS PLAN. THOSE INCLUDE, BUT ARE NOT LIMITED TO, EX. STRUCTURES, PAVEMENT, CONCRETE, CURB, LANDSCAPING, TREES (INCLUDING STUMPS), LIGHT POLES AND SIGNS (INCLUDING BASES), FOUNDATIONS, UTILITIES ETC. AS REQUIRED FOR NEW CONSTRUCTION. CONTRACTOR SHALL REFER TO SITE, GRADING AND UTILITY PLANS PRIOR TO DEMOLITION OPERATIONS.
- 5. LOCATE, IDENTIFY, DISCONNECT, SEAL, CAP-OFF, OR BLOCK WITH BRICK AND MORTAR INDICATED UTILITY SERVICES SERVING STRUCTURES TO BE DEMOLISHED. ARRANGE TO SHUT-OFF INDICATED UTILITIES WITH UTILITY COMPANIES AND FOLLOW THEIR RESPECTIVE
- 6. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
- 7. EXTREME CARE SHOULD BE TAKEN IN AREAS OF ANY UTILITIES TO REMAIN. PROTECT WITH SAFETY FENCE OR ADEQUATE FLAGGING AS NECESSARY.
- 8. MAINTAIN EX. UTILITIES INDICATED TO REMAIN IN SERVICE. DO NOT INTERRUPT EX. UTILITIES SERVING OCCUPIED OR OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EX. UTILITIES, AS ACCEPTABLE TO OWNER AND TO GOVERNING
- 9. EX. UTILITIES ARE SHOWN FOR CONVENIENCE OF CONTRACTOR AND COMPLETENESS OR ACCURACY OF SAME IS NOT GUARANTEED. BLDG, INC. IS NOT RESPONSIBLE FOR ANY DAMAGES CAUSED BY SHOWING APPROXIMATE LOCATION OF EX. UTILITIES OR THEIR OMISSION.
- 10. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- 11. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS
- 12. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- 13. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. O NOT CLÓSE OR OBSTRUCT STREETS, WALKS OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY GOVERNING REGULATIONS.
- 14. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA. PROTECT EX. SITE IMPROVEMENTS AND APPURTENANCES
- 15. CLEAN ADJACENT BUILDINGS AND IMPROVEMENT OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START
- 16. CONTRACTOR MUST REPAIR IMMEDIATELY ANY DAMAGE TO OFF-SITE RIGHT-OF-WAY, ROADS OR ADJACENT PROPERTIES. COST OF SUCH REPAIRS TO BE BORNE BY CONTRACTOR.
- 17. USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- 18. DO NOT BURN DEMOLISHED MATERIALS.
- 19. IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE ENGINEER AND THE OWNER.
- 20. SEE EROSION & SEDIMENT CONTROL PLANS FOR SEQUENCE OF OPERATIONS, LOCATION OF CONSTRUCTION FENCE, AND OTHER DETAILS.
- 21. SEE LANDSCAPE PLAN FOR TREES TO REMAIN.
- 22. EX. BUILDING HAS A BASEMENT. SEE RECOMMENDATION CONTAINED IN GEOTECHNICAL REPORT FOR ITS PROPER REMOVAL AND BACKFILL.
- 23. ALL AREAS DISTURBED BY DEMOLITION ACTIVITY MUST BE GRADED FOR POSITIVE DRAINAGE SUCH THAT NO STORM WATER IS PONDED FOR MORE THAN 24 HOURS AFTER ANY STORM

#### <u>SITE GENERAL NOTES</u>

- 1. SEE COVER SHEET FOR "GENERAL SITE NOTES" AND "GENERAL CONSTRUCTION NOTES"
- 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND REQUIREMENTS AND STANDARDS OF LOCAL GOVERNING AUTHORITY.
- 3. THE CONTRACTOR SHALL NOTIFY ENGINEER OR CONSTRUCTION MANAGER IN CASE O ANY DISCREPANCY BEING PRESENT BETWEEN INFORMATION CONTAINED ON THESE PLANS
- 4. PROVIDE WEEP HOLES ON CURBS AT ALL LANDSCAPE AREAS. COORDINATE WITH CONSTRUCTION MANAGER.
- 5. ALL DIMENSIONS ARE TO FACE OF CURB AND FACE OF STRUCTURE, UNLESS OTHERWISE NOTED.
- 6. CONCRETE PADS SHALL BE REINFORCED WITH EITHER WELDED WIRE FABRIC, FIBERMESH, OR HI-TECH FIBERS. SEE SPECIFICATIONS AND SITE DETAILS FOR FURTHER INFORMATION.
- 7. REFER TO SHEETS C-30, C-31 AND C-32 FOR ALL APPLICABLE SITE DETAILS.

#### **GRADING GENERAL NOTES**

- 1. SEE COVER SHEET FOR "GENERAL SITE NOTES" AND "GENERAL CONSTRUCTION NOTES"
- 2. ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND RECOMMENDATIONS SET FORTH IN GEOTECHNICAL REPORT. REFER TO THAT REPORT FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
- 3. ALL GRADING, EROSION, AND SEDIMENT CONTROL AND RELATED WORK UNDERTAKEN ON THIS SITE SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION.
- 4. FORMS FOR CONCRETE SIDEWALKS, CURBS, GUTTERS, AND DRIVEWAYS THAT ARE TO BE CONSTRUCTED TO CONFORM TO EXISTING ROADS SHALL BE INSTALLED TO GRADES SHOWN ON THESE PLANS. PRIOR TO PLACING CONCRETE, THE FORMS SHALL BE INSPECTED AND APPROVED BY LOCAL JURISDICTION FOR CONFORMANCE TO EXISTING ROAD IMPROVEMENTS. GRADES OF NEW IMPROVEMENTS ARE SUBJECT TO FIELD ADJUSTMENT TO FIT CONDITIONS.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING EXISTING FACILITIES TO AVOID ANY ABRUPT OF APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS, OR HAZARDOUS CONDITIONS.
- 6. CONTRACTOR SHALL NOT DISTURB ANY PERMANENT SURVEY POINTS WITHOUT CONSENT OF LOCAL JURISDICTION. ANY POINTS DESTROYED SHALL BE REPLACED BY A LICENSED SURVEYOR AT CONTRACTOR'S EXPENSE.
- . WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS
- 8. REPRESENTATIVE OF GEOTECHNICAL ENGINEER SHALL BE ON-SITE DURING GRADING OPERATIONS AND SHALL OBSERVE GRADING AND IDENTIFY ANY CONDITIONS THAT SHOULD BE CORRECTED AND
- RECOMMEND CORRECTIVE MEASURES TO CONTRACTOR.
- 9. GRADING AT THE BOUNDARIES SHALL BE DONE SO AS NOT TO OBSTRUCT RUNOFF OF STORM WATERS FROM ADJACENT PROPERTIES.
- 10. CONTRACTOR MUST OBTAIN APPROVED BORROW SOIL MATERIALS OFF-SITE WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE ON-SITE.
- 11. SPOT SHOT ELEVATIONS SHOWN ON THIS PLAN ARE FOR FINISH GRADE ELEVATIONS AND BOTTOM OF CURBS, UNLESS NOTED OTHERWISE.
- 12. THE BOUNDARY SHOWN HEREON WAS TAKEN FROM ALTA/NSPS LAND TITLE SURVEY PREPARED BY MDM SURVEYORS & ENGINEERS, LLC, DATED MARCH 26, 2020 AND

#### UTILITY GENERAL NOTES

- 1. SEE COVER SHEET FOR "GENERAL SITE NOTES" AND "GENERAL CONSTRUCTION NOTES".
- 2. ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL
- 3. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING STRUCTURES AND/OR UTILITIES DURING CONSTRUCTION. PROPER REPAIR SHALL BE DONE TO SATISFACTION OF APPROPRIATE UTILITY COMPANY.
- 4. CONTRACTOR SHALL NOTIFY ALL UTILITIES COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION SO THAT THEIR LINES CAN BE MARKED.
- 5. CONTRACTOR SHALL COORDINATE WORK TO AVOID CONFLICTS BETWEEN SEWERS, STORM DRAINS, AND WATER MAINS.
- 6. MINIMUM COVER FOR CONDUITS SHALL BE 36" UNLESS OTHERWISE SHOWN OR NOTED ON
- 7. EXISTING UNDERGROUND FACILITIES AS SHOWN ARE APPROXIMATE ONLY AND WERE OBTAINED FROM AVAILABLE UTILITY RECORDS.IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL LOCAL UTILITIES AND TO HAVE ALL FACILITIES LOCATED AND EXPOSED TO VERIFY CLEARANCE OF NEW PIPE LINE CROSSINGS BEFORE CONSTRUCTION OF NEW PIPE LINES COMMENCES. NO COMPENSATION BE PAID TO CONTRACTOR FOR DAMAGE AND REPAIR TO
- 8. ANY RELOCATION OF PUBLIC UTILITIES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF UTILITY COMPANY AND WITH REGARD TO REQUIRED FEES, BONDS, PERMITS WORKING CONDITIONS, ETC. OF SAID COMPANY.
- 9. ABANDONED UNDERGROUND STRUCTURES ENCOUNTERED SHALL BE REMOVED TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS.
- 10. PRIOR TO FINAL PREPARATION OF SUBGRADE AND PLACEMENT OF BASE MATERIAL, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED UT BEYOND CURB LINE, SERVICES FROM PUBLIC UTILITIES AND SANITARY SEWERS SHALL E MADE IN A MANNER AS TO MINIMIZE DISTURBANCE OF STREET,
- 11. SEE EXISTING CONDITION / DEMOLITION PLAN FOR LIMITS OF EXISTING UTILITY REMOVAL OR ABANDONMENT.
- 12. PROPOSED UTILITIES WITHIN PUBLIC RIGHT-OF-WAY WILL BE INSTALLED UNDER UTILITY AGREEMENT. SEE SEPARATE PUBLIC PLANS FOR MORE DETAILS.

THESE FACILITIES CAUSED BY HIS WORK FORCE.

- 13. CONTRACTOR TO VERIFY SIZE LOCATION AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS AT BUILDING WITH MECHANICAL AND PLUMBING CONTRACTORS BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE BUILDING.
- 14. ALL UTILITIES TO SERVE THIS SITE SHALL BE PLACED UNDERGROUND.
- 15. IF AN IRRIGATION SYSTEM IS INSTALLED, BACKFLOW PREVENTER MUST BE INSTALLED.
- 16. CONTRACTOR AND THE CONSTRUCTION MANAGER SHALL COORDINATE CONDUIT AND SERVICE CONNECTION LOCATION (INCLUDING RE- USE OF EXISTING) OF UTILITIES WITH RESPECTIVE UTILITY
- 17. CONDUITS SHOWN FOR LOT LIGHTS, IRRIGATION SLEEVES, SIGNS, TRASH COMPACTOR, CAMERA, DATA LINES ARE SCHEMATIC. LOCATIONS OF CONDUITS FOR PROPOSED ELECTRIC AND TELEPHONE LINES SHOWN ARE APPROXIMATE AND THEIR FINAL LOCATIONS MUST BE COORDINATED WITH THEIR RESPECTIVE PROVIDER AND WITH THE CONSTRUCTION MANAGER. LOCATIONS OF PROPOSED WATER, TORM DRAIN AND SEWER LINES SHOWN ARE AS ACCURATE AS POSSIBLE, BUT SOME FINAL
- 18. CONTRACTOR SHALL CONNECT TO EXISTING UTILITY LATERALS WHERE PRACTICAL. ABANDONED UTILITY LINES SHALL BE TERMINATED PER RESPECTIVE SERVICE PROVIDER'S REQUIREMENTS.
- 19. BASES, ANCHOR BOLTS, CONDUITS, AND WIRING FOR ALL SIGNS ARE BY GENERAL CONTRACTOR (GC).

#### LANDSCAPE NOTES

- 1. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE QUANTITIES OF PLANT MATERIAL SHOWN ON THE PLAN AND SHALL PROVIDE AND PLANT ALL MATERIAL IN ACCORDANCE WITH THE PLAN.
- 2. PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 3. PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE "LANDSCAPE SPECIFICATION GUIDELINES" BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, THE DISTRICT OF COLUMBIA AND VIRGINIA (LATEST EDITION).
- 4. ALL PLANTS SIX FEET IN HEIGHT AND TALLER ARE TO BE STAKED AS NOTED IN THE
- "LANDSCAPE SPECIFICATION GUIDELINES" AND THE STAKING DETAIL ON THIS PLAN.
- 5. PLANTING AREAS ARE TO HAVE A MINIMUM 18" DEPTH OF CLEAN SOIL FOR THE ENTIRE AREA OF THE PLANTING. CLEAN SOIL MUST INCLUDE EXISTING ON-SITE SOIL, BUT MUST BE FREE OF CHEMICAL SUBSTANCES AND DEBRIS OVER 1 1/2" DIAMETER. THE TOP 4 INCHES OF THE SOIL SHALL BE TOPSOIL MEETING THE CRITERIA OF THE "LANDSCAPE SPECIFICATION GUIDELINES".
- 6. THE PLANTS ARE TO BE PLANTED INTO PREPARED PLANTING BEDS. A 2" LAYER OF ORGANIC MATERIAL, AS DEFINED IN THE "LANDSCAPE SPECIFICATION GUIDELINES", SHALL BE THOROUGHLY CULTIVATED INTO THE BED AREA. THE BACKFILL MIXTURE FOR TREES AND SHRUBS SHALL BE 3/4 EXISTING SOIL MIXED WITH 1/4 ORGANIC MATERIAL, AND COMPOST
- 7. THE EDGE OF THE MULCH BED SHALL BE FORMED TO SEPARATE THE MULCH BED FROM THE GRASS LAWN AREA. THE EDGE OF THE MULCH BED SHALL FORM A SMOOTH, CONTINUOUS CURVE AS SHOWN ON THE LANDSCAPE PLAN. THE MULCH BED SHALL BE MAINTAINED, AS NECESSARY, TO PREVENT THE ENCROACHMENT OF GRASS INTO THE BED.
- 8. AFTER PLANTING, THE ENTIRE BED IS TO RECEIVE 3" OF MULCH. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD DYED COLOR ENHANCED, BROWN IN COLOR.
- 9. THE LANDSCAPE CONTRACTOR SHALL PLACE "DEWITT 15 YEAR WEED BARRIER" WOVEN POLYPROPYLENE OR APPROVED EQUAL IN ALL PLANTED BEDS AND AT EACH TREE RING.
- 10. ALL TREES THAT ARE NOT IN DESIGNATED PLANTER BEDS SHALL RECEIVE A 4'-5' DIAMETER MULCH BED AROUND THE TRUNK WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH, DYED COLOR ENHANCED-BROWN. THERE SHALL BE NO EXCESS SOIL OR MULCH ON TOP OF THE ROOT BALL SO AS TO EXPOSE THE BASAL ROOT FLARE.
- 11. ALL LAWN AREAS ARE TO BE SODDED WITH MARYLAND STATE CERTIFIED TURFGRASS SOD PREPARE THE SUBGRADE SOIL, FINISH GRADE SOIL, AND SUPPLY, INSTALL AND MAINTAIN THE SOD IN ACCORDANCE WITH THE "LANDSCAPE SPECIFICATION GUIDELINES".
- 12. THE LANDSCAPING IS TO BE MAINTAINED WITH LIVING PLANT MATERIAL. THE WARRANTY IS FOR A (1) ONE YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON THE DATE OF INITIAL ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR 25% OF THE CROWN IS DEAD. THE WARRANTY MAY BE VOID IF PROPER CARE, BY THE OWNER OR THE OWNER'S MAINTENANCE CONTRACTOR, IS NOT PROVIDED.

#### SHEETZ NOTES

CODES AND PERMIT REQUIREMENTS

DEMOLITION ACTIVITIES.

INFORMATION,

INFORMATION.

<u>LAYOUT NOTES</u>

WITH THE APPROPRIATE UTILITY COMPANY.

WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.

A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.

OTHERWISE, ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.

AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.

5. ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.

9. SEE DETAIL SHEETS FOR ADDITIONAL CONSTRUCTION INFORMATION.

PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.

SHEETZ CONSTRUCTION MANAGER.

DIMENSIONS AT THE PROJECT SITE.

PAVEMENT AND CONCRETE.

**GRADING NOTES** 

8. UTILITY CONTACTS ARE LISTED ON THE COVER SHEET.

#### DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND/OR VERIFYING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK HAVE BEEN OBTAINED.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.

5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE

6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED

7. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS

INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO THE E&S PLAN FOR DETAILS.

10. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS

MATERIALS CONTRACTOR CONTRACTOR SHALL NOTIFY SHEETZ IMMEDIATELY IF HAZARDOUS MATERIALS

11. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY

12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 &

13. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE

LATEST EDITION OF US DEPARTMENT OF TRANSPORTATION, MANUAL ON UNIFORM TRAFFIC CONTROL

WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED

14. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO

16. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT

1. CONTRACTOR SHALL REFER TO THE SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF

2. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED

UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.

3. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE

4. ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C.

6. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE SHEETZ MAIN FREESTANDING SIGN WITH

7. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT

8. ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFIY SHEETZ REPRESENTATIVE AND DESIGN ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS. CONTRACTOR IS RESPOSIBLE FOR ALL

10. CONTRACTOR SHALL NEATLY SAW-CUT ALL JOINTS WHERE THE PROPOSED CONSTRUCTION MEET EXISTING

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY BALTIMORE LAND DESIGN GROUP, INC. (BLDG), THE CURRENT REQUIREMENTS OF THE CARROLL COUNTY, THE APPLICABLE SECTIONS OF THE MARYLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS,

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID

SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH

CONDITIONS AND CONSTRAINTS OF THE SITE. IF DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY.

4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER

5. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC

TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED

6. ALL SLOPES SHALL BE 2:1 (HORIZONTAL: VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE, ALL SLOPES

7. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND

8. ALL AREAS NOT PAVED SHALL BE TOP SOILED, SEEDED, SODDED, MULCHED AND/OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.

10. ALL ELEVATIONS SHOWN ARE REFERENCED TO BENCHMARKS ON THE PROJECT SURVEY AND SHALL BE

11. ALL SPOT ELEVATIONS ARE REFERENCED TO THE FINISHED GROUND SURFACE UNLESS NOTED OTHERWISE.

12. CONTRACTOR SHALL REFERENCE DETAILED BUILDING PLANS FOR EXACT BUILDING DIMENSIONS, ELEVATIONS,

13. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT

14. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 & 1926.652 OR COMPARABLE OSHA APPROVED

9. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED BY GILES, ENGINEERING ASSOCIATES, INC.

THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND

FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.

AUTHORITIES. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 800-257-7777.

EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.

3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH VEGETATION.

SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.

PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.

AND UTILITY CONNECTION POINTS.

FIELD VERIFIED BY THE CONTRACTOR AT GROUNDBREAKING.

STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION.

15. DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE SHEETZ

CONSTRUCTION REPRESENTATIVE A MINIMUM 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.

1926.652 OR COMPARABLE OSHA APPROVED STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION.

DEVICES, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE

9. EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL B

- 3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT, IF CONDITIONS ENCOUNTERED DURING EXAMINATION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONDITIONS AND CONSTRAINTS OF THE SITE 4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 800-257-7777. 4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.

STATE LAWS.

ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY BALTIMORE

LAND DESIGN GROUP, INC. (BLDG), THE CURRENT REQUIREMENTS OF CARROLL COUNTY, THE APPLICABLE SECTIONS OF THE MARYLAND DEPARTMENT OF TRANSPORTATION STANDARD

SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND

LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.

THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL

STORMWATER MANAGEMENT NOTES

- 5. CONTRACTOR SHALL COORDINATE FUEL ISLAND CANOPY DRAINS CONNECTION TO THE MAIN COLLECTOR PIPE WITH THE SHEETZ CONSTRUCTION MANAGER AND PROVIDE ALL NECESSARY FITTINGS TO MAKE THE CONNECTION TO THE MAIN COLLECTOR PIPE.
- 6. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER PIPE, MANHOLES AND INLETS TO THE SHEETZ CONSTRUCTION MANAGER FOR APPROVAL.
- 7. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND
- SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT. 8. ALL STORM PIPE SHALL BE AS SPECIFIED. ALL JOINTS SHALL BE WATERTIGHT
- 9. ALL STORM STRUCTURES DIRECTLY DOWN GRADIENT OF THE FUEL PUMP PAD OR UNDERGROUND STORAGE TANKS SHALL HAVE A SUMP AND BMP FEATURE (FOR EXAMPLE 'SNOUT') INSTALLED ON THE
- 10. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 & 1926.652 OR COMPARABLE OSHA APPROVED STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION.
- 11. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY BALTIMORE LAND DESIGN GROUP, INC. (BLDG), THE CURRENT REQUIREMENTS C CARROLL COUNTY, THE APPLICABLE SECTIONS OF THE MARYLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 800-257-7777. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITY CONSTRUCTION UNLESS OTHERWISE COORDINATED BEFOREHAND WITH SHEETZ.
- 7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE SHEETZ PROJECT STRUCTURES.
- 8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR
- 9. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT
- 10. UTILITY COMPANIES AND CONTACTS ARE LISTED ON THE COVER SHEET. 11. CONDUIT LOCATIONS TO FREESTANDING SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ
- CONSTRUCTION MANAGER. 12. CONTRACTOR SHALL COORDINATE AND VERIFY WITH SHEETZ CONSTRUCTION MANAGER ON LOCATION AND SIZE OF THE GREASE TRAP. GREASE TRAP SHALL BE PROVIDED WITH "T" PIPE IN OUTFLOW CHAMBER. ALL

SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED.

- 13. CONTRACTOR SHALL COORDINATE WITH SHEETZ CONSTRUCTION MANAGER AND SHEETZ IT DEPARTMENT ON
- THE CONDUIT ROUTE TO STORE FOR TELE/COMMUNICATION SERVICES. 14. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT

Baltimore Land Design Group, Inc.

Consulting Engineers

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031

PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR

APPROVED BY ME. IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE F MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

PATAMY, LLC

205 BELL ROAD WESTMINSTER, MD 21158 PHONE: 410-871-2600

DEVELOPER / APPLICANT SHEETZ, INC.

> CLAYSBURG, PA 16625 PHONE: 814-552-0609

NO. DESCRIPTION

REVISIONS

**GENERAL NOTES** 

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION

SHEETZ - WESTMINSTER

AT SULLIVAN RD. AND RTE. 140

**OWNER** 

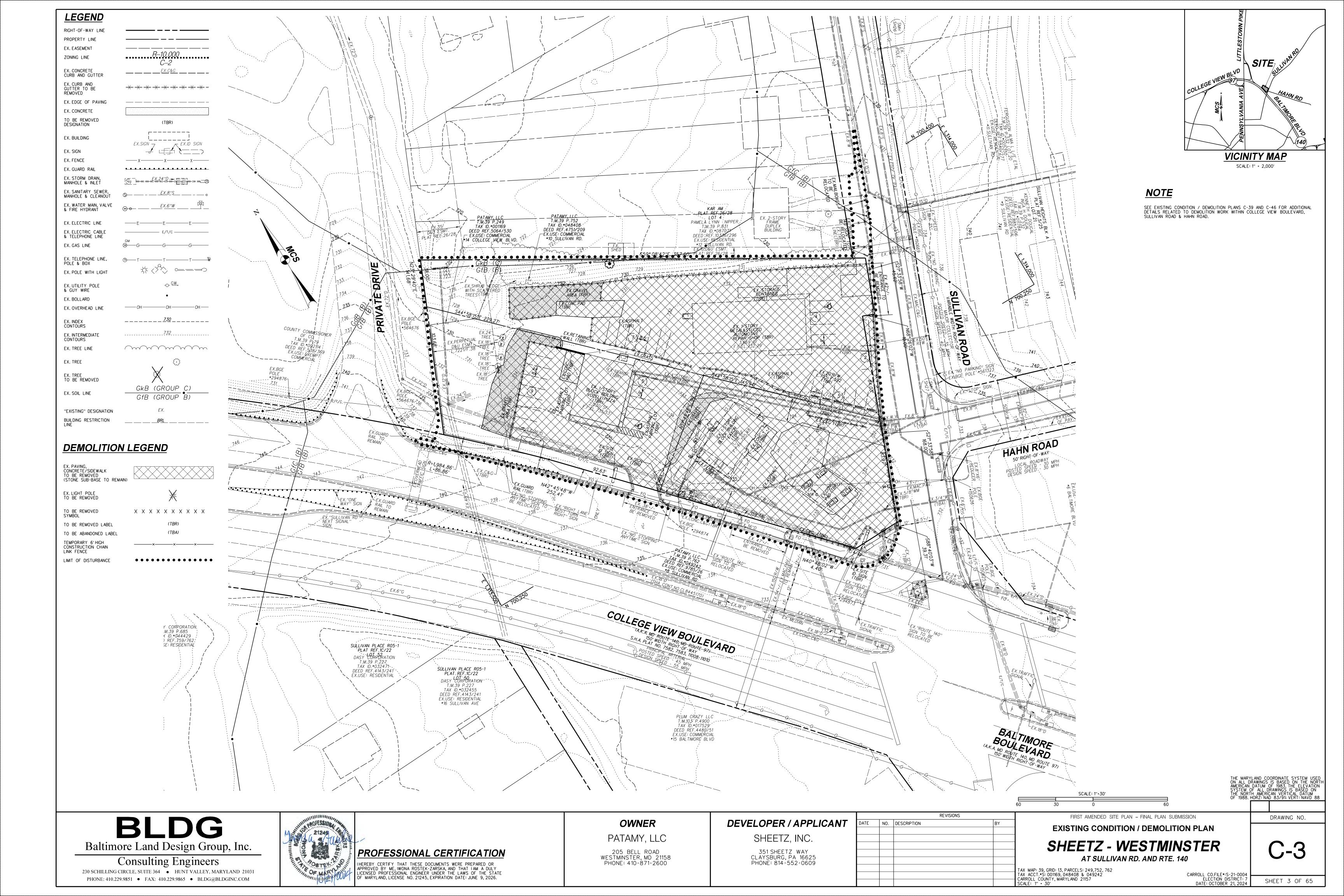
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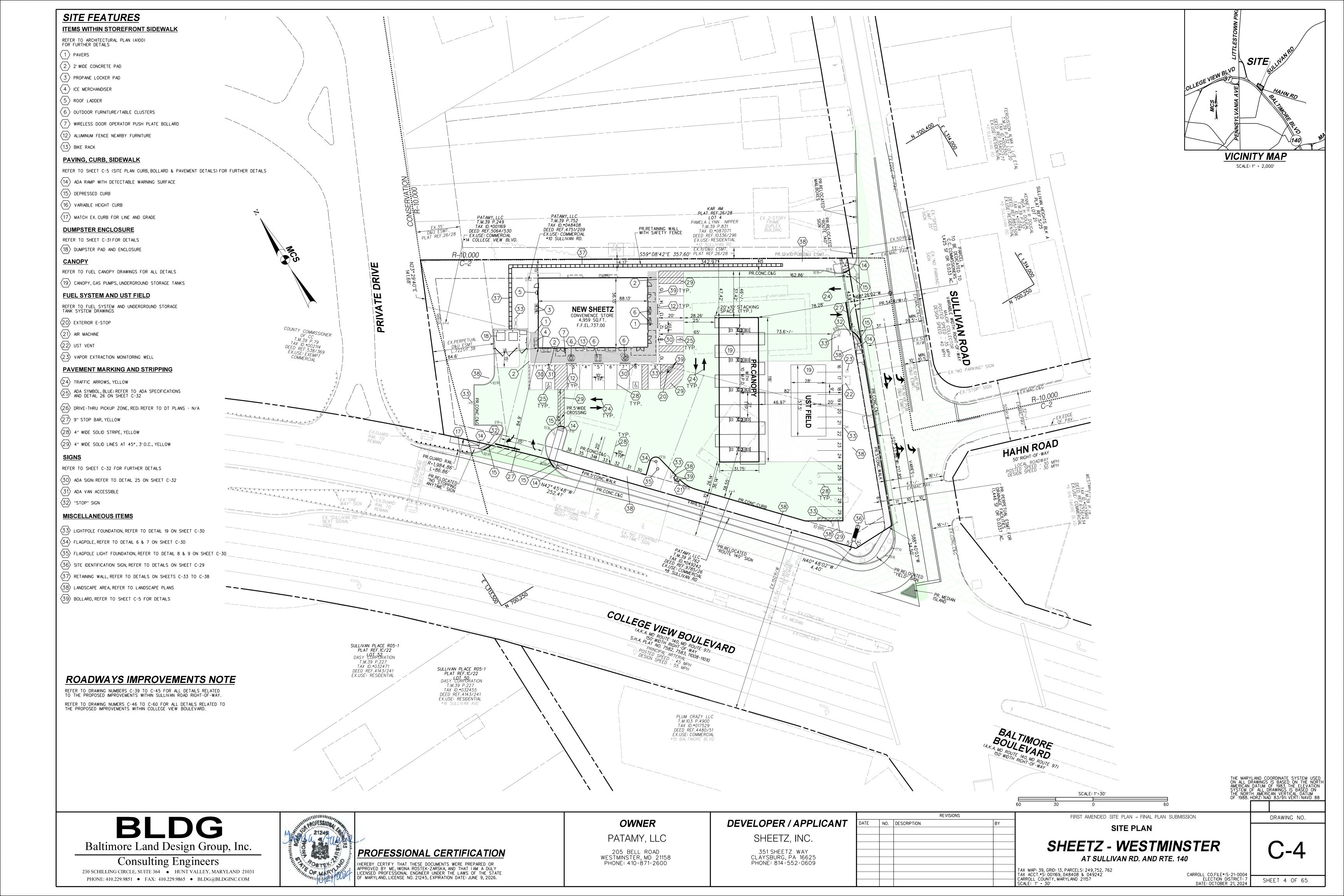
TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. \*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157

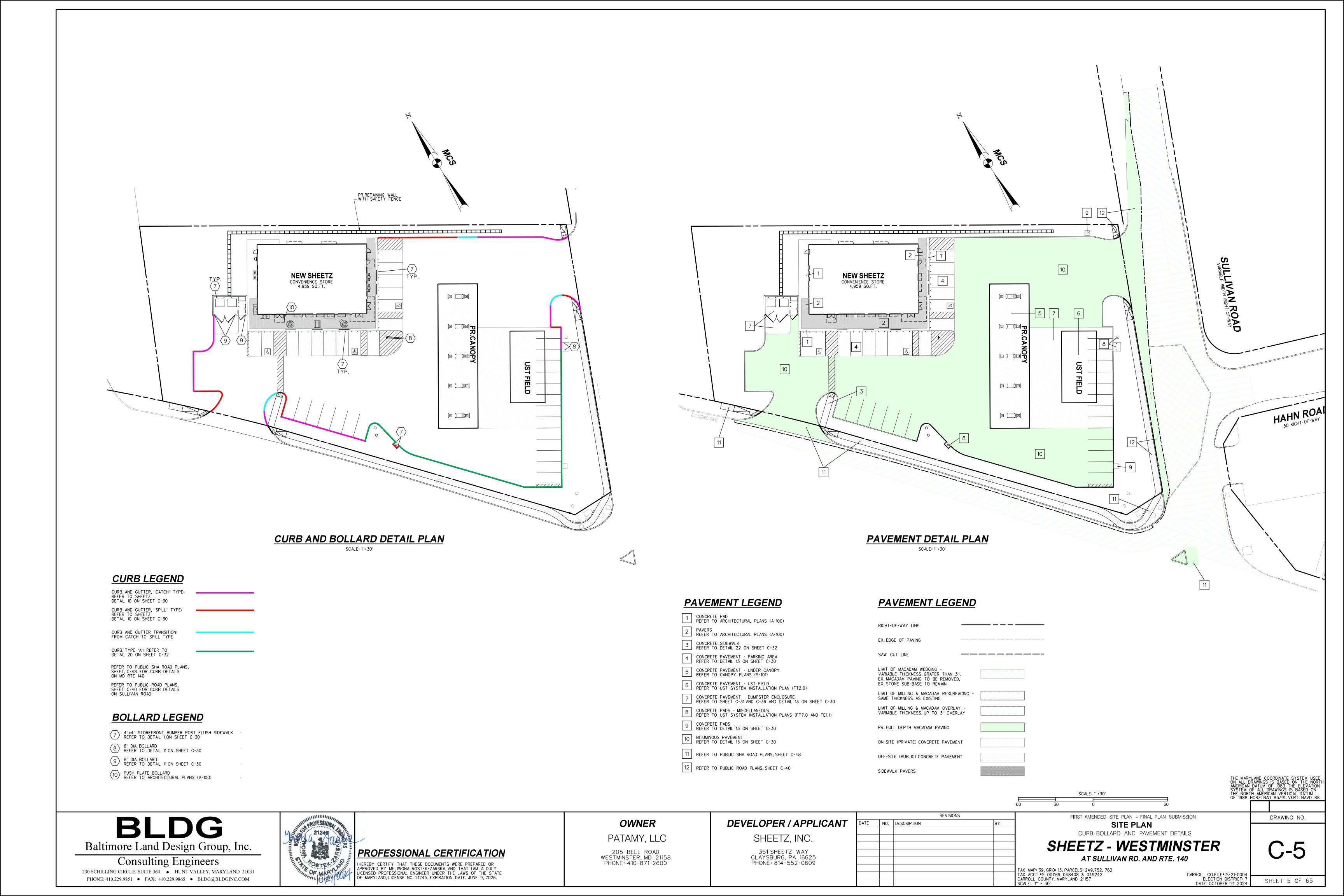
CARROLL CO.FILE\*:S-21-000-ELECTION DISTRICT: DATE: OCTOBER 21, 2024

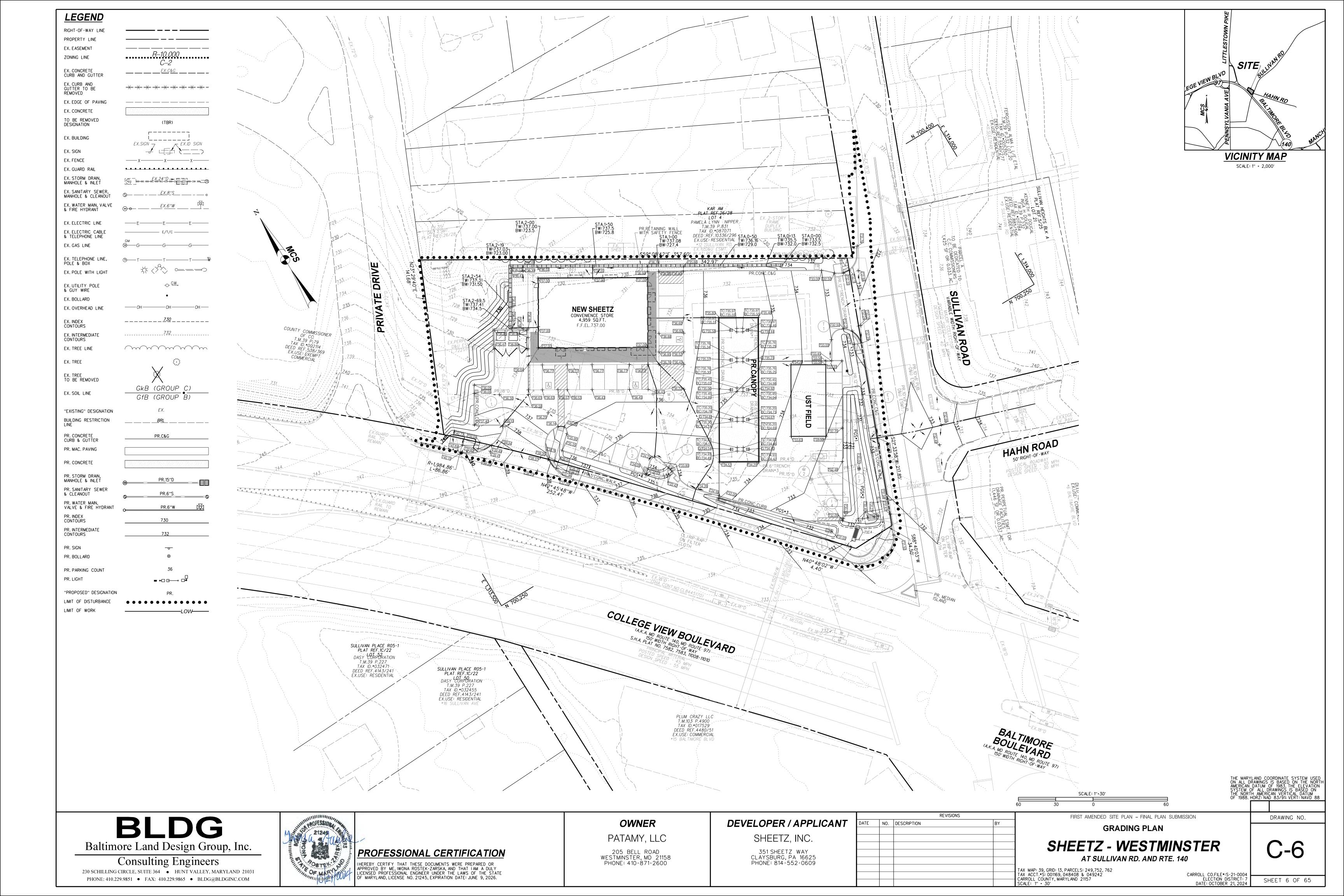
SHEET 2 OF 65

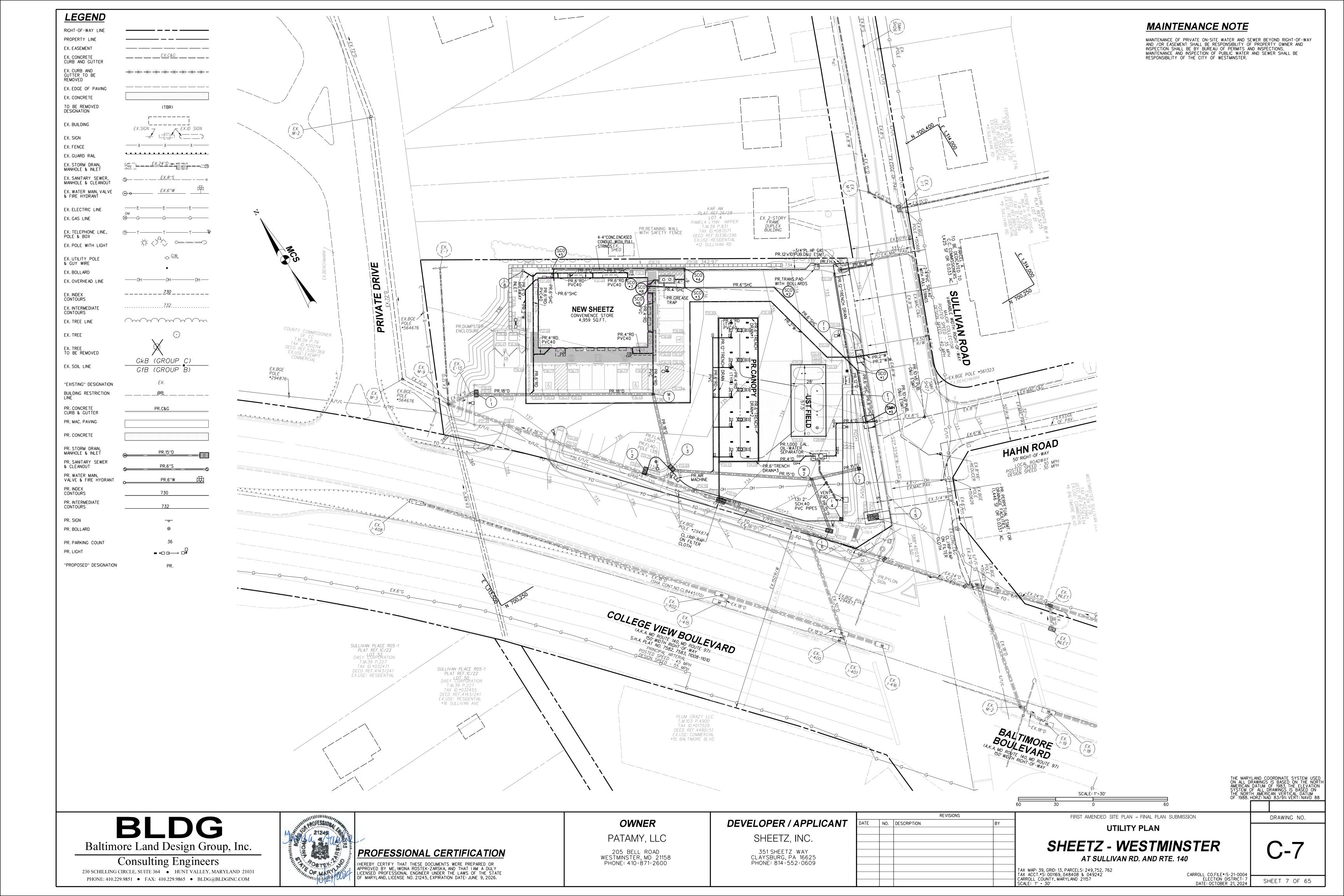
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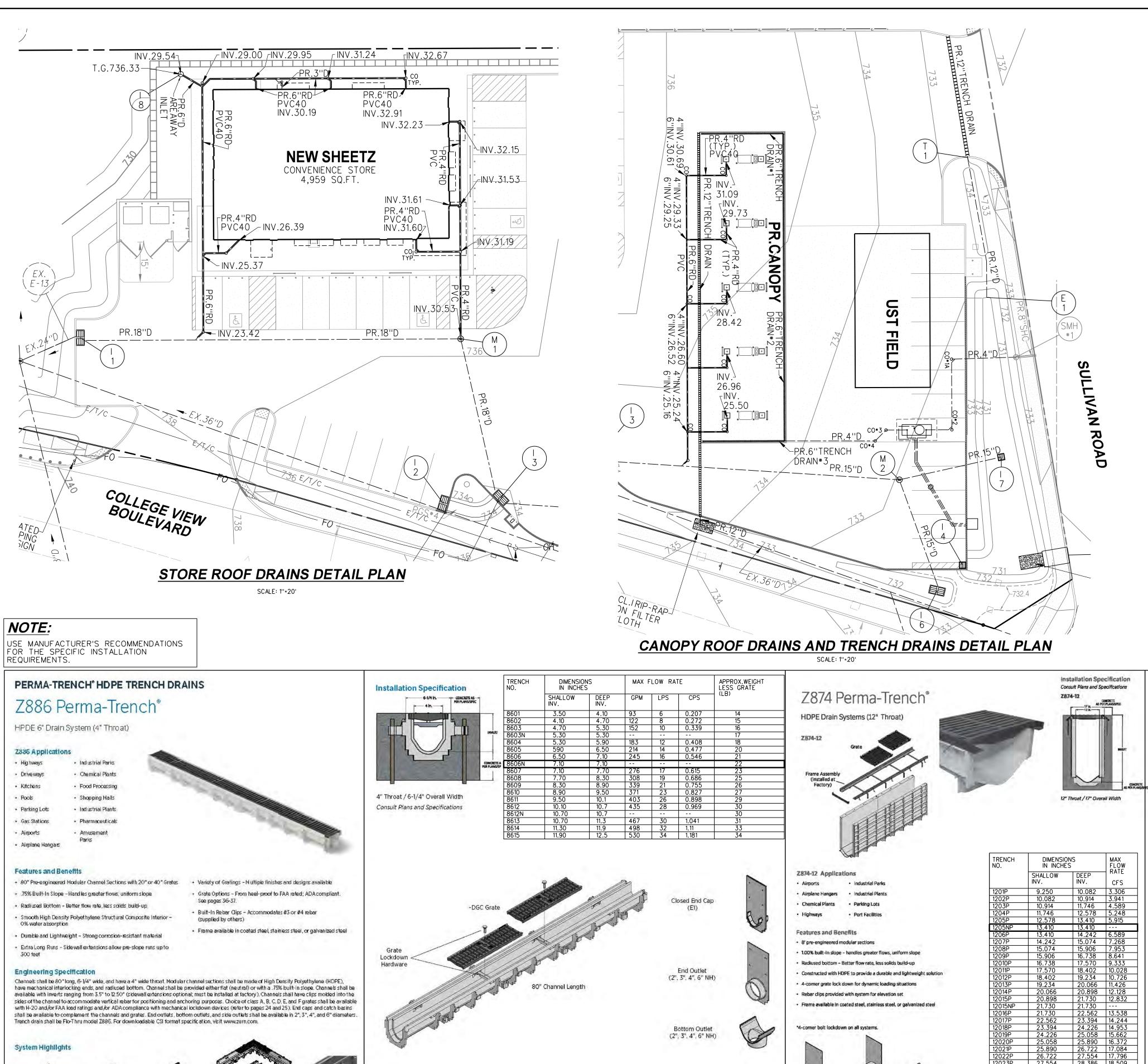




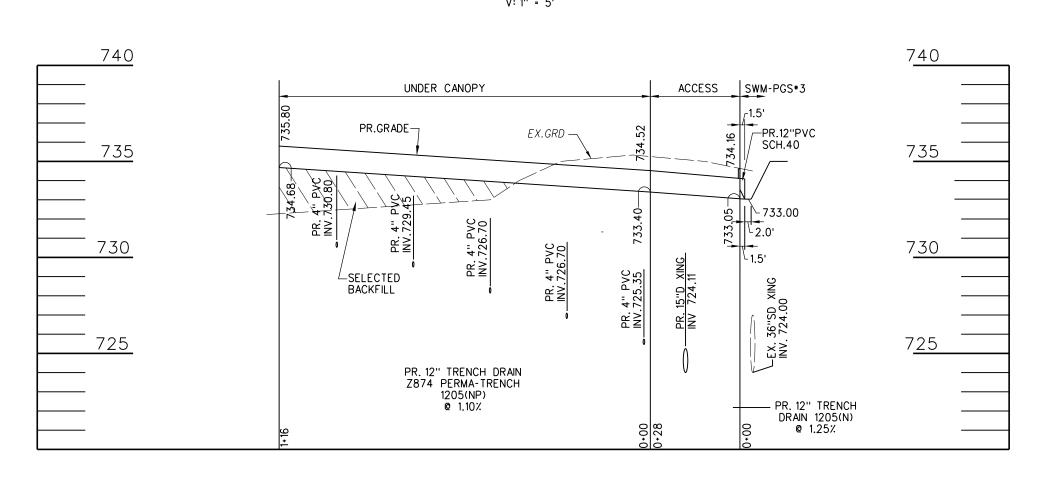








740 740 \_UNDER CANOPY UNDER CANOPY -PR.GRADE -PR.GRADE 735 SELECTED BACKFILL PR. TRENCH PR. 4"PVC SCH40 © 2.64% INV.OUT @731.38 PR. TRENCH DRAIN \*2 Z886 PERMA-TRENCH 8606(N) PR. 4"PVC SCH40 @ 2.64% INV.OUT 886 PERMA-TRENC 8606(N) @ 1.00% UNDER CANOPY 6" TRENCH DRAIN #1, #2, #3 PROFILE



# **UNDER CANOPY 12" TRENCH DRAIN PROFILE**

TRENCH DRAIN REFERENCE NOTE

1. REFER TO SHEET C-19 FOR ADDITIONAL 12" TRENCH DRAIN DETAILS

CHANNELS SHALL BE 80" LONG, Z874-12 (17" WIDE AND HAVE 12" WIDE THROAT); Z874-18 (23" WIDE AND 18" WIDE THROAT);

OR Z874-21 (26-1/4" WIDE AND 21-1/4" WIDE THROAT). MODULAR CHANNEL SECTIONS SHALL BE MADE OF HIGH DENSITY

POLYETHYLENE (HDPE), HAVE INTERLOCKING ENDS, AND RADIUSED BOTTOM, CHANNEL SHALL BE PROVIDED WITH NO SLOPE

## **UTILITY CROSSING NOTES**

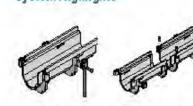
- REFER TO SHEETS C-9 AND C-18 FOR UTILITY PROFILES AND UTILITY CROSSING DETAILS.
- 2. REFER TO SEPARATE BGE PLAN FOR ALL DETAILS RELATED TO PROPOSED GAS AND ELECTRIC LINES.
- 2. MAINTAIN 8"MIN. CLEARANCE BETWEEN CANOPY ROOF DRAINS AND FUEL SYSTEM CONDUITS.

#### Z886 Applications

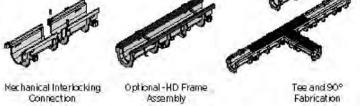
- Highways Drive ways
- Airports

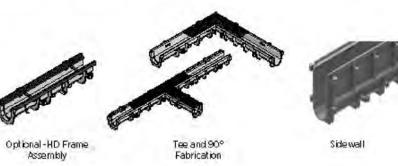
#### Features and Benefits

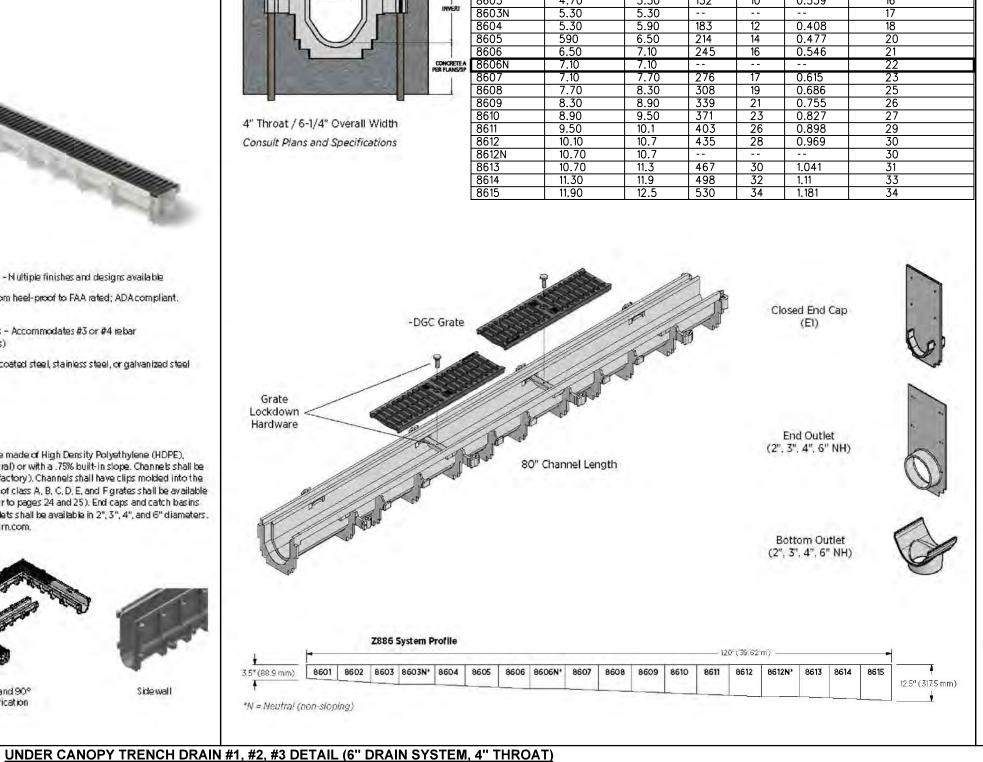
have mechanical interlocking ends, and radiused bottom. Channel shall be provided either flat (neutral) or with a .75% built-in slope. Channels shall be available with inverts ranging from 3.5" to 12.50" (sidewall extensions optional; must be installed at factory). Channels shall have clips modded into the sides of the channel to accommodate vertical rebar for positioning and anchoring purposes. Choice of class A, B, C, D, E, and F grates shall be available with H-20 and/or FAA load ratings and/or ADA compliance with mechanical lockdown devices (refer to pages 24 and 25). End caps and catch basins shall be available to complement the channels and grates. End outlets, bottom outlets, and side outlets shall be available in 2", 3", 4", and 6" diameters.

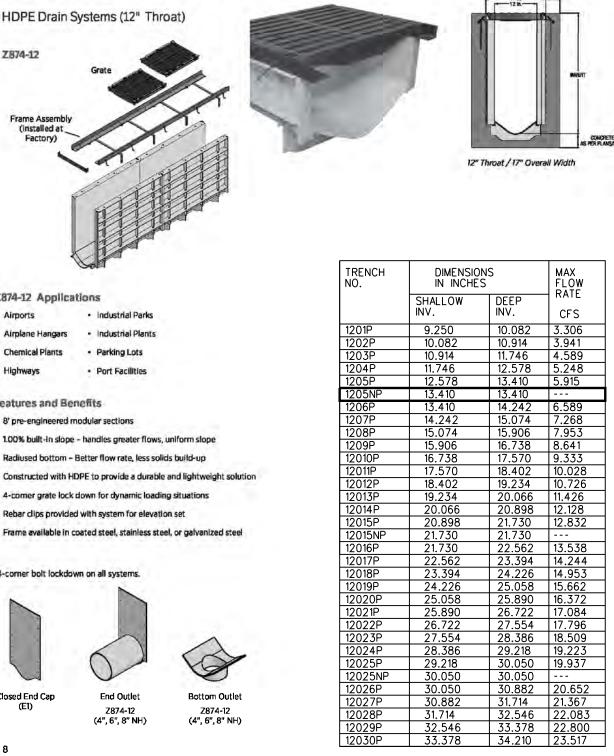


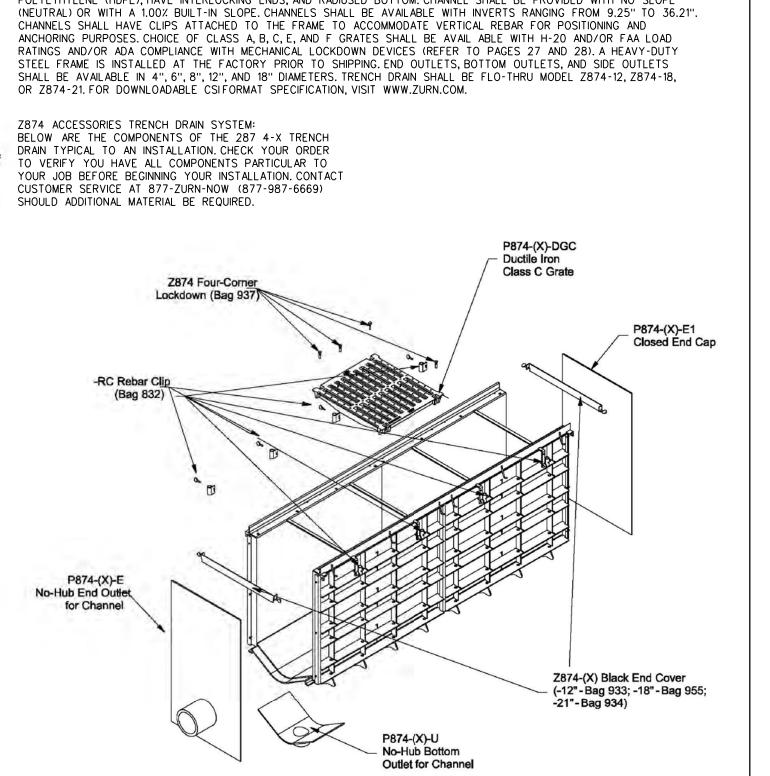












DRAWING NO.

Baltimore Land Design Group, Inc. Consulting Engineers



PROFESSIONAL CERTIFICATION

# **OWNER**

PATAMY, LLC WESTMINSTER, MD 21158 PHONE: 410-871-2600

# **DEVELOPER / APPLICANT**

UNDER CANOPY 12" TRENCH DRAIN (12" THROAT)

SHEETZ, INC. CLAYSBURG, PA 16625 PHONE: 814-552-0609

		REVISIO	DNS	
DATE	NO.	DESCRIPTION		BY
	1			1

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION **UTILITY PLANS, DETAILS, PROFILES** ROOF DRAINS AND TRENCH DRAINS

TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT.\*S: 001169, 048408 & 049242

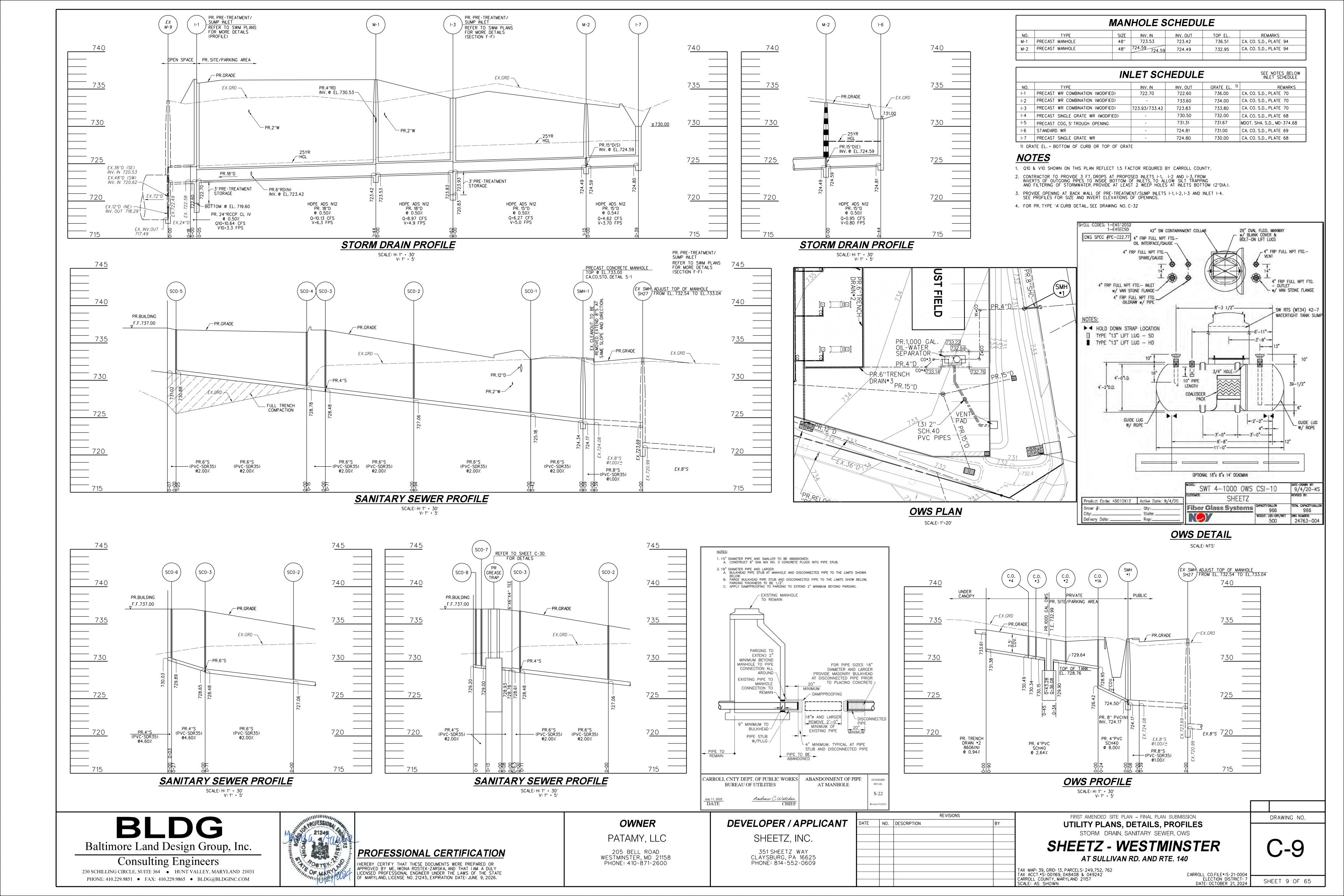
CARROLL COUNTY, MARYLAND 21157 SCALE: 1" = 30'

# SHEETZ - WESTMINSTER

AT SULLIVAN RD. AND RTE. 140

CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024 SHEET 8 OF 65

IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026. 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



# GENERAL WATER AND SEWER NOTES THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES "REGULATIONS, STANDARD SPECIFICATIONS AND DESIGN DETAILS FOR WATER AND SEWERAGE CONSTRUCTION IN CARROLL COUNTY, MARYLAND" LATEST EDITION ARE HEREBY MADE A PART OF THESE DOCUMENTS, INCLUDING ALL SUBSEQUENT ADDENDA

OR MODIFICATIONS HERETO. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING COMPANIES AT LEAST 72 HOURS PRIOR TO STARTING ANY CONSTRUCTION: BALTIMORE GAS & ELECTRIC - 410-293-3147

MISS UTILITY - 1-800-257-7777 CARROLL COUNTY BUREAU OF UTILITIES - 410-386-2164 SHA INSPECTOR - 410-229-2344

- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OFFICE OF THE ENGINEER, BALTIMORE LAND DESIGN GROUP, INC. 410-229-9851, OF ANY DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIP OF FINISHED GRADES AND EXISTING GRADES PRIOR TO START OF CONSTRUCTION.
- THE LOCATION OF EXISTING UTILITIES IS SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE BUREAU OF UTILITIES (BOU), CARROLL COUNTY OR THE ENGINEER DO NOT WARRANT OR GUARANTEE THE CORRECTNESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES TO HIS OWN SATISFACTION.
- SHALL BE REPLACED WITH 18" OF COMPACTED CR-6 TO A MINIMUM OF 95% MODIFIED PROCTOR ASTM D-1557. PERMANENT PAVING SHALL BE IN ACCORDANCE WITH COUNTY ROADS DETAIL NO. ( ). PERMIT COSTS THEREFORE SHALL BE INCLUDED IN UNIT PRICES BID AND THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM
- ALL SAFETY MEASURES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- 8. A GEOTECHNICAL ENGINEER SHOULD BE CONSULTED DURING THE CONSTRUCTION OF SLOPES GREATER THAN TEN (10) VERTICAL FEET AT SLOPES OF 2:1 OR
- 9. HOUSE CONNECTIONS SHALL BE LOCATED AS SHOWN. IF ANY ADJUSTMENT TO THESE LOCATIONS IS PROPOSED BY THE FIELD ENGINEER OR CONTRACTOR, THE DEVELOPER OR HIS ENGINEER SHALL BE CONSULTED TO THE PROPOSED CHANGE BEFORE INSTALLATION.
- 10. THE CONTRACTOR IS REQUIRED TO OBTAIN THE SHA UTILITY PERMIT PRIOR TO BEGINNING WORK IN A SHA ROAD RIGHT OF WAY.

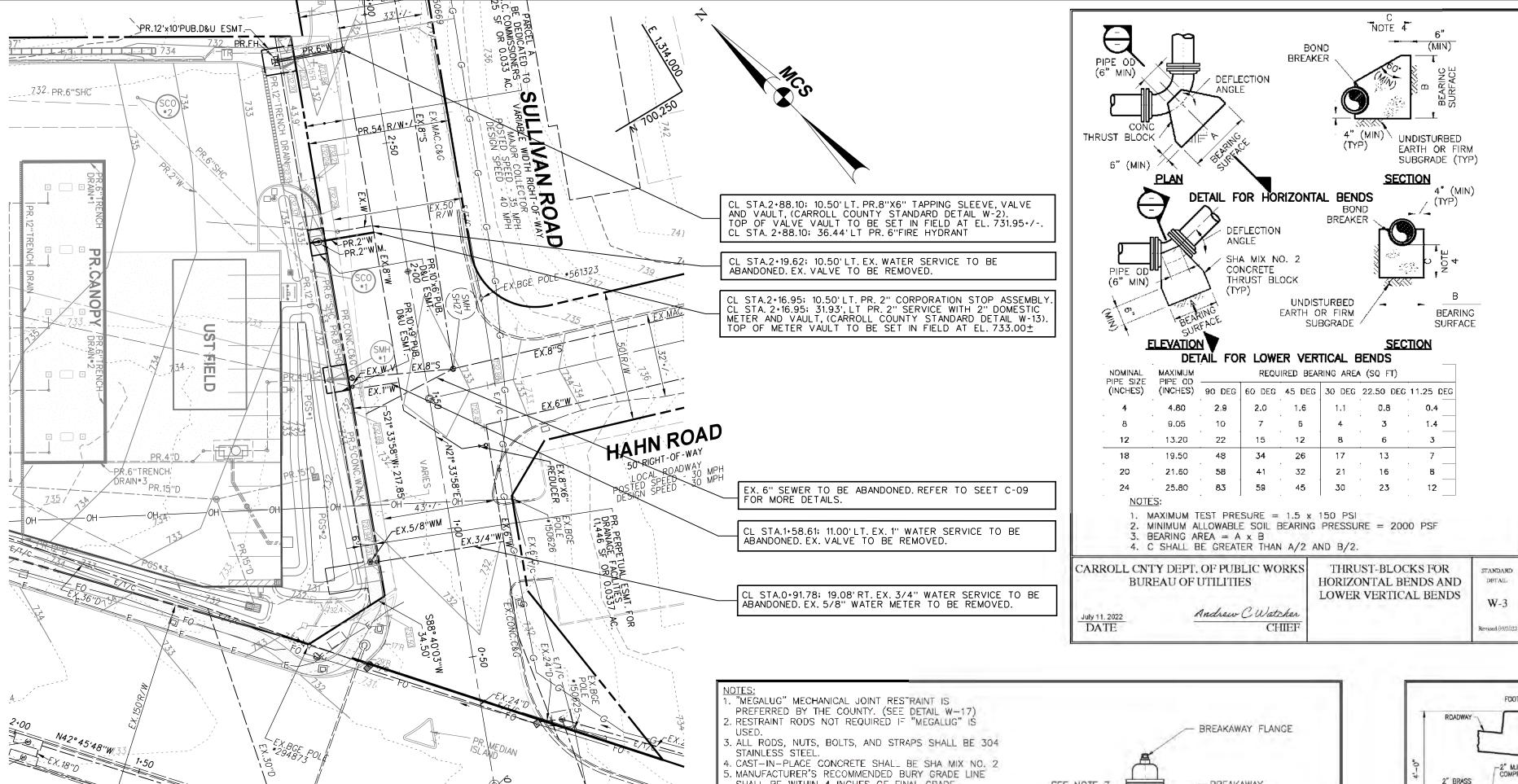
  CONTACT SHA INSPECTOR AT 410-229-2344 A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION.
- 11. THE PUBLIC PORTION OF THE WATER HOUSE CONNECTION (WHC) AND SEWER HOUSE CONNECTION (SHC) FROM THE EXISTING WATER MAIN AND EXISTING SEWER MAIN TO THE PROPOSED WATER METER VAULT AND EXISTING CLEANOUT AT THE RIGHT OF WAY OR EASEMENT LINE FALLS UNDER THE PURVIEW OF SHA AND BOU. CONTRACTOR SHALL CONTACT THE BOU AT 410-386-2164 AND SHA AT 410-229-2344 TO SCHEDULE PRE-CONSTRUCTION MEETING AND INSPECTION A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION.
- 12. CONTRACTOR MUST BE PRE-QUALIFIED WITH DEPARTMENT OF PUBLIC WORKS TO CONSTRUCT PUBLIC WATER AND SEWER UTILITY WORK.
- 13. THE PRIVATE PORTION OF THE WHC AND SHC FROM THE PROPOSED METER VAULT AND EXISTING CLEAN OUT TO THE BUILDING FALLS UNDER THE PURVIEW OF BUREAU OF PERMITS AND INSPECTIONS. THE PLUMBING INSPECTOR SHALL INSPECT THE PRIVATE PORTION OF THE WHO AND SHOL CONTRACTOR SHALL CONTACT BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 TO OBTAIN REQUIRED

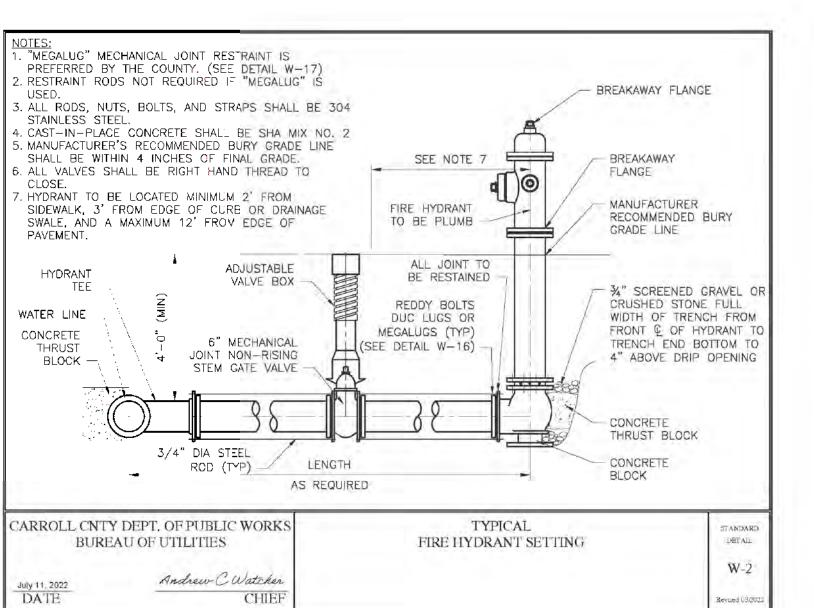
## **WATER NOTES**

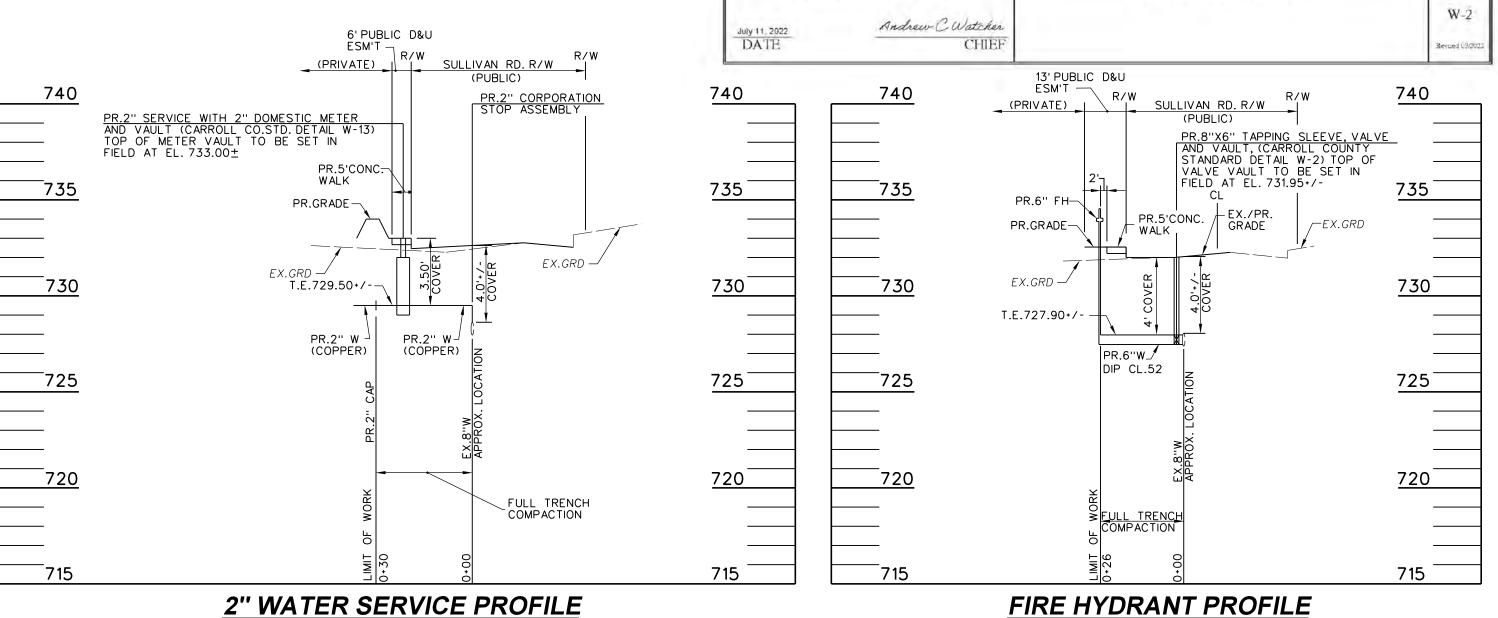
ALL PUBLIC WATER MAIN PIPE SHALL BE DUCTILE IRON PIPE (DIP) CLASS 52 OR C-900 AND APPROVED BY BOU. WATER MAIN PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES "REGULATIONS, STANDARD SPECIFICATIONS AND DESIGN DETAILS FOR WATER AND SEWERAGE CONSTRUCTION IN CARROLL COUNTY, MARYLAND" LATEST EDITION.

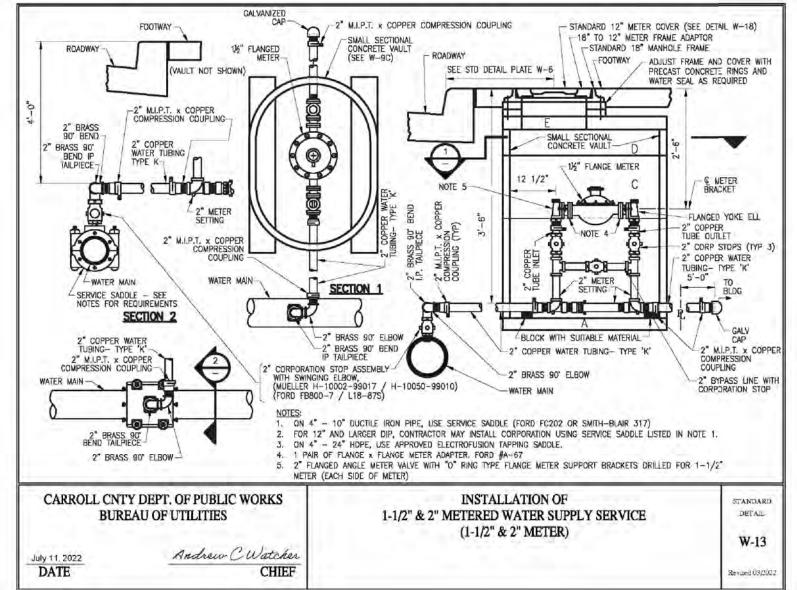
2. THE BUREAU OF UTILITIES PROHIBITS THE MANIPULATION OF VALVES BY ANY PARTY OTHER

- THAN BUREAU OF UTILITIES STAFF.
- 3. TEES, VALVES, BENDS FITTINGS, CAPS, ETC. SHALL BE MEGA LUGGED AND BUTTRESSED IN ACCORDANCE WITH STANDARD DETAILS. PROVIDE FIELD LOCK GASKETS IN ALL BELL END PIPE CONNECTIONS WHERE MEGA LUGS ARE NOT REQUIRED.
- 4. FIRE HYDRANTS SHALL BE STRAPPED TO VALVES AND VALVES STRAPPED TO TEES AT THE MAIN IN ACCORDANCE WITH STANDARD DETAILS. FIRE HYDRANT INTERVALS SHALL BE IN ACCORDANCE WITH SPECIFICATIONS BASED ON LOT SIZE.
- . A VALVE IS REQUIRED IN EACH DIRECTION AT ALL TEES OR CROSSES, HIGH AND LOW POINTS AND AT SPECIFIC INTERVALS AS NOTED ON APPROVED WATER AND SEWER PLANS. AN ADJUSTABLE ROADWAY VALVE BOX SHALL BE FURNISHED AND INSTALLED WITH EACH VALVE. THE RIM OF THE VALVE BOX SHALL BE SET FLUSH WITH EXISTING GROUND OR
- 6. CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY A MINIMUM OF 72 HOURS PRIOR TO THE INTERRUPTION. WATER CONNECTIONS TO EXISTING MAINS SHALL BE MADE DURING THE HOURS OF 10:00 AM AND 3:00 PM AND UNDER THE SUPERVISION OF BOU
- DISINFECTION OF WATER MAINS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND DESIGN DETAILS, SECTION 4, SUBSECTION 12 -DISINFECTION OF MAINS.
- 8. PUBLIC WATER MAINS AND HYDRANT CONNECTIONS SHALL BE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH SECTION 4, SUBSECTION 15A AND B TESTING MAINS.
- 9. CONTRACTOR SHALL TUNNEL PAST EXISTING UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DISRUPTIONS OF ANY SERVICES.









Baltimore Land Design Group, Inc.

Consulting Engineers



PROFESSIONAL CERTIFICATION IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME,IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

COLLEGE VIEW BOULEVARD

(A.K.A. MD ROUTE 140, MD ROUTE 97)

S.H.A. PLAT NO. 7582, 7583, 11008-11010

PLAN

SCALE: 1" = 30'

**OWNER** 

SCALE: H: 1'' = 30' V: 1'' = 5'

SHEETZ, INC. CLAYSBURG, PA 16625

DEVELOPER / APPLICANT NO. DESCRIPTION PHONE: 814-552-0609

REVISIONS FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION PUBLIC WATER SERVICE PLAN PLAN, PROFILES, DETAILS

SHEETZ - WESTMINSTER

SCALE: 1"=30'

AT SULLIVAN RD. AND RTE. 140

C-10

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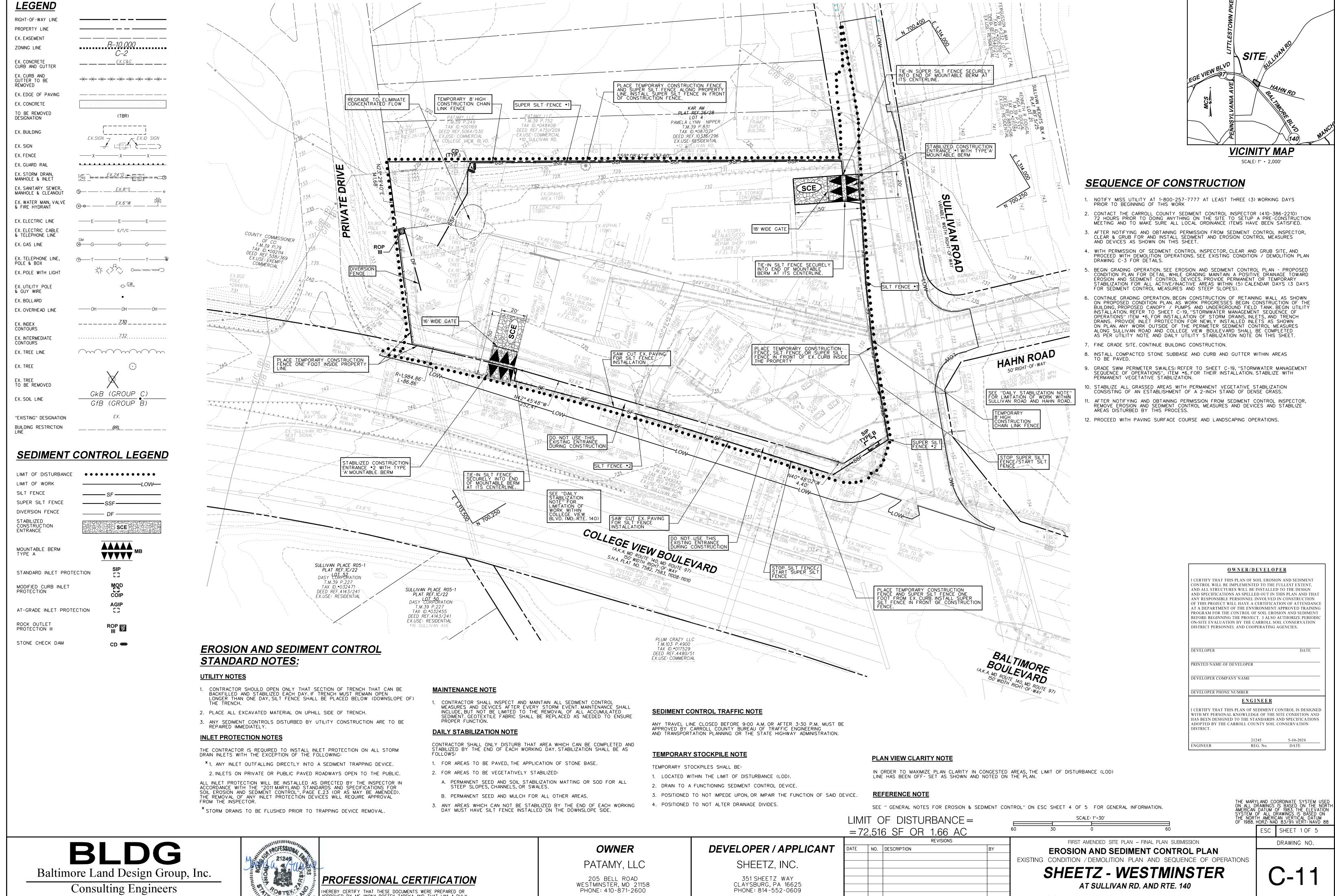
> TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. \*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157

DATE: OCTOBER 21, 2024

SHEET 10 OF 65

TEM OF ALL DRAWINGS IS BASED ON NORTH AMERICAN VERTICAL DATUM 1988. HORZ: NAD 83/91; VERT: NAVD 88

DRAWING NO.



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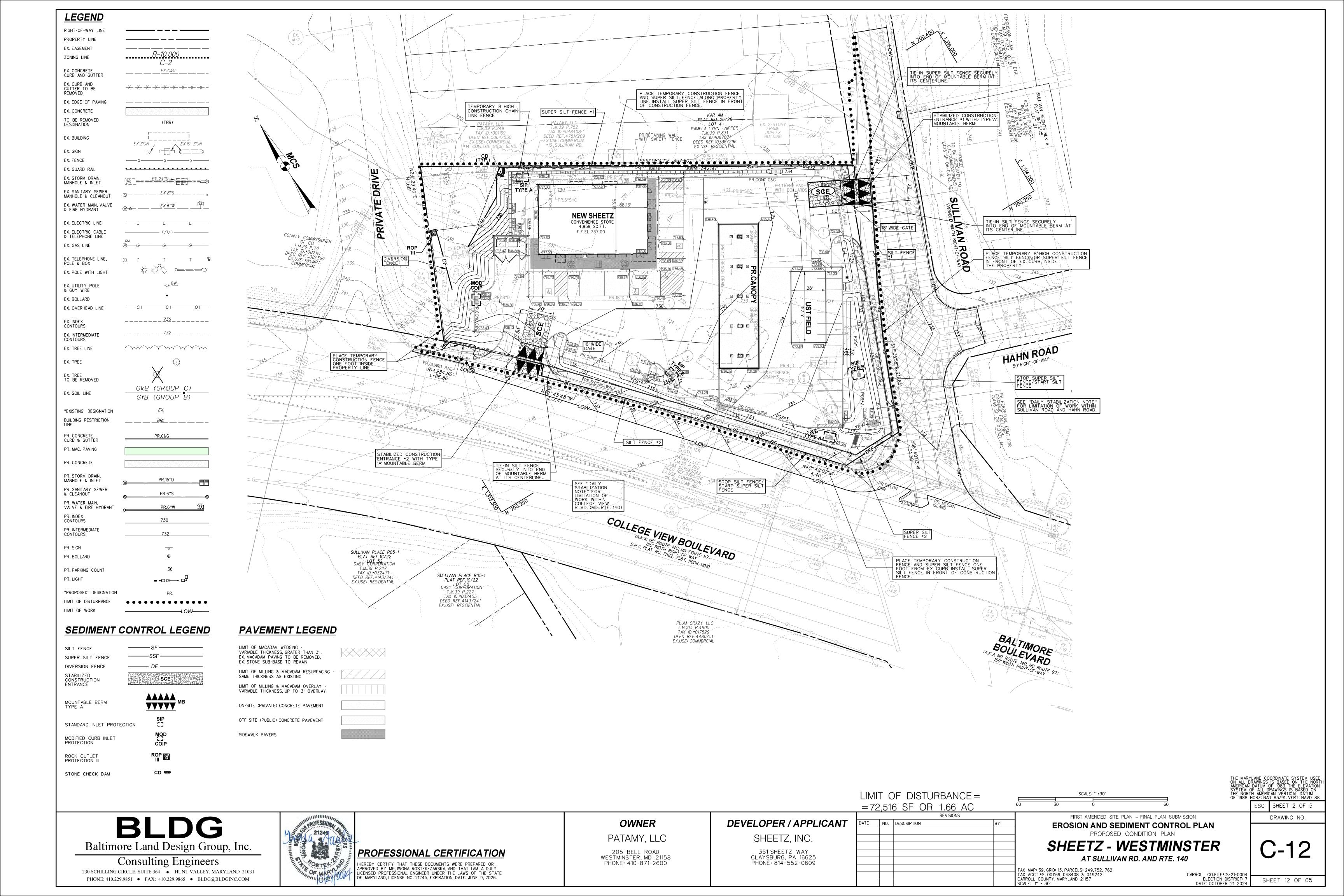
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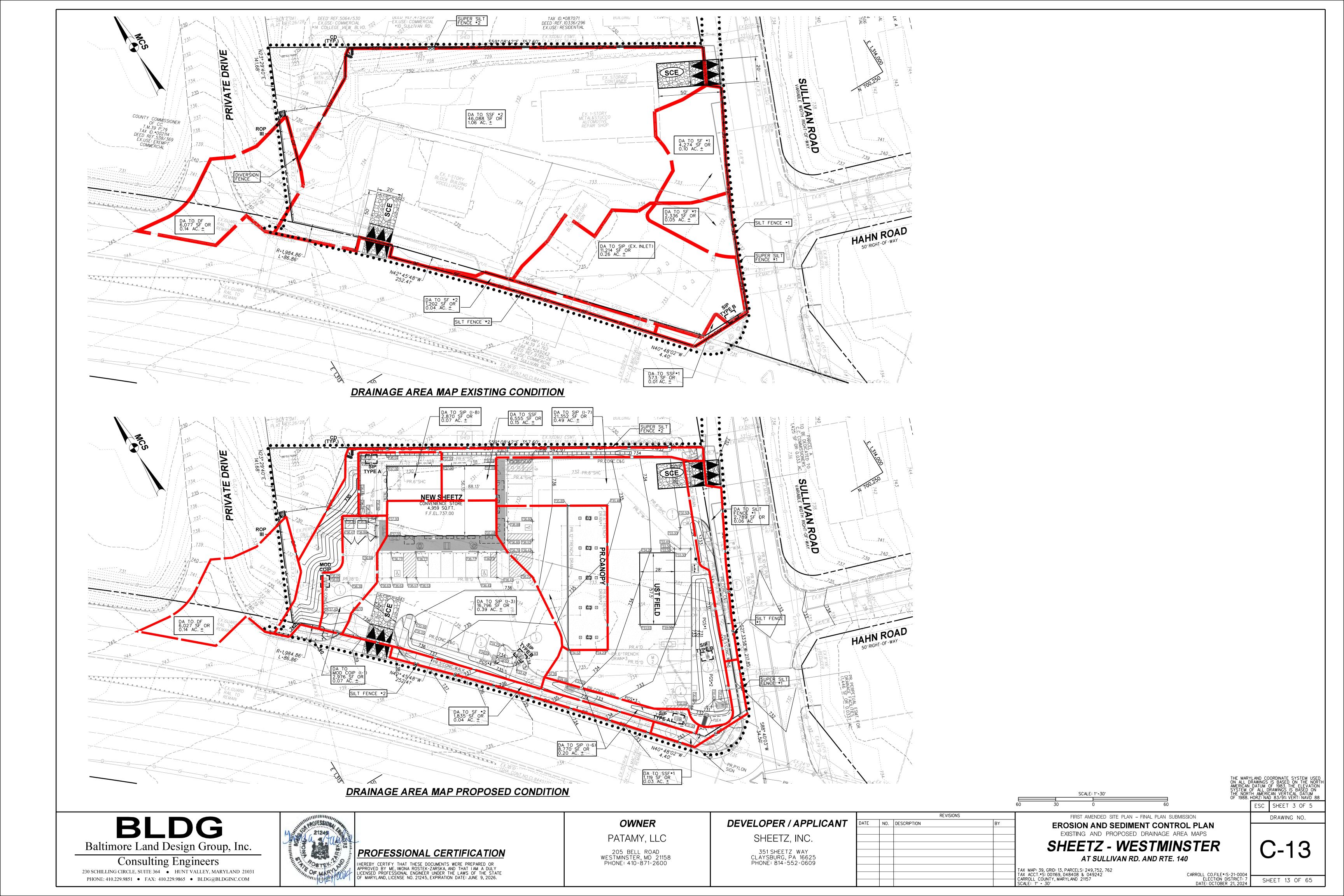
# IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

CARROLL CO.FILE\*:S-21-000-ELECTION DISTRICT: SHEET 11 OF 65 DATE: OCTOBER 21, 2024

TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. •S: 001169, 048408 & 049242

CARROLL COUNTY, MARYLAND 21157





#### **B-4 STANDARDS AND SPECIFICATIONS** FOR VEGETATIVE STABILIZATION

Conditions Where Practice Applies:

On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization

#### <u>Adequate Vegetative Establishment:</u>

nspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.

- Adequate vegetative stabilization requires 95 percent groundcover.
- . If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding.
- . If an area has between 40 and 94 percent groundcover, over- seed and fertilize using half of the rates originally specified.
- . Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

#### **B-4-1 Standards and Specifications for Incremental Stabilization**

#### Conditions Where Practice Applies:

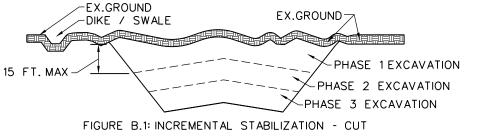
Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles. <u>Criteria:</u>

#### A. Incremental Stabilization - Cut Slopes

- 1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.

  Construction sequence example (Refer to Figure B.1 in "2011 Maryland Standards and Specifications")
- for Soil Erosion and Sediment Control"): a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around
- b. Perform Phase 1 excavation, prepare seedbed, and stabilize c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as
- d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

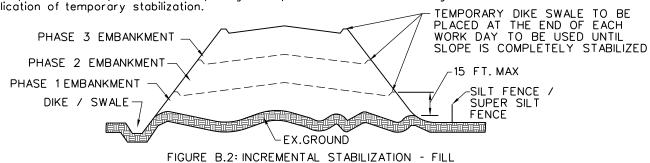


#### B. Incremental Stabilization - Fill Slopes

1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.

- Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the aradina operation ceases as prescribed in the plans. . At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
- Construction sequence example (Refer to Figure B.2 in "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control"): a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address
- this area. b. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
- . Place Phase 1 fill, prepare seedbed, and stabilize. d. Place Phase 2 fill, prepare seedbed, and stabilize. e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.



#### <u>B-4-2 Standards and Specifications for Soil Preparation, Topsoiling and Soil Amendments</u>

## <u> Conditions Where Practice Applies:</u>

#### <u>Criteria:</u> . Soil Preparation

#### 1. Temporary Stabilization

a. Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chiselplows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.

#### b. Apply fertilizer and lime as prescribed on the plans.

c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable

#### 2. Permanent Stabilization

a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:

#### SoilpH between 6.0 and 7.0.

Soluble salts less than 500 parts per million (ppm). Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay)

would be acceptable. Soil contains 1.5 percent minimum organic matter by weight. Soil contains sufficient pore space to permit adequate root penetration.

#### b. Application of amendments or topsoil is required if on-site soils do not meet the above conditions.

c. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.

d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil

e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas.

#### B. Topsoiling

- Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
- 3. Topsoiling is limited to areas having 2:1 or flatter slopes where:

a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.

b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.

c. The original soil to be vegetated contains material toxic to plant growth

d. The soil is so acidic that treatment with limestone is not feasible.

#### 4. Areas having slopes steeper than 2:1 require special consideration and design.

5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:

- a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1/2inches in diameter.
- b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified
- c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

a. Erosion and sediment control practices must be maintained when applying topsoil

b. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the

c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

#### C. Soil Amendments (Fertilizer and Lime Specifications)

formation of depressions or water pockets.

- Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
- 2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to
- the applicable laws and must bear the name, trade name or trademark and warranty of the producer 3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium, oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a \*100
- 4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by B-4-5 Standards and Specification for Permanent Stabilization disking or other suitable means.
- 5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

#### B-4-3 Standards and Specifications for Seeding and Mulching Conditions Where Practice Applies:

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading <u>Criteria:</u>

mesh sieve and 98 to 100 percent will pass through a \*20 mesh sieve.

#### A. Seeding

#### Specifications

- a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
- b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.

c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperátures above 75 to 80 dégrees Fahrenheit can weaken bacteria and make the inoculant less effective.

d. Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

#### Application

a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.

- Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site- specific seeding summaries.
- ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil
- b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
- i. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least ¼inch of soil covering. Seedbed must be firm after planting.
- ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
- i. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P2O5 (phosphorous), 200 pounds per acre; K20 (potassium), 200 pounds per acre.
- ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
- iii. Mix seed and fertilizer on site and seed immediately and without interruption.
- iv. When hydroseeding do not incorporate seed into the soil.

#### B. Mulching

#### 1. Mulch Materials (in order of preference)

- a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
- b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state
- i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
- ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
- iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
- iv. WCFM material must not contain elements or compounds at concentration levels that will
- v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.

#### Application

a. Apply mulch to all seeded areas immediately after seeding.

b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.

c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:

i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.

ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

#### Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equalmay be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly

2. Sod Installation

Sod Maintenance

Conditions Where Practice Applies

and runoff control

Conditions Where Practice Applies

sheeting.

erosion and sediment control plan

with Section B-3 Land Grading.

heavily used travellanes).

Criteria

Maintenance

<u>Criteria</u>

the subsoilimmediately prior to laying the sod.

prevent voids which would cause air drying of the roots.

**B-4-6 Standards and Specifications for Soil Stabilization Matting** 

banks where moving water is likely to wash out new vegetative plantings.

**B-4-7 Standards and Specifications for Heavy use Area Protection** 

a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate

c. Wherever possible, lay sod with the long edges parallel to the contour and with staggering

solid contact exists between sod roots and the underlying soil surface.

b. Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly

Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to

ioints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure

d. Water the sod immediately following rolling and tamping until the underside of the new sod pad

and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours.

a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently

by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless

b. After the first week, sod watering is required as necessary to maintain adequate moisture

<u>Conditions Where Practice Applies</u>
On newly seeded surfaces to prevent the applied seed from washing out; in channels and on steep

slopes where the flow has erosive velocities or conveys clear water; on temporary swales, earth

This practice applies to intensively used areas (e.g., equipment and material storage, staging areas,

1. A minimum 4-inch base course of crushed stone or other suitable materials including

2. Select the stabilizing material based on the intended use, desired maintenance frequency,

wood chips over nonwoven geotextile should be provided as specified in Section H-1 Materials.

3. The transport of sediments, nutrients, oils, chemicals, particulate matter associated with vehicular

Additional control measures may be necessary to control some of these potential pollutants.

1. The stockpile location and all related sediment control practices must be clearly indicated on the

2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance

5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as

Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.

facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1

TABLE B.2: RECOMMENDED PERMANENT SEEDING MIXTURES

ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1

slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3

8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to

an earth dike, temporary swale or diversion fence. Provisions must be made for discharging

6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment

4. Surface erosion can be a problem on large heavy use areas. In these situations, measures

to reduce the flow length of runoff or erosive velocities need to be considered.

The heavy use areas must be maintained in a condition that minimizes erosion. This may require

adding suitable material, as specified on the approved plans, to maintain a clean surface.

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

3. Runoff from the stockpile area must drain to a suitable sediment control practice.

B-4-8 Standards and Specifications for Stockpile Area

4. Access the stockpile area from the upgrade side.

control practice must be used to intercept the discharge.

concentrated flow in a non-erosive manner

traffic and equipment, and material storage needs to be considered in the selection of material.

dikes, and perimeter dike swales as required by the respective design standard; and, on stream

as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day

wedged against each other. Stagger lateral joints to promote more uniform growth and strength.

iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000

#### B-4-4 Standards and Specifications for Temporary Stabilization

Conditions Where Practice Applies Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

<u>Criteria</u> Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and

alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

8/15-12/1

- completed, then Table B.1 plus fertilizer and lime rates must be put on the plan 2. For sites having soil tests performed, use and show the recommended rates by the testing agency.
- Soil tests are not required for Temporary Seeding. 3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch
- Lime Rate Hardiness Zone (from Figure B.3): 7 Fertilizer Seed Mixture (from Table B.1): (10-20-20) Seeding Species FOXTAIL MILLE 30 5/1-8/14 436 lb/ac 0 lb/1000 sf) (90 lb/1000 sf ANNUAL RYEGRASS 2/15-4/30 8/15-11/30 40

#### <u>Conditions Where Practice Applies</u>

112

Exposed soils where ground cover is needed for 6 months or more.

#### <u>Criteria</u>

#### A. Seed Mixtures

TEMPORARY SEEDING SUMMARY

CEREAL RYE

- General Use a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
- b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
- c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency.
- 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary. 2. Turfgrass Mixtures

d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at  $3\frac{1}{2}$  pounds per

- a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
- b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
- i. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
- ii. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
- iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
- iv Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes: Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 11/2 to 3 pounds per 1000 square feet.

Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo \*77, "Turfgrass Cultivar Recommendations for Maryland" Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section,

#### provides a reliable means of consumer protection and assures a pure genetic line c. Ideal Times of Seeding for Turf Grass Mixtures

- <u>Western MD</u>: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a)
  <u>Central MD</u>: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)
  <u>Southern MD, Eastern Shore</u>: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)
- and rake the areas to prepare a proper seedbed. Remove stones and debris over 1/2 inches in diameter. The resulting seedbed must be in such condition that future moving of grasses will e. If soil moisture is deficient, supply new seedings with adequate water for plant growth ( $\frac{1}{2}$  to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot

d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level

## PERMANENT SEEDING SUMMARY

seasons, or on adverse sites.

Hardin Seed	ess Zone (from Figure B.3): <u>7a</u> Mixture (from Table B.3): <u>7a</u>				Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P <sub>2</sub> O <sub>5</sub>	K <sub>2</sub> 0	
11	CREEPING RED FESCUE CHEWINGS FESCUE KENTUCKY BLUEGRASS FOXTAIL, OR PEARL MILLET	30 30 20 4	2/15-4/30 8/15-10/31 5/1-8/14	1/4"-1/2"	(1.0 lb/	(2 lb/	(2 lb/	2 tons/ac (90 lb/
6	TALL FESCUE WHITE CLOVER PERENNIAL RYEGRASS FOXTAIL, OR PEARL MILLET	40 5 25 3.5	2/15-4/30 8/15-10/31 5/1-8/14	1/4" <sup>-1</sup> /2"	1000 sf)	1000 sf)	1000 st)	1000 sf)
TURF GRASS	TALL FESCUE (95%) KENTUCKY BLUEGRASS (5%) FOXTAIL, OR PEARL MILLET	270 15 14	2/15-4/30 8/15-10/31 5/1-8/14	1/4"-1/2"				

\*For dates 5/1 - 8/14 add either foxtailor pearl millet to the seed mixture as noted above. For sites having disturbed areas over 5 acres the rates shown above for permanent seeding shall be deleted and the rates recommended by the soil testing agency shall be used. Soil testing shall be performed at the time

of fine grading and the results shall be furnished to the sediment control inspector. B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).

#### 1. General Specifications

**OWNER** 

PATAMY, LLC

WESTMINSTER, MD 21158

PHONE: 410-871-2600

- a. Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to
- b. Sod must be machine cut at a uniform soil thickness of  $\frac{3}{4}$  inch, plus or minus  $\frac{1}{4}$  inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
- c. Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the

d. Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may

e. Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its

# DEVELOPER / APPLICANT

TAX ACCT.\*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157

**REVISIONS** 

STANDARD VEGETATIVE STABILIZATION NOTES

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION

SHEETZ - WESTMINSTER

CARROLL CO.FILE\*:S-21-000-ELECTION DISTRICT: DATE: OCTOBER 21, 2024

Consulting Engineers 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031

Baltimore Land Design Group, Inc.

POSTEY

MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

PROFESSIONAL CERTIFICATION

# SHEETZ, INC.

CLAYSBURG, PA 16625 PHONE: 814-552-0609

AT SULLIVAN RD. AND RTE. 140

**EROSION AND SEDIMENT CONTROL PLAN** 

AX MAP: 39, GRID: 13, PARCELS: 249,752, 762

3. For specifications on permanent or temporary stabilization, see B-4-4 and B-4-5. Mulching only is restricted to use on disturbed areas as a temporary cover where vegetation is not feasible or where seeding germination cannot be completed because of weather conditions. For specifications see 5. For specifications on the stabilization of cut and fill slopes steeper than

1. All erosion / sediment control measures shall comply with the "2011 Maryland

Standards and Specifications for Soil Erosion and Sediment Control" by the

Maryland Department of the Environment, Water Management Administration

n association with the Natural Resources Conservation Service and the Maryland Association of Soil Conservation Districts (referenced as the 2011

Areas that have been cleared and/or graded, but will not be constructed on or permanently vegetated for more than 7 days (3 days for sediment

control measures and for steep slopes) must be stabilized with mulch or

temporary stabilization. Any areas that are in temporary vegetation for

c. Do not mow until the sod is firmly rooted. No more than 1/3 of the grass leaf must be removed 3 horizontal to 1 vertical, see Incremental Stabilization B-4-1. 6. The existing topsoil from on or off site that is used must meet the

minimum specification in B-4-2. 7. The required sequence of construction must be followed during site development. Any changes in the sequence of construction must be

over 6 months will need to be permanently vegetated.

GENERAL NOTES FOR EROSION

AND SEDIMENT CONTROL

Standards and Specs).

approved by the Soil Conservation District. 8. Any revisions to the sediment control plan, not covered under the list of plan modifications that can be approved by the sediment control inspector, need to be submitted to the Soil Conservation District for

9. No proposed slope that is required to be seeded and/or mulched shall be steeper than 2:1. Slopes steeper than 2:1 shall require a engineered design for stabilization.

10. All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 2011 Standards and Specs.

11. The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.

12. The district approval for this sediment control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be resubmitted to the Soil Conservation District for review and re-approval. Any plans that are currently under construction after 2 years may be required to be resubmitted to the Soil Conservation District by the sediment control inspector.

#### BY SITE CONDITION OR PURPOSE Site Condition or 2 3 4 5 6 7 8 9 10 11 12 Purpose of the Planting eep slopes. Roadsides Sand and Gravel Pits, Sanitary Landfills Salt-Damaged Areas Mine Spoil, Dredged Matera and Spoil Banks RRRRRA Utility Rights-of-Way A A R A R R A R R R Dikes and Dams Berms and Low Embankments (not on ponds) R | R | R | A | A | A | Grassed Waterways, Diversions, Terraces, Spillways Bottom of Drainage Channels, Swales, Detention Basins Field Borders, Filter Stripes, Contour Buffer Strips Wastewater Treatment Strips and Areas | Heavy Use Areas (Grass Loafing Paddocks for livestock)

R R R R

#### R = Recommended mix for this site condition or purpose A = Alternative mix, depending on site conditions

Athletic Fields, Residential and Commercial Lawns

Retained at 500 hours

NO. DESCRIPTION

H-1 Standards and Specifications for Materials

WOVEN
SLIT FILM MONOFILAMENT
GEOTEXTILE GEOTEXTILE
GEOTEXTILE ABLE H.1: GEOTEXTILE FABRICS MINIMUM AVERAGE ROLL VALUE PROPERTY TEST METHOD | MD | CD | MD | CD | MD | CD ASTM D-4632 200 lb 200 lb 370 lb 250 lb 200 lb 200 lb <u>ab Tensile Strength</u> ASTM D-4632 | 15% | 10% | 15% | 15% | 50% | 50% Grab Tensile Elongation ASTM D-4533 | 75 lb | 75 lb | 100 lb | 60 lb | 80 lb | 80 lb Puncture Strength .S. Sieve 30 U.S. Sieve 70 U.S. Sieve 70 other, including selvages. ASTM D-4751 (0.59 mm) (0.21 mm) (0.21 mm) <u>Apparent Opening Size</u> Permittivity ASTM D-4491 | 0.05 sec<sup>-1</sup> 0.28 sec<sup>-1</sup> 1.1 sec<sup>-</sup> Ultraviolet Resistance

All numeric values except apparent opening size (AOS) represent minimum average roll values (MARV). MARV is calculated as the typical minus two standard deviations. MD is machine direction; CD is cross direction. Values for AOS represent the average maximum opening.

Geotextiles must be evaluated by the National Transportation Product Evaluation

Program (NTPEP) and conform to the values in Table H.1.

The geotextile must be inert to commonly encountered chemicals and hydrocarbons and must be rot and mildew resistant. The geotextile must be manufactured from fibers consisting of long chain synthetic polymers and composed of a minimum of 95 percent by weight of polyolefins or polyesters, and formed into a stable network so the filaments or yarns retain their dimensional stability relative to each When more than one section of geotextile is necessary, overlap the sections by

at least one foot. The geotextile must be pulled taut over the applied surface. Equipment must not run over exposed fabric. When placing riprap on geotextile, ASTM D-4355 70% strength 70% strength 70% strength do not exceed a one foot drop height.

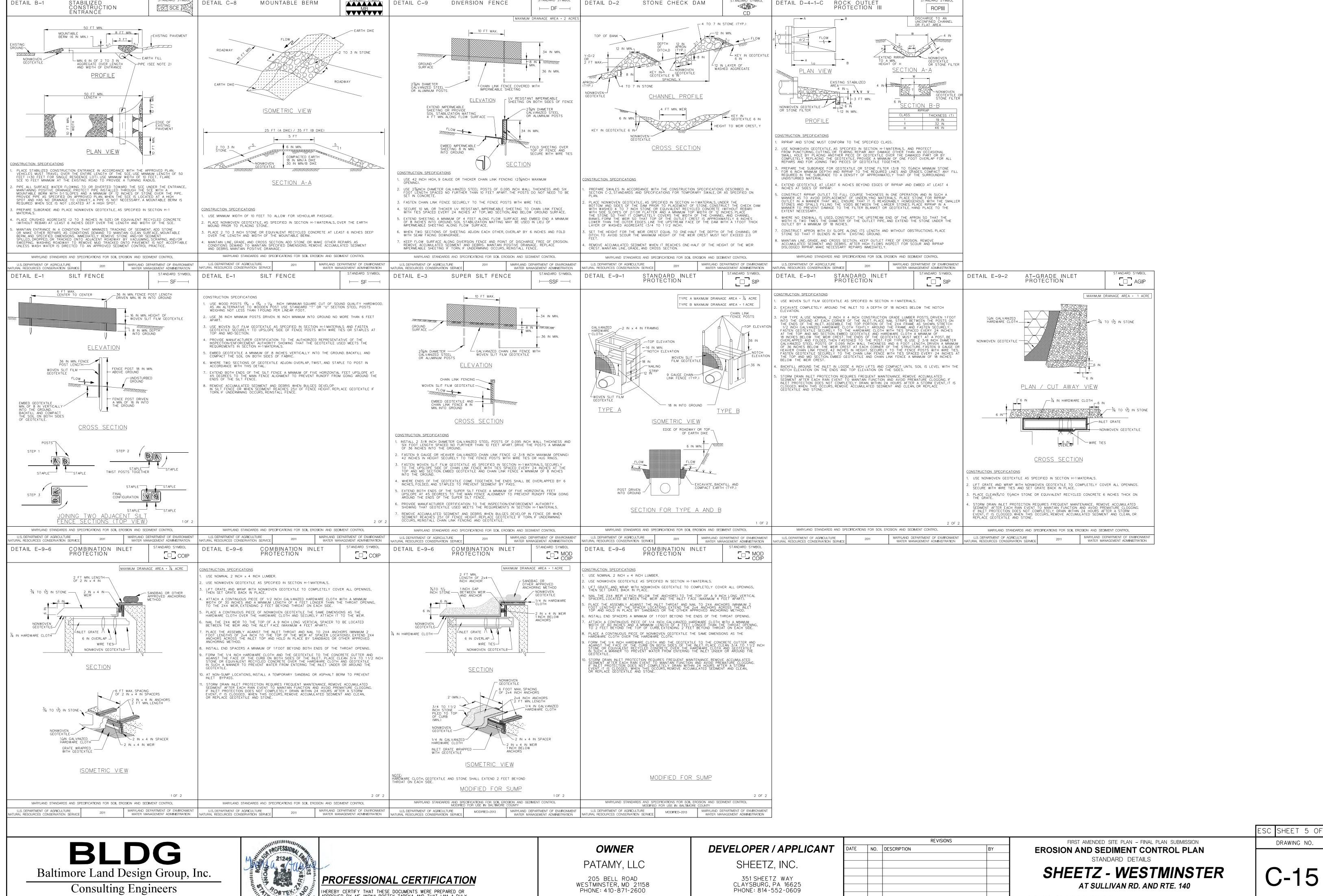
SHEET 4 OF 5

DRAWING NO.

SHEET 14 OF 65

PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

#### IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME. IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE



POSTEY IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT LAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026. PHONE: 410-871-2600

PHONE: 814-552-0609

TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. •S: 001169, 048408 & 049242

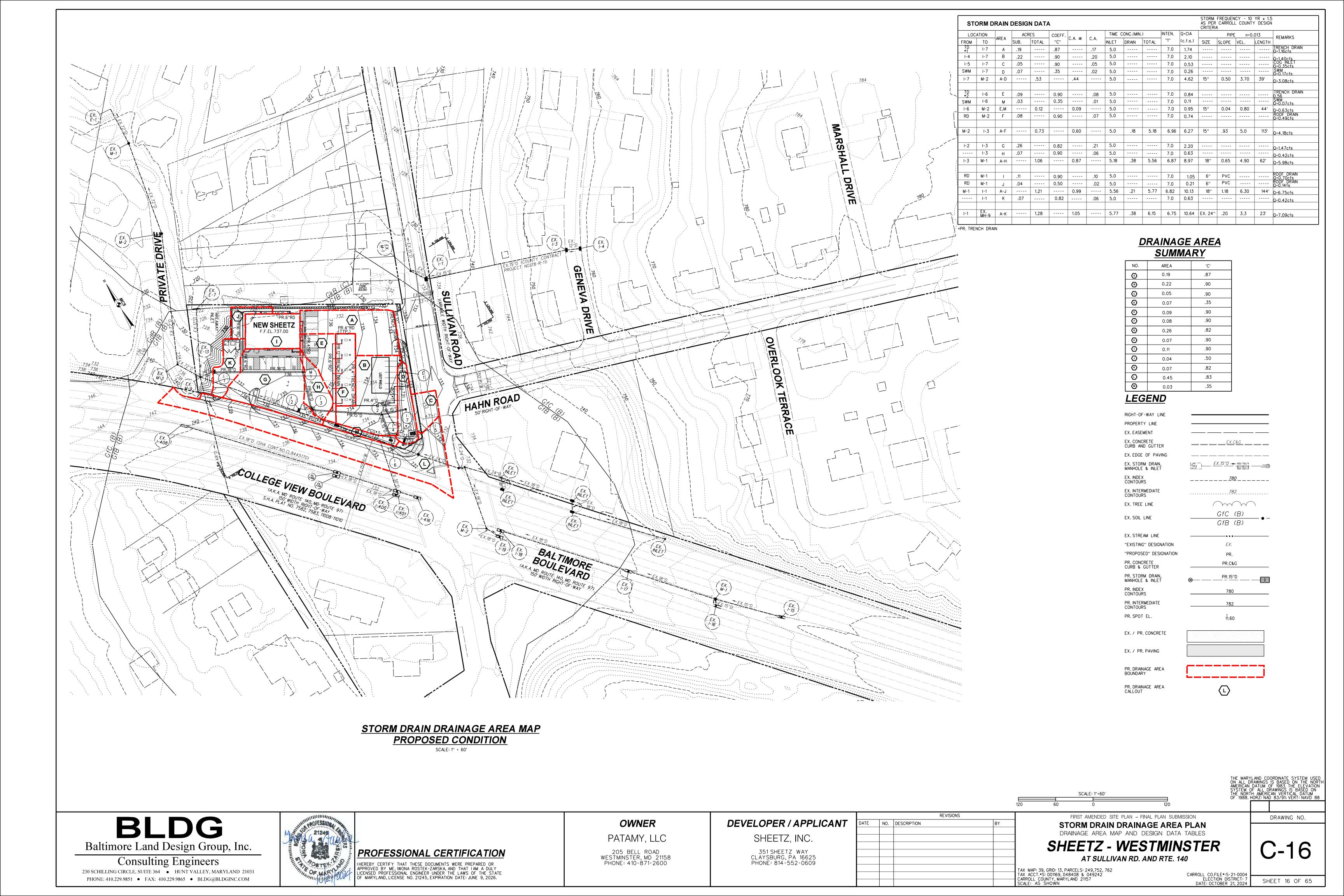
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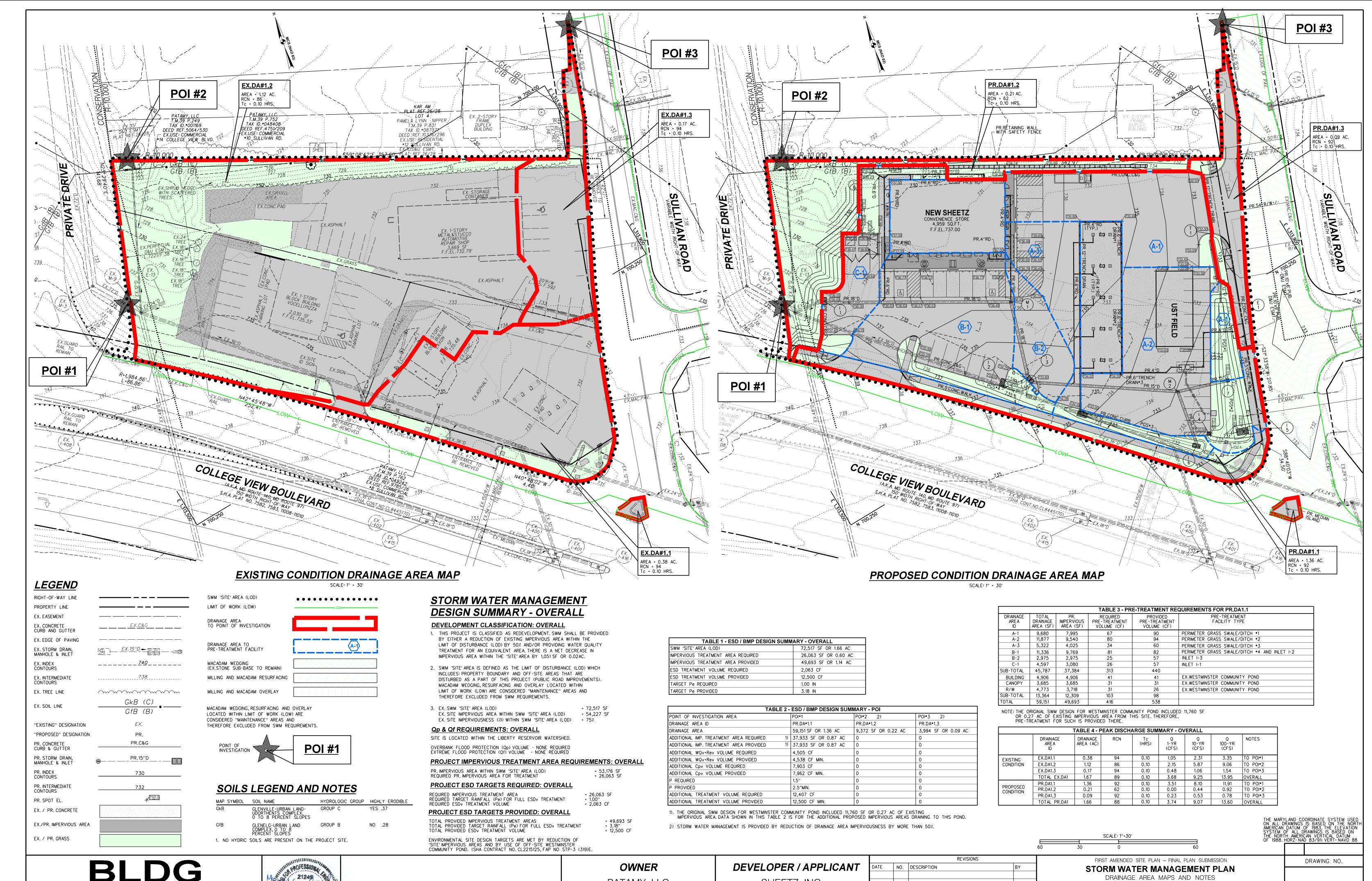
CARROLL CO.FILE\*:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024

CARROLL COUNTY, MARYLAND 21157

SHEET 15 OF 65

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Baltimore Land Design Group, Inc.

Consulting Engineers

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POSTEY

PROFESSIONAL CERTIFICATION

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PATAMY, LLC WESTMINSTER, MD 21158

PHONE: 410-871-2600

SHEETZ, INC. CLAYSBURG, PA 16625

PHONE: 814-552-0609 TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. •S: 001169, 048408 & 049242

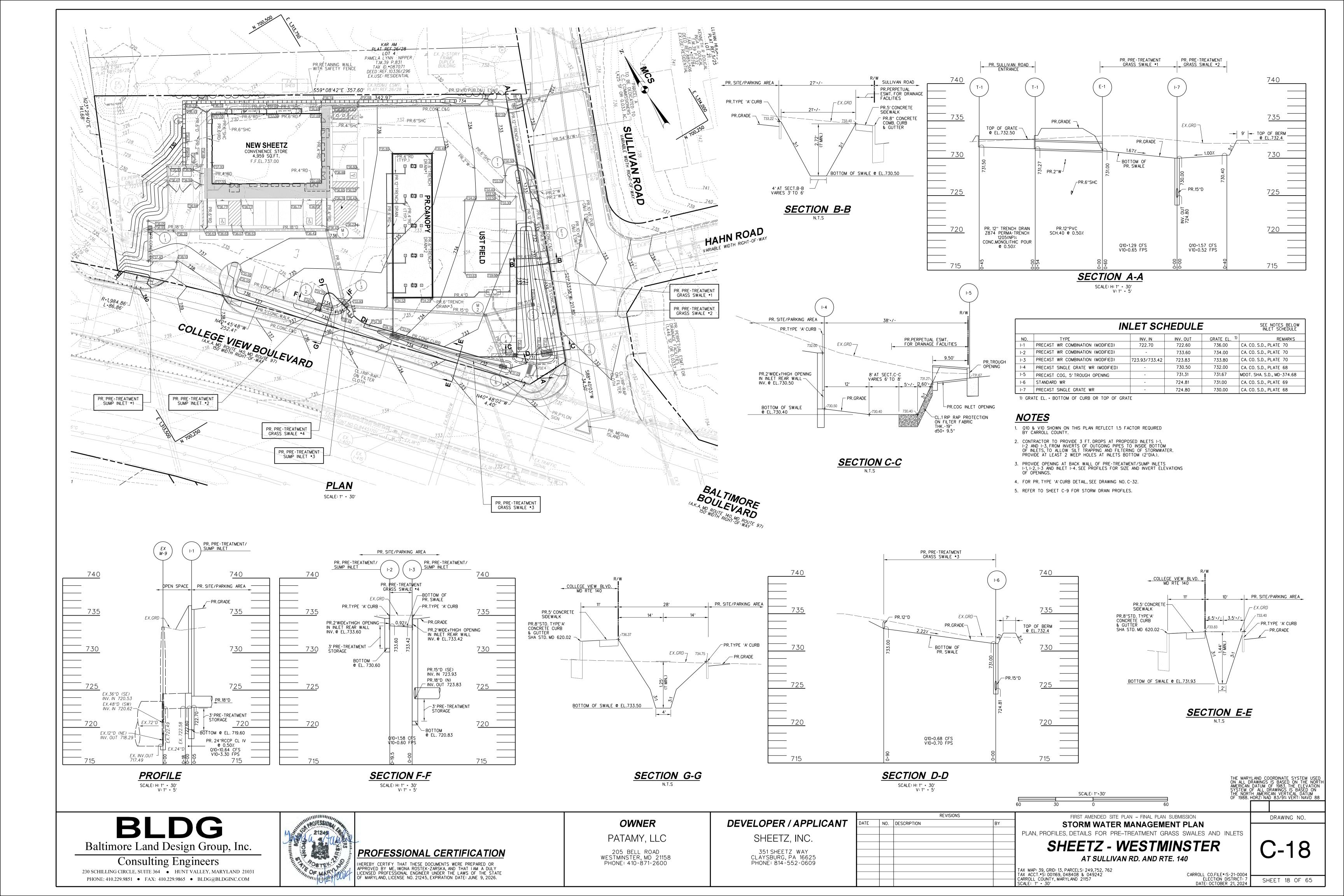
CARROLL COUNTY, MARYLAND 21157 SCALE: AS SHOWN

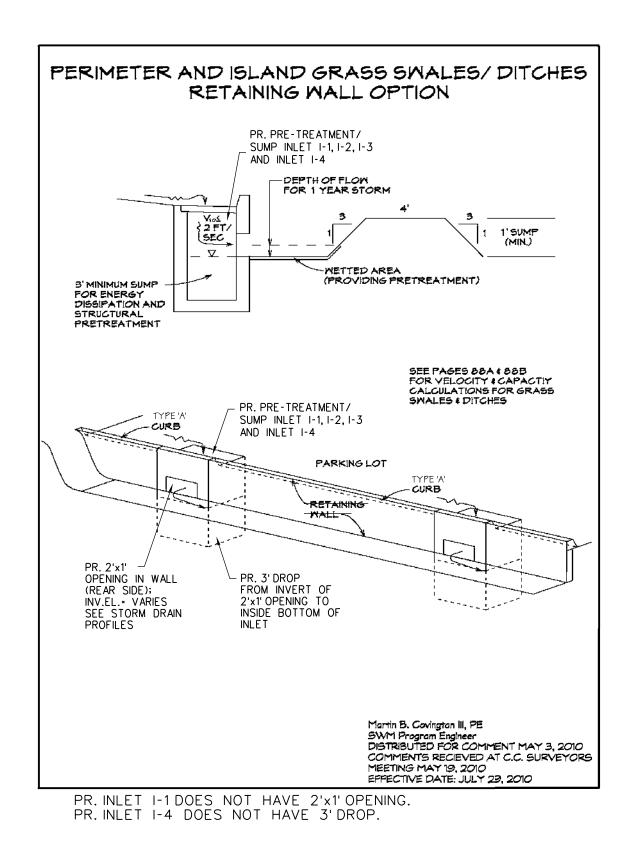
SHEETZ - WESTMINSTER

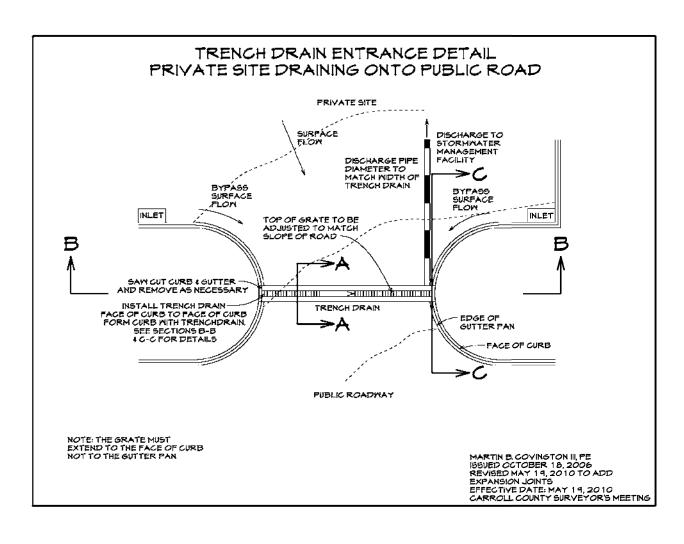
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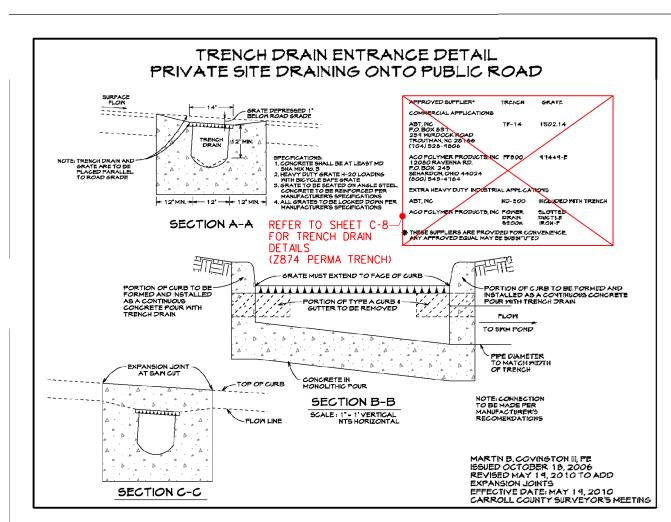
CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024

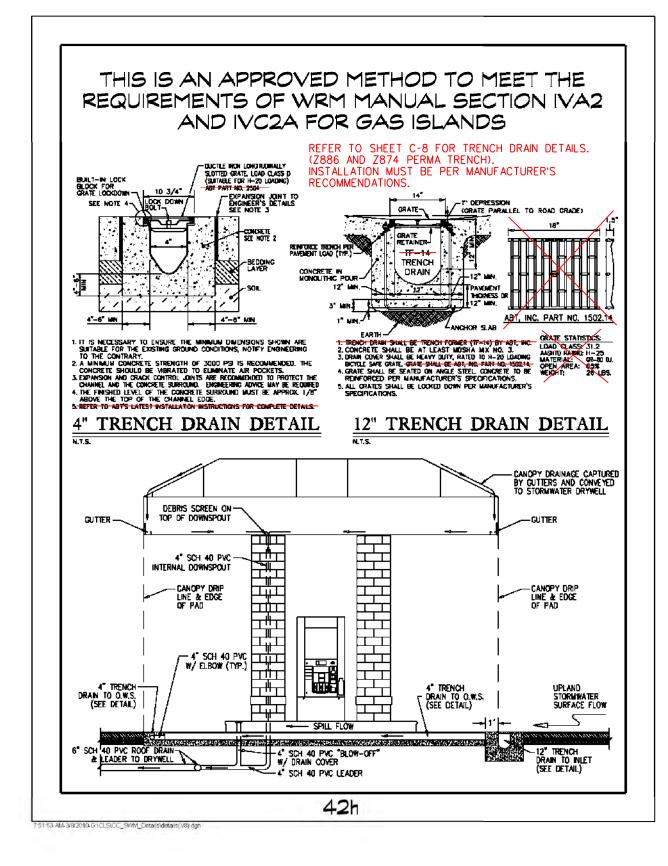
SHEET 17 OF 65











# OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY I HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I ALSO UNDERSTAND THAT IT IS MY RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR. AS APPROPRIATE. WITHIN THIRTY (30) DAYS OF COMPLETION

## STORMWATER MANAGEMENT MAINTENANCE AGREEMENT

- 1. THE STORMWATER MANAGEMENT PRETREATMENT MECHANISMS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED AND MAINTAINED BY THE
- OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR CONTINUING MAINTENANCE OF THESE PRETREATMENT STORMWATER MANAGEMENT FEATURES, WHICH SHALL INCLUDE SUCH ITEMS AS CLEANING AND REMOVING SEDIMENT / DEBRIS FROM DRAINS AND PRETREATMENT INLETS AND REMOVING SEDIMENT / DEBRIS AND MOVING GRASS IN PERIMETER SWALE. THE TIME PERIOD FOR THIS CONTINUING MAINTENANCE SHALL BE ON "AS-NEEDED" BASIS BUT SHALL NOT BE DELAYED LONGER THAN THIRTY (30) DAYS
- OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR ANY STRUCTURAL DAMAGES OR FAILURE WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE. IN THE EVENT OF STRUCTURAL DAMAGE, OWNER SHALL BE RESPONSIBLE TO MAKE THE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE BUT IN ANY CASE WITHIN THIRTY (30) DAYS.
- 4. IF AFTER NOTICE BY THE COUNTY TO CORRECT A VIOLATION REQUIRING MAINTENANCE WORK, SATISFACTORY CORRECTIONS ARE NOT MADE BY THE OWNER WITHIN THIRTY (30) DAYS, THE COUNTY MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE OWNERS OF THE FACILITY SHALL BE ASSESSED THE COST OF THE WORK AND ANY PENALTIES. THESE MONIES SHALL BE COLLECTED FROM A BOND, WHICH THE DEVELOPER IS REQUIRED TO POST WITH THE COUNTY TO COVER EXPENSES UNTIL "COMPLETION OF THE FACILITY". "COMPLETION OF THE FACILITY" IS CONSTRUCTED TO MEAN THAT ALL CONTRIBUTORY DRAINAGE AREAS ARE PAVED OR SUPPORTING A 2" STAND OF GRASS AND THAT THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT HAS INSPECTED CONSTRUCTION AND A REGISTERED PROFESSIONAL ENGINEER HAS CERTIFIED THAT THE "AS-BUILT" PLANS MEET THE PLANS AND SPECIFICATIONS FOR CONSTRUCTION. AFTER "COMPLETION OF THE FACILITY" THE OWNER(S) SHALL BE ASSESSED FOR ANY WORK AND PENALTIES. THIS MAY BE ACCOMPLISHED BY PLACING A LIEN ON THE PROPERTY, WHICH MAY BE PLACED ON THE TAX BILL AND COLLECTED AS ORDINARY TAXES BY THE COUNTY.
- 5. OWNER(S) SHALL GRANT RIGHT OF ENTRY TO AUTHORIZED COUNTY PERSONNEL FOR PURPOSES OF INSPECTION MONITORING AND/OR REPAIR. SITE VISITS FOR INSPECTION AND/OR MONITORING SHALL BE CONDUCTED ONLY DURING NORMAL COUNTY WORKING HOURS
- 6. THE AGREEMENT INCLUDING RIGHT-OF-ENTRY FOR INSPECTION/MAINTENANCE AND REPAIR SHALL BE RECORDED BY THE APPLICANT AND/OR OWNER IN THE LAND OF RECORDS OF THE COUNTY.

#### INSPECTION SCHEDULES

SEE CONSTRUCTION SEQUENCE FOR EXACT ORDER OR OPERATIONS

ROVAL INSPECTED BY
INSPECTED BY

PLEASE NOTIFY CERTIFYING ENGINEER 48 HRS PRIOR TO COMMENCING CONSTRUCTION ENGINEER'S NAME: PHONE NUMBER:

STAGE	INSPECTOR'S APPROV	
STAGE	INITIALS	DATE
1. INSTALL PROPOSED INLETS I-1 AND I-3 WITH THREE (3) FEET DEEP MINIMUM PRETREATMENT CHAMBERS AS SHOWN ON THE PLANS.		
2. INSTALL INLET PROTECTION AS SHOWN ON EROSION AND SEDIMENT CONTROL PLAN.		
3. FOLLOWING COMPLETION OF CONSTRUCTION ON SITE AND ESTABLISHMENT OF PERMANENT STABILIZATION,		
REMOVE INLET PROTECTIONS AND SEDIMENT/DEBRIS FROM PRETREATMENT INLETS I-1 AND I-3.		
4. INSTALL PROPOSED INLET I-2 WITH THREE (3) FEET DEEP MINIMUM PRETREATMENT CHAMBERS AS SHOWN ON THE PLANS.		
5. FOLLOWING COMPLETION OF CONSTRUCTION ON SITE AND ESTABLISHMENT OF PERMANENT STABILIZATION, REMOVE SEDIMENT/DEBRIS FROM PRETREATMENT INLET 1-2.		
6. INSTALL PROPOSED INLET I-4.		
7. INSTALL PROPOSED INLET I-5 AND RIP-RAP PROTECTION.		
B. FOLLOWING COMPLETION OF CONSTRUCTION ON SITE AND ESTABLISHMENT OF PERMANENT STABILIZATION, REMOVE SEDIMENT/DEBRIS FROM INLETS 1-4 AND 1-5.		
9. INSTALL PROPOSED INLET I-6 AND I-7.		
10. INSTALL INLET PROTECTION AS SHOWN ON EROSION AND SEDIMENT CONTROL PLAN.		
11. FOLLOWING COMPLETION OF CONSTRUCTION ON SITE AND ESTABLISHMENT OF PERMANENT STABILIZATION, REMOVE SEDIMENT/DEBRIS FROM INLETS 1-6 AND 1-7.		
12. CONTACT CERTIFYING PROFESSIONAL ENGINEER LISTED BELOW FOR FINAL INSPECTION.		

PLEASE NOTIFY CERTIFYING ENGINEER 48 HRS PRIOR TO COMMENCING CONSTRUCTION PHONE NUMBER:

CTAOE	INSPECTOR'S	S APPROVAL
STAGE	INITIALS	DATE
1. EXCAVATE GRASS SWALE *1 TO GRADES SHOWN ON THIS PLAN.		
2. EXCAVATE GRASS SWALE *2 TO GRADES SHOWN ON THIS PLAN.		
3. FOLLOWING COMPLETION OF CONSTRUCTION ON SITE, REMOVE SEDIMENT FROM GRASS SWALES *1		
AND *2. ENSURE THEY ARE GRADED PER PLAN FOR THE STORMWATER MANAGEMENT PHASE.		
4. STABILIZE WITH PERMANENT STABILIZATION.		
5. ONCE A 2-INCH STAND OF DENSE GRASS IS ESTABLISHED, REMOVE INLET PROTECTION AT 1-7.		
6. EXCAVATE GRASS SWALE •3 TO GRADES SHOWN ON THIS PLAN.		
7. EXCAVATE GRASS SWALE *4 TO GRADES SHOWN ON THIS PLAN.		
8. FOLLOWING COMPLETION OF CONSTRUCTION ON SITE, REMOVE SEDIMENT FROM GRASS SWALES *3		
AND *4. ENSURE THEY ARE GRADED PER PLAN FOR THE STORMWATER MANAGEMENT PHASE.		
9. STABILIZE WITH PERMANENT STABILIZATION.		
10. ONCE A 2-INCH STAND OF DENSE GRASS IS ESTABLISHED, REMOVE INLET PROTECTION AT 1-3		
AND 1-6.		
11. CONTACT CERTIFYING PROFESSIONAL ENGINEER LISTED BELOW FOR FINAL INSPECTION.		

PLEASE NOTIFY CERTIFYING ENGINEER 48 HRS PRIOR TO COMMENCING CONSTRUCTION PHONE NUMBER: ENGINEER'S NAME:

STAGE	INSPECTOR'S APPRO		
STAGE		DATE	
1. INSTALL 24" RCCP., CL,IV FROM EX. 24" STUB AT EX. M-9 TO I-1.			
2. INSTALL 18" HDPE ADS N12 FROM I-1 TO I-3.			
3. INSTALL 15" HDPE ADS N12 FROM I-3 TO I-7			
4. INSTALL 15" HDPE ADS N12 FROM M-2 TO I-6			
5. INSTALL 12" PVC SCH.40 FROM T-1 TO E-1			
6. BACKFILL WITH STRUCTURAL BACKFILL MATERIAL.			
7. CONTACT CERTIFYING PROFESSIONAL ENGINEER LISTED BELOW FOR FINAL INSPECTION.			

PLEASE NOTIFY CERTIFYING ENGINEER 48 HRS PRIOR TO COMMENCING CONSTRUCTION ENGINEER'S NAME: PHONE NUMBER:

## GUIDELINES FOR CONSTRUCTION AND INSPECTION

THESE GUIDELINES ARE AS PER IN "2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUMES 1& 11, PREPARED BY THE CENTER FOR WATERSHED PROTECTION AND MDE.

#### **CONSTRUCTION SPECIFICATIONS**

#### **B.3.C Specifications for Open Channels**

- THE RECOMMENDED CONSTRUCTION MATERIALS FOR OPEN CHANNELS AND FILTER STRIPS ARE DETAILED
- SIDE SLOPES TO BE 3:1 MAXIMUM; (4:1 OR FLATTER IS PREFERRED).

  BOTTOM OF FACILITY TO BE ABOVE THE SEASONALLY HIGH WATER TABLE PER TABLE 2 OF APPENDIX D.1.

  SEED WITH FLOOD/DROUGHT RESISTANT GRASSES; SEE APPENDIX A, SECTION 2.4. LONGITUDINAL SLOPE TO BE 1%, MAXIMUM. BOTTOM WIDTH TO BE 2' MINIMUM,
- RECOMMENDED GRASS SPECIES FOR USE IN ESTABLISHING PERMANENT GROUND COVER ARE PROVIDED IN SECTION 2.4 OF APPENDIX A.

MATERIAL	SPECIFICATION	SIZE	NOTES
DRY SWALE SOIL	USCS; ML, SM, SC	N/A	SOIL WITH A HIGHER PERCENT ORGANIC CONTENT IS PREFERRED
DRY SWALE SAND	ASTM C-33 FINE AGGREGATE CONCRETE SAND	0.02" TO 0.04"	
CHECK DAM (PRESSURE TREATED)	AWPA STANDARD C6	6" BY 6" OR 8" BY 8"	DO NOT COAT WITH CREOSOTE: EMBED AT LEAST 3'INTO SIDE SLOPES
CHECK DAM (NATURAL WOOD)	BLACK LOCUST, RED MULBERRY, CEDARS, CATALPA, WHITE OAK, CHESTNUT OAK, BLACK WALNUT	6" TO 12" DIAMETER; NOTCH AS NECESSARY	DO NOT USE THE FOLLOWING, AS THESE SPECIES HAVE A PREDISPOSITION TOWARDS ROT: ASH, BEECH, BIRCH, ELM, HACKBERRY, HEMLOCK, HICKORIES, MAPLES, RED AND BLACK OAK, PINES, POPLAR, SPRUCE, SWEETGUM, WILLOW
FILTER STRIP SAND / GRAVEL PERVIOUS BERM	SAND: PER DRY SWALE SAND GRAVEL: AASHTO M-43	SAND: 0.02" TO 0.04" GRAVEL:1/2" TO 1"	MIX WITH APPROXIMATELY 25% LOAM SOIL TO SUPPORT GRASS COVER CROP; SAND (35-60%), SILT (30-55%), AND GRAVEL (10-25%) SEE BIORETENTION PLANTING SOIL NOTES FOR MORE DETAIL
PEA GRAVEL DIAPHRAGM AND CURTAIN DRAIN	ASTM D-448	VARIES (NO.6) OR (1/8" TO 38")	USE CLEAN BANK-RUN GRAVEL
UNDERDRAIN GRAVEL	AASHTO M-43	0.25" TO 0.75"	
UNDERDRAIN	F 758 TYPE PS 28 OR AASHTO M-278	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR 35	36" PERF. 6 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES
GEOTEXTILE	CLASS "C" - APPARENT OPENING SIZE (ASTM-D- 4751), GRAB TENSILE STRENGTH (ASTM-D- 4632, PUNCTURE RESISTANCE (ASTM-D-4833)	N/A	
RIP RAP	PER COUNTY CRITERIA; IF NONE GIVEN, USE MSHA STANDARDS AND SPECS SECTION 905	SIZE PER COUNTY DOT REQUIREMENTS BASED ON 10-YEAR DESIGN FLOWS	

#### **CONSTRUCTION CRITERIA AND INSPECTION**

#### CONSTRUCTION CRITERIA:

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING THE CONSTRUCTION OF PROJECTS WITH PERIMETER SWALES:

1. EROSION AND SEDIMENT CONTROL: SWALES ARE OFTEN USED FOR CONVEYING RUNOFF TO SEDIMENT TRAPPING DEVICES DURING SITE CONSTRUCTION. CARE SHOULD BE TAKEN TO ENSURE PROPER CONSTRUCTION WHERE STORMWATER MANAGEMENT SWALES ARE USED FOR THIS PURPOSE. AFTER THE DRAINAGE AREA IS COMPLETELY STABILIZED, ACCUMULATED SEDIMENT SHOULD BE REMOVED AND THE SWALE EXCAVATED TO THE REQUIRED DIMENSIONS. ANY REQUIRED INFRASTRUCTURE (E.G., CHECK DAMS, UNDERDRAINS) MAY THEN BE INSTALLED, THE BOTTOM AND SIDE SLOPES SCARIFIED, AND A GOOD STAND OF VEGETATION ESTABLISHED.

- REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION:
- 1. DURING PLACEMENT AND BACKFILL OF UNDERDRAINS AND THE INSTALLATION OF DIAPHRAGMS, FOREBAYS, CHECK
- 2. UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.

MONTHLY INSPECTION					
INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION			
DEBRIS AND TRASH	CHECK FOR TRASH AND DEBRIS IN CHANNEL INCLUDING INLETS, OUTLETS, AND AREA AROUND FACILITY.	REMOVE ALL TRASH AND DEBRIS AND DISPOSE IN AN ACCEPTABLE MANNER UNCLOG ALL OPENINGS.			
GRASS COVER	GRASS IN SWALE MUST BE MAINTAINED AT A HEIGHT OF 4 TO 6 INCHES. CHECK FOR CHANNELIZING AND BARE SPOTS.	MOW SIDE SLOPES WHEN GRASS EXCEEDS 12 INCHES IN HEIGHT. MOW CHANNEL AT LEAST BI-ANNUALLY. REMOVE GRASS CLIPPINGS. RE-PLANT WITH TOPSOIL, SEED, AND MATTING.			
	SEASONAL INSPECTION AND AF	TTER A MAJOR STORM			
INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION			
SEDIMENT ACCUMULATION	CHECK FOR ACCUMULATED SEDIMENT AND CLOGGED OPENINGS.	WHEN SEDIMENT ACCUMULATES TO 2 INCHES IN DEPTH, REMOVE SEDIMENT. REMOVE SEDIMENT FROM ANY CLOGGED OPENINGS, DISPOSE OF ALL SEDIMENT IN AN ACCEPTABLE LOCATION.			
EROSION	CHECK INFLOW, CHANNEL, OUTFALL, AND SIDE SLOPES FOR EVIDENCE OF EROSION, RILLS, GULLIES, AND RUNOFF CHANNELIZATION.	RE-PLANT WITH TOPSOIL, SEED, AND MATTING. RE-GRADE IF CONCENTRATED RUNOFF TO THE FACILITY IS CAUSING RILLS OR GULLYING, GRADE, VEGETATE, AND/OR ARMOR TO PROVIDE STABLE CONVEYANCE IN ACCORDANCE WITH APPROVED PLANS.			
	ANNUAL INSPE	CTION			
INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION			
MAINTENANCE ACCESS	CHECK FOR ACCESSIBILITY TO FACILITY.	PREVENT EXCESSIVE VEGETATIVE GROWTH, EROSION, AND OBSTRUCTIONS ON ACCESS WAY.			
OVERALL FUNCTION OF FACILITY	CHECK THAT FLOW CONVEYANCE IS OPERATING AS DESIGNED	REPAIR TO GOOD CONDITION ACCORDING TO SPECIFICATIONS ON THE APPROVED PLANS.			

#### MAINTENANCE REQUIREMENT FOR PRETREATMENT / SUMP INLETS: I-1, I-2 & I-3

THE FOLLOWING ITEMS SHALL BE ADDRESSED TO ENSURE PROPER MAINTENANCE AND LONG-TERM PERFORMANCE OF SUMP INLETS:

- 1. SUMP INLETS SHALL BE PUMPED OUT AND ALL ACCUMULATED DEBRIES REMOVED AT LEAST ANNUALLY.
- 2. INSPECTIONS SHALL BE PERFORMED AT LEAST BI-ANNUALLY TO ASSESS STRUCTURE INTEGRITY AND ACCUMULATION OF DEBRIES AND SEDIMENTATION. PERIODIC REMOVAL OF SEDIMENT, LITTER, OR OBSTRUCTIONS SHALL BE DONE AS NEEDED.

#### STORMWATER MANAGEMENT **SEQUENCE OF OPERATIONS**

- 1. THIS SEQUENCE OF OPERATION SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE SEQUENCE OF OPERATION AS SHOWN ON THE APPROVED SEDIMENT AND EROSION CONTROL
- 2. NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST THREE (3) WORKING DAYS PRIOR TO
- 3. NOTIFY PROFESSIONAL ENGINEER WHO WILL BE PERFORMING THE AS-BUILT CERTIFICATION AT LEAST THREE (3) WORKING DAYS PRIOR TO BEGINNING OF WORK SHOWN ON THESE STORM
- 4. CONTACT THE CARROLL COUNTY SEDIMENT CONTROL INSPECTOR (410-386-2210)
  72 HOURS PRIOR TO DOING ANYTHING ON THE SITE TO SETUP A PRE-CONSTRUCTION MEETING
  AND TO MAKE SURE ALL LOCAL ORDINANCE ITEMS HAVE BEEN SATISFIED.
- 5. FOLLOW SEQUENCE OF OPERATIONS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLANS UNTIL SEQUENCE OF OPERATION \*6.
- 6. INSTALL PROPOSED STORM DRAIN SYSTEMS, INCLUDING TRENCH DRAIN AND INLETS I-1, I-2, I-3. PROVIDE 3 FT. BOTTOM DROPS AT INLETS.
  GRADE PERIMETER GRASS SWALES AND STABILIZE WITH PERMANENT VEGETATIVE STABILIZATION.
- AFTER COMPLETION OF TRENCH DRAIN, INLETS, AND PERIMETER GRASS SWALES, PREPARE AND SUBMIT AS-BUILT SWM DRAWINGS FOR COUNTY REVIEW AND APPROVAL WITHIN 60 DAYS.

PLAN, PROFILES, DETAILS FOR PRE-TREATMENT GRASS SWALES AND INLETS FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION DRAWING NO. STORM WATER MANAGEMENT PLAN

DETAILS, NOTES, SPECS FOR PRE-TREATMENT GRASS SWALES AND INLETS SHEETZ - WESTMINSTER

AT SULLIVAN RD. AND RTE. 140

Baltimore Land Design Group, Inc. Consulting Engineers 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

LICENSE NO.

EXPIRATION DATE

HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151

CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY

LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE,

OF WORK ON THE STORMWATER MANAGEMENT FACILITY/FACILITIES, I ALSO CERTIFY THAT

THIS/THESE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND

SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096

HEREBY CERTIFY THAT THE FACILITY/FACILITIES SHOWN ON THIS/THESE PLAN(S) WAS

ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096 OF THE CODE OF PUBLIC LOCAL

LAWS AND ORDINANCES OF CARROLL COUNTY AND LIHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED

PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE,

CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT THIS/THESE FACILITIES WERE INSPECTED IN

OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY.

ENGINEER DESIGN CERTIFICATION

Thoma Tanke

ENGINEER "AS-BUILT" CERTIFICATION

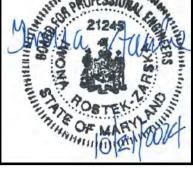
UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED

SIGNED

UNDER THE LAWS OF THE STATE OF MARYLAND.

DEVELOPERS / LANDOWNERS CERTIFICATION



PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

PATAMY, LLC

**OWNER** 

WESTMINSTER, MD 21158 PHONE: 410-871-2600

SHEETZ, INC. CLAYSBURG, PA 16625 PHONE: 814-552-0609

DEVELOPER / APPLICANT

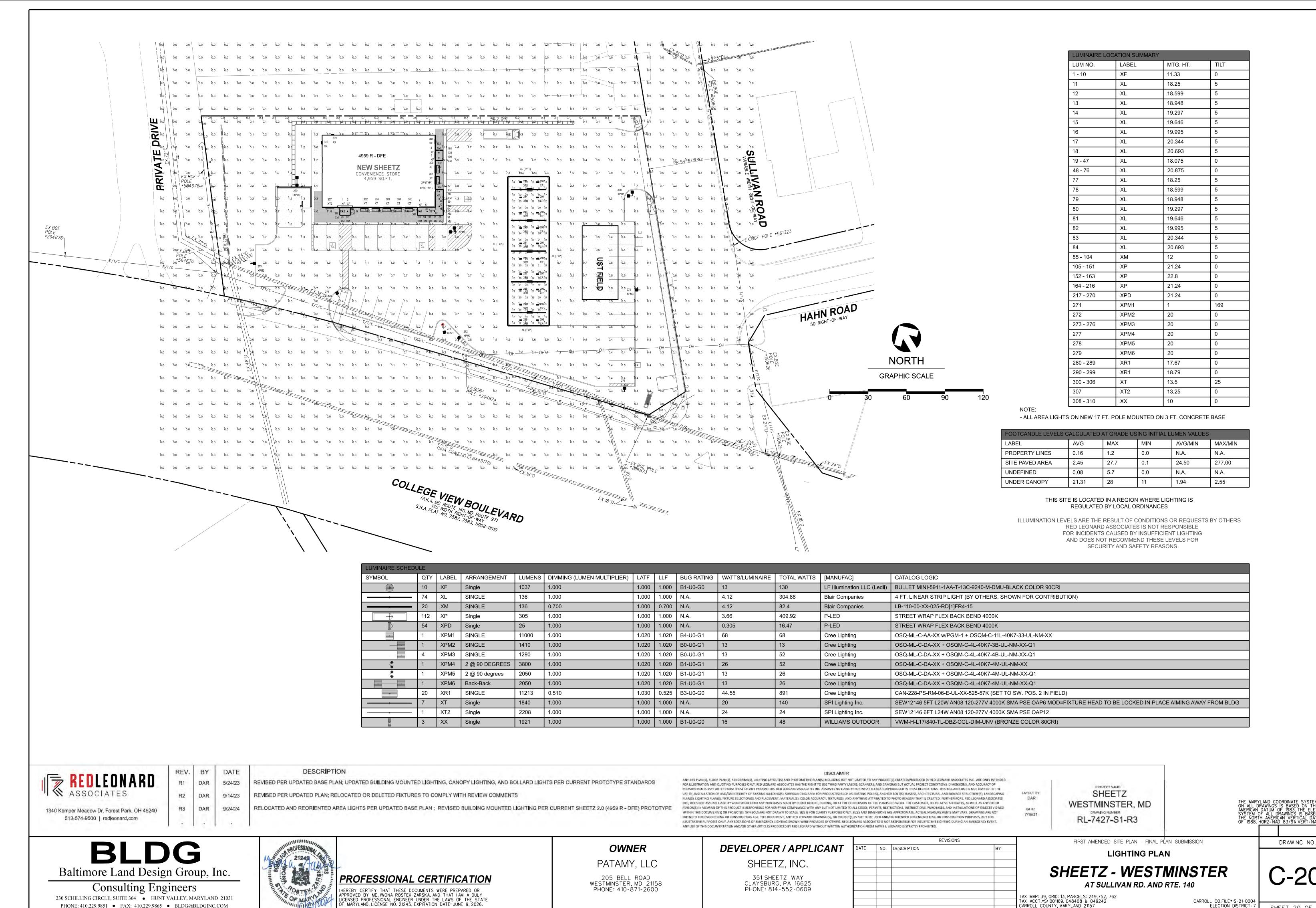
NO. DESCRIPTION

REVISIONS

TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. \*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157

WATER MANAGEMENT (SWM) PLANS.

SHEET 19 OF 65

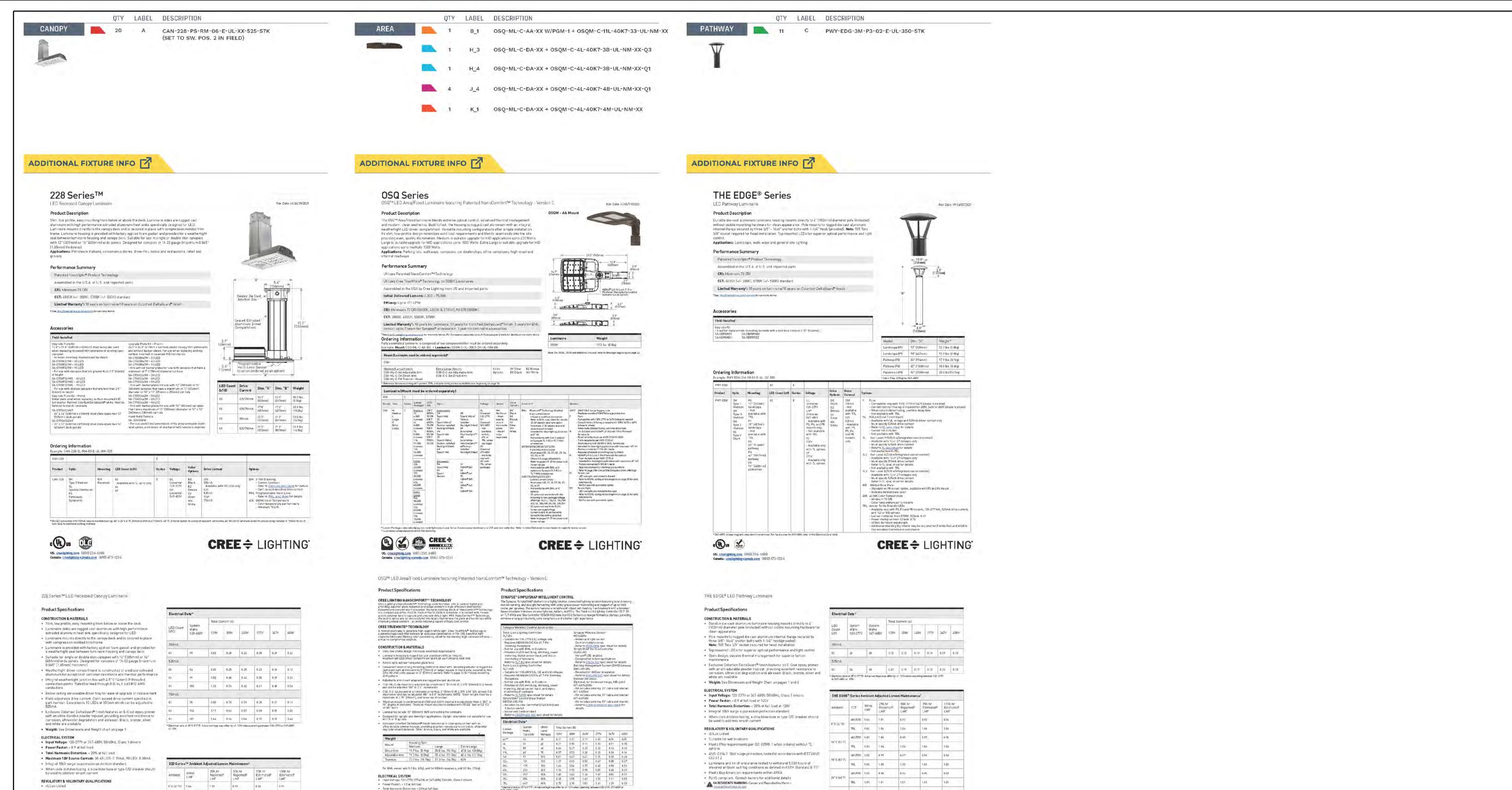


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PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024 SHEET 20 OF 65

CARROLL COUNTY, MARYLAND 21157 SCALE: 1" = 30'



REGULATORY & VOLUNTARY QUALIFICATIONS cULus Listed

US: creelighting.com (800)236-6800 Carada: creetighting-canada.com (800) 473-1234

· Suitable for wet locations . Meets FCC Part 15, Subpart B; Class A limits for conducted and radiated ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI

 Meets Buy American requirements within ARRA DLC qualified with select SKUs, Refer to https://www.designlights.org/ search/ for most current information CA RESIDENT'S WARNING Cancer and Reproductive Harrn -

. Luminaire and finish endurance tested to withstand 5,000 hours of

elevated ampient salt fog conditions as defined in ASTM Standard B 17

		10.000	1	1	T
Ambient.	Initial LMF	25k hr Reported <sup>2</sup> LMF	50% hr Reported <sup>2</sup> LMF	75K nr Estimated <sup>2</sup> LMF	199K hr Estimated LMF
8°C (41°F)	1.04	1.01	0.79	0.98	0.98
10°C (50°F)	1,03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°D[68'F]	1.01	0.78	0.96	0.95	0.93
26"0 (77"F)	1.00	0.97	0.95	0.94	0.92

name with IES TM-21. Reported values represent interpolated values to each of time durations that are up to as Listers for in the LES LM-60 report for the LED. To use a recursive to a consequent time durations that acceed the Schaef duration of the LED.

CREE \$ LIGHTING

ELECTRICAL SYSTEM

• Input Voltage, 120-277V, 277-489V or 347-489V, 50/40Hz, Class 1 drivers . Power Factor: > 0.9 at rull load · Total Harmonic Distortion: < 20% at rull lead Integral 10kV/5kA surge suppression protection standard; 20kV/16kA surge suppression protection obtained. When code dictates fusing, a slow plowfuse on type C/D creaker should be used to address innish current.

 Designed with 0-10V dimming capabilities. Dontrols by others. · Refer to Dimming special eur for details Maximum 10V Source Current, 1.EmA Up erating Temperature frange: -40°D -+40°D (-40°F - +184°F) REGULATORY & VOLUNTARY QUALIFICATIONS 4 Suitable for wer focations Meets NEMA C82.77 standards
 Drivers and LEDs are UL certified in accordance with UL8750

 ANSI C136.2 10kV/5kA (standard) and 20kV/10kA (optional) surge suppression protection tested in accordance with IEEE/ANSI C62.4 1.2 + Meets FCC Part 15, Subpart B, Class Allmits for conducted and radiated unissions Luminare and finish endurance tested to withstand 5,000 hours of elevated ambient salt-ting conditions as defined in ASTM Standard E 117 Lens meets IK07 requirements per IEC 80068-2 Assembled in the USA by Cree Lighting from US and imported parts
 Meets Buy American requirements within ARRA. . RoHS compliant. Donsult factory for additional details

. Meets requirements of IPSA per IEC 60529 when ordered without Nor Richtlens

Dark Sky Friendly, IDA Approved when ordered with 30K CCT and directarm mount only Please refer to https://www.dark.sky.ord/opr-work/lighting/lighting-to-industry/to-drea-products/ for most current information (Pending) A CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.ps6warnings.ca.gov

US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234

CREE ♦ LIGHTING

<sup>9</sup> In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 55 the varied duration in the IES LM-S0 report for the LEO.

0S0-L-C-BLSF (Large) 0S0-X-C-BLSF (Extra Large)

US: creetighting.com (800) 236-6800 Canada: creelighting-canada.com (800)473-1234

**CREE** \$\DECERS \LIGHTING

conditions.

In accordance with 15 TM-21, Reported values represent the spoked values based on time charakters that are up to 50 the semediament in intelligible 150 report for the LED.

It is that only one are calculated and represent intelligible durations that according to the 50 material value are calculated.

Baltimore Land Design Group, Inc. Consulting Engineers

POSTEY

PROFESSIONAL CERTIFICATION IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

**OWNER** PATAMY, LLC WESTMINSTER, MD 21158 **DEVELOPER / APPLICANT** SHEETZ, INC. CLAYSBURG, PA 16625

REVISIONS NO. DESCRIPTION

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION LIGHTING DETAILS

SHEETZ - WESTMINSTER AT SULLIVAN RD. AND RTE. 140

DRAWING NO.

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

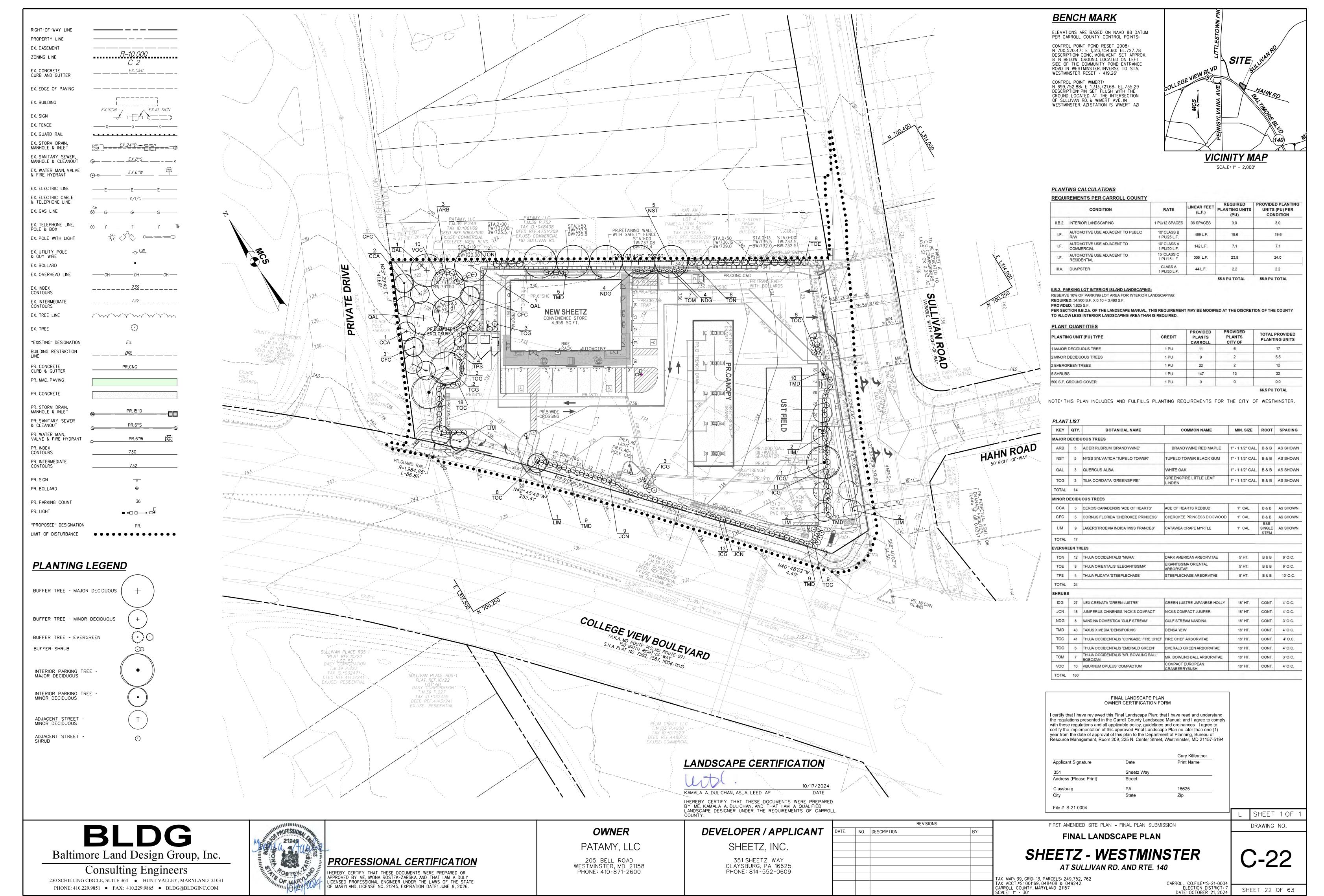
PHONE: 410-871-2600

PHONE: 814-552-0609

TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. \*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157

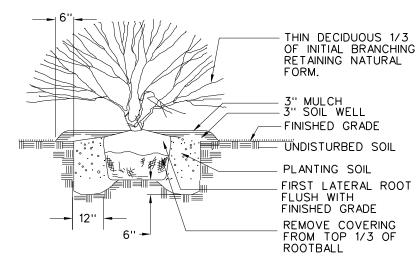
CARROLL CO.FILE\*:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024

SHEET 21 OF 65

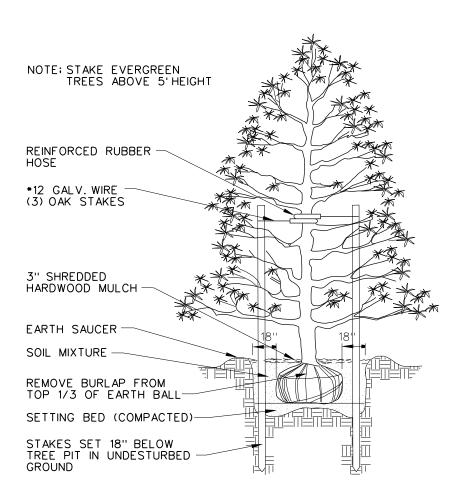


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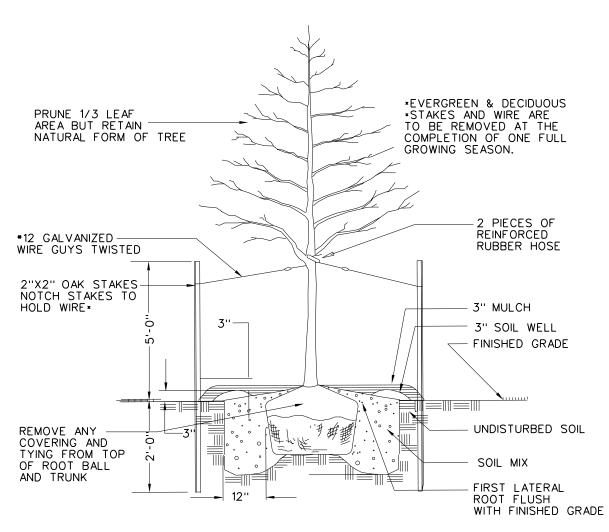
CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024 SHEET 22 OF 63



SHRUB PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



TREE PLANTING DETAIL

## LANDSCAPE CERTIFICATION

10/17/2024 KAMALA A. DULICHAN, ASLA, LEED AP IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, KAMALA A. DULICHAN, AND THAT IAM A QUALIFIED LANDSCAPE DESIGNER UNDER THE REQUIREMENTS OF CARROLL COUNTY.

- 1. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE QUANTITIES OF PLANT MATERIAL SHOWN ON THE PLAN AND SHALL PROVIDE AND PLANT ALL MATERIAL IN ACCORDANCE WITH THE PLAN.
- 2. PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 3. PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE "LANDSCAPE SPECIFICATION GUIDELINES" BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, THE
- 4. THE LANDSCAPE CONTRACTOR SHALL NOTIFY MISS UTILITY TO VERIFY THE LOCATION OF UTILITIES IN THE FIELD BEFORE PROCEEDING WITH THE INSTALLATION.
- 5. ALL PLANTS SIX FEET IN HEIGHT AND TALLER ARE TO BE STAKED AS NOTED IN THE "LANDSCAPE SPECIFICATION GUIDELINES" AND THE STAKING DETAIL ON THIS PLAN.

DISTRICT OF COLUMBIA AND VIRGINIA (LATEST EDITION).

- 6. PLANTING AREAS ARE TO HAVE A MINIMUM 18" DEPTH OF CLEAN SOIL FOR THE ENTIRE AREA OF THE PLANTING. CLEAN SOIL MUST INCLUDE EXISTING ON-SITE SOIL, BUT MUST BE FREE OF CHEMICAL SUBSTANCES AND DEBRIS OVER 1 1/2" DIAMETER. THE TOP 4 INCHES OF THE SOIL SHALL BE TOPSOIL MEETING THE CRITERIA OF THE "LANDSCAPE SPECIFICATION GUIDELINES".
- 7. THE PLANTS ARE TO BE PLANTED INTO PREPARED PLANTING BEDS. A 2" LAYER OF ORGANIC MATERIAL, AS DEFINED IN THE "LANDSCAPE SPECIFICATION GUIDELINES", SHALL BE THOROUGHLY CULTIVATED INTO THE BED AREA. THE BACKFILL MIXTURE FOR TREES AND SHRUBS SHALL BE 3/4 EXISTING SOIL MIXED WITH 1/4 ORGANIC MATERIAL, AND COMPOST.
- 8. THE EDGE OF THE MULCH BED SHALL BE FORMED TO SEPARATE THE MULCH BED FROM THE GRASS LAWN AREA. THE EDGE OF THE MULCH BED SHALL FORM A SMOOTH, CONTINUOUS CURVE, AS SHOWN ON THE LANDSCAPE PLAN. THE MULCH BED SHALL BE MAINTAINED, AS NECESSARY, TO PREVENT THE ENCROACHMENT OF GRASS INTO THE BED.
- 9. AFTER PLANTING, THE ENTIRE BED IS TO RECEIVE 3 INCHES THICK DOUBLE SHREDDED HARDWOOD MULCH DYED COLOR BROWN OR BLACK.
- 10. PLACE "DEWITT 15 YEAR WEED BARRIER", WOVEN POLYPROPYLENE OR APPROVED EQUAL IN ALL PLANTING BEDS AND AT EACH TREE RING.
- 11. ALL TREES THAT ARE NOT IN DESIGNATED PLANTER BEDS SHALL RECEIVE A 4'-5' DIAMETER MULCH BED AROUND THE TRUNK WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH, DYED COLOR ENHANCED-BROWN. THERE SHALL BE NO EXCESS SOIL OR MULCH ON TOP OF THE ROOT BALL SO AS TO EXPOSE THE BASAL ROOT FLARE.
- 12. ALL LAWN AREAS ARE TO BE SODDED WITH MARYLAND STATE CERTIFIED TURFGRASS SOD. PREPARE THE SUBGRADE SOIL, FINISH GRADE SOIL, AND SUPPLY, INSTALL AND MAINTAIN THE SOD IN ACCORDANCE WITH THE "LANDSCAPE SPECIFICATION GUIDELINES".
- 13. THE LANDSCAPING IS TO BE MAINTAINED WITH LIVING PLANT MATERIAL. THE WARRANTY IS FOR A (1) ONE YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON THE DATE OF INITIAL ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR 25% OF THE CROWN IS DEAD. THE WARRANTY MAY BE VOID IF PROPER CARE, BY THE OWNER OR THE OWNER'S MAINTENANCE CONTRACTOR, IS NOT PROVIDED.

- 1. FOR DUMPSTER DETAILS, SEE SHEET C-31.
- 2. FOR RETAINING WALL DETAIL, SEE SHEETS C-33 THROUGH C-36.

#### NOTES:

- 1. CONTRACTOR IS TO NOTIFY MISS UTILITY A MINIMUM OF 72 HOURS PRIOR TO DIGGING.
- THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS.
   THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE
   LANDSCAPE ARCHITECT.
- 3. THIS PLAN IS FOR PLANTING ONLY.
- 4. NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
- 5. SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING.
- 6. THE LOWEST BRANCHES OF ALL TREES ARE TO BE PRUNED AWAY AS OVER GROWTH OCCURS IN ORDER TO MAINTAIN SIGHT DISTANCE LINES.
- 7. ALL AREAS THAT ARE DISTURBED DURING CONSTRUCTION AND ARE NOT SCHEDULED TO BE PAVED OR A PLANTING BED SHALL BE SEEDED OR SODDED WITH TURFGRASS.

#### INSTALLATION:

- STANDARDS TO CONFORM TO THE MOST RECENT VERSION OF THE ANSIA300 STANDARDS PART 6 --TRANSPLANTING AND LANDSCAPE SPECIFICATIONS GUIDELINES OF THE LANDSCAPE CONTRACTORS ASSOCIATION, MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA.
- 2. PLANTING ON INDIVIDUAL LOTS SHALL BE INSTALLED UPON FINAL GRADING INSPECTION, NO FINAL GRADING APPROVAL SHALL BE GIVEN ON THE BUILDING PERMIT UNTIL LANDSCAPING IS COMPLETE.

#### **MAINTENANCE RESPONSIBILITY:**

THE OWNER OF ANY PROPERTY ON WHICH LANDSCAPING HAS BEEN INSTALLED PURSUANT TO THIS CHAPTER SHALL CONDITION IN PERPETUITY. A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE REQUIRED. FAILURE TO REPLACE ANY INSTALLED PUS IS A VIOLATION OF THIS CHAPTER.

#### **INSPECTIONS:**

A MINIMUM OF 2 INSPECTIONS WILL BE REQUIRED: NO INSPECTIONS SHALL BE FINALIZED FROM NOVEMBER\_1ST TO MARCH 1ST. TO BE CONSIDERED ACCEPTABLE, NO MORE THAN 1/3 OF A PLANT

- 1. INITIAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY WHEN PLANTING IS COMPLETED TO VERIFY COMPLIANCE WITH THE APPROVED PLANTING PLAN.
- 2. FINAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY 12 MONTHS AFTER THE INITIAL PLANTING.

#### CARROLL COUNTY LANDSCAPE SPECIFICATIONS:

- 1. ALL PLANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH THE LATEST EDITION OF HORTUS THIRD, BY "THE STAFF OF THE HORTORIUM".
- 2. ALL NURSERY STOCK SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN, INC., STANDARDS AS DESCRIBED IN AMERICAN STANDARD FOR NURSERY STOCK, CURRENT ANSIZ-60.1 SPECIFICATIONS.
- 3. LANDSCAPE SPECIFICATIONS SHALL CONFORM TO LANDSCAPE GUIDELINES FOR MARYLAND, WASHINGTON, D.C.
- AND VIRGINIA, LATEST EDITION. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GUIDELINES.
- 4. THREE (3) INCHES TOPSOIL ON ALL DISTURBED AREAS TO BE LANDSCAPED, SEEDED OR SODDED IS REQUIRED. 5. A SEPARATE PLAN LABELED "LANDSCAPE PLAN" (MAY BE COMBINED WITH FOREST
- CONSERVATION PLAN) IS REQUIRED. LANDSCAPE REQUIREMENTS MAY NOT BE COMBINED WITH THE FOREST

FINAL LANDSCAPE PLAN OWNER CERTIFICATION FORM

I certify that I have reviewed this Final Landscape Plan; that I have read and understand the regulations presented in the Carroll County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan no later than one (1) year from the date of approval of this plan to the Department of Planning, Bureau of Resource Management, Room 209, 225 N. Center Street, Westminster, MD 21157-5194.

		Gary Kilfeather
Applicant Signature	Date	Print Name
351	Sheetz Way	
Address (Please Print)	Street	
Claysburg	PA	16625
City	State	Zip

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION

DRAWING NO. LANDSCAPE DETAILS

SHEET 2 OF

SHEETZ - WESTMINSTER

AT SULLIVAN RD. AND RTE. 140

DATE: OCTOBER 21, 2024

SHEET 23 OF 65

Baltimore Land Design Group, Inc. Consulting Engineers 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031

PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

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PATAMY, LLC 205 BELL ROAD WESTMINSTER, MD 21158 PHONE: 410-871-2600

**OWNER** 

SHEETZ, INC.

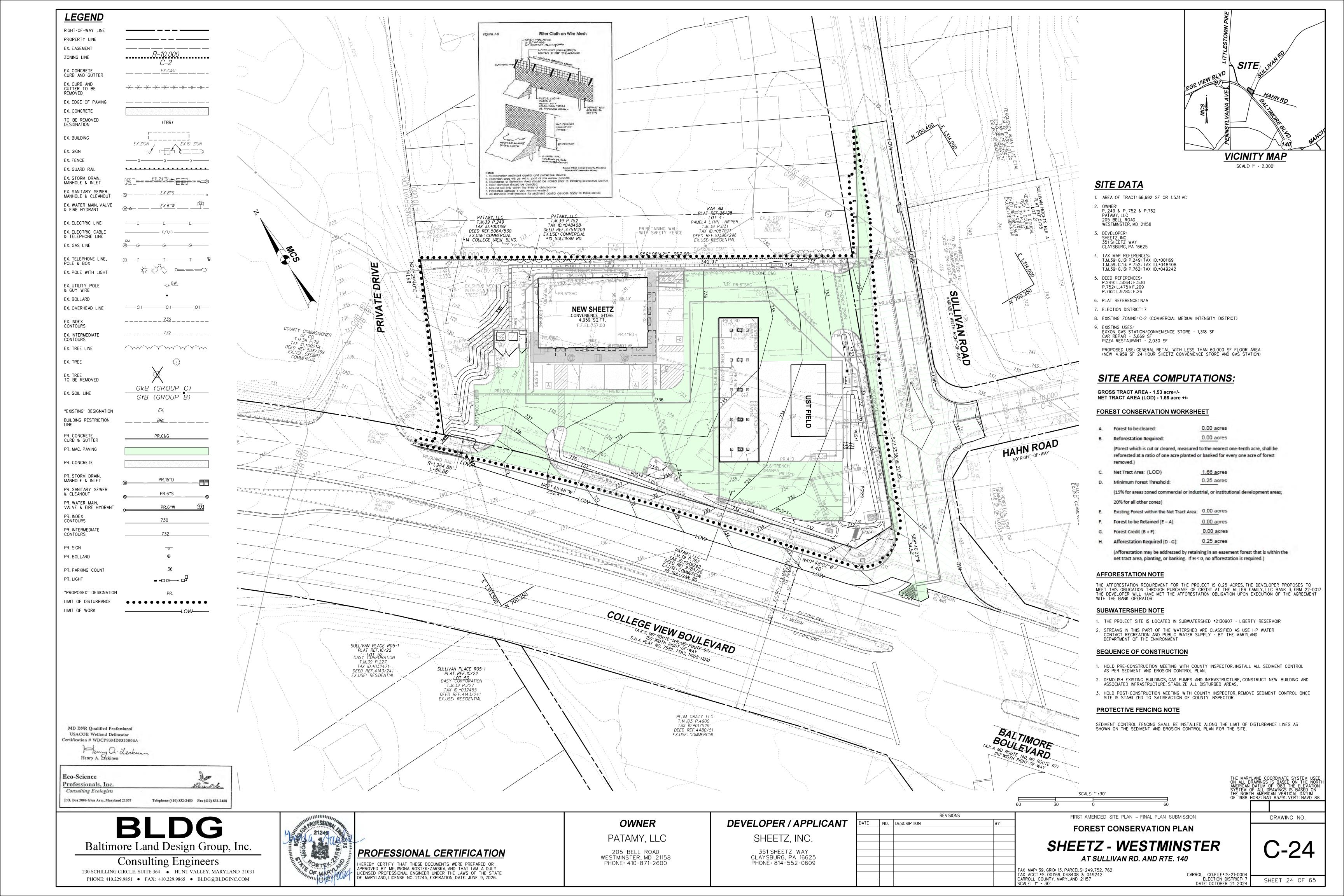
CLAYSBURG, PA 16625 PHONE: 814-552-0609

DEVELOPER / APPLICANT

NO. DESCRIPTION

REVISIONS

TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. •S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157 SCALE: N/A



# 

SHEETZ, INCORPORATED 5700 SIXTH AVENUE ALTOONA, PA 16602 (814) 946-3611

# NEW SHEETZ STORE "WESTMINSTER"

INT. OF ROUTE 140 AND SULLIVAN ROAD WESTMINSTER, MARYLAND

SIGNAGE SQUARE FOOTAGE BREAKDOWN

BUILDING ELEVATIONS

SHEETZ SIGN = 16.55 SQ. FT.  $\times$  3 = 49.65 SQ. FT. MTO VINYL DECAL = 21.44 SQ. FT. × 1 = 21.44 SQ. FT.

GAS PRICE POLE SIGN

SHEETZ SIGN = 24.75 SQ. FT.  $\times 1$  = 24.75 SQ. FT. ALWAYS OPEN SIGN = 12.13 SQ. FT. X1 = 12.13 SQ. FT. GAS PRICE SIGN CABINET = 26.94 SQ. FT.  $\times 1$  = 26.94 SQ. FT.

TOTAL = 63.82 SQ. FT. 63.82 SQ. FT.

GAS CANOPY AWNING

SHEETZ SIGN AREA = 13.08 SQ. FT. × 3 = 39.24 SQ. FT.

"AUTO DIESEL" LED PRICER AREA = 4.58 SQ. FT. × 2 = 9.16 SQ. FT.

TOTAL = 48.40 SQ. FT. 48.40 SQ. FT.

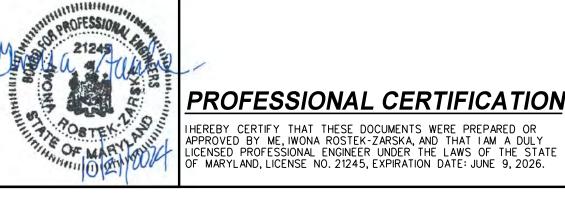
TOTAL SITE SIGN AREA = 183.31 SQ. FT.

SHEETZ SIGN VINYL DECAL-13.08 SQ. FT. AWNING LOGO -13.08 SQ. FT. AWNING LOGO \_13,08 SQ. FT. AWNING LOGO APPROX. LOCATION OF PROPOSED 63.82 SQ. FT. POLE SIGN -SIGN LOCATIONS

UPDATED 10-25-2024

Baltimore Land Design Group, Inc.

Consulting Engineers 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



**OWNER** 

PATAMY, LLC 205 BELL ROAD WESTMINSTER, MD 21158 PHONE: 410-871-2600 DEVELOPER / APPLICANT SHEETZ, INC. CLAYSBURG, PA 16625

PHONE: 814-552-0609

TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT.\*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157 SCALE: NTS

REVISIONS

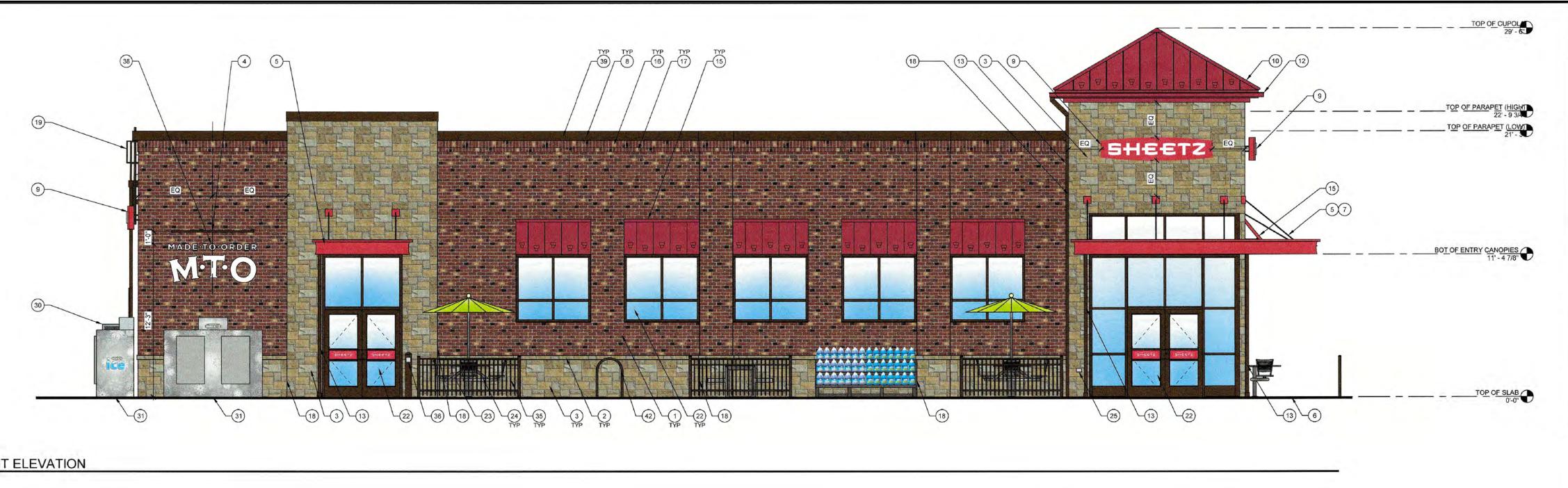
FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION SIGN LOCATION PLAN

SHEETZ - WESTMINSTER

AT SULLIVAN RD. AND RTE. 140

DRAWING NO.

SHEET 25 OF 65

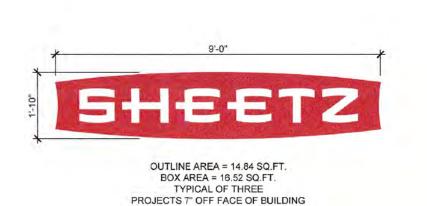


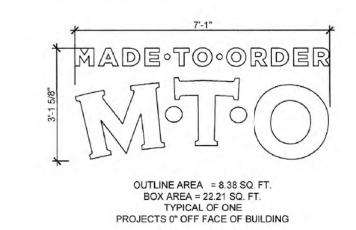
FRONT ELEVATION

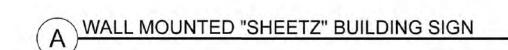
#### TYPICAL EXTERIOR ELEVATION NOTES:

- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005
  JOINT SEALANTS, GENERAL BUILDING FASCADE WEATHER SEALANT
  AND SHALL MATCH THE COLOR OF THE STORE.
- EXTERIOR ELEVATION KEYNOTES: BRICK VENEER, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE
- (2) CAST STONE SILL, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
- ANCHORED CAST STONE MASONRY VENEER, COLOR: CRAB ORCHARD.
- (4) EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- 5 ARCHITECTURAL CANOPY, COLOR: REGAL RED, PREMIUM TWO-COAT KYNAR FINISH
- (6) BRICK PAVER WALKWAY
- 7) LIGHTED CURVED FASCIA CANOPY ATTACHMENT
- (8) METAL COPING, COLOR: DARK BRONZE
- (9) WALL MOUNTED BUILDING SIGN, SEE SHEET A200. (10) STANDING SEAM METAL ROOF, COLOR: BRITE RED
- (11) ROOF EQUIPMENT SCREEN, COLOR: DARK BRONZE
- (12) GUTTER, COLOR TO MATCH CUPOLA COLOR
- (13) DOWNSPOUT, COLOR: DARK BRONZE
- (14) DRIVE-THRU WINDOW (IF APPLICABLE)
- METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY,
- ROOF COLOR: BRITE RED, FRAME COLOR: DARK BRONZE BRICK SOLDIER COURSE, COLOR: 680 BY CONTINENTAL BRICK
- COMPANY, SEE MASONRY SPEC BRICK ROWLOCK COURSE, COLOR: 680 BY CONTINENTAL BRICK
- COMPANY, SEE MASONRY SPEC
- (18) CONTROL JOINT, SEE MASONRY SPEC
- (19) STEEL ROOF LADDER AND CRANKY POST, COLOR: DARK BRONZE
- STANDARD THROUGH WALL SCUPPER WITH CONDUCTOR HEAD & DOWNSPOUT, COLOR: DARK BRONZE
- (21) OVERFLOW SCUPPER
- (22) ALUMINUM STOREFRONT SYSTEM, SEE A600
- (23) EXTERIOR HOSE BIB, REFER TO PLUMBING DRAWINGS
- (24) OUTDOOR FURNITURE
- (25) ELECTRICAL RECEPTACLE, REFER TO ELECTRICAL DRAWINGS
- (26) ELECTRICAL EQUIPMENT, REFER TO ELECTRICAL DRAWINGS
- (27) HM DOOR AND FRAME, CCLOR: DARK BRONZE
- (28) EMERGENCY WATER CONNECTION, REFER TO PLUMBING DRAWINGS
- SEAMLESS ALUM PANEL SYSTEM WITH EXPOSED FASTENERS, COLOR:
- (30) PROPANE LOCKER
- (31) ICE MERCHANDISER
- (32) RTI FILLPORT
- (33) STEEL BOLLARD, COLOR: DARK BRONZE
- (34) CO2 FILLPORT
- (35) DECORATIVE ALUMINUM FENCE, COLOR DARK BRONZE
- 36 AUTOMATIC DOOR PUSH PLATE AND BOLLARD, BOLLARD COLOR: DARK BRONZE
- GAS METER AND RISER, REFER TO CIVIL UTILITY PLAN, COLOR: DARK BRONZE
- (38) MTO GRAPHIC DECAL, SEE SHEET A200.
- 39 LIGHT CHANNEL AT PARAPET COPING, SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- (40) FAUX WINDOWS WITH INTERNAL GRAPHIC (41) E-STOP & SIGN, REFER TO UST DRAWINGS
- (42) CYCLESAFE U BIKE RACK









B WALL MOUNTED "MTO" DECAL

**OWNER** 

SHEETZ, INC.

DEVELOPER / APPLICANT

NO. DESCRIPTION

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION **BUILDING ELEVATIONS AND SIGNS PLAN** 

SITE ID NO: 214182

REVIEW BY: RJH/TMC

AUTHOR BY: AMM

VERSION:

08.19.2024

4959R v1.6

**EXTERIOR** 

**ELEVATIONS** 

**A200** 

Convenience Architecture and *Design* P.C. 351 Sheetz Way, Claysburg, PA 16625

> (814) 239-6013 tcolumbu@sheetz.com

**NEW SHEETZ STORE** 

WESTMINSTER

Intersection of Sullivan Road and College View Boulevard Westminster, MD 21157

web site www.sheetz.com

PROJECT NAME:

OWNER:

SHEETZ, INC.

CONSULTANT

5700 SIXTH AVE. ALTOONA, PA 16602

SHEETZ - WESTMINSTER

AT SULLIVAN RD. AND RTE. 140

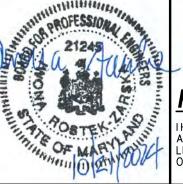
Ш

SHEET 26 OF 65

DRAWING NO.

Baltimore Land Design Group, Inc.

Consulting Engineers



PROFESSIONAL CERTIFICATION IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

PATAMY, LLC 205 BELL ROAD WESTMINSTER, MD 21158 PHONE: 410-871-2600

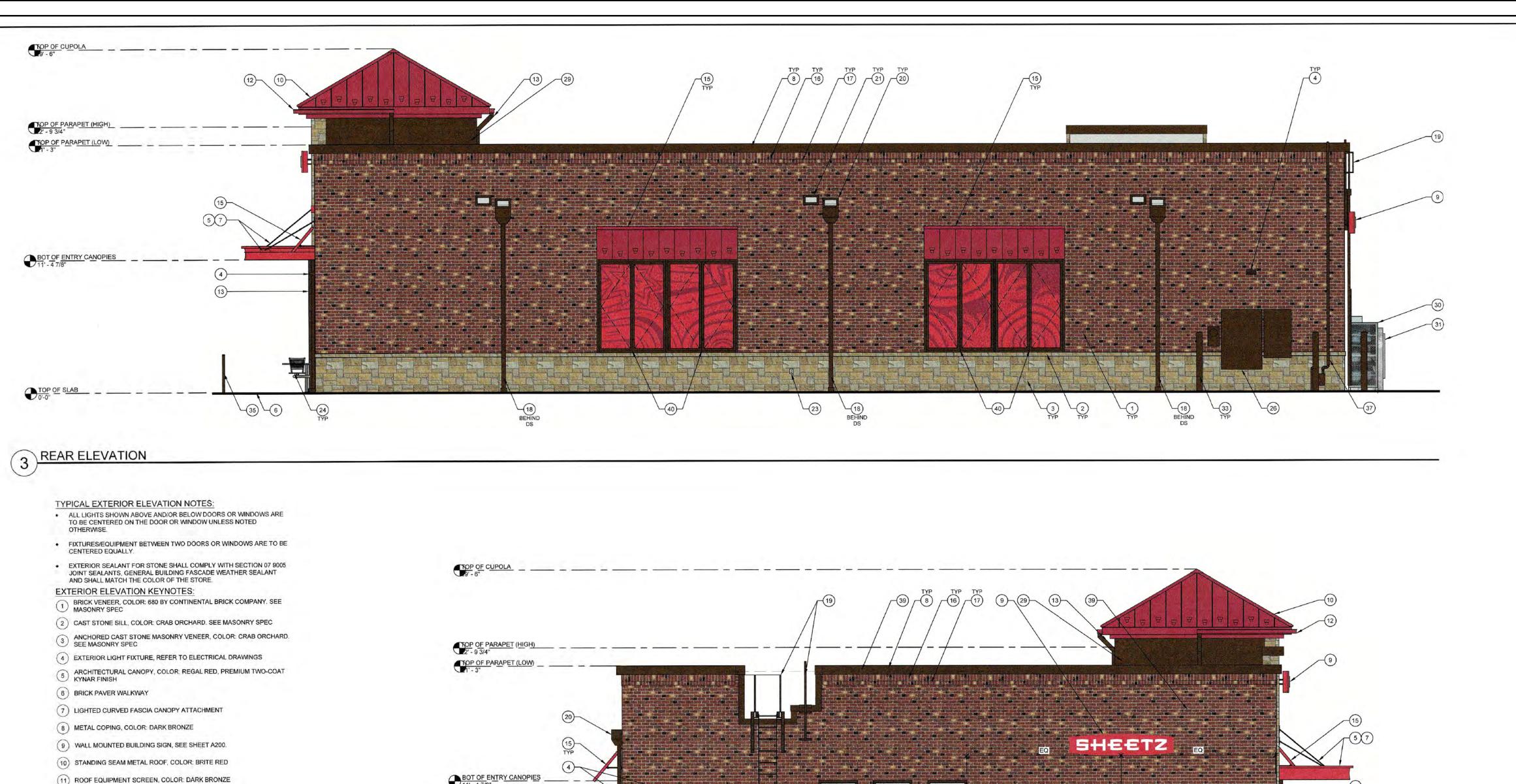
CLAYSBURG, PA 16625 PHONE: 814-552-0609

REVISIONS

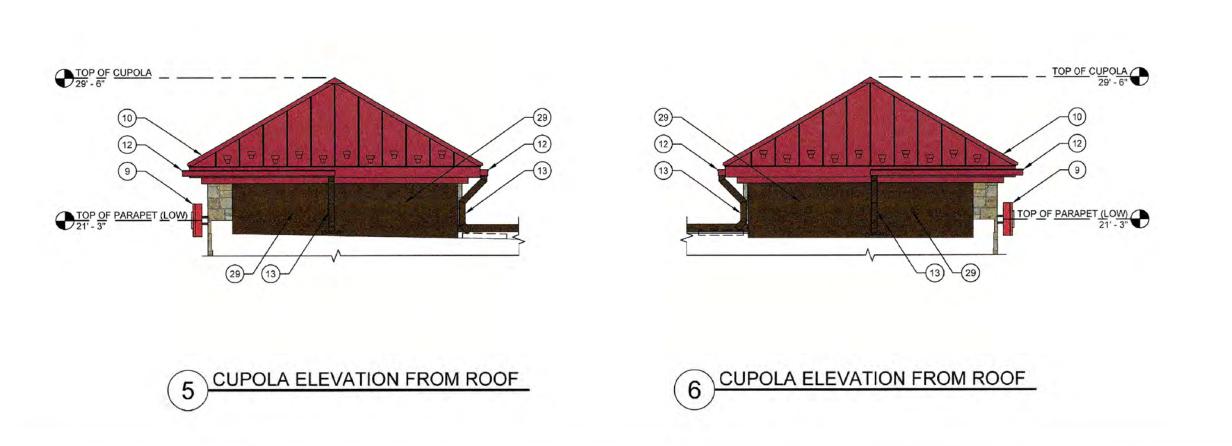
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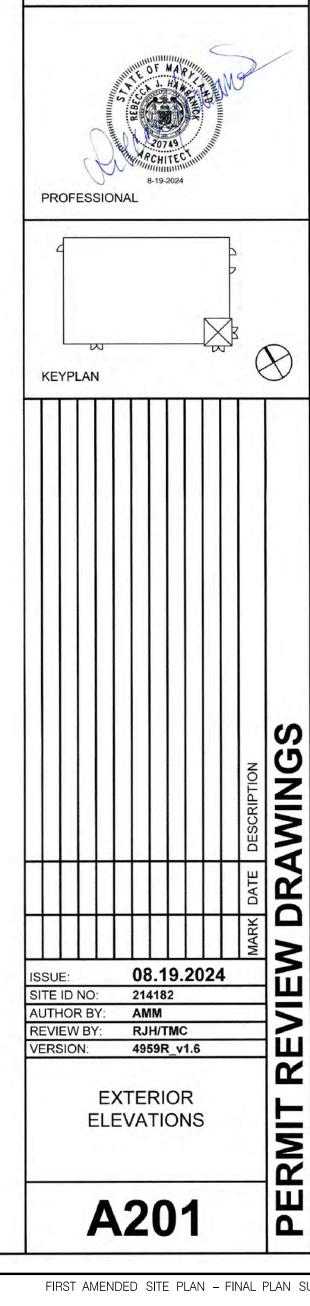
CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM









Convenience Architecture and Design P.C. 351 Sheetz Way, Claysburg, PA 16625

> (814) 239-6013 tcolumbu@sheetz.com

**NEW SHEETZ STORE** 

WESTMINSTER

Intersection of Sullivan Road and College View Boulevard Westminster, MD 21157

web site www.sheetz.com

email

OWNER:

SHEETZ, INC.

CONSULTANT

5700 SIXTH AVE.

ALTOONA, PA 16602

PROJECT NAME:

(33) STEEL BOLLARD, COLOR: DARK BRONZE (34) CO2 FILLPORT (35) DECORATIVE ALUMINUM FENCE, COLOR DARK BRONZE AUTOMATIC DOOR PUSH PLATE AND BOLLARD, BOLLARD COLOR: DARK BRONZE GAS METER AND RISER, REFER TO CIVIL UTILITY PLAN, COLOR; DARK BRONZE (38) MTO GRAPHIC DECAL, SEE SHEET A200: LIGHT CHANNEL AT PARAPET COPING, SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION. (40) FAUX WINDOWS WITH INTERNAL GRAPHIC (41) E-STOP & SIGN, REFER TO UST DRAWINGS (42) CYCLESAFE U BIKE RACK

(12) GUTTER, COLOR TO MATCH CUPOLA COLOR

METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY, ROOF COLOR: BRITE RED. FRAME COLOR: DARK BRONZE

BRICK SOLDIER COURSE, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC

BRICK ROWLOCK COURSE, COLOR: 680 BY CONTINENTAL BRICK

(19) STEEL ROOF LADDER AND CRANKY POST, COLOR: DARK BRONZE STANDARD THROUGH WALL SCUPPER WITH CONDUCTOR HEAD &

(13) DOWNSPOUT, COLOR: DARK BRONZE

(14) DRIVE-THRU WINDOW (IF APPLICABLE)

COMPANY, SEE MASONRY SPEC (18) CONTROL JOINT, SEE MASONRY SPEC

DOWNSPOUT, COLOR: DARK BRONZE

(22) ALUMINUM STOREFRONT SYSTEM, SEE A600

(27) HM DOOR AND FRAME, COLOR; DARK BRONZE

(23) EXTERIOR HOSE BIB, REFER TO PLUMBING DRAWINGS

(25) ELECTRICAL RECEPTACLE, REFER TO ELECTRICAL DRAWINGS

(26) ELECTRICAL EQUIPMENT, REFER TO ELECTRICAL DRAWINGS

(28) EMERGENCY WATER CONNECTION, REFER TO PLUMBING DRAWINGS SEAMLESS ALUM PANEL SYSTEM WITH EXPOSED FASTENERS, COLOR:

(21) OVERFLOW SCUPPER

(24) OUTDOOR FURNITURE

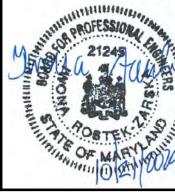
DARK BRONZE

(30) PROPANE LOCKER

(31) ICE MERCHANDISER

(32) RTI FILLPORT

Baltimore Land Design Group, Inc.



PROFESSIONAL CERTIFICATION IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

**OWNER** PATAMY, LLC DEVELOPER / APPLICANT SHEETZ, INC. CLAYSBURG, PA 16625 PHONE: 814-552-0609

REVISIONS NO. DESCRIPTION

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION **BUILDING ELEVATIONS AND SIGNS PLAN** 

SHEETZ - WESTMINSTER

DRAWING NO.

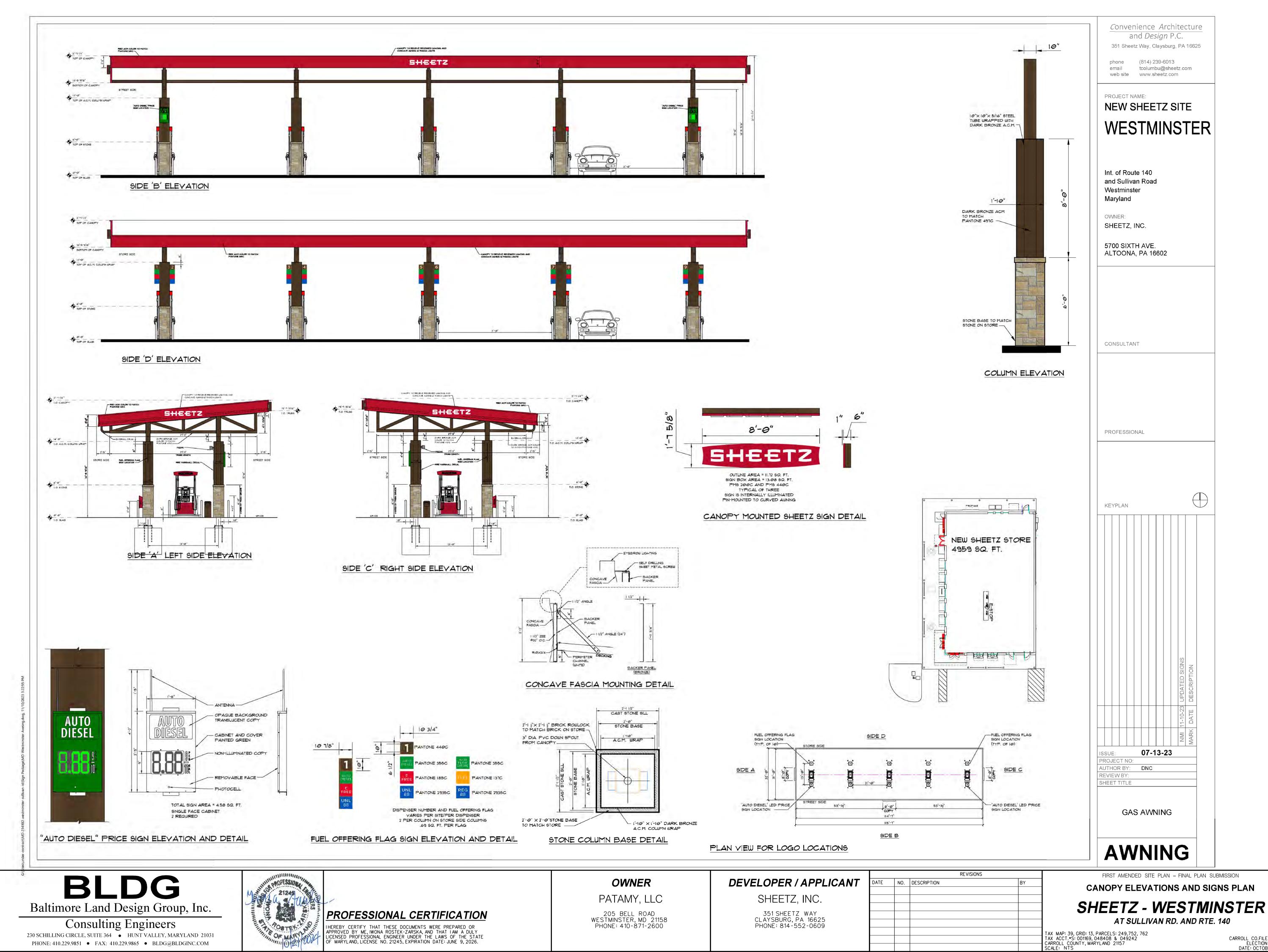
SHEET 27 OF 65

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031

Consulting Engineers PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM 205 BELL ROAD WESTMINSTER, MD 21158 PHONE: 410-871-2600

AT SULLIVAN RD. AND RTE. 140 TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT.\*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157 SCALE: NTS

CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024



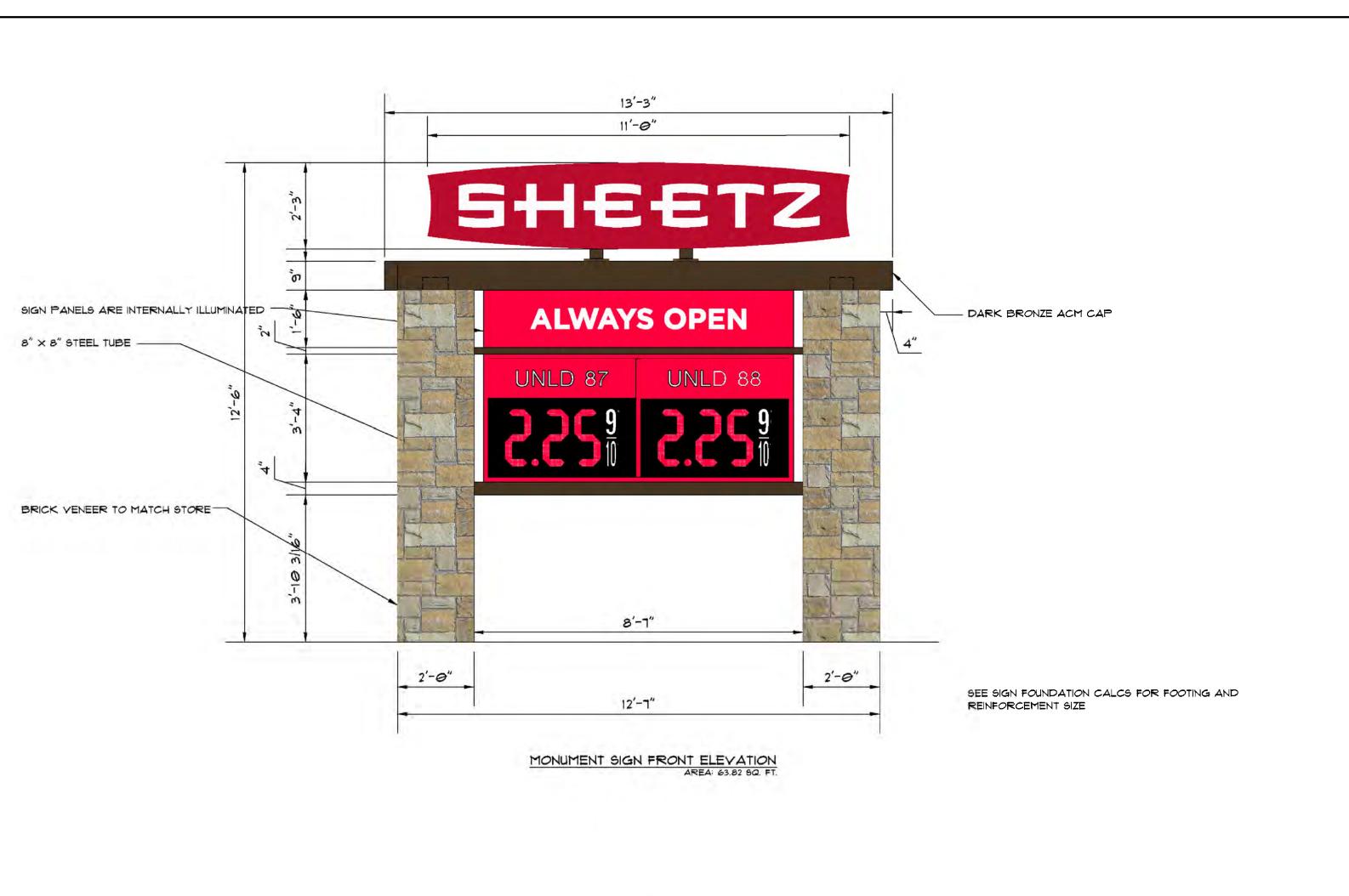
CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024

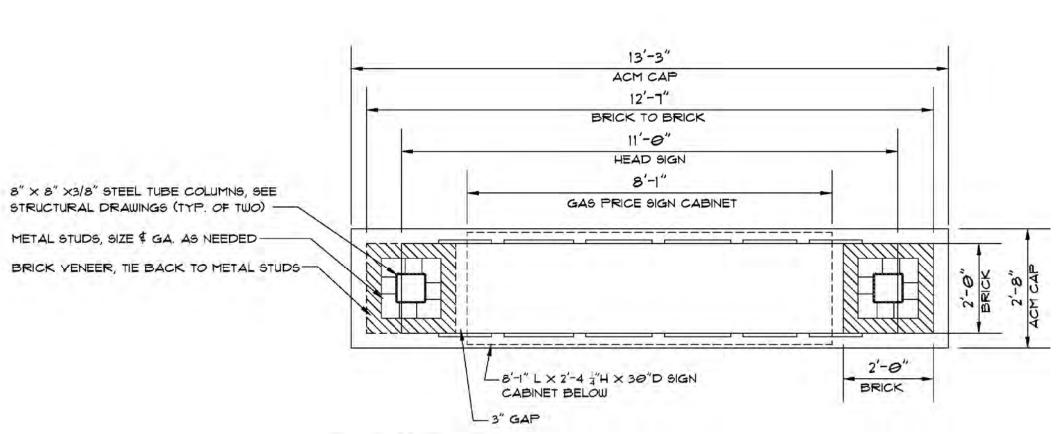
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

SHEET 28 OF 65

DRAWING NO.

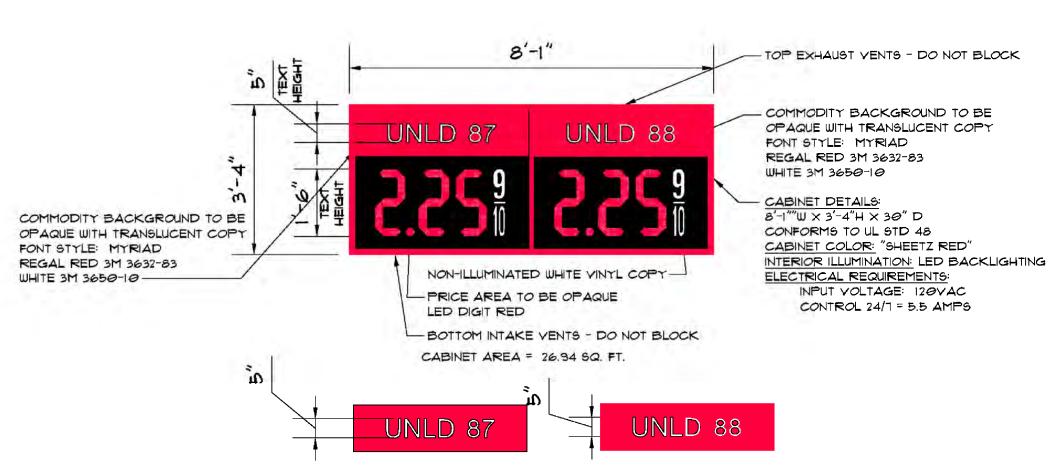




PLAN VIEW







Baltimore Land Design Group, Inc.

Consulting Engineers

PROFESSIONAL CERTIFICATION IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

PATAMY, LLC 205 BELL ROAD WESTMINSTER, MD 21158 PHONE: 410-871-2600

SIGN CABINET DETAILS

SHEETZ, INC. CLAYSBURG, PA 16625 PHONE: 814-552-0609 TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT.\*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157 SCALE: NTS

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION **MONUMENT SIGN DETAILS** 

SHEETZ - WESTMINSTER AT SULLIVAN RD. AND RTE. 140

DRAWING NO.

SHEET 29 OF 65

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

PMS 200C AND PMS 440C

REVISIONS **OWNER** DEVELOPER / APPLICANT NO. DESCRIPTION

32'↑#4"

2'-0"

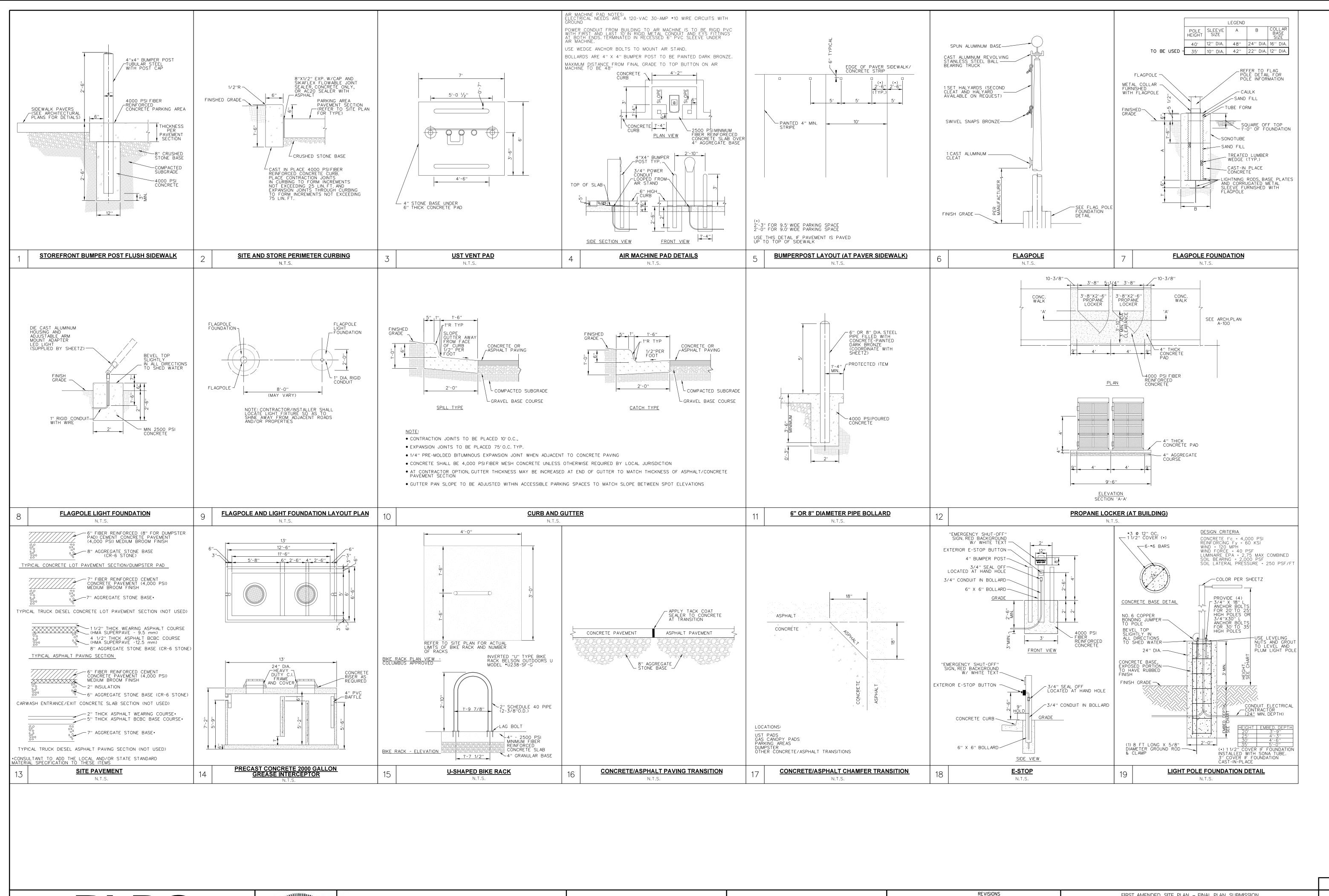
2'-6"

MONUMENT SIGN SIDE ELEVATION

DARK BRONZE CAP

STONE VENEER TO MATCH STORE

3 5/8"





**Consulting Engineers** 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

PROFESSIONAL CERTIFICATION IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

**OWNER** PATAMY, LLC 205 BELL ROAD WESTMINSTER, MD 21158 PHONE: 410-871-2600

SHEETZ, INC. CLAYSBURG, PA 16625 PHONE: 814-552-0609

DEVELOPER / APPLICANT

NO. DESCRIPTION

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION SHEETZ DETAILS

SHEETZ - WESTMINSTER

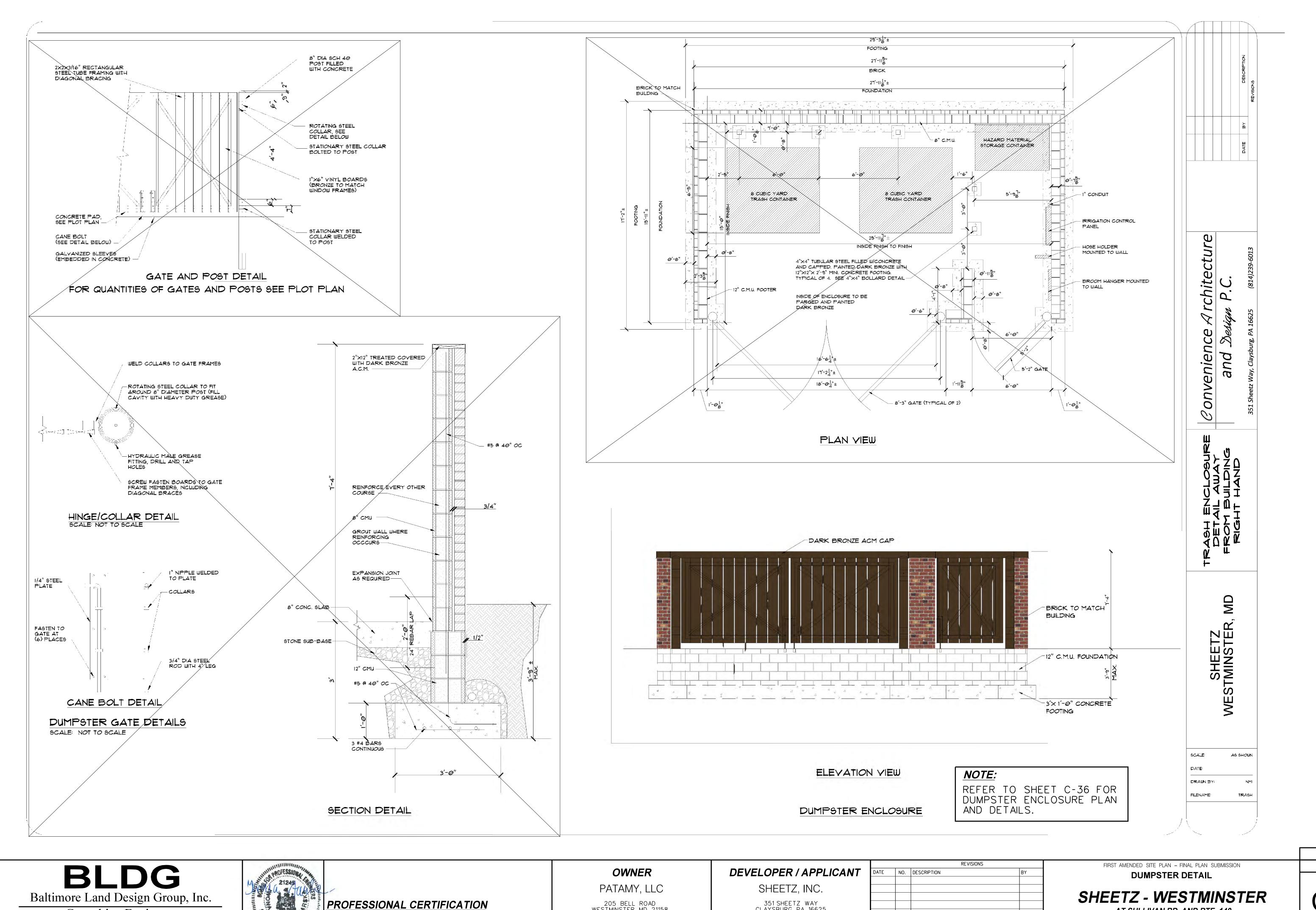
C-30

DRAWING NO.

SHEET 30 OF 65

AT SULLIVAN RD. AND RTE. 140 TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT.\*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157 SCALE: N/A

CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024



Consulting Engineers

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

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205 BELL ROAD WESTMINSTER, MD 21158 PHONE: 410-871-2600

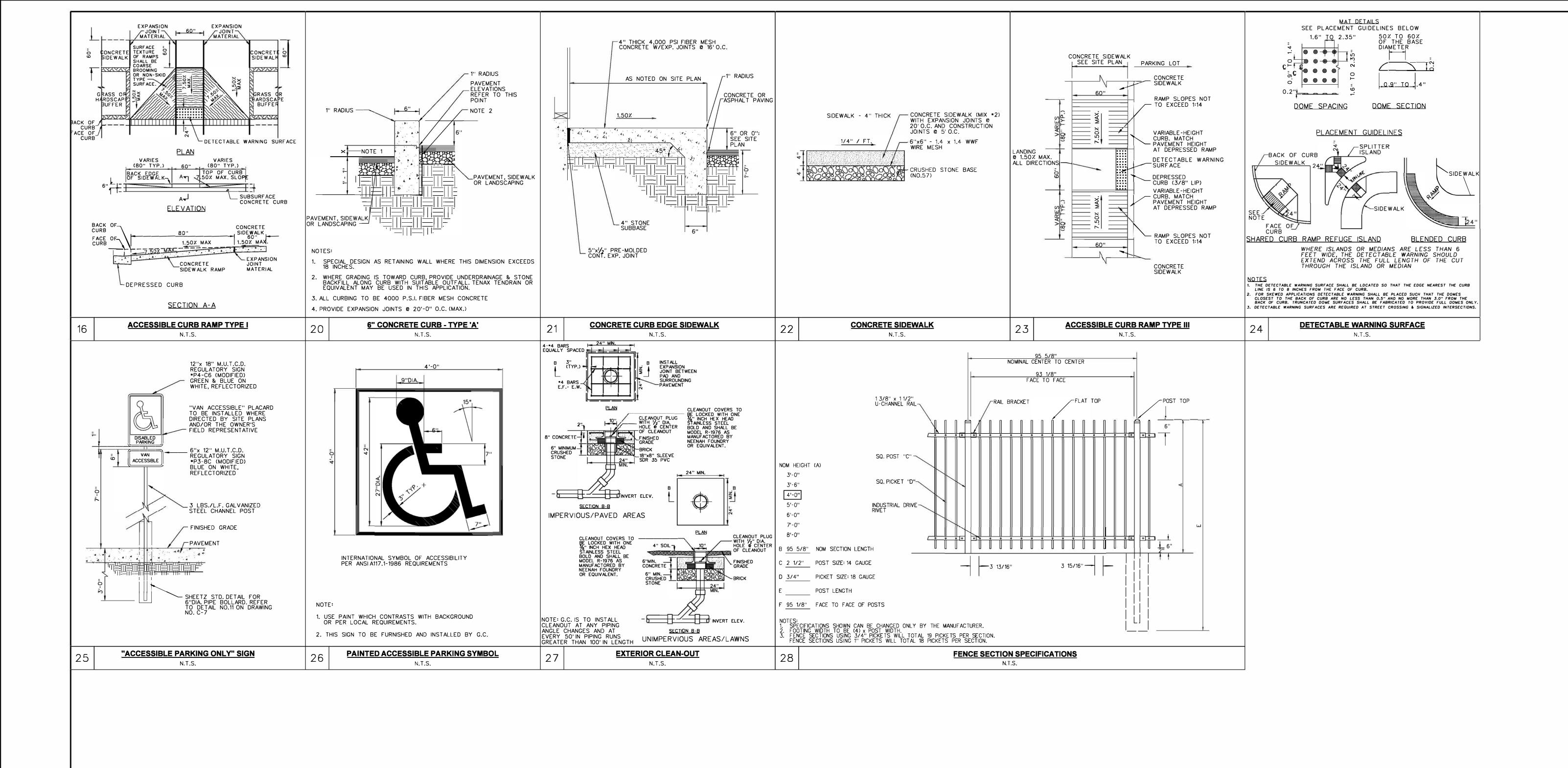
351 SHEETZ WAY CLAYSBURG, PA 16625 PHONE: 814-552-0609

AT SULLIVAN RD. AND RTE. 140 TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157 SCALE: NTS

CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024

SHEET 31 OF 65

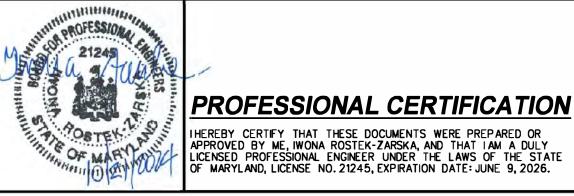
DRAWING NO.



NOTE: USE MANUFACTURER'S RECOMMENDATIONS FOR THE SPECIFIC INSTALLATION

Baltimore Land Design Group, Inc.

**Consulting Engineers** 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



**OWNER** PATAMY, LLC 205 BELL ROAD WESTMINSTER, MD 21158 PHONE: 410-871-2600 DEVELOPER / APPLICANT SHEETZ, INC. 351 SHEETZ WAY CLAYSBURG, PA 16625 PHONE: 814-552-0609

	REVISIONS							
	DATE	NO.	DESCRIPTION	BY				
				13				
1					1			

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION **BLDG DETAILS** 

SHEETZ - WESTMINSTER AT SULLIVAN RD. AND RTE. 140

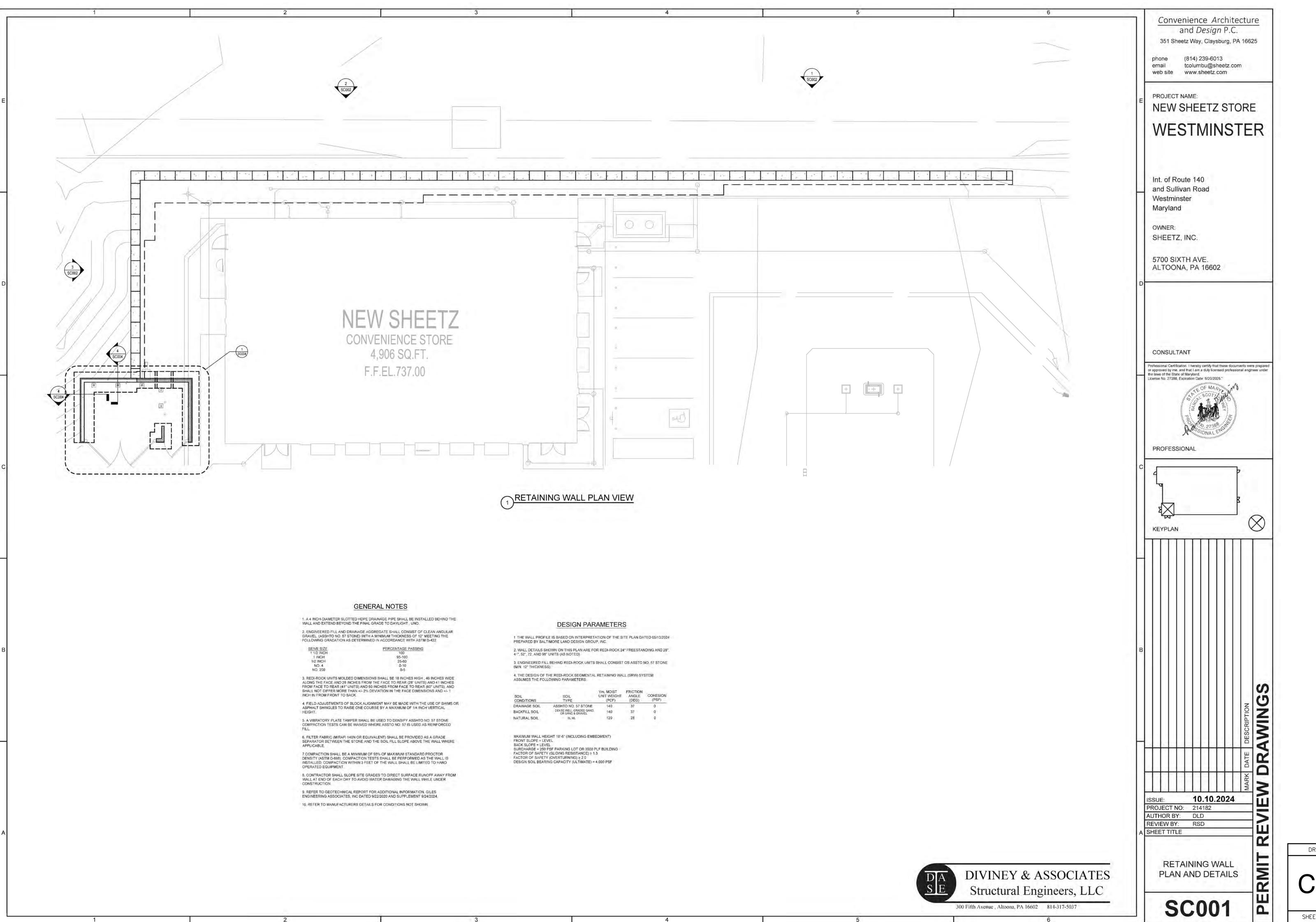
C-32

DRAWING NO.

CARROLL CO.FILE •: S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024 SHEET 32 OF 65

REQUIREMENTS.

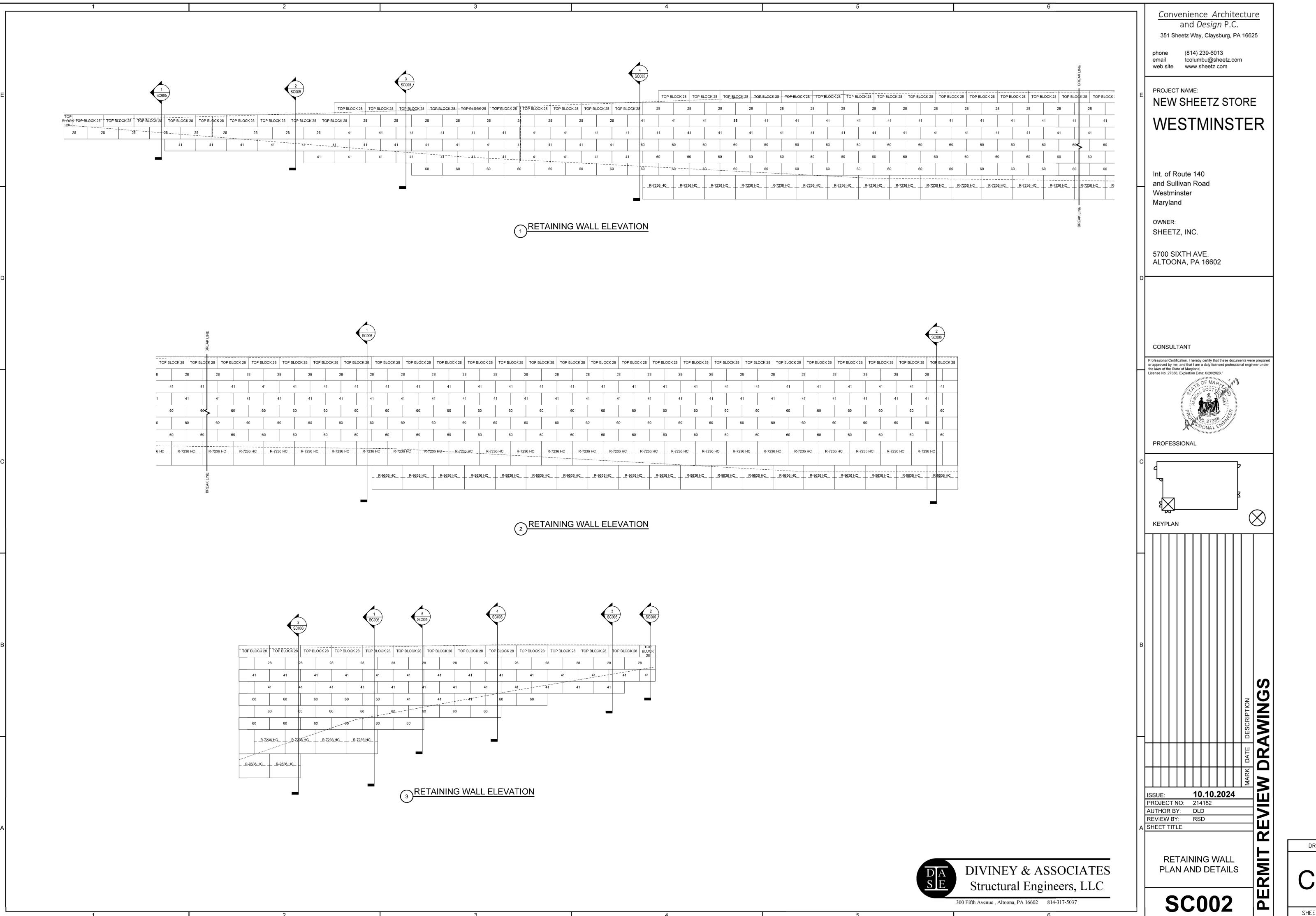
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TAX ACCT. S: 001169, 0484 08 & 049242
- CARROLL COUNTY, MARYLAND 21157
SCALE:



DRAWING NO.

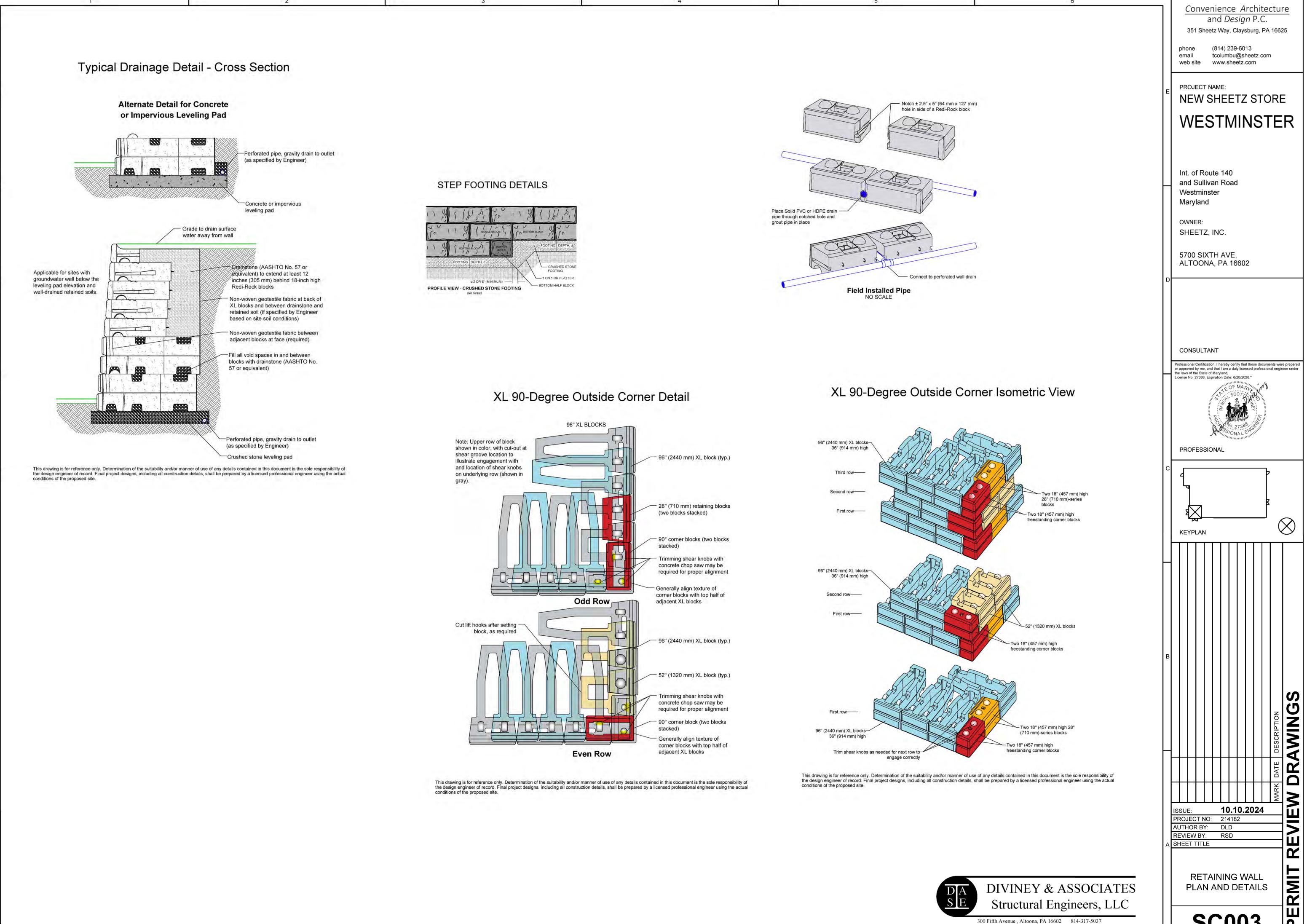
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SHEET 33 OF 65



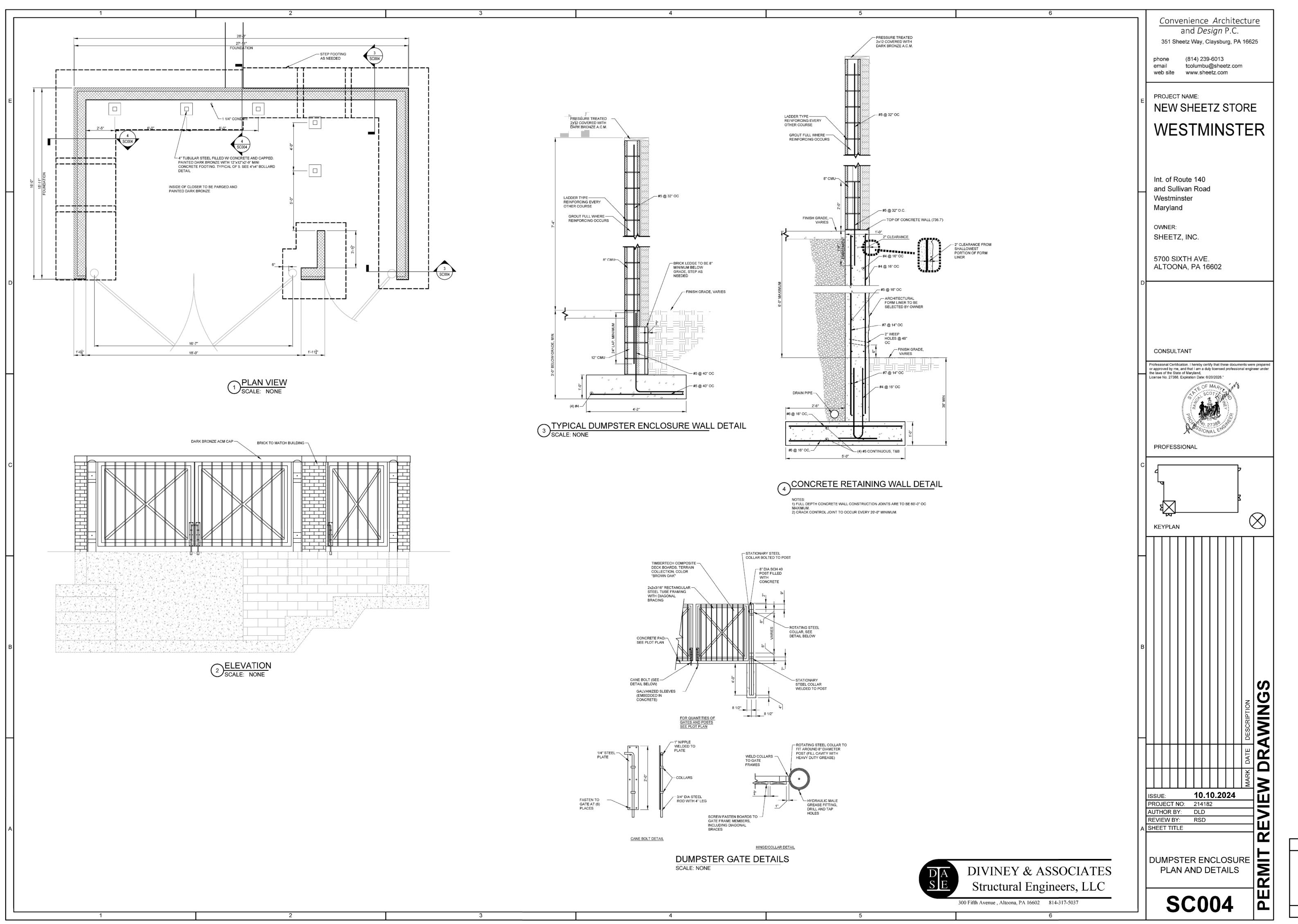
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SHEET 34 OF 65



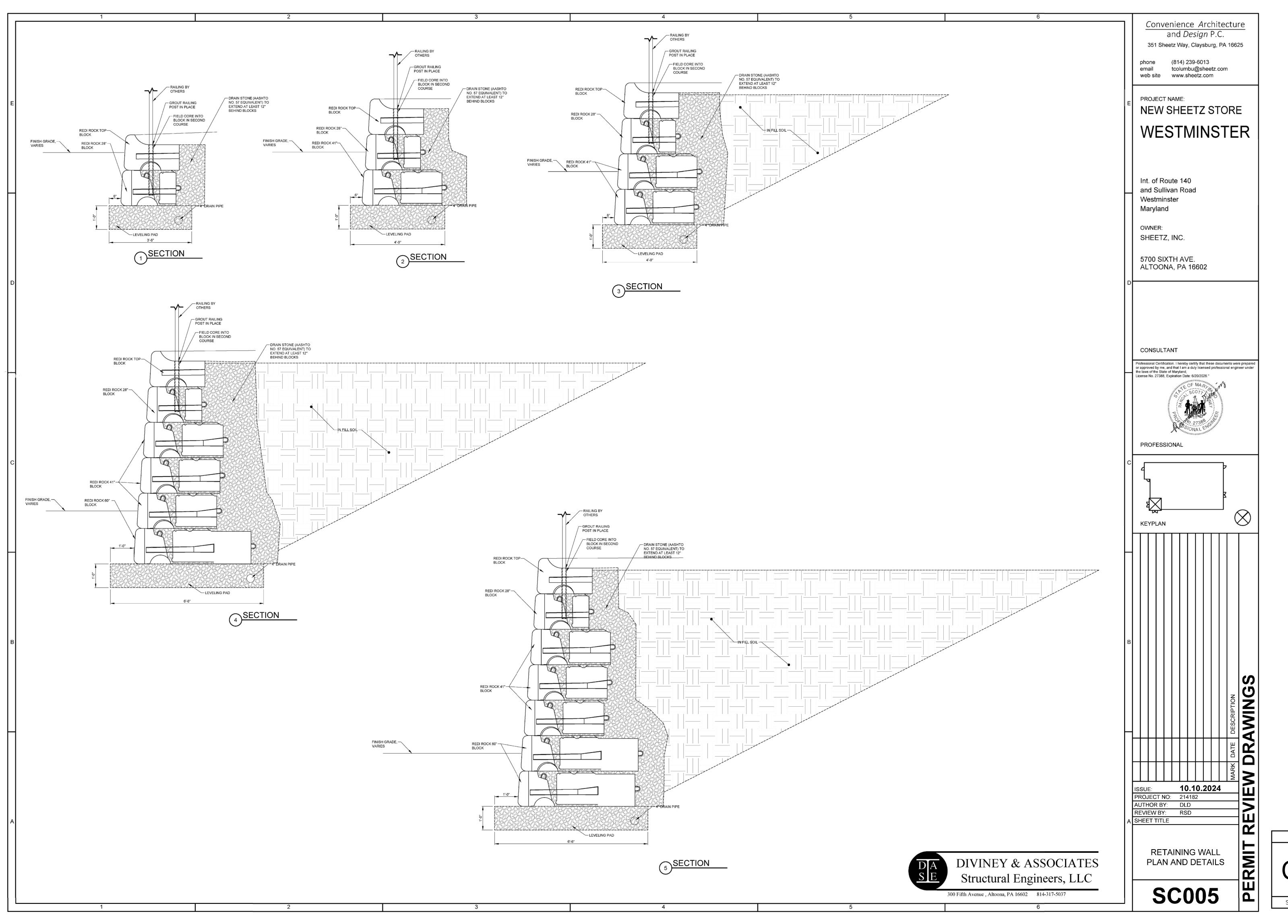
DRAWING NO.

G-35
SHEET 35 OF 65



C-36

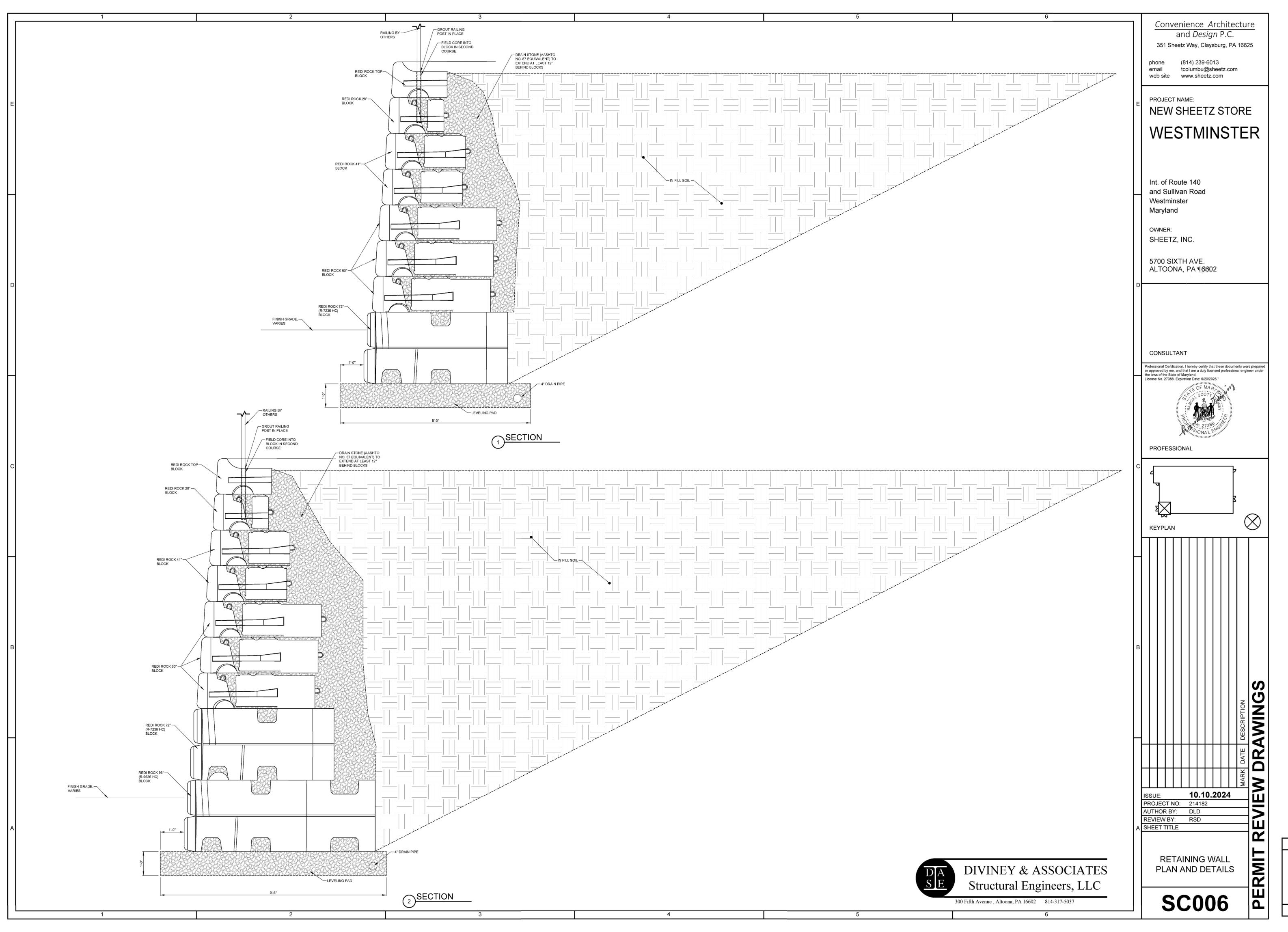
SHEET 36 OF 65



DRAWING NO.

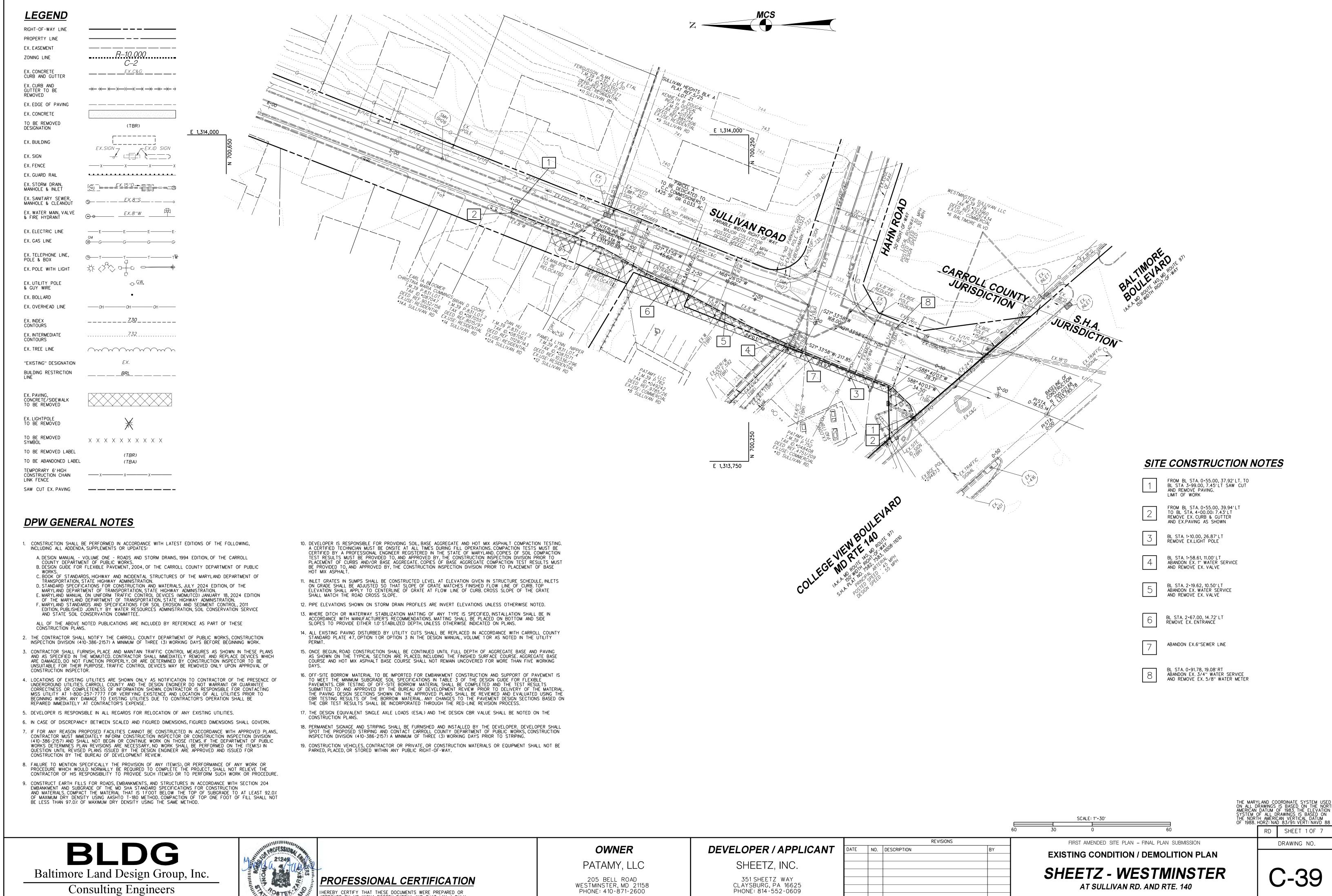
C-37

SHEET 37 OF 65



C-38

SHEET 38 OF 65



PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031

THE OF MARY

IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

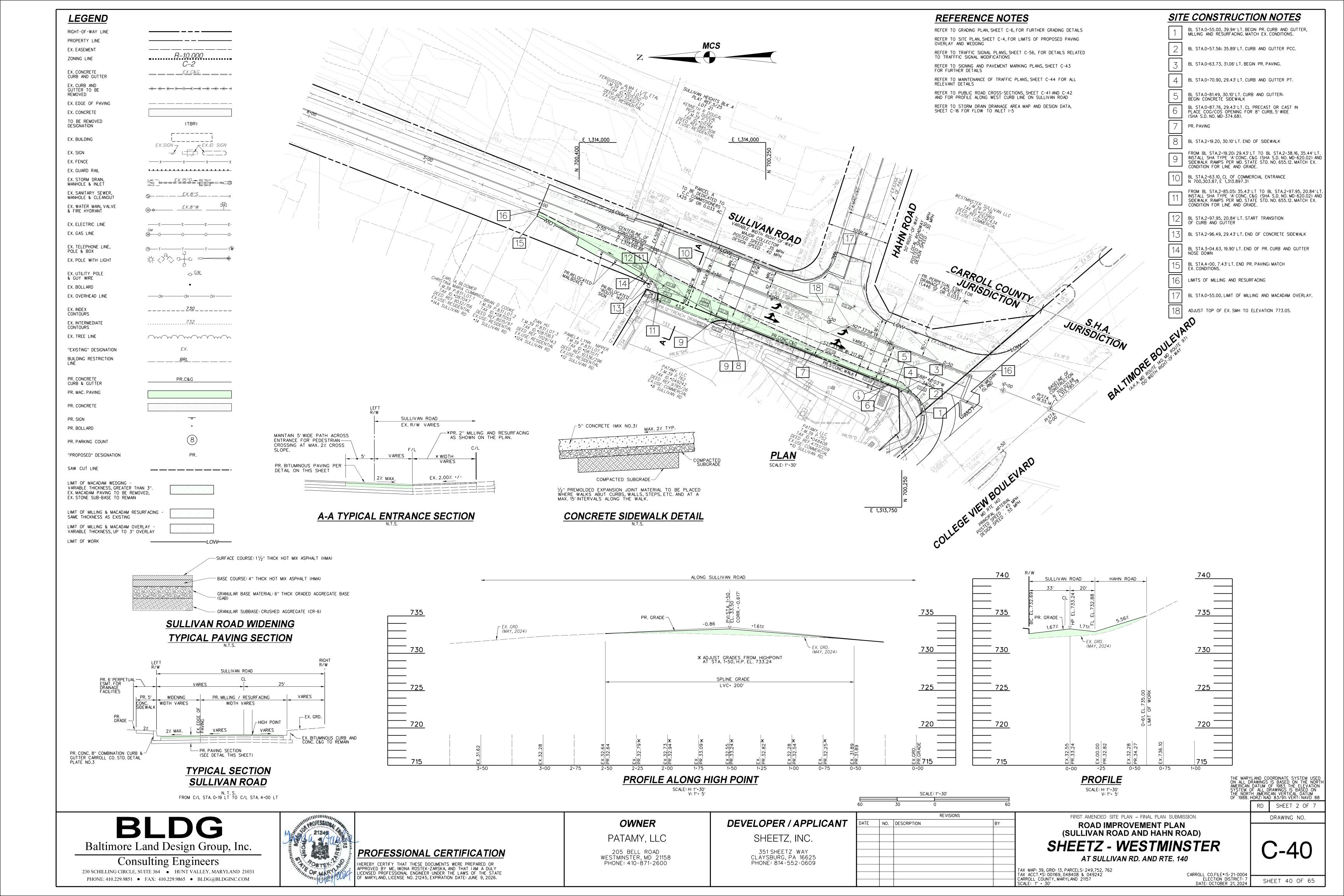
CARROLL CO.FILE \*: S-21-0004 ELECTION DISTRICT: 7

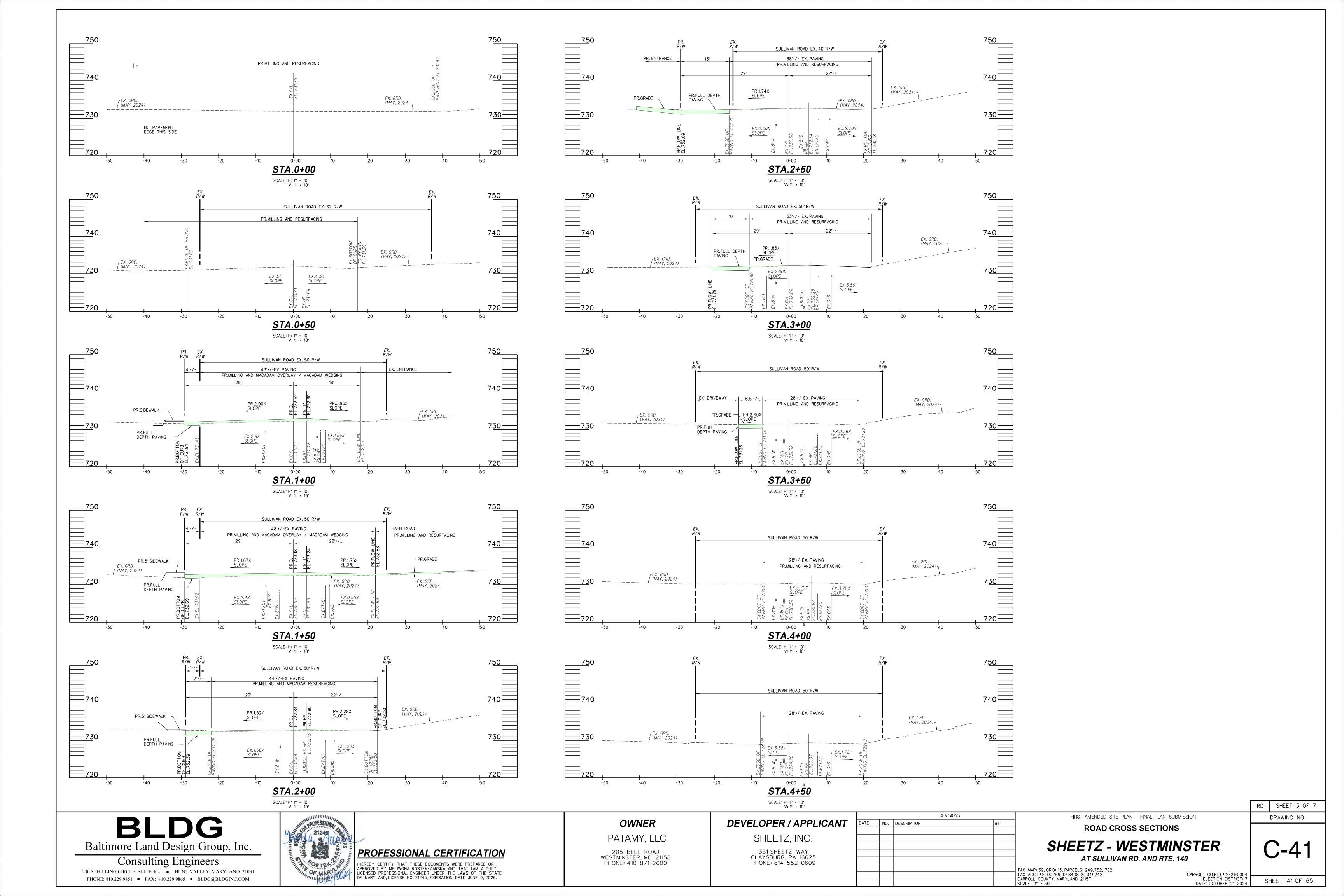
DATE: OCTOBER 21, 2024

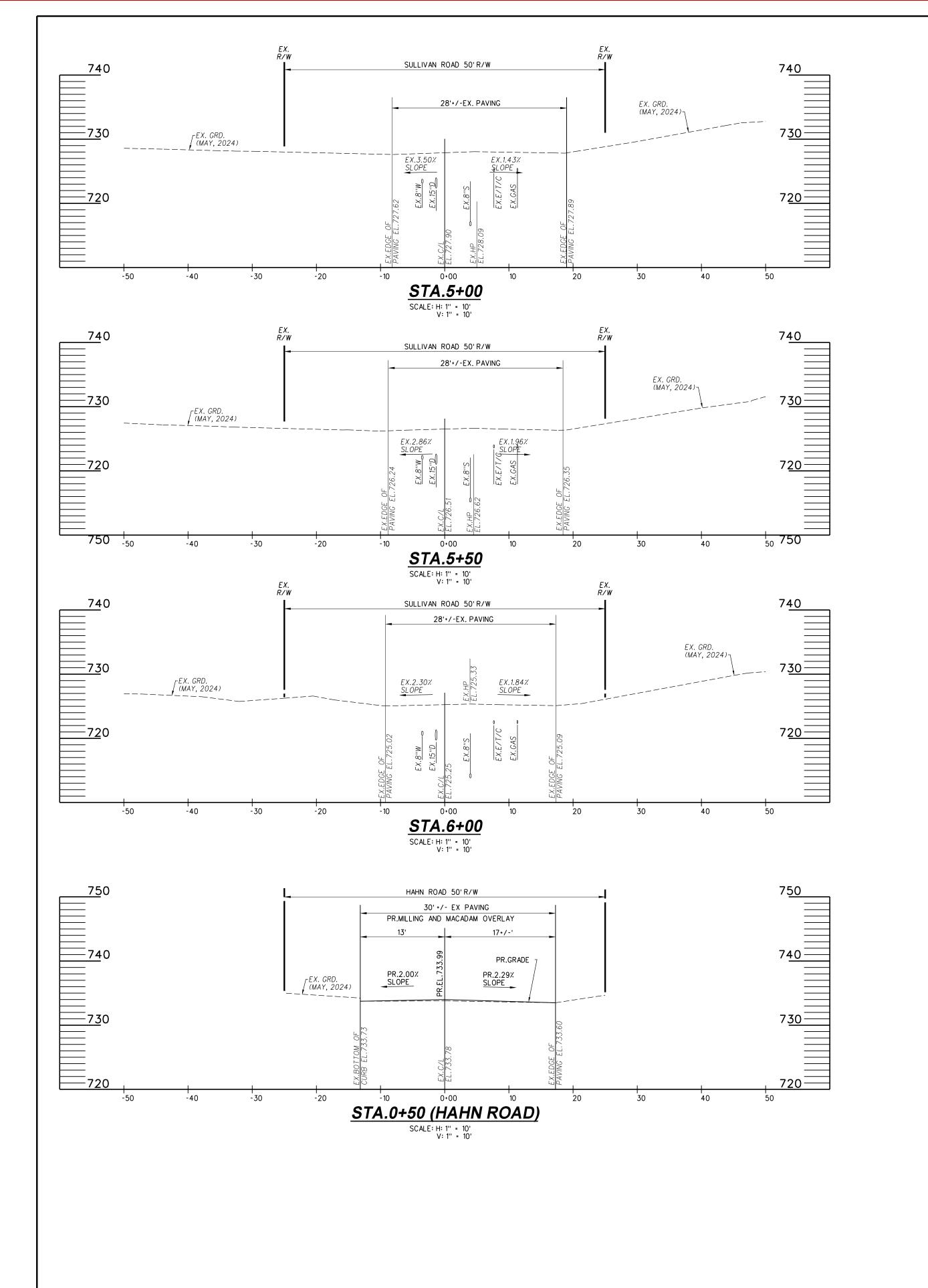
PHONE: 410-871-2600

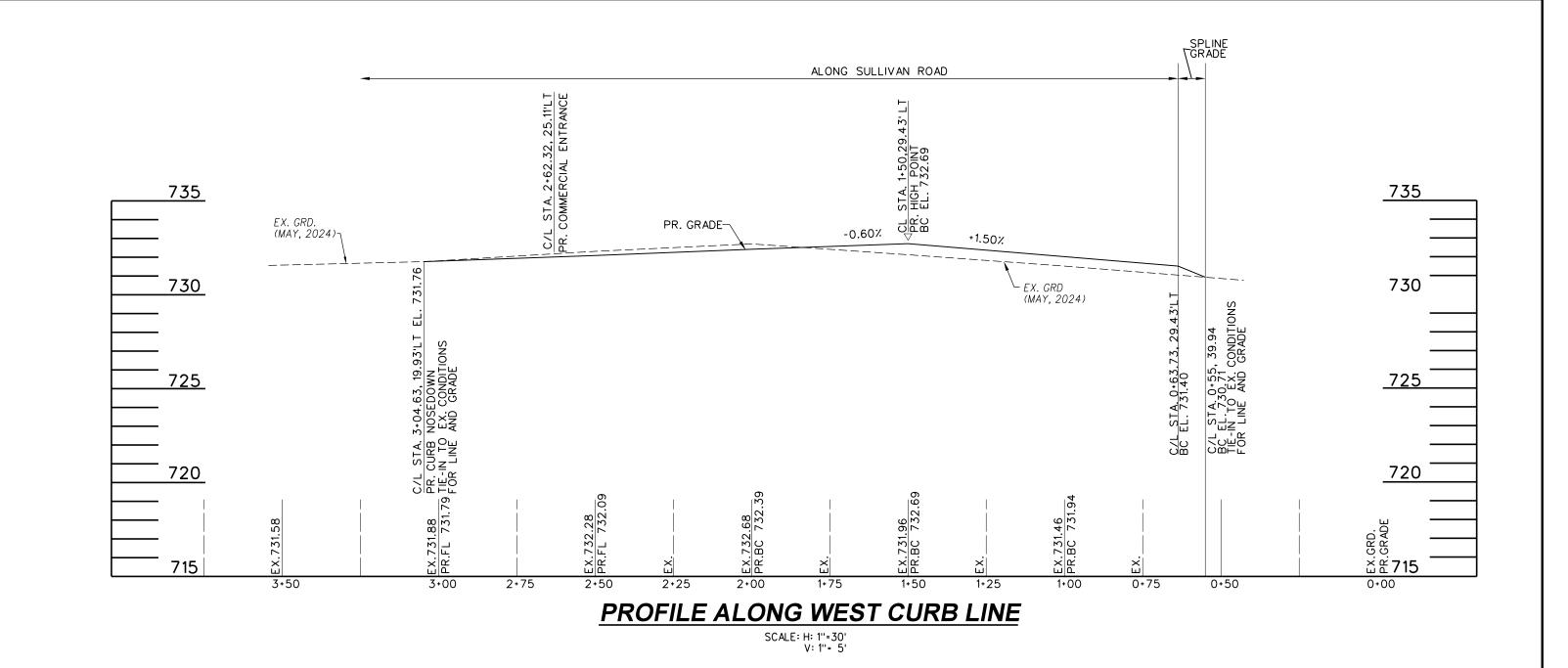
TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT.\*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157

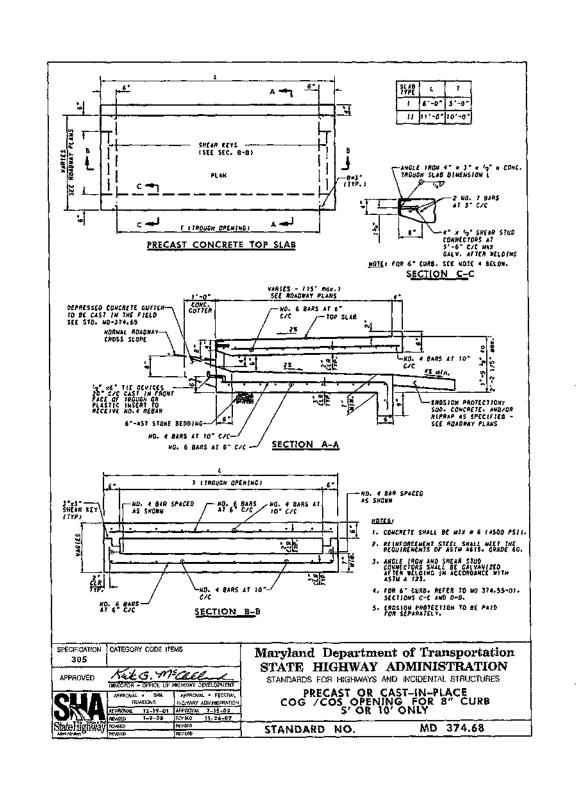
SHEET 39 OF 65

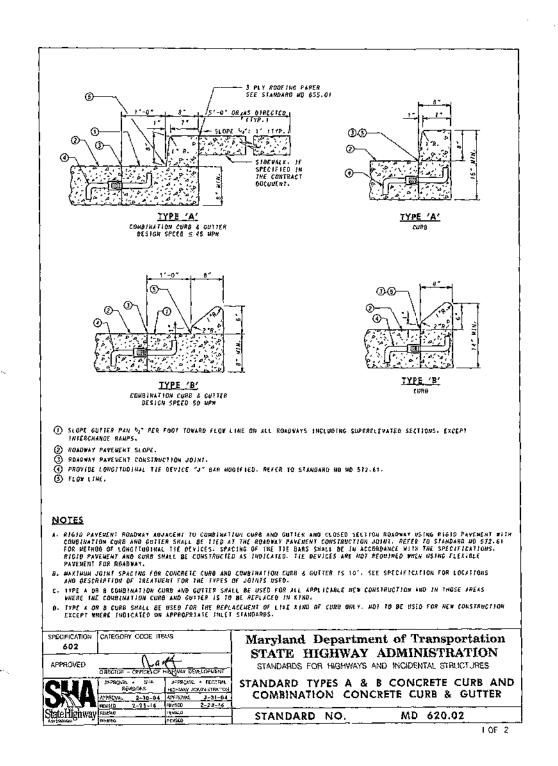


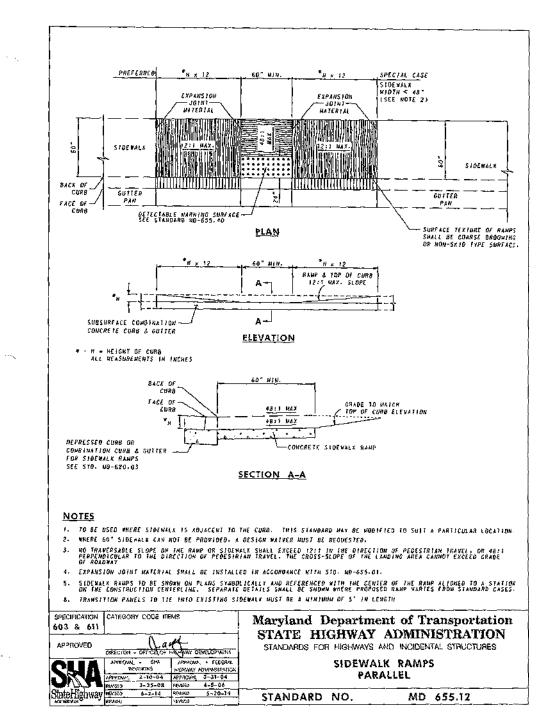












Baltimore Land Design Group, Inc.

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**OWNER** PATAMY, LLC 205 BELL ROAD WESTMINSTER, MD 21158 PHONE: 410-871-2600

DEVELOPER / APPLICANT SHEETZ, INC.

REVISIONS NO. DESCRIPTION

FIRST AMENDED SITE PLAN - FINAL PLAN SUBMISSION **ROAD CROSS SECTIONS** 

SHEETZ - WESTMINSTER

SHEET 4 OF 7

DRAWING NO.

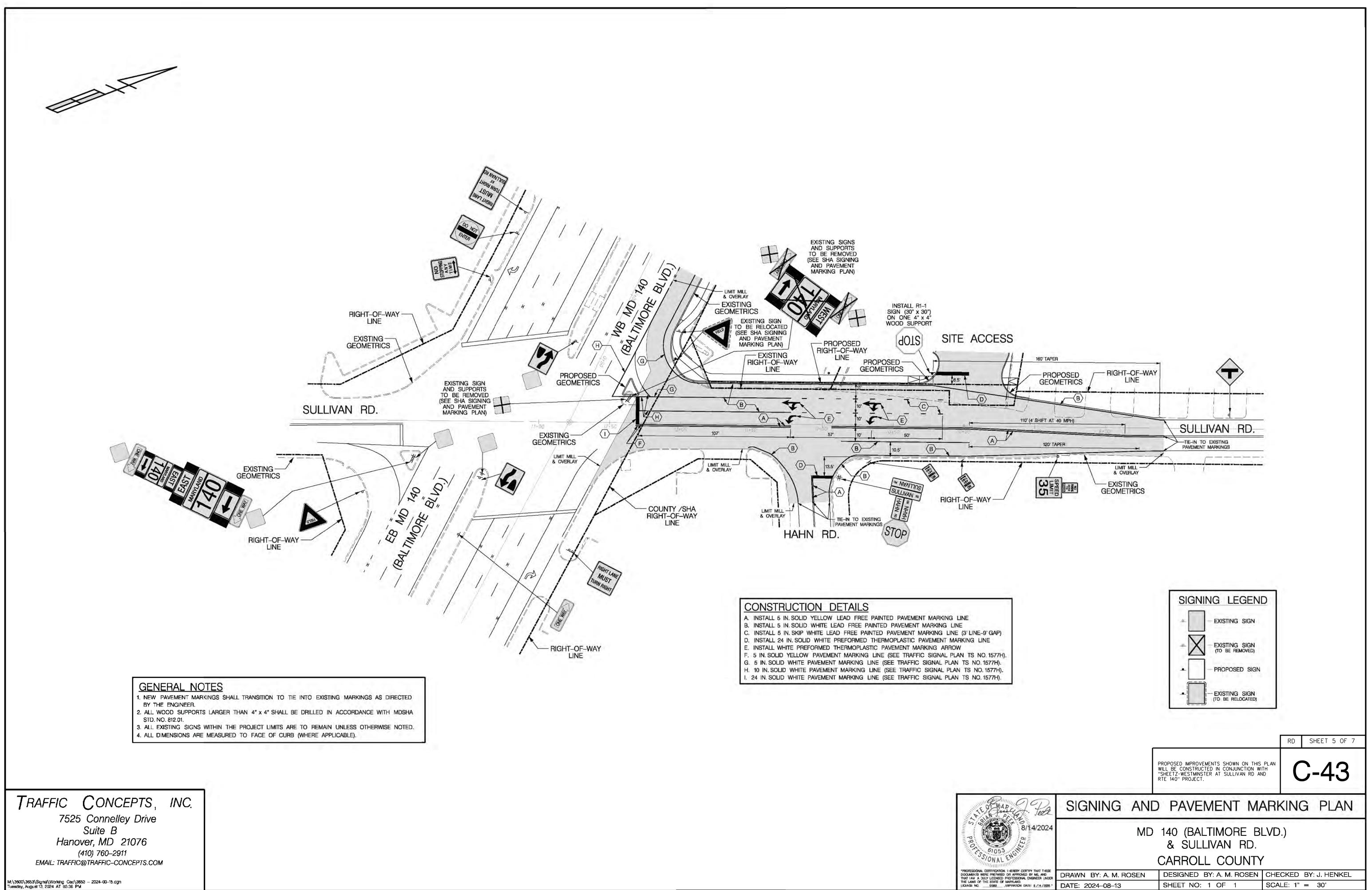
SHEET 42 OF 65

**Consulting Engineers** 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

CLAYSBURG, PA 16625 PHONE: 814-552-0609

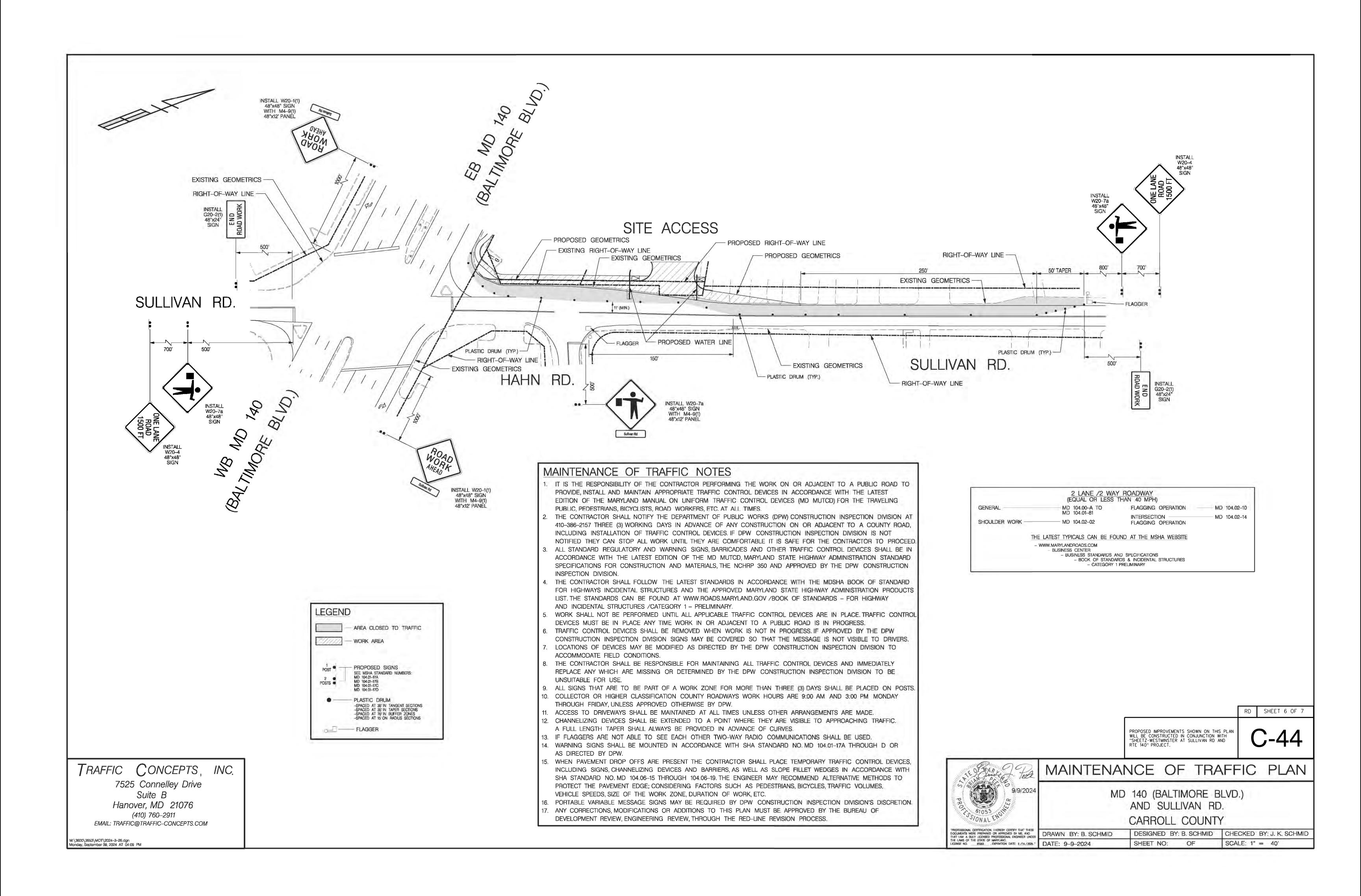
AT SULLIVAN RD. AND RTE. 140 TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT.\*S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157 SCALE: 1" = 30'

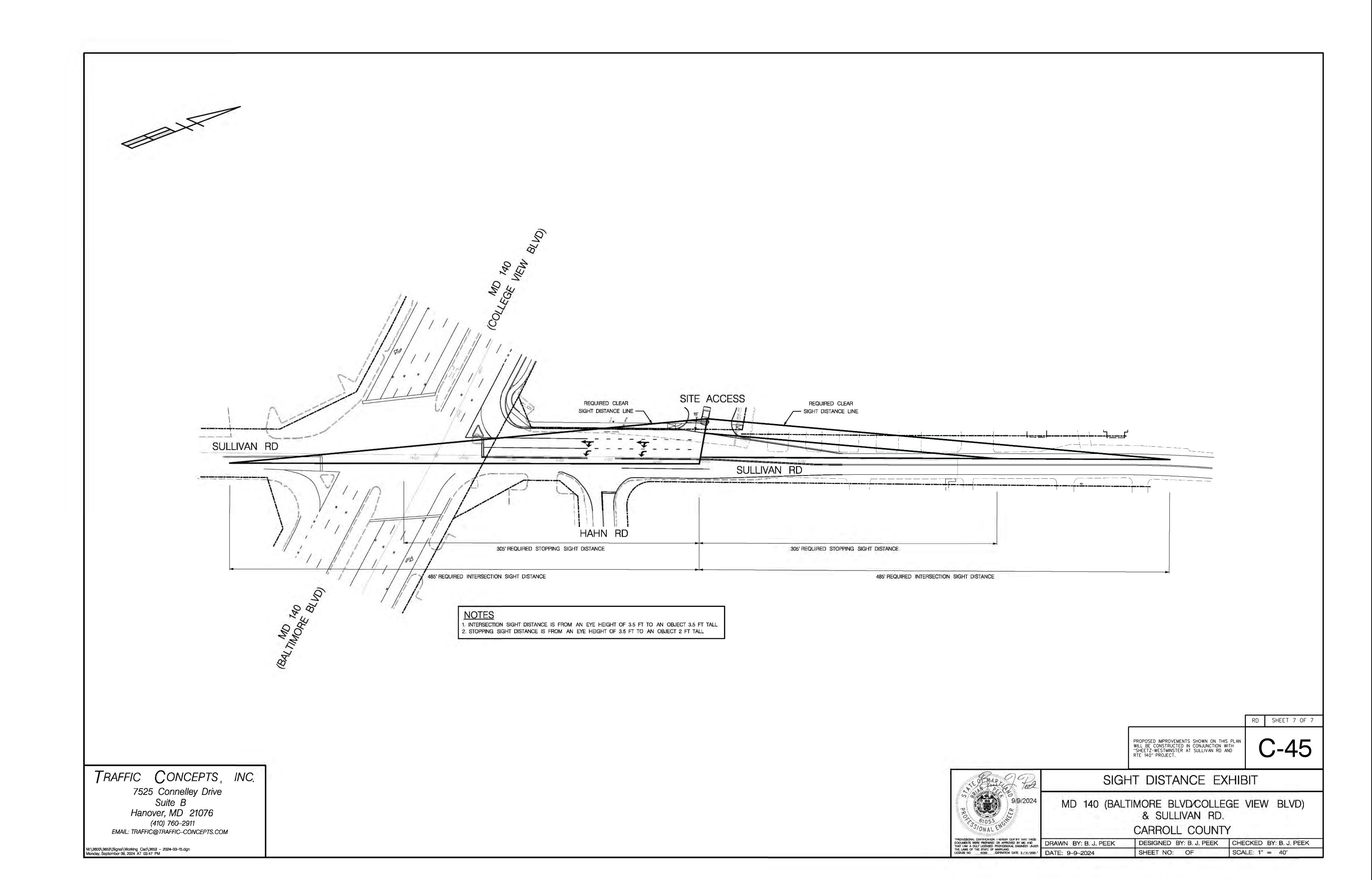
CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER 21, 2024

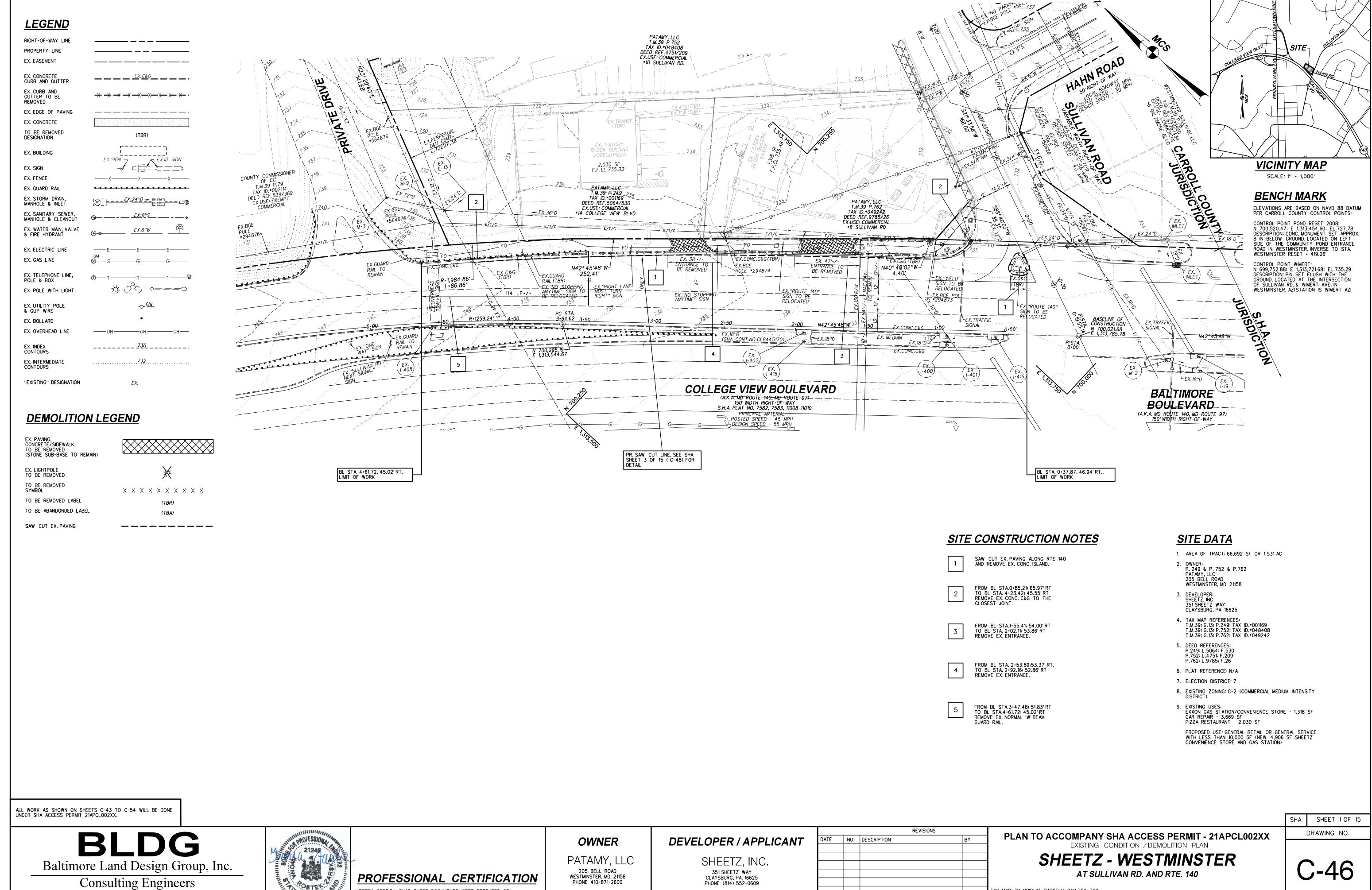


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SHEET NO: 1 OF 1 SCALE: 1" = 30'







230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

MALA -/ WA OF MARY

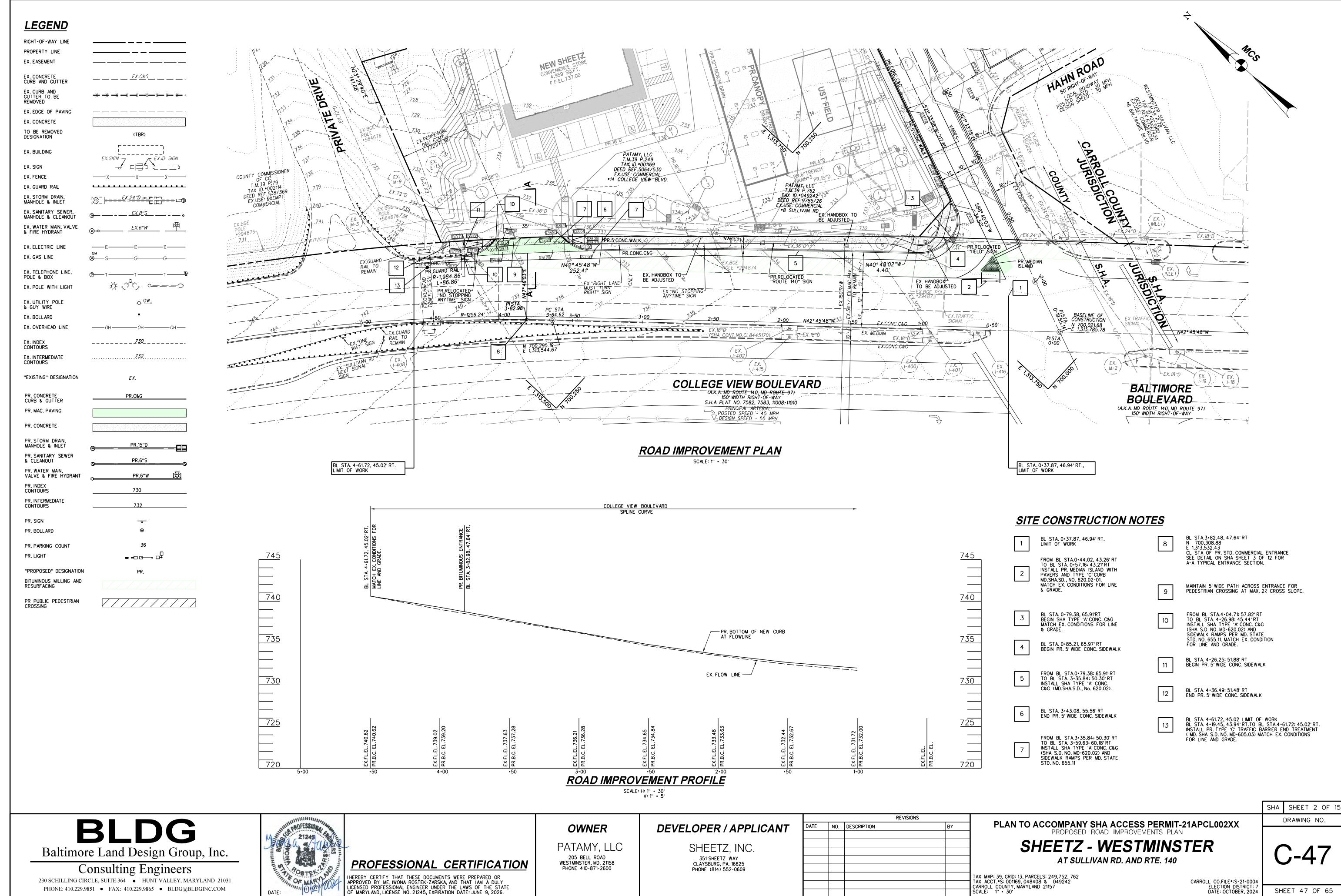
IHEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2026.

PHONE 410-871-2600

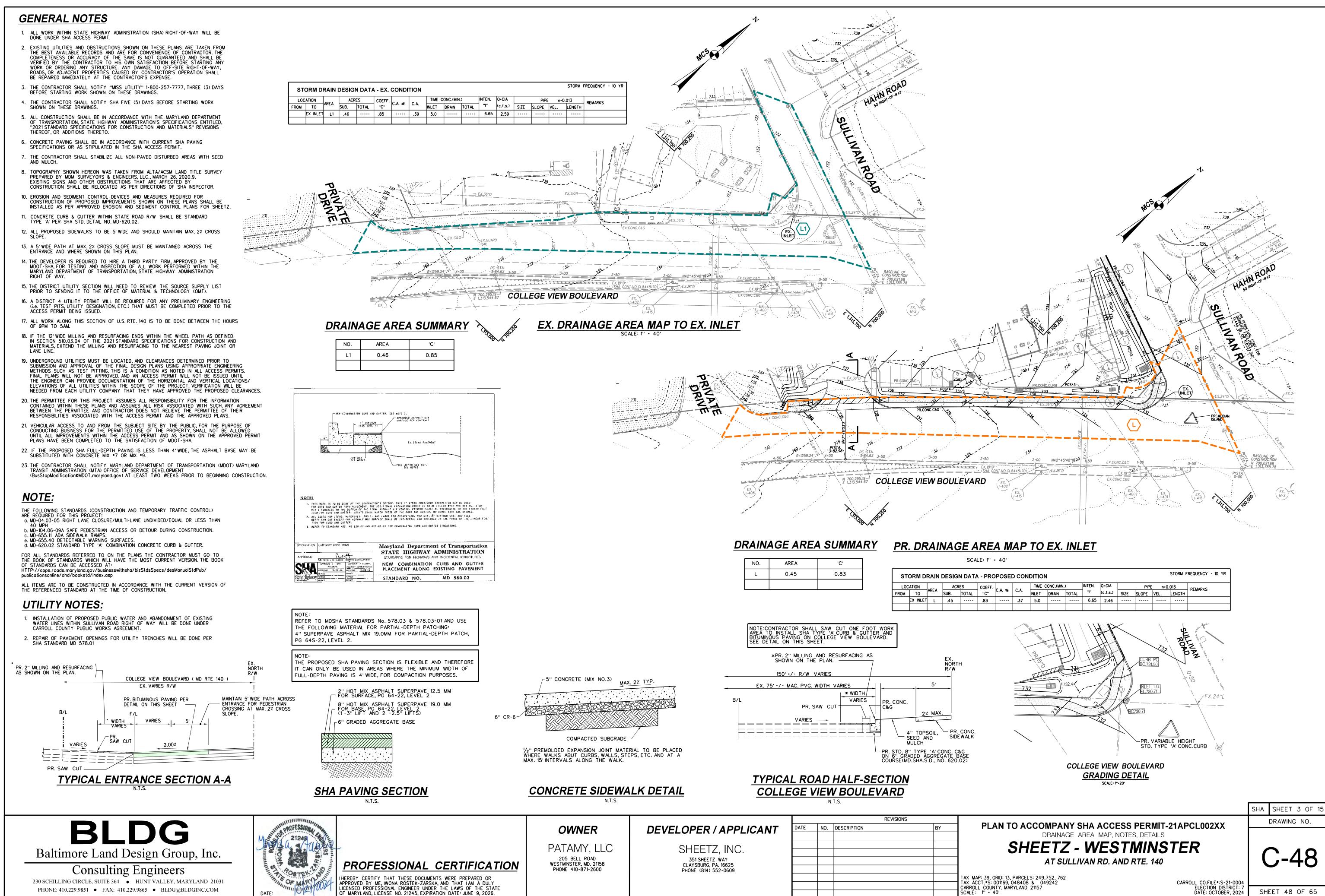
PHONE (814) 552-0609

TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157 SCALE: 1" - 30'

CARROLL CO.FILE •:S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER, 2024 SHEET 46 OF 65



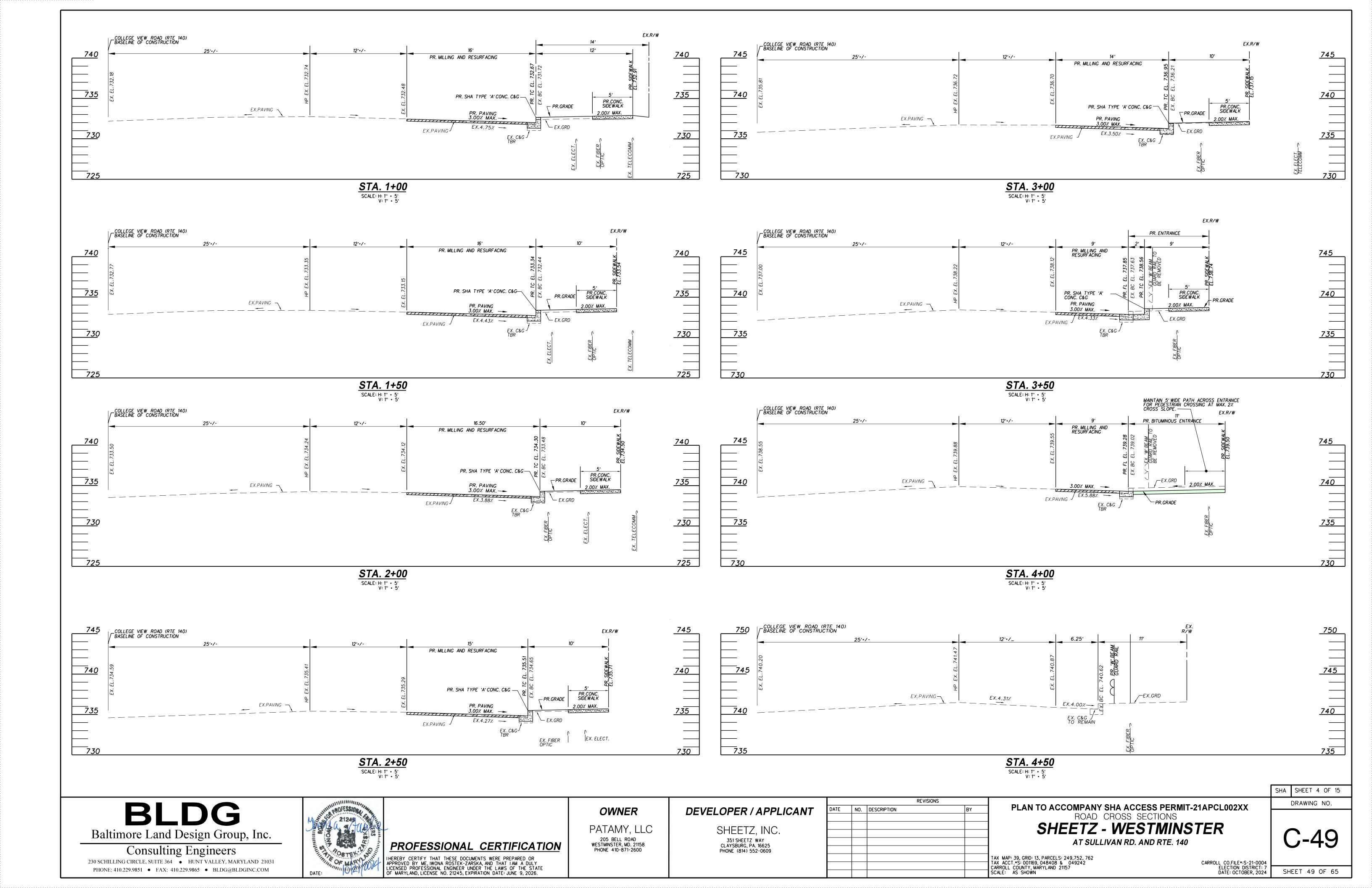
SHEET 47 OF 65

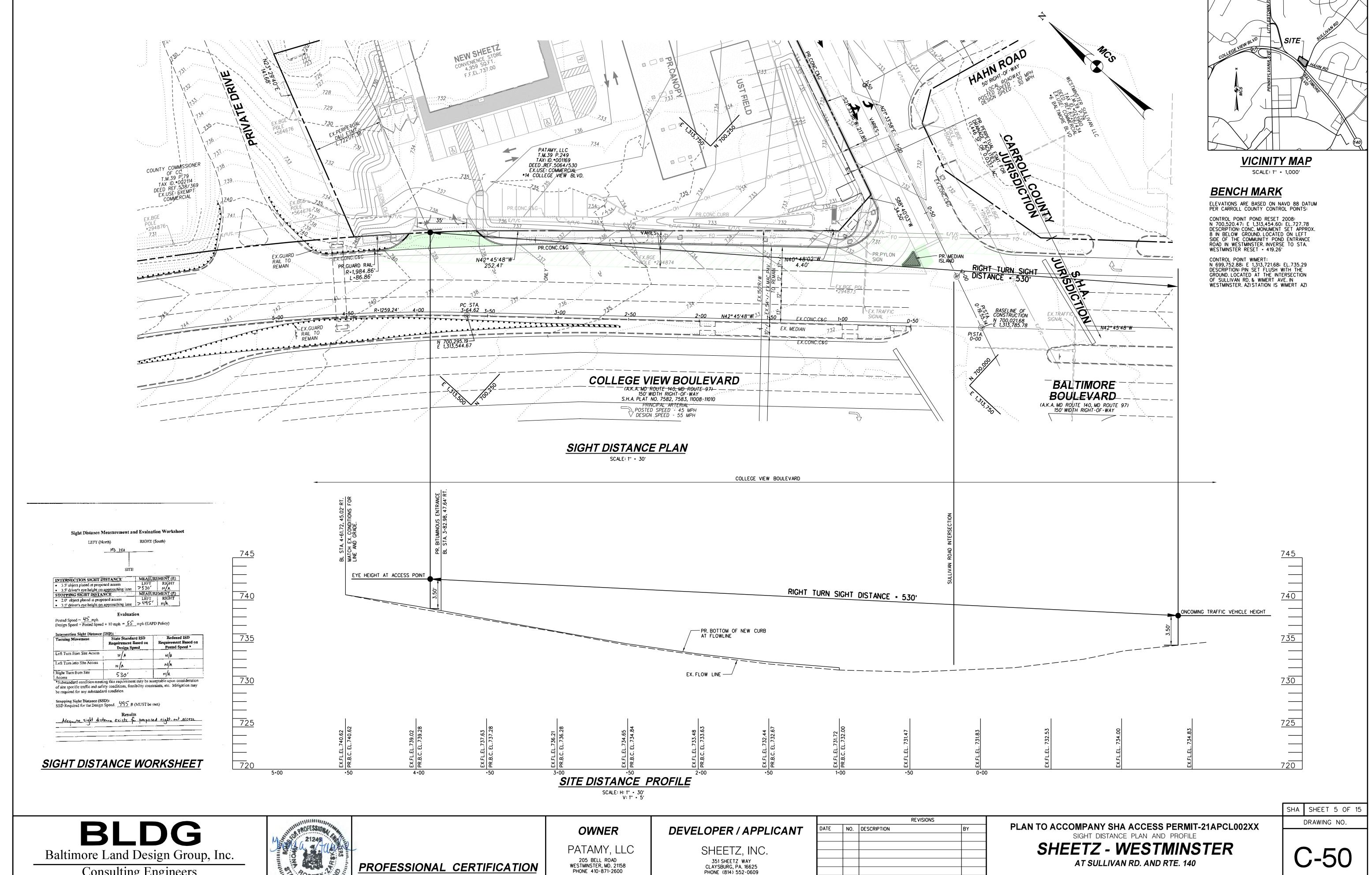


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SHEET 48 OF 65

PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM





Consulting Engineers 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



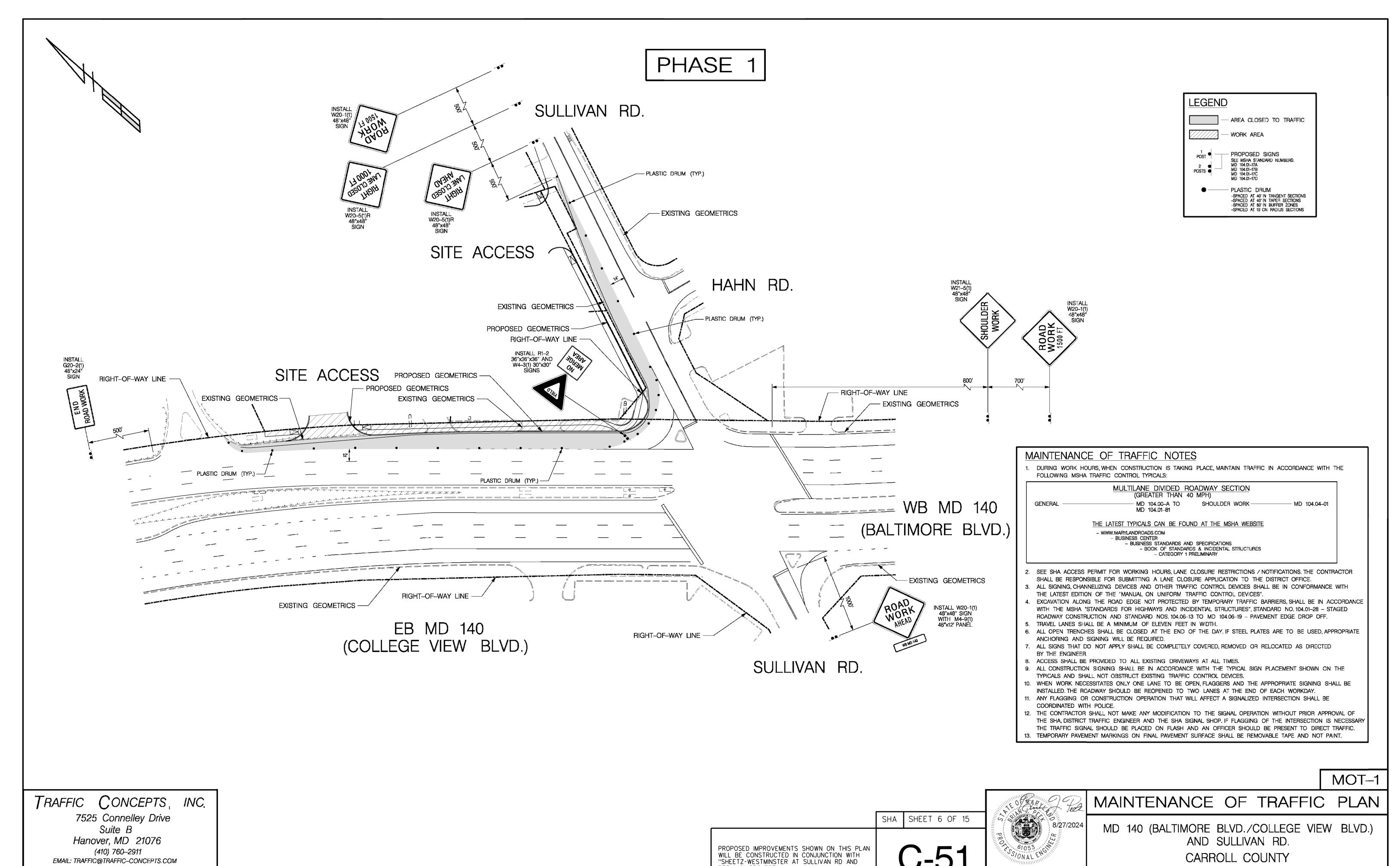
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PHONE 410-871-2600

TAX MAP: 39, GRID: 13, PARCELS: 249,752, 762 TAX ACCT. • S: 001169, 048408 & 049242 CARROLL COUNTY, MARYLAND 21157 SCALE: 1" - 30'

CARROLL CO.FILE •: S-21-0004 ELECTION DISTRICT: 7 DATE: OCTOBER, 2024

SHEET 50 OF 65



RTE 140" PROJECT.

M:\3600\3653\MOT\2024-3-26.dgn Tuesday, August 27, 2024 AT 02:00 PM PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 61053 , EXPIRATION DATE: 5 /14 / 2025.\*

DATE: 8-27-2024

DESIGNED BY: B. SCHMID

CHECKED BY: J. K. SCHMID

SHEET NO: OF SCALE: 1" = 40'

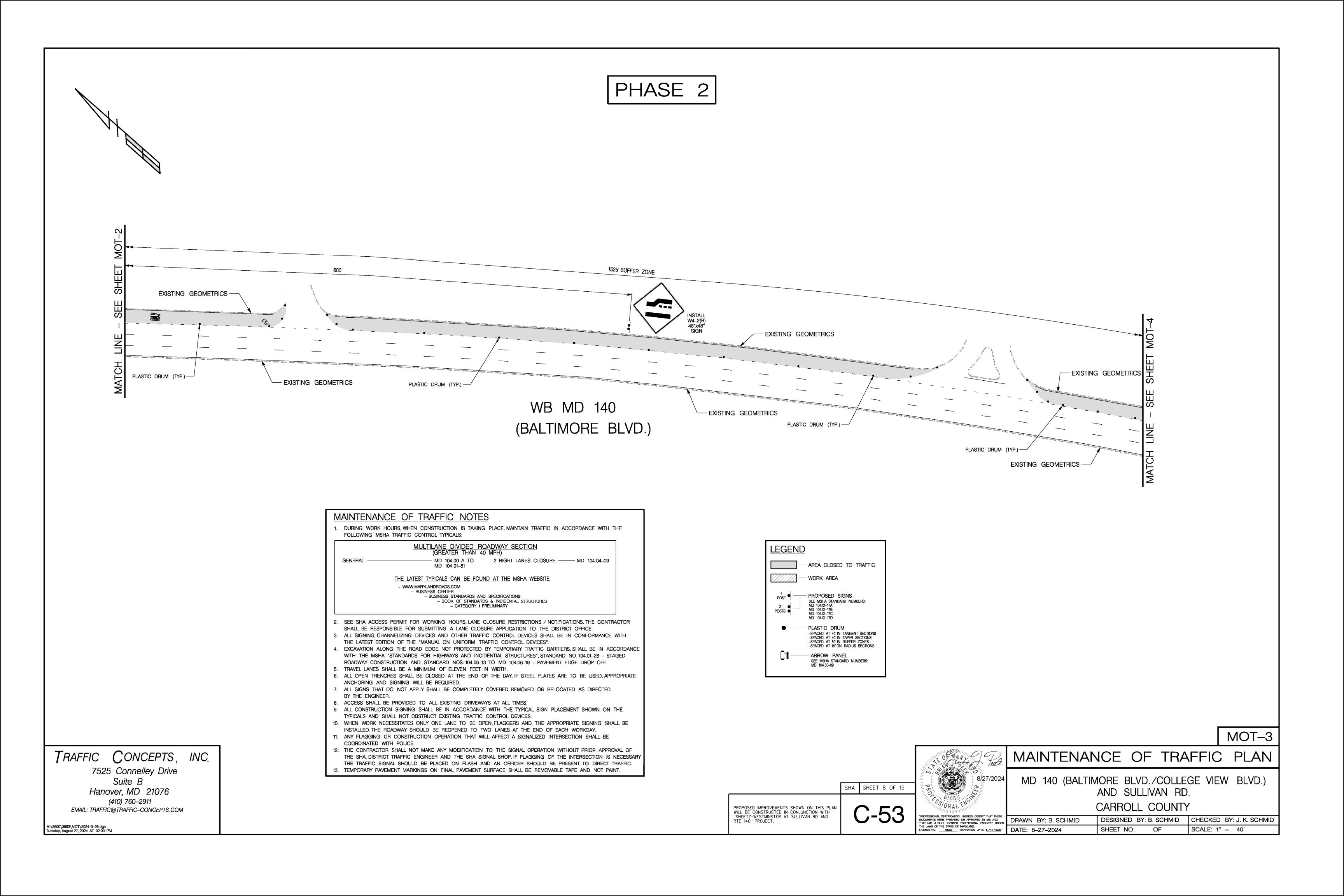
#### PHASE 2 SULLIVAN RD. - RIGHT-OF-WAY LINE 340' BUFFER ZONE 50' TAPER PROPOSED GEOMETRICS 540' TAPER (12' SHIFT @ 45 MPH) - EXISTING GEOMETRICS RIGHT-OF-WAY LINE PLASTIC DRUM (TYP.) — └── PLASTIC DRUM (TYP.) EXISTING GEOMETRICS - EXISTING GEOMETRICS (BALTIMORE BLVD.) RIGHT-OF-WAY LINE - EXISTING GEOMETRICS **EXISTING GEOMETRICS** RIGHT-OF-WAY LINE MAINTENANCE OF TRAFFIC NOTES EB MD 140 1. DURING WORK HOURS, WHEN CONSTRUCTION IS TAKING PLACE, MAINTAIN TRAFFIC IN ACCORDANCE WITH THE INSTALL W20-1(1) FOLLOWING MSHA TRAFFIC CONTROL TYPICALS: 48"x48" SIGN (COLLEGE VIEW BLVD.) WITH M4-9(1) <u>LEGEND</u> MULTILANE DIVIDED ROADWAY SECTION (GREATER THAN 40 MPH) 48"x12' PANÈL GENERAL MD 104.00-A TO 2 RIGHT LANES CLOSURE ----- MD 104.04-09 - AREA CLOSED TO TRAFFIC SULLIVAN RD. MD 104.01-81 - WORK AREA THE LATEST TYPICALS CAN BE FOUND AT THE MSHA WEBSITE - WWW.MARYLANDROADS.COM POST • - BUSINESS CENTER PROPOSED SIGNS - BUSINESS STANDARDS AND SPECIFICATIONS SEE MSHA STANDARD NUMBERS: - BOOK OF STANDARDS & INCIDENTAL STRUCTURES MD 104.01-17A - CATEGORY 1 PRELIMINARY POSTS MD 104.01-170 MD 104.01-17D 2. SEE SHA ACCESS PERMIT FOR WORKING HOURS, LANE CLOSURE RESTRICTIONS / NOTIFICATIONS. THE CONTRACTOR PLASTIC DRUM SHALL BE RESPONSIBLE FOR SUBMITTING A LANE CLOSURE APPLICATION TO THE DISTRICT OFFICE. -SPACED AT 40' IN TANGENT SECTIONS -SPACED AT 40' IN TAPER SECTIONS -SPACED AT 80' IN BUFFER ZONES -SPACED AT 15' ON RADIUS SECTIONS 3. ALL SIGNING, CHANNELIZING DEVICES AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". 4. EXCAVATION ALONG THE ROAD EDGE NOT PROTECTED BY TEMPORARY TRAFFIC BARRIERS, SHALL BE IN ACCORDANCE ARROW PANEL WITH THE MSHA "STANDARDS FOR HIGHWAYS AND INCIDENTIAL STRUCTURES", STANDARD NO. 104.01-28 - STAGED SEE MSHA STANDARD NUMBERS: MD 104.00-09 ROADWAY CONSTRUCTION AND STANDARD NOS. 104.06-13 TO MD 104.06-19 - PAVEMENT EDGE DROP OFF. 5. TRAVEL LANES SHALL BE A MINIMUM OF ELEVEN FEET IN WIDTH. 6. ALL OPEN TRENCHES SHALL BE CLOSED AT THE END OF THE DAY. IF STEEL PLATES ARE TO BE USED, APPROPRIATE ANCHORING AND SIGNING WILL BE REQUIRED. 7. ALL SIGNS THAT DO NOT APPLY SHALL BE COMPLETELY COVERED, REMOVED OR RELOCATED AS DIRECTED BY THE ENGINEER. 8. ACCESS SHALL BE PROVIDED TO ALL EXISTING DRIVEWAYS AT ALL TIMES. 9. ALL CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE TYPICAL SIGN PLACEMENT SHOWN ON THE TYPICALS AND SHALL NOT OBSTRUCT EXISTING TRAFFIC CONTROL DEVICES. 10. WHEN WORK NECESSITATES ONLY ONE LANE TO BE OPEN, FLAGGERS AND THE APPROPRIATE SIGNING SHALL BE MOT-2 INSTALLED. THE ROADWAY SHOULD BE REOPENED TO TWO LANES AT THE END OF EACH WORKDAY. 11. ANY FLAGGING OR CONSTRUCTION OPERATION THAT WILL AFFECT A SIGNALIZED INTERSECTION SHALL BE COORDINATED WITH POLICE. TRAFFIC CONCEPTS, INC. MAINTENANCE OF TRAFFIC PLAN 12. THE CONTRACTOR SHALL NOT MAKE ANY MODIFICATION TO THE SIGNAL OPERATION WITHOUT PRIOR APPROVAL OF THE SHA, DISTRICT TRAFFIC ENGINEER AND THE SHA SIGNAL SHOP. IF FLAGGING OF THE INTERSECTION IS NECESSARY THE TRAFFIC SIGNAL SHOULD BE PLACED ON FLASH AND AN OFFICER SHOULD BE PRESENT TO DIRECT TRAFFIC. 7525 Connelley Drive 13. TEMPORARY PAVEMENT MARKINGS ON FINAL PAVEMENT SURFACE SHALL BE REMOVABLE TAPE AND NOT PAINT. MD 140 (BALTIMORE BLVD./COLLEGE VIEW BLVD.) Suite B SHEET 7 OF 15 AND SULLIVAN RD. Hanover, MD 21076 (410) 760–2911 CARROLL COUNTY PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN EMAIL: TRAFFIC@TRAFFIC-CONCEPTS.COM WILL BE CONSTRUCTED IN CONJUNCTION WITH "SHEETZ-WESTMINSTER AT SULLIVAN RD AND RTE 140" PROJECT. PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 61063 EXPIRATION DATE: 5 /14 / 2025. DRAWN BY: B. SCHMID DESIGNED BY: B. SCHMID | CHECKED BY: J. K. SCHMID

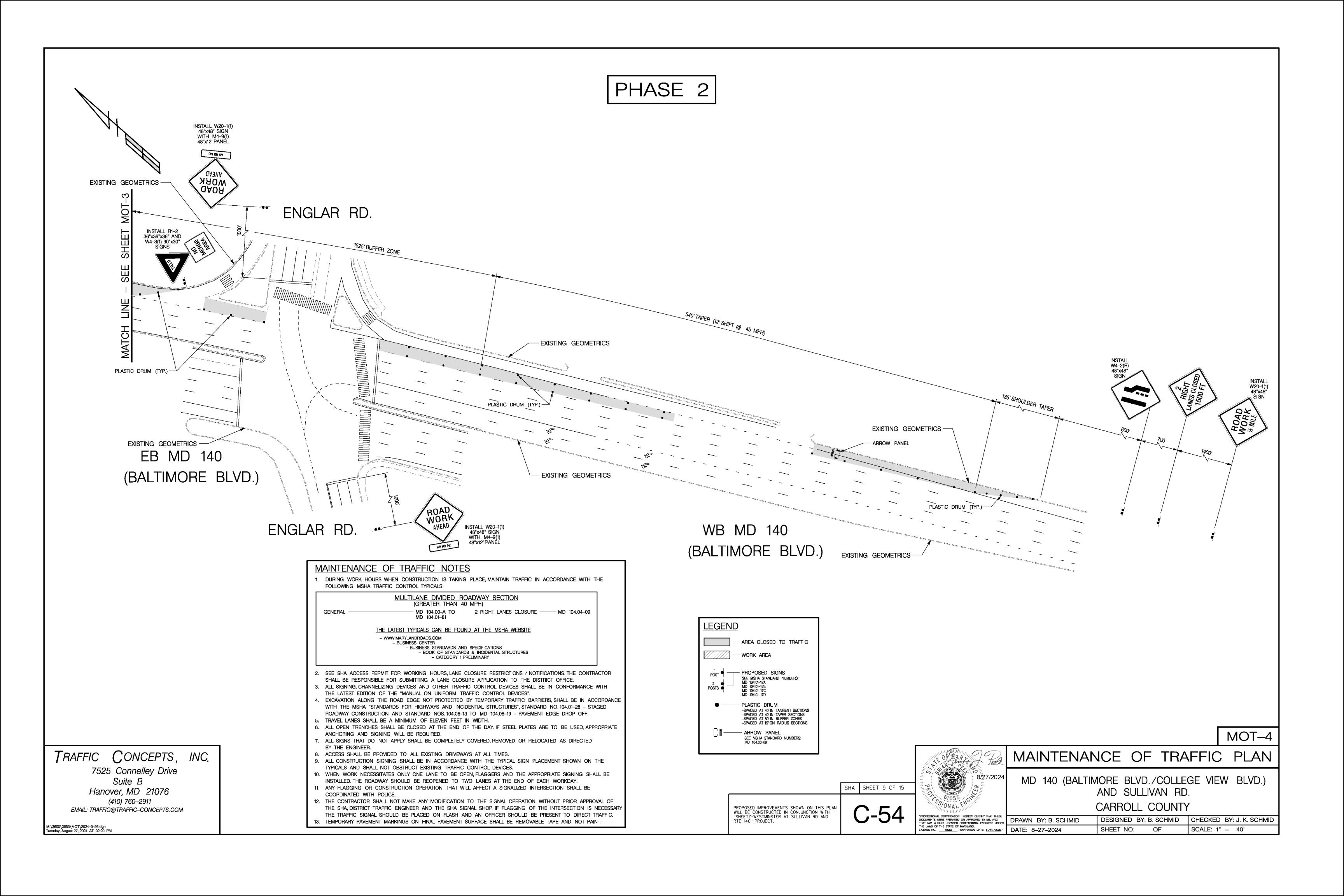
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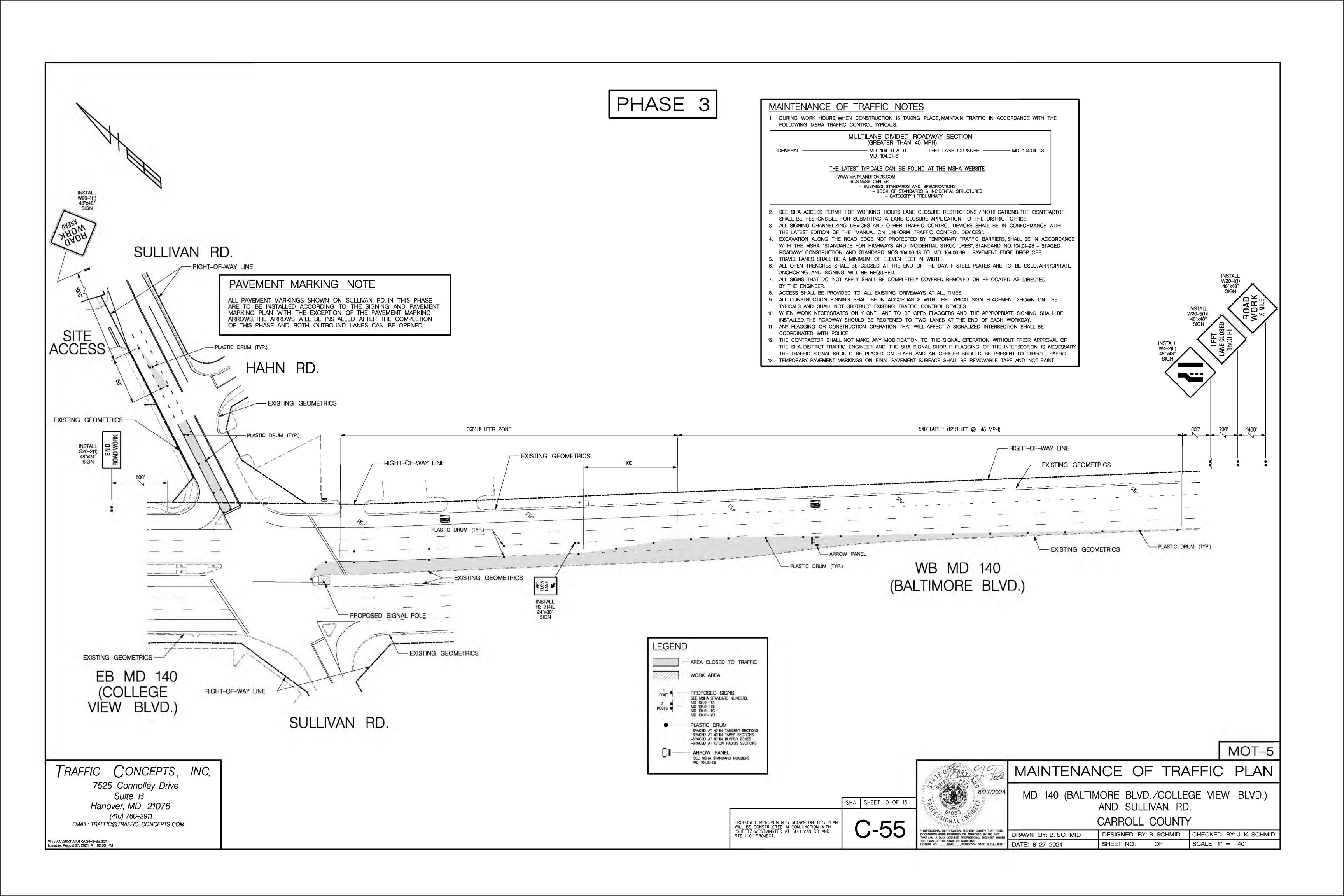
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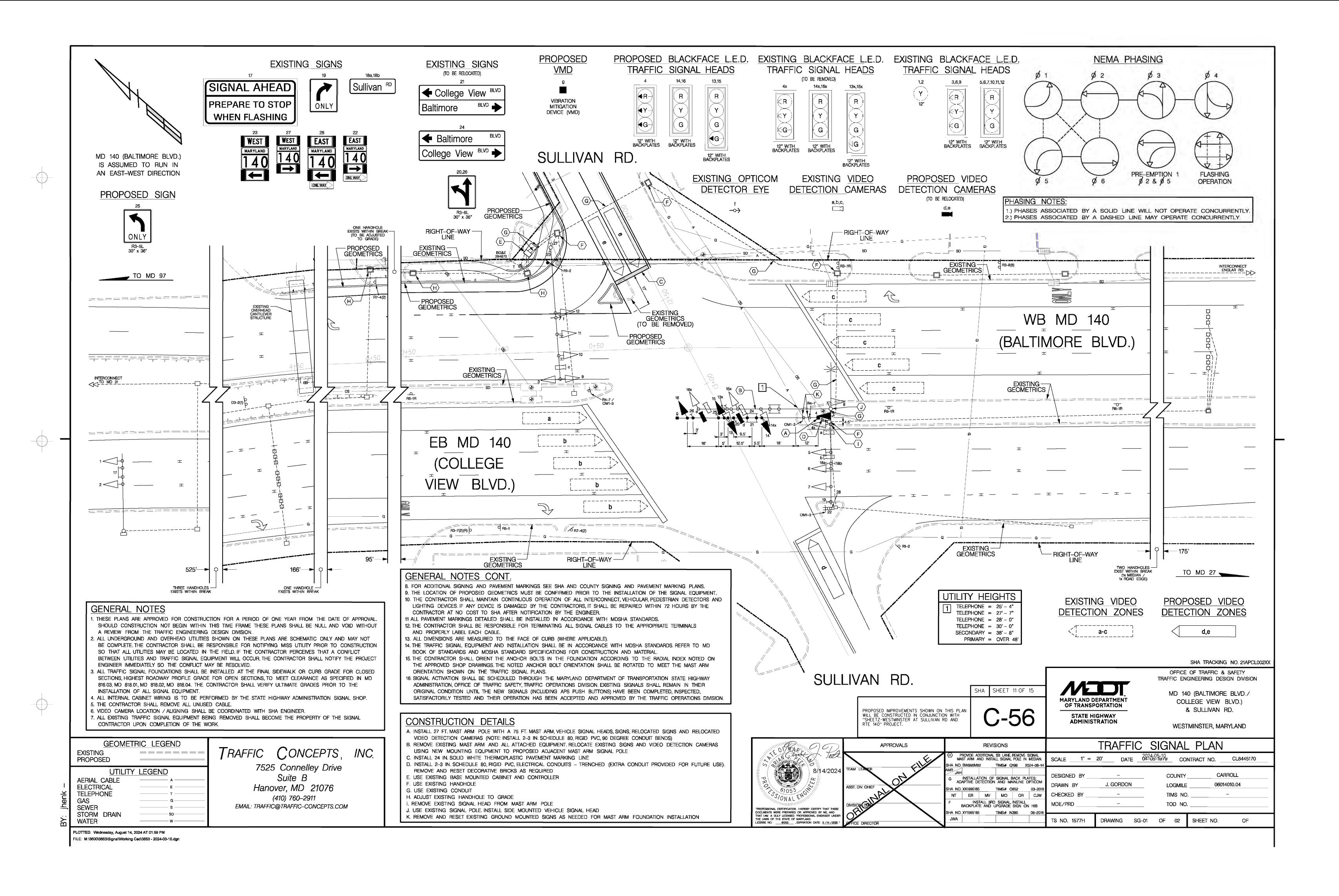
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# PROJECT DESCRIPTION

THIS PROJECT INVOLVES THE MODIFICATION OF AN EXISTING TRAFFIC CONTROL SIGNAL AT THE INTERSECTION OF MD 140 (BALTIMORE BLVD./COLLEGE VIEW BLVD.) & SULLIVAN RD. IN CARROLL COUNTY. THE WORK IS NECESSITATED BY THE CONSTRUCTION OF AN ADDITIONAL SB LANE, THE REMOVAL OF THE MAST ARM FOR SB SULLIVAN ROAD AND THE INSTALLATION OF A NEW SIGNAL POLE. MD 140 (BALTIMORE BLVD./COLLEGE VIEW BLVD.) IS ASSUMED TO RUN IN AN EAST-WEST DIRECTION.

### INTERSECTION OPERATION

THE INTERSECTION WILL OPERATE IN A NEMA SIX-PHASE, FULLY-ACTUATED MODE WITH EXCLUSIVE-PERMISSIVE LEFT TURN PHASES FOR BOTH DIRECTIONS OF MD 140 (BALTIMORE BLVD./COLLEGE VIEW BLVD.), SIDE STREET SPLIT PHASING AND A PRE-EMPTION PHASE FOR WESTBOUND MD 140 (BALTIMORE BLVD.)

# CONTROLLER REQUIREMENTS

THE EXISTING EIGHT-PHASE, FULLY-ACTUATED CONTROLLER HOUSED IN A BASE MOUNTED CABINET WILL BE USED.

# CONTACT PERSONS FOR DISTRICT 7 ARE AS FOLLOWS:

ASSISTANT DISTRICT ENGINEER - TRAFFIC

MR. CHRIS LOOKINGBILL

ASSISTANT DISTRICT ENGINEER - MAINTENANCE (301) 624-8108

MR. ANTHONY CREGGER UTILITY ENGINEER (301) 624-8122

(301) 624-8141

# CONTACTS FOR OFFICE OF TRAFFIC AND SAFETY:

VACANT DIVISION CHIEF, TRAFFIC OPERATIONS (410) 787-7630

MR. DAVID (TODD) JONES SIGN OPERATIONS MANAGER (410)-787-7674

MR. ANTOINE YATES ASSISTANT DIVISION CHIEF, TRAFFIC OPERATIONS (410) 787-7645

MR. MICHAEL BOYLE CHIEF, OOTS SUPPLY SECTION (410) 787-7673

MR. MICHAEL BASSO CHIEF, SIGNAL OPERATION SECTION (410) 787-7652

**EQUIPMENT LIST "A"** 

CAT. CODE QUANTITY DESCRIPTION

A. EQUIPMENT TO BE FURNISHED BY SHA

NONE

# **EQUIPMENT LIST "B"**

B. EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY CONTRACTOR, ALL EQUIPMENT SHALL HAVE CATALOG CUTS SUBMITTED TO THE OFFICE OF TRAFFIC AND SAFETY FOR APPROVAL PRIOR TO INSTALLATION.

CAT. CODE	QUANTITY	DESCRIPTION
120500	1 LS	MAINTENANCE OF TRAFFIC
130875	1 LS	MOBILIZATION AND DEMOBILIZATION
203030	1 CY	TEST PIT EXCAVATION
549617	25 LF	24 IN. WHITE PREFORMED THERMOPLASTIC PAVEMENT MARKING LINE
655390	20 SF	REMOVE AND RESET DECORATIVE BRICK SIDEWALK
801004	5 CY	CONCRETE FOR SIGNAL FOUNDATION
801010	1 EA	THIRD PARTY CONCRETE TESTING
801605	7.5 SF	SHEET ALUMINUM SIGNS
		R3-5L SIGN (30" X 36") - MAST ARM MOUNT
802145	4 EA	ADJUST EXISTING HANDHOLE
802501	10 LF	NO.6 AWG STRANDED BARE COPPER GROUND WIRE
805135	15 LF	3 IN. SCHEDULE 80 RIGID PVC CONDUIT - TRENCHED
800000	4 EA	RELOCATE EXISTING OVERHEAD SIGNAL SIGN INCLUDING NEW MOUNTING HARDWARE
813023	2 EA	RELOCATE EXISTING GROUND MOUNTED SIGN
816020	2 EA	RELOCATE EXISTING VIDEO DETECTION CAMERA INCLUDING NEW MOUNTING HARDWARE
818072	1 EA	27 FT. STEEL POLE WITH SINGLE 75 FT. MAST ARM
822500	1 EA	AS-BUILT FOR TRAFFIC SIGNAL
860284	17 <b>E</b> A	12 IN. LED VEHICULAR TRAFFIC SIGNAL HEAD SECTION
860289	5 EA	SIGNAL HEAD BACK PLATE, ANY SIZE
861107	45 LF	ELECTRICAL CABLE - 5 CONDUCTOR (NO.14 AWG)
861108	810 LF	ELECTRICAL CABLE - 7 CONDUCTOR (NO.14 AWG)
873002	1 <b>L</b> \$	REMOVE AND DISPOSE OF EXISTING SIGNAL EQUIPMENT
873155	8 HR	MARYLAND STATE POLICE WITH VEHICLE
800000	2 EA	5 FT. EXTENSION POLE FOR VIDEO DETECTION CAMERA

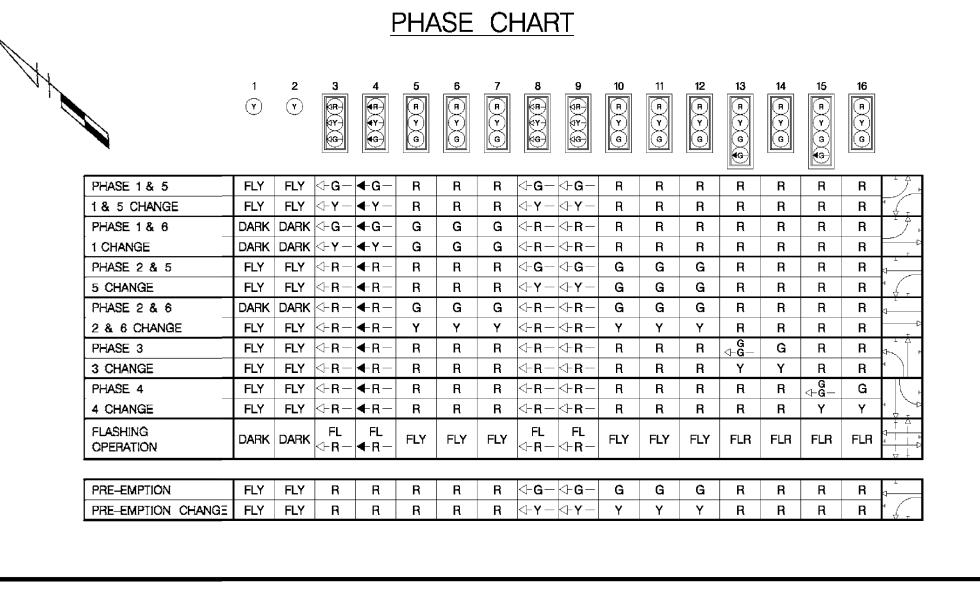
# **EQUIPMENT LIST "C"**

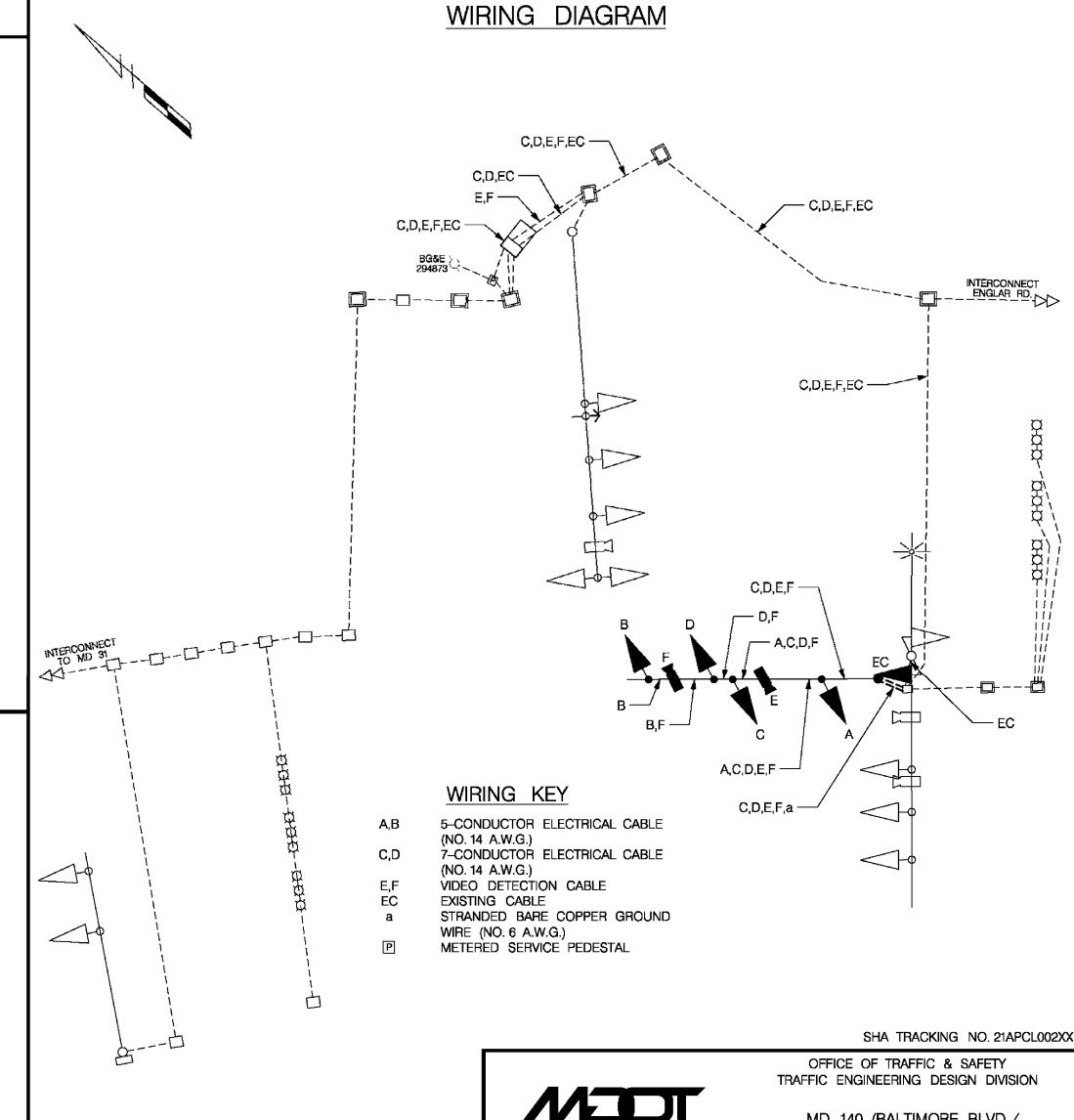
C. EXISTING EQUIPMENT TO BE REMOVED BY THE CONTRACTOR AND DELIVERED TO THE STATE HIGHWAY ADMINISTRATION, 7491 CONNELLEY DRIVE, HANOVER, MARYLAND 21076. THE CONTRACTOR SHALL NOTIFY THE SHA AT (410) 787-7652 AT LEAST THREE DAYS IN ADVANCE OF DELIVERY.

**QUANTITY DESCRIPTION** 

NONE

ALL SIGNAL EQUIPMENT TO BE REMOVED AND NOT RETURNED TO THE SHA SHALL BECOME THE PROPERTY OF THE CONTRACTOR.





MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY **ADMINISTRATION** 

TS NO. 1577H G

MD 140 (BALTIMORE BLVD./

COLLEGE VIEW BLVD.)

& SULLIVAN RD.

CARROLL

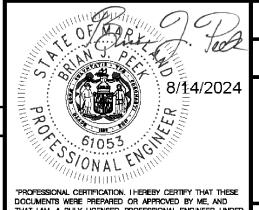
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Q199

WESTMINSTER, MARYLAND

SHEET NO.

TOD NO.



"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDITHE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 61063 , EXPIRATION DATE: 5 /14 / 2025

GENERAL INFORMATION PLAN SCALE NONE DATE 2024-08-14 CONTRACT NO. BW996M82 A.M.R./J.A.H. DESIGNED BY COUNTY DRAWN BY A. M. ROSEN LOGMILE J. HENKEL CHECKED BY TIMS NO.

DRAWING SG-02 OF

PROPOSED IMPROVEMENTS SHOWN ON THIS P WILL BE CONSTRUCTED IN CONJUNCTION WITH "SHEETZ-WESTMINSTER AT SULLIVAN RD AND RTE 140" PROJECT.

SHA SHEET 12 OF 15

PLOTTED: Wednesday, August 14, 2024 AT 02:00 PM FILE: M:\3600\3653\Signal\Working Cad\3653 - 2024-03-15.dgn

TRAFFIC CONCEPTS, INC.

7525 Connelley Drive

Suite B

Hanover, MD 21076

(410) 760-2911

EMAIL: TRAFFIC@TRAFFIC-CONCEPTS.COM

<u>DESIGN</u>

MDOT SHA - "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", 2011 EDITION AND SUBSEQUENT REVISIONS. (MDMUTCD)

A A S H T O - "HIGHWAY SAFETY DESIGN AND OPERATIONS GUIDE" -1997

A A S H T O - "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS LUMINAIRES AND TRAFFIC SIGNALS". 2001 EDITION (CATEGORY II FOR ALL OVERHEAD AND CANTILEVER SIGN STRUCTURES).

MATERIALS AND CONSTRUCTION

MDOT SHA - "STANDARD SPECIFICATIONS FOR CONSTRUCTION & MATERIALS", MOST CURRENT EDITION AND SUBSEQUENT REVISIONS AND SUPPLEMENTS.

MDOT SHA - "BOOK OF STANDARDS FOR HIGHWAY AND INCIDENTAL STRUCTURES", MOST CURRENT EDITION AND SUBSEQUENT REVISIONS AND SUPPLEMENTS.

ALL DISTRICTS

B) PANELS

MATERIAL - EXTRUDED ALUMINUM

MATERIAL - SHEET ALUMINUM

COPY - DIRECT APPLIED

I) HIGH INTENSITY (NEW SIGNS AND

REVISIONS TO EXISTING SIGNS)

COPY - DIRECT APPLIED

DESIGN WIND

100 MPH - WOOD SUPPORTS IO YEAR RECURRENCE INTERVAL

100 MPH - GROUND MOUNT SIGN STEEL SUPPORTS IO YEAR RECURRENCE INTERVAL

100 MPH - OVERHEAD AND CANTILEVER STRUCTURES 50 YEAR RECURRENCE INTERVAL

DESIGN STRESS

SOIL BEARING PRESSURE - S = 3,000 P.S.F. (ASSUMED) SEE MATERIAL & CONSTRUCTION ABOVE AND SPECIAL PROVISIONS FOR DESIGN STRESSES FOR STRUCTURAL STEEL. ALUMINUM. REINFORCING STEEL AND CONCRETE.

CHAMFER

ALL EXPOSED EDGES OF CONCRETE SHALL HAVE A 3/4" X 3/4" CHAMFER.

CLASSIFICATION OF SIGNS

SIGNS ARE DIVIDED INTO TWO (2) GENERAL CATEGORIES. B) PANELS

I. GUIDE SIGNS A) STRUCTURAL TYPES

OH - OVERHEAD C - CANTILEVER

GM - GROUND MOUNT, BREAKAWAY OR NON-BREAKWAY BM - BRIDGE MOUNTED

2. STANDARD SIGNS (REGULATORY, WARNING, ETC.)

A) STRUCTURAL TYPES WOOD SUPPORTS

SQUARE TUBE

IDENTIFICATION OF SIGNS AND PANELS

GUIDE SIGNS

EACH GUIDE SIGN IS IDENTIFIED BY A SIGN NUMBER ON THE PLANS AND IN THE TABULATIONS. (GM-I, GM-2, GM-3, ETC)

SIGNS ON STRUCTURES ARE IDENTIFIED WITH A NUMBER AND WHERE VARIATIONS OCCUR. A LETTER. (OH-IA, OH-IB, OH-IC OR OH-Ia, OH-Ib, OH-Ic)

STANDARD SIGNS

STANDARD SIGNS ARE IDENTIFIED BY PANEL NUMBERS AND ARE CLASSIFIED AS FOLLOWS

R - REGULATORY

W - WARNING M - ROUTE MARKERS AND ACCESSORIES

D - DESTINATION AND MILEAGE PANELS

S - SCHOOL

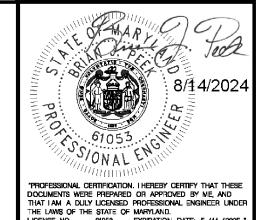
PANELS SHALL BE DESIGNATED TO AGREE WITH MARYLAND STANDARD SIGN BOOK. EACH STANDARD SIGN IS IDENTIFIED FIRST BY THE SHEET NUMBER, THEN BY THE NUMERICAL ORDER OF THE SIGN AS IT APPEARS ON THE PLAN. FOR EXAMPLE SHEET SN 2.1-101,102,103, ETC. SHEET SN 2.2-201,202,203,ETC.

PANEL LAYOUT AND ALPHABETS

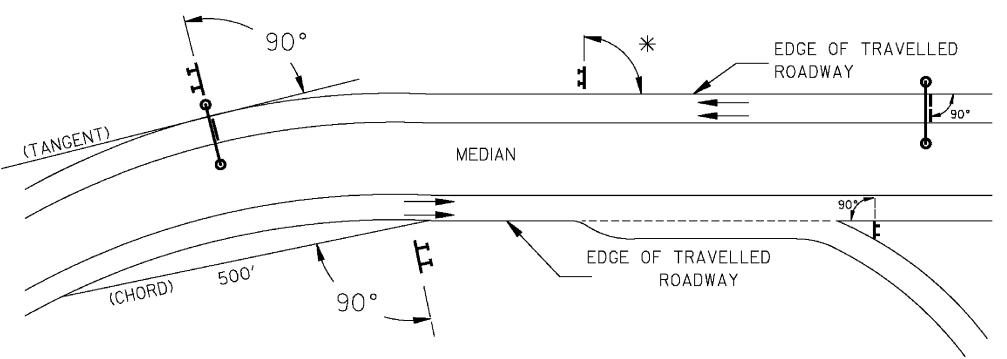
I. GUIDE SIGN PANEL LAYOUTS ARE BASED ON THE A.A.S.H.T.O. MANUALS NOTED ABOVE. 2. STANDARD SIGN PANEL LAYOUTS ARE BASED ON THE MDMUTCD WITH SPECIFICATIONS DETAILED IN THE MARYLAND STATE HIGHWAY ADMINISTRATION PUBLICATION, "STANDARD SIGN BOOK", AVAILABLE ONLINE AT http://apps.roads.maryland.gov/businesswithsha/ bizstdsspecs/desmanualstdpub/publicationsonline/oots/internet\_signbook.asp

TRAFFIC CONCEPTS INC.

7525 Connelley Drive Suite B Hanover, MD 21076 (410) 760–2911 EMAIL: TRAFFIC@TRAFFIC-CONCEPTS.COM



ORIENTATION OF SIGN FACES



\* UNDER 30 FEET FROM TRAVELLED ROADWAY TO NEAR EDGE OF SIGN - 93° AWAY FROM THE ROAD TO AVOID SPECULAR REFLECTION AS INDICATED IN 813.03 OF THE MARYLAND STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.

OVER 30 FEET FROM TRAVELLED ROADWAY TO NEAR EDGE OF SIGN - 90°

REFLECTORIZATION

BACKGROUNDS, BORDERS, TEXTS AND ALL OTHER ELEMENTS OF SIGN PANELS SHALL BE REFLECTORIZED EXCEPT WHERE NOTED, REFER TO PROJECT REQUIREMENTS FOR MORE DETAIL,

SIGN LOCATIONS

I. GUIDE SIGNS ARE LOCATED ON THE PLANS BY DIMENSION TO SURVEY STATIONS, OR WHEN NECESSARY, TO IDENTIFIABLE PHYSICAL FEATURES.

2. ALL CHANGES IN THE LOCATIONS OF SIGNS AS SHOWN ON THE PLAN SHALL HAVE THE PRIOR APPROVAL OF THE ENGINEER.

**EXISTING UTILITIES** 

THE ENGINEER DOES NOT WARRANT OR GUARANTEE THE ACCURACY OR COMPLETENESS OF UTILITY INFORMATION SHOWN ON THE PLAN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING FACILITIES WHICH MIGHT BE AFFECTED BY THIS WORK OR HIS OPERATION.

ROADSIDE SIGNS

I. VERTICAL ALIGNMENT POSITION PANEL SO FACE IS PLUMB.

2. HORIZONTAL ALIGNMENT (SEE DIAGRAM ABOVE) A) ON STRAIGHT ROADWAY SECTIONS, ANGLE OF SIGN FACE TO ROADWAY VARIES WITH DISTANCE FROM TRAVELLED ROADWAY TO NEAR EDGE OF SIGN - SEE DIAGRAM.

B) ON THE INSIDE OF HORIZONTAL CURVES, POSITION SIGN SO FACE OF PANEL MAKES AN ANGLE OF 90° WITH A CHORD BETWEEN A POINT ON NEAR EDGE OF PAVEMENT AT SIGN LOCATION AND A POINT ON EDGE OF PAVEMENT 500' IN ADVANCE OF SIGN.

C) ON THE OUTSIDE OF HORIZONTAL CURVES. POSITION SIGN SO FACE OF PANEL IS AT RIGHT ANGLES TO THE TANGENT OF THE CURVE AT THE SIGN LOCATION. D) POSITIONING OF SIGNS AT GORES AND RAMP SEPARATIONS IS REFERRED TO THE NORMAL EDGE OF THE MAINLINE ROADWAY.

OVERHEAD SIGNS

I. VERTICAL ALIGNMENT

POSITION PANELS FOR ALL OVERHEAD STRUCTURES SO THAT PANEL FACE IS PLUMB.

2. OVERHEAD SIGN STRUCTURES SHALL NOT BE ERECTED WITHOUT ATTACHING LUMINAIRES. SUPPORTS. AND/OR SIGNS.

3. HORIZONTAL ALIGNMENT

A) POSITION ALL OVERHEAD SIGNS SO THAT THE FACE OF THE PANEL IS AT RIGHT ANGLES TO THE NORMAL EDGE OF ROADWAY, IF ON A STRAIGHT ROADWAY SECTION.

B) POSITION ALL OVERHEAD SIGNS SO THAT THE FACE OF THE PANEL IS AT RIGHT ANGLES TO THE TANGENT OF THE CURVE AT SIGN LOCATION, IF ON A HORIZONTAL CURVE.

C) POSITIONING OF SIGNS AT GORES AND RAMP SEPARATIONS IS REFERRED TO THE NORMAL

EDGE OF THE MAINLINE ROADWAY.

4. VERTICAL CLEARANCE

A) OVERHEAD SIGNS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 17'-9" FROM TOP OF ROADWAY TO TO THE BOTTOM OF SIGN LUMINAIRE. ALL SIGN LUMINAIRES ARE TO BE AT THE SAME ELEVATION. B) IF THE CONTRACTOR CANNOT OBTAIN 17'-9" (SEE 3A) CLEARANCE, THEY SHALL CEASE WORK

AND CONTACT THE PROJECT ENGINEER FOR FURTHER INSTRUCTIONS. THE PROJECT ENGINEER MAY CONTACT THE TRAFFIC ENGINEERING DESIGN DIVISION FOR ASSISTANCE. C) ON ALL OVERHEAD SIGNS. THE MINIMUM CLEARANCE TO BOTTOM OF DESIGN SIGN: 20'-9".

PROJECT REQUIREMENTS

ALL NEW SIGNS ON THIS PROJECT SHALL BE FABRICATED FROM SHEETING WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS. UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, OR AS DIRECTED BY THE ENGINEER:

I. SHEETING SHALL MEET THE REQUIREMENTS OF SECTIONS 813 AND 950.03 OF MDOT SHA'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, MOST CURRENT EDITION AND SUBSEQUENT REVISIONS AND SUPPLEMENTS.

2. LISTED ON MDOT SHA OFFICE OF TRAFFIC AND SAFETY'S QUALIFIED PRODUCTS LIST (QPL).

PROJECT REQUIREMENTS CONT'D

3. THE FOLLOWING TYPES OF SHEETING SHALL BE USED FOR THE SPECIFIED SIGN CLASSIFICATIONS:

GENERAL NOTE: ALL COLORS SHALL BE RETROREFLECTIVE EXCEPT BLACK. BLACK TEXT, BORDERS, SYMBOLS OR ANY BLACK ELEMENTS OF ANY SIGN SHALL BE NON-REFLECTIVE. THIS APPLIES TO ALL MDOT SHA SIGNS AS SHOWN BELOW.

A) GUIDE, EXIT GORE, GENERAL INFORMATION, AND SERVICE SIGNS - ALL RETROREFLECTIVE SHEETING ELEMENTS OF THESE SIGNS SHALL MEET OR EXCEED THE REQUIREMENTS FOR ASTM TYPE XI(II).

B) WARNING SIGNS - RETROREFLECTIVE SHEETING FOR WARNING SIGNS (FLUORESCENT YELLOW AND FLUORESCENT ORANGE) SHALL MEET OR EXCEED THE REQUIREMENTS FOR ASTM TYPE XI(II). REGULATORY MESSAGES WITHIN WARNING SIGNS SHALL FOLLOW THE REQUIREMENTS FOR REGULATORY SIGNS.

C) SCHOOL SIGNS - RETROREFLECTIVE SHEETING FOR SCHOOL SIGNS (FLUORESCENT YELLOW AND FLUORESCENT YELLOW-GREEN) SHALL MEET OR EXCEED THE REQUIREMENTS FOR ASTM TYPE XI(II). REGULATORY MESSAGES WITHIN SCHOOL SIGNS SHALL FOLLOW THE REQUIREMENTS FOR REGULATORY SIGNS.

D) REGULATORY SIGNS - FALL INTO THREE SUBCATEGORIES:

(I). "RED" REGULATORY SIGNS; (SPECIFICALLY - STOP, YIELD, DO NOT ENTER AND WRONG WAY). ALL RETROREFLECTIVE SHEETING ELEMENTS OF THESE SIGNS SHALL MEET OR EXCEED THE REQUIREMENTS FOR ASTM TYPE XI(II).

(II). ALL R7 AND R8 SERIES PARKING RELATED SIGNS AND THEIR SUPPLEMENTAL PANELS, NO TRESPASSING SIGNS, AND SIGNS DIRECTED AT PEDESTRIANS AND BICYCLISTS ONLY, ALL RETROREFLECTIVE SHEETING ELEMENTS OF THESE SIGNS SHALL MEET THE REQUIREMENTS FOR ASTM TYPE IV (4).

(III), ALL OTHER REGULATORY SIGNS - ALL RETROREFLECTIVE SHEETING ELEMENTS OF THESE SIGNS SHALL MEET ASTM TYPE IV (4) INCLUDING RED ELEMENTS. WARNING MESSAGES WITHIN REGULATORY SIGNS SHALL FOLLOW THE REQUIREMENTS FOR WARNING SIGNS.

E) ROUTE MARKERS (INDEPENDENT USE AND GUIDE SIGN USE)

INDEPENDENT USE: ALL RETROREFLECTIVE SHEETING ELEMENTS OF THESE SIGNS SHALL MEET BUT NOT TO EXCEED THE REQUIREMENTS FOR ASTM TYPE IV (4).

GUIDE SIGN USE: WHEN INCORPORATED IN THE BODY OF A GUIDE SIGN. ALL RETROREFLECTIVE SHEETING ELEMENTS OF THESE SIGNS SHALL MEET THE SHEETING REQUIREMENTS OF THE GUIDE SIGNS FOR WHICH THEY ARE TO BE APPLIED: ASTM TYPE XI(II).

F)LOGOS AND / OR GRAPHICS - WITHIN SIGNS SHALL FOLLOW THE REQUIREMENTS FOR THE RESPECTIVE SIGN CLASSIFICATION UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, OR AS DIRECTED BY THE ENGINEER.

G) SPECIFIC SERVICE (LOGO) SIGNING - ALL COPY, DIVIDER BORDERS, LOGOS AND ARROWS SHALL BE DEMOUNTABLE ALUMINUM OVERLAYS, .032 MINIMUM TO .063 MAXIMUM, ALL RETROREFLECTIVE SHEETING ELEMENTS OF THESE SIGNS SHALL MEET OR EXCEED THE REQUIREMENTS FOR ASTM TYPE XI(II). DISTANCES ON DIRECTIONAL ARROWS WHEN SPECIFIED SHALL BE BLACK. THE OVERLAYS ARE TO BE APPLIED WITH 125 ALUMINUM POP RIVETS TO THE BODY OF THE MAIN SIGN.

H) CIVIL DEFENSE SIGNS AND OTHER SIGNS - NOT SPECIFICALLY FALLING INTO ONE OF THE CATEGORIES ABOVE. SHALL FOLLOW THE GUIDELINES FOR THE SIGN CLASSIFICATION THAT MOST CLOSELY MATCHES THE COLOR(S) OF THE PROPOSED SIGN.

MINIMUM THICKNESS

4. THE FOLLOWING MINIMUM THICKNESS SHALL BE USED FOR THE APPROPRIATE WIDTH OF SHEET ALUMINUM BLANKS:

UP TO 12"... ..0.040" GREATER THAN 12" TO 24". .0.063" ..0.080" GREATER THAN 24" TO 36"... GREATER THAN 36" TO 48".. ..0.100" OVER 48" ..0.125"

LONGEST DIMENSION

SHA SHEET 13 OF 15 MARYLAND DEPARTMENT OF TRANSPORTATION PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN STATE HIGHWAY WILL BE CONSTRUCTED IN CONJUNCTION WITH "SHEETZ-WESTMINSTER AT SULLIVAN RD AND RTE 140" PROJECT. ADMINISTRATION

OFFICE OF TRAFFIC & SAFETY TRAFFIC ENGINEERING DESIGN DIVISION MD 140 (BALTIMORE BLVD./ COLLEGE VIEW BLVD.)

SHA TRACKING NO. 21APCL002XX

WESTMINSTER, MARYLAND

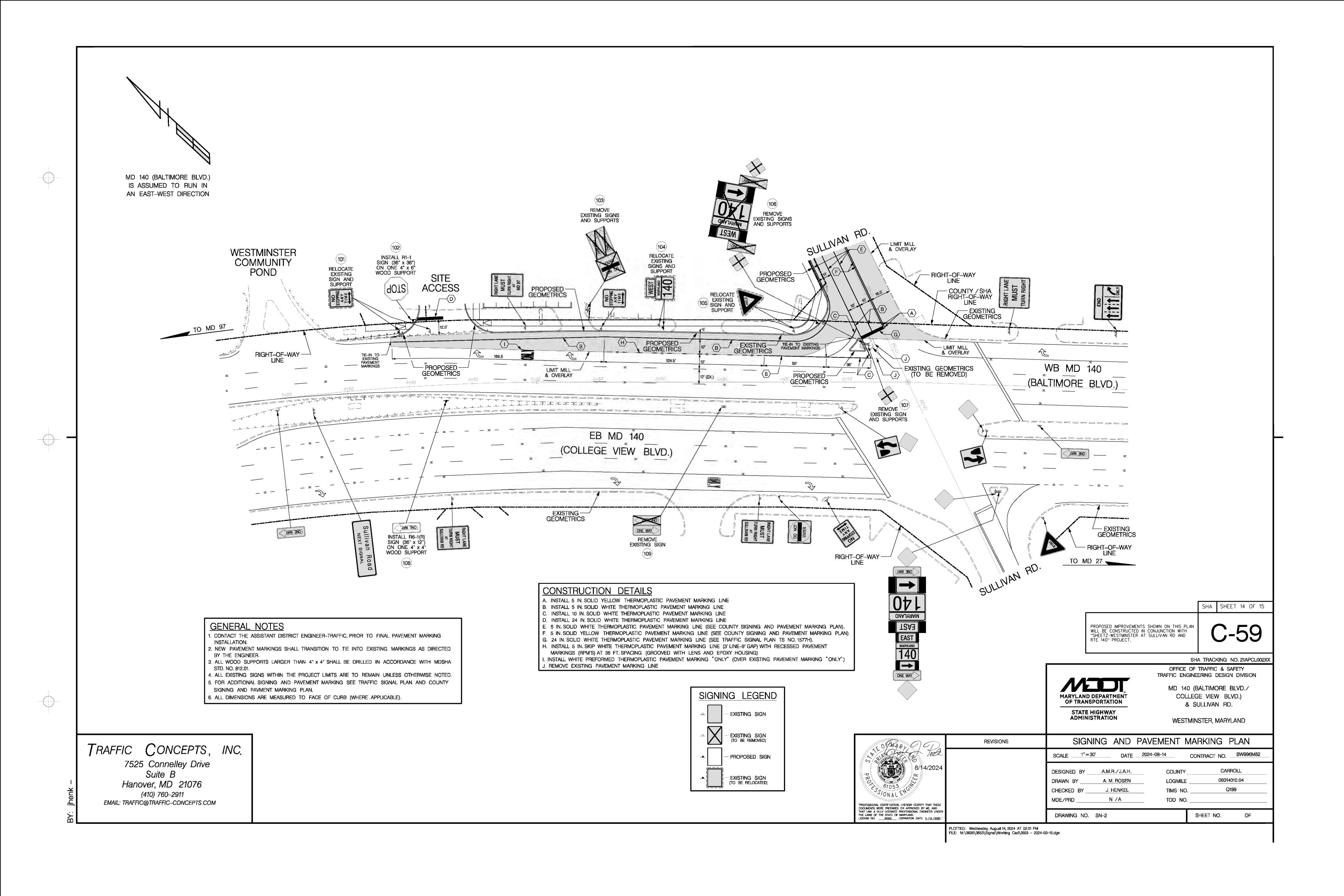
& SULLIVAN RD.

APPROVALS	REVISIONS	GENERAL NOTES AND PROPOSALS									
		SCALE NONE	ADVERTISED DATE	2024-08-14	CONTRACT NO. BW996M82						
TEAM LEADER		DESIGNED BY	A.M.R./J.A.H.	COUNTY	CARROLL						
ASST. DIV. CHIEF		DRAWN BY	A. M. ROSEN	LOGMILE							
DIVISION CHIEF		CHECKED BY MDE/PRD	J. HENKEL N / A	TIMS NO. TOD NO.							
OFFICE DIRECTOR		DRAWING NO.	SN - 1 -	OF	SHEET NO. OF						

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ET	REMARKS		CODE NUMBERS *																		
EET O.	HEMAKKS		I	2	3	4	5	6	7	8	9	10	II	12	13	14	15	16	17	18	19
-2 101 RELOCA	ATE EXISTING GROUND MOUNTED SIGN AND SUPPORT			1																	
2 102 INSTALL	_ R1-1 SIGN (36" X 36")		9			15															
-2 103 REMOVE	E EXISTING GROUND MOUNTED SIGNS AND SUPPORT													1							
-2 104) RELOCA	ATE EXISTING SIGNS AND SUPPORT			1																	
-2 (105) RELOCA	ATE EXISTING SIGN AND SUPPORT			1																	
$\times$	E EXISTING GROUND MOUNTED SIGNS AND SUPPORTS													1							
$\rightarrow$	E EXISTING GROUND MOUNTED SIGN													1							
$\times$	_ R6-1(R) SIGN (36" X 12")		3		13																
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	* CODE NUMBER DESCRIPTION & UNIT					1															

* CODE NUMBER DESCRIPTION & UNIT											
CODE NUMBERS	DESCRIPTION	UNIT	CODE NUMBERS	DESCRIPTION	UNIT						
	SHEET ALUMINUM SIGN	S.F.	II	WHITE THERMOPLASTIC PAVEMENT MARKING "ONLY"	EA.						
2	RELOCATE EXISTING GROUND MOUNTED SIGN	EA.	12	REMOVE EXISTING GROUND MOUNTED SIGN AND SUPPORT	EA.						
3	4 IN. X 4 IN. WOOD SIGN SUPPORTS	L.F.	13	REMOVE PAVEMENT MARKING LINE	L.F.						
4	4 IN. X 6 IN. WOOD SIGN SUPPORTS	L.F.	14								
5	5 IN. WHITE THERMOPLASTIC PAVEMENT MARKING	L.F.	15								
9	5 IN. YELLOW THERMOPLASTIC PAVEMENT MARKING	L.F.	9								
7	10 IN. WHITE THERMOPLASTIC PAVEMENT MARKING	L.F.	17								
8	24 IN. WHITE THERMOPLASTIC PAVEMENT MARKING	L.F.	18								
9	REMOVE EXISTING GROUND MOUNTED SIGN	EA.	19								
10	RECESSED PAVEMENT MARKING	EA.	20								

PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN WILL BE CONSTRUCTED IN CONJUNCTION WITH "SHEETZ-WESTMINSTER AT SULLIVAN RD AND RTE 140" PROJECT.

MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION

COLLEGE VIEW BLVD.) & SULLIVAN RD.

WESTMINSTER, MARYLAND

CARROLL

06014010.04

TRAFFIC CONCEPTS, INC. 7525 Connelley Drive Suite B Hanover, MD 21076 (410) 760–2911 EMAIL: TRAFFIC@TRAFFIC-CONCEPTS.COM

8/14/2024 8/14/2024 8/16/3 6/1053 6/1053 "PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 81053, EXPIRATION DATE: 5/14/2025."

REVISIONS

SCALE NONE ADVERTISED DATE 2024-08-14 CONTRACT NO. BW996M82 A.M.R./J.A.H. DESIGNED BY COUNTY A. M. ROSEN LOGMILE DRAWN BY J. HENKEL TIMS NO. CHECKED BY \_ N/A MDE/PRD \_ TOD NO. \_

Q199 DRAWING NO. SN-11 SHEET NO.

INDEX OF QUANTITIES

# ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR

# SHEETZ, INC.

# 8 & 10 SULLIVAN ROAD & 14 COLLEGE VIEW BOULEVARD 7TH ELECTION DISTRICT, COUNTY OF CARROLL STATE OF MARYLAND

# GENERAL NOTES

1. Bearings shown hereon are based upon the Maryland State Plane Coordinate System (NAD83,

markings provided by the utility companies and existing drawings obtained from utility companies The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from available information

3. Contour Interval = 1'. Elevations shown hereon are based upon GPS observation taken on March 4, 2020 and are to the North American Vertical Datum of 1988 (NAVD88)(GEOID12a).

4. There was no observed evidence of current earth moving work, building construction or building

5. The surveyor knows of no known recent or proposed changes in street right-of-way lines, street

6. There is no observed evidence of this site being used as a solid waste dump, sump, or

7. There are no delineated wetland areas located on the subject premises

8. Iron pins with cap set are 5/8"Ø rebar, 30" in length with a yellow plastic I.D. cap that bears

### UTILITY NOTES

1) INFORMATION ON THE STORM MANHOLE NEAR THE SOUTHWEST CORNER OF PARCEL 3 WAS DERIVED FROM A COMBINATION OF FIELD OBSERVATIONS AND THE EXHIBIT ATTACHED TO LIBER 7221, FOLIO 38.

2) THE LOCATION OF THE 36" STORM SEWER COMING FROM THE INTERSECTION OF SULLIVAN ROAD AND COLLEGE VIEW AVENUE AND SHOWN GOING INTO THE MANHOLE REFERRED TO IN NO. 1 IS SHOWN BASED UPON THE FOLLOWING DRAWINGS:

a) EXHIBIT ATTACHED TO LIBER 7221, FOLIO 38. b) MARYLAND DOT STATE HIGHWAY ADMINISTRATION PLAT SHOWING REPLACEMENT OF BRIDGE NO. 6032 ON MD 140 OVER MD 27, WEST BRANCH AND MD MIDLAND RAILROAD AND BRIDGE NO. 6041 ON MD 140 OVER MD 97, CONTRACT NO. CL8445170, SHEET 110 OF 284, UNDATED.

c) MARYLAND DOT STATE HIGHWAY ADMINISTRATION PLAT SHOWING REPLACEMENT OF BRIDGE NO. 6032 ON MD 140 OVER MD 27, WEST BRANCH AND MD MIDLAND RAILROAD AND BRIDGE NO. 6041 ON MD 140 OVER MD 97, CONTRACT NO. CL8445170, SHEET 21 OF 284, UNDATED.

3) THE LOCATION OF THE 6" WATER LINE IN THE BED OF SULLIVAN ROAD FROM THE INTERSECTION OF COLLEGE VIEW AVENUE AND SULLIVAN ROAD UP TO THE WATER VALVE AT THE INTERSECTION OF SULLIVAN ROAD AND HAHN ROAD WAS MARKED IN THE FIELD WITH BLUE PAINT MARKS. THE LOCATION OF THE WATER LINE HEADING NORTHWARD FROM THE VALVE IS BASED UPON THE SITE PLAN DRAWING OF SULLIVAN ROAD EXXON PREPARED BY D.R.S. ASSOCIATES DATED SEPT. 22, 1986.

4) THE LOCATION OF THE WATER SERVICE LINE COMING FROM THE WATER METER AT THE SOUTHEAST CORNER OF PARCEL 1 AND SERVING THE BUILDING ON LOT 1 WAS BASED UPON THE CUT IN THE ASPHALT PARKING LOT. THE LOCATION OF THE WATER SERVICE LINE SERVING THE BUILDING ON PARCEL 3 WAS MARKED IN THE FIELD WITH BLUE PAINT. THE LOCATION OF THE WATER SERVICE LINE SERVING THE BUILDING ON PARCEL 2 WAS MARKED IN THE FIELD WITH BLUE PAINT.

5) THE LOCATIONS OF THE SANITARY SEWER LATERALS SERVING THE BUILDINGS ON PARCELS 1 & 3 WAS MARKED IN THE FIELD WITH GREEN PAINT. THERE WERE NO FIELD MARKINGS SHOWING THE LOCATION OF THE SANITARY LATERAL TO THE BUILDING ON PARCEL 2 AND THEREFORE THE SURVEYOR DOES NOT HAVE THIS INFORMATION.

6) THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN AS "UE" OR "FO" WERE MARKED IN THE FIELD WITH EITHER RED OR ORANGE PAINT.

7) UTILITY LINES SHOWN ON THIS SURVEY AS UNDERGROUND ELECTRIC (UE) MAY ALSO BE UNDERGROUND TELEPHONE/COMMUNICATION LINES.

8) PER CONVERSATION WITH THE ON-SITE UTILITY LOCATOR ON DEC. 6, 2023, THERE IS CURRENTLY NO NATURAL GAS SERVICE TO THIS SITE. THERE IS A GAS VALVE LOCATED ACROSS SULLIVAN ROAD SOUTHEAST OF THE INTERSECTION OF SULLIVAN ROAD WITH HAHN ROAD. A SHORT PORTION OF THE GAS LINE WAS MARKED IN THE FIELD WITH

# UTILITY SERVICE INFORMATION

Water Service City of Westminster Public Works 56 West Main Street Westminster, MD 21157 (410) 848-9000

Jeff Glass

Jeff Glass

Baltimore Gas & Electric (BGE) Customer Planning 1068 North Front Street Baltimore, MD 21202 (800) 233-1854 No information can be provided on the location of gas lines without a work order

Baltimore Gas & Electric (BGE)

robert.a.maring@verizon.com

Customer Planning

(800) 233-1854

Rob Maring

1068 North Front Street

Baltimore, MD 21202

Bureau of Resource Management 225 North Center Street Westminster, MD 21157 (410) 386-2211 Myron Frock

Telephone Service City of Westminster Public Works 56 West Main Street 76 East Main Street Westminster, MD 21157 Westminster, MD 21157 (410) 848-9000 (410) 857-2364

# RECORD LEGAL DESCRIPTION

ALL THAT LOT OR PARCEL OF LAND CONTAINING 17,263 SQUARE FEET OF LAND, MORE OR LESS, SITUATE, LYING AND BEING IN THE SEVENTH ELECTION DISTRICT OF CARROLL COUNTY,

BEGINNING FOR A CORNER AT A STEEL PIN AND IRON PIPE, SAID PIN AND PIPE BEING IN THE

NORTH 43-5/8 DEGREES WEST. 540.00 FOOT LINE OF A DEED RECORDED AMONG THE LAND NORTH 44 DEGREES 45 MINUTES 41 SECONDS WEST. 161.54 FEET TO A POINT ON SAID AFOREMENTIONED DEED AND RUNNING WITH THE FOLLOWING LINE OF DIVISION NOW ESTABLISHED, (6) NORTH 48 DEGREES 51 MINUTES 48 SECONDS EAST, 97.37 FEET TO A STEEL PIN AND IRON PIPE. THE PLACE OF BEGINNING

BEGINNING FOR THE SAME AT A PIPE FOUND ON THE NORTHWEST SIDE OF SULLIVAN ROAD (50 FEET WIDE) AS SHOWN ON S.R.C. PLAT NO. 7582: SAID PIPE BEING AT THE END OF THE SIXTH OR SOUTH 45 DEGREES 28 MINUTES EAST 375.40 FOOT LINE OF A PARCEL OF LAND CONVEYED LINTO WILLIAM M FRAUGH AND ANNA M FRAUGH HIS WIFE BY DEED DATED MARCH 16, 1979 AND RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY IN LIBER L.W.S. 735, FOLIO 631; SAID PIPE ALSO BEING AT THE BEGINNING OF THE FIFTH OR NORTH 43 5/8 DEGREES BAIR, HIS WIFE, BY DEED DATED AUGUST 18, 1953 AND RECORDED AMONG THE AFORESAID LAND RECORDS IN LIBER E.A.S. 224, FOLIO 43, RUNNING THENCE REVERSELY ON SAID EBAUGH LINE AND LEAVING SAID ROAD WITH ALL BEARINGS REFERRED TO THE MARYLAND STATE GRID MERIDIAN NORTH 44 DEGREES 47 MINUTES 13 SECONDS WEST, 375.21 FEET TO A PIPE FOUND AT THE BEGINNING OF SAID EBAUGH LINE; THENCE REVERSELY ON PART OF THE SOUTH 24 DEGREES 57 MINUTES 00 SECONDS WEST 138.60 FOOT LINE OF THE AFORESAID EBAUGH CONVEYANCE NORTH 23 DEGREES 40 MINUTES 42 SECONDS EAST 38.00 FEET TO AN IRON PIN SET; SAID PIN BEING DISTANT SOUTH 23 DEGREES 40 MINUTES 42 SECONDS WEST 100.60 FEET FROM AN IRON PIN SET AT THE BEGINNING OF SAID EBAUGH LINE; THENCE LEAVING SAID LINE AND WITH A LINE OF DIVISION NOW MADE SOUTH 58 DEGREES 57 MINUTES 40 SECONDS EAST 357.60 FEFT TO AN IRON PIN SET ON THE NORTHWEST SIDE OF SULLIVAN ROAD (30 FEFT WIDE). SAID PIN ALSO BEING ON THE THIRD OR NORTH 21 DEGREES 12 MINUTES 00 SECONDS EAST 336.10 FOOT LINE OF THE AFORESAID EBAUGH CONVEYANCE; THENCE REVERSELY ON PART OF SAID LINE AND WITH THE NORTHWEST SIDE OF SAID ROAD SOUTH 21 DEGREES 45 MINUTES ON SECONDS WEST 45.62 FEET TO A POINT AT THE REGINNING OF SAID LINE THENCE NORTH 68 DEGREES 15 MINUTES 00 SECONDS WEST 10.00 FEET TO A POINT: THENCE SOUTH 21 DEGREES 45 MINUTES 00 SECONDS WEST 84.03 FEET TO THE PLACE OF BEGINNING; CONTAINING 0.685 OF AN ACRE OF LAND, MORE OR LESS.

# PARCEL 3:

BEGINNING FOR A CORNER AT A STEEL PIN, SAID PIN BEING IN THE N 435/8°W 540.0 FOOT LINE OF A DEED RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY IN DEED LIBER 224 FOLIO 43 AND BEING 375.62 FEET FROM THE BEGINNING THEREOF: THEN RUNNING WITH A PORTION OF SAID LINE AND THE OUTLINE OF SAID DEED REVERSELY (1) S 48°05'12" E, 87.68 FEET TO A STEEL PIN: THEN LEAVING THE OUTLINE OF THE AFOREMENTIONED DEED AND RUNNING WITH THE FOLLOWING LINE OF DIVISION NOW ESTABLISHED (2) S 41°54'48" W, 94.82 FEET TO A POINT ON THE NORTHERN RIGHT-OF-WAY LINE OF U.S. ROUTE 140; THEN RUNNING WITH SAID RIGHT-OF-WAY LINE AND CONTINUING WITH THE OUTLINE OF THE AFOREMENTIONED DEED BY A CURVE TO THE LEFT WHOSE RADIUS IS 1984.86 FEET, AN ARC DISTANCE OF 44.35 FEET, THE LONG CHORD OF WHICH IS (3) N 50°05'53" W, 44.55 FEET TO A POINT ON SAID RIGHT-OF-WAY LINE; THEN LEAVING SAID RIGHT-OF-WAY LINE AND THE OUTLINE OF THE AFOREMENTIONED DEED AND RUNNING WITH A LINE OF DIVISION PREVIOUSLY ESTABLISHED (4) N 17°41'31" E, 105.68 FEET TO A STEEL PIN, THE PLACE OF BEGINNING, CONTAINING 6,323 SQUARE FEET (NEAT MEASURE), BEING A TRACT OF LAND LYING IN THE WESTERN PORTION OF THE REMAINING LANDS OF THE AFOREMENTIONED DEED.

### TRACT 2

BEGINNING FOR A CORNER AT A STEEL PIN, SAID PIN BEING IN THE N 435/8°W, 540.0 FOOT LINE OF A DEED RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY IN DEED LIBER 224 FOLIO 43 AND BEING 287.94 FEET FROM THE BEGINNING THEREOF: THEN RUNNING WITH A PORTION OF SAID LINE AND THE OUTLINE OF SAID DEED REVERSELY (1) S 48°05'12" E, 142.00 FEET TO A IRON PIPE AND STEEL PIN; THEN LEAVING THE OUTLINE OF THE AFOREMENTIONED DEED AND RUNNING WITH THE FOLLOWING LINE OF DIVISION NOW ESTABLISHED (2) S 48°51'48" W. 97.37 FEET TO A POINT ON THE NORTHERN RIGHT-OF-WAY LINE OF U.S. ROUTE 140; THEN RUNNING WITH SAID RIGHT-OF-WAY LINE AND CONTINUING WITH THE OUTLINE OF THE AFOREMENTIONED DEED BY A SPIRAL TO THE LEFT (3) N 46°49'05" W, 98.26 FEET TO A POINT ON SAID RIGHT-OF-WAY LINE; THEN CONTINUING WITH SAID RIGHT-OF-WAY LINE BY A CURVE TO THE LEFT WHOSE RADIUS IS 1984.86 FEET, AN ARC DISTANCE OF 31.98 FEET, THE LONG CHORD OF WHICH IS (4) N 48°41'51" W, 31.98 FEET TO A POINT ON SAID RIGHT-OF-WAY LINE; THEN LEAVING SAID RIGHT-OF-WAY LINE AND THE OUTLINE OF THE AFOREMENTIONED DEED AND RUNNING WITH THE FOLLOWING LINE OF DIVISION NOW ESTABLISHED (5) N 41°54'48" E. 94,82 FEET TO A STEEL PIN, THE PLACE OF BEGINNING, CONTAINING 12,984 SQUARE FEET (NEAT MEASURE), BEING A TRACT OF LAND LYING IN THE CENTRAL PORTION OF THE REMAINING LANDS OF THE AFOREMENTIONED DEED.

THE ABOVE DESCRIBED IS THE SAME AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT NO. NCS-1001564-PITT, BEARING AN EFFECTIVE DATE OF FEBRUARY

### MD MISS UTILITY INFORMATION

Serial Number: 20132446 (Dig) 20132498 (Design) Date of Inquiry: 03/02/2020 How Contacted: On-line

		Has		Field	N
Company Name	All Clear	Facilities	Plans	Markinas	Resp
AT&T Transmission				X	
BG&E Electric				X	
BG&E Gas	Х				
City of Westminster				Х	
Comcast	Х				



# SITE LOCATION MAP

### AS-SURVEYED LEGAL DESCRIPTION

PARCEL 1:

ALL THAT CERTAIN parcel or tract of land situate in the seventh election district of Carroll County, Maryland at the northwest intersection of College View Boulevard (a.k.a. MD State Routes 140 & 97, 150' right-of-way width) and Sullivan Road (50' right-of-way width) and being more particularly

BEGINNING at an iron pin with cap set at the intersection of the northeasterly right-of-way line of College View Boulevard with the westerly right-of-way line of Sullivan Road;

THENCE from said POINT OF BEGINNING and following the northeasterly right-of-way line of College

View Boulevard as shown on State Roads Commission of Maryland Plat No. 11009, for the following 1) N 40°48'02" W, a distance of 4.40 feet to an iron pin with cap set;

2) Along a spiral curve to the left, N 42°45'48" W, a distance of 159.78 feet to a mag nail set at the southeast corner of property now or formerly of Patamy, LLC, recorded in Liber 5064, Folio 530 among the land records of Carroll County, MD; THENCE leaving the northeasterly right-of-way line of College View Boulevard and following the

to a mag nail set on the southerly line of other property now of formerly of Patamy, LLC recorded THENCE following the southerly line of other property now or formerly of Patamy, LLC, S 44°58'15" E, a distance of 145.94 feet to a nag nail set on the westerly right-of-way line of

southeasterly line of the aforesaid property of Patamy, LLC, N 51°49'46" E, a distance of 99.70 feet

THENCE following the westerly right-of-way line of Sullivan Road as shown on State Roads

1) S 21°33'58" W, a distance of 83.97 feet to a mag nail set; 2) S 88°40'03" W, a distance of 39.31 feet to an iron pin with cap set at the POINT OF BEGINNING for the herein described property;

Commission of Maryland Plat No. 11009, for the following two courses and distances:

CONTAINING within said bounds a total of 0.399 acres (17,363.04 square feet).

BEING the same property conveyed to Eagle Oil Company by Virginia L. McCanney, Initial Trustee of the "Virginia L. McCanney Declaration of Trust dated April 8, 1992" per Liber 4402, Folio 354, dated April 22, 2005 and recorded April 27, 2005.

ALL THAT CERTAIN parcel or tract of land situate in the seventh election district of Carroll County, Maryland on the westerly side of Sullivan Road (variable right-of-way width) near the northwest intersection of College View Boulevard and Sullivan Road and being more particularly bounded and described as follows:

BEGINNING at an iron pin with cap set on the westerly right-of-way line of Sullivan Road, as shown

on State Roads Commission of Maryland Plat No. 11009, at the dividing line between the herein described property on the north and property now or formerly of Eagle Oil Company, Inc., recorded in Liber 4402, Folio 354 among the land records of Carroll County. MD, on the south; THENCE from said POINT OF BEGINNING, following the dividing line between the herein described

property on the north and property now or formerly of the aforesaid Eagle Oil Company, Inc. and property now of formerly of Patamy, LLC, recorded in Liber 5064, Folio 530, on the south, N 44°58'15" W, a distance of 375.21 feet to an iron pin with cap set on the easterly line of property now or formerly of the County Commissioners of Carroll County, Maryland, recorded in Liber 538,

THENCE following the dividing line between the herein described property on the east and the aforesaid property of the County Commissioners of Carroll County, Maryland on the west, N 23°29'40" E, a distance of 38.00 feet to an iron pin with cap set at the northwest corner of Lot 4 as shown on the Plat of "KAR-AM", recorded in Plat Book 26, Page 28;

THENCE following the southerly line of the aforesaid Lot 4, S 59°08'42" E, a distance of 357.60 to an iron pin with cap set on the westerly right-of-way line of Sullivan Road; THENCE following the westerly right-of-way line of Sullivan Road for the following three (3) courses

1) S 21°33'58" W, a distance of 45.62 feet to a mag nail set; 2) N 68°26'02" W, a distance of 10.00 feet to a mag nail set;

3) S 21°33'58" W, a distance of 84.03 feet to a mag nail set at the POINT OF BEGINNING. CONTAINING within said bounds a total of 0.680 acres (29,605.65 square feet).

BEING the same property conveyed to Patamy, LLC by Hi-Fi properties, LLC, per Liber 4751, Folio 209, dated January 11, 2006 and recorded January 31, 2006.

# AS-SURVEYED LEGAL DESCRIPTION (CONT.)

ALL THAT CERTAIN parcel or tract of land situate in the seventh election district of Carroll County, Maryland on the northerly side of College View Boulevard (a.k.a. MD State Routes 140 & 97, 150' right-of-way width) near the northwest intersection of College View Boulevard and Sullivan Road and being more particularly bounded and described as follows:

BEGINNING at an iron pin with cap set on the northeasterly right-of-way line of College View Boulevard at the dividing line between the herein described property on the west and property now or formerly of Eagle Oil Company, Inc., recorded in Liber 4402, Folio 354 among the land records

THENCE from said POINT OF BEGINNING, following the northeasterly right-of-way line of College View Boulevard for the following two (2) courses and distances:

1) Along a spiral curve to the left, N 42°45'48" W. a distance of 92.63 feet to an iron pin with car 2) By the arc of a circle curving to the left having a radius of 1,984.86 feet, an arc length of 86.86 feet and a chord that bears N 45°38'03" W for a distance of 86.86 feet to an iron pin with cap set at the southeast corner of property now or formerly of the County Commissioners of Carroll

THENCE leaving the northeasterly right-of-way line of College View Boulevard and following the easterly line of property of the County Commissioners of Carroll County, Maryland, N 23°29'40" E, a distance of 103.68 feet to an iron pin with cap set at the dividing line between the herein described property on the south and property now or formerly of Patamy, LLC, recorded in Liber 4751. Folio 209 on the north, S 44°58'15" E, a distance of 229.27 feet to a mag nail set at the northwest corner of the aforesaid property of Eagle Oil Company, Inc.,

THENCE following the dividing line between the herein described property on the west and property now or formerly of Eagle Oil Company, Inc. on the east, S 51°49'46" W, a distance of 99.70 feet

CONTAINING within said bounds a total of 0.453 acres (19,722.51 square feet).

BEING the same property conveyed to Patamy, LLC by Glenn S. Bair and Harvey Bair, personal representatives of the estate of Anita B. Bair, by virtue of Estate No. 8075; Glenn S. Bair, Harvey B. Bair and Emerson F. Bair, personal representatives of the estate of Scott S. Bair by virtue of Estate No. 10840 and Development Company of America, LLP, a Maryland Limited Liability Partnership per Liber 5064, Folio 530, dated November 10, 2006 and recorded November 21, 2006.

### SCHEDULE B - SECTION 2 ITEMS

Per First American Title Insurance Company Title Commitment No. NCS-1001564-PITT, bearing an effective date of February 11, 2020 at 8:00 a.m.:

- Deed dated July 11, 1936 made by and among Anna Elizabeth Byers and William D. Byers, her husband and Catherine R. Gunther, and recorded March 30, 1940, among the Land Records of Carroll County, Maryland in Liber 172, folio 356. (As to Parcel 2 & 3) THIS ITEM DOES NOT AFFECT PARCELS 1, 2 OR 3.
- Deed dated September 23, 1935 made by and among Anna Elizabeth Byers and William D. Byers, her husband and Catherine R. Gunther, and recorded March 30, 1940, among the Land Records of Carroll County, Maryland in Liber 172, folio 357. (As to Parcel 2 & 3) THIS ITEM DOES NOT AFFECT PARCELS 1, 2 OR 3.
- Right of Way dated November 21, 1952 made by and among Wm. D. Byers and Anna E. Byers and Consolidated Gas Electric Light and Power Company of Baltimore, and recorded December 17, 1952, among the Land Records of Carroll County. Maryland in Liber 215. folio 367. (As to Parcel 2 & 3) THE POLE LINE DESCRIBED HEREIN AFFECTS PARCELS 1 & 3 AND IS PLOTTED AND SHOWN HEREON.
- Deed dated January 8, 1953 made by and among Anna E. Byers and William D. Byers and State Roads Commission of Maryland, acting for and on behalf of the State of Maryland, and recorded among the Land Records of Carroll County, Maryland in Liber 216, folio 258, see also State Roads Commission Plat Nos. 7582 and 7583. (As to Parcel 2 & 3) THERE ARE NO ITEMS CONTAINED IN THESE DOCUMENTS THAT AFFECT PARCELS 1, 2, OR
- Deed dated July 22, 1954 made by and between Scott S. Bair and Anita B. Bair, and recorded August 11, 1954, among the Land Records of Carroll County, Maryland in Liber 236, folio 99. (As to Parcel 1 & 3) DOES NOT AFFECT PARCELS 1, 2, OR 3.
- Right of Way dated August 2, 1955 made by and among Scott S. Bair and Anita B. Bair and Baltimore Gas and Electric Company, and recorded among the Land Records of Carroll County, Maryland in Liber 250, folio 526. (As to Parcel 1 & 3) THIS RIGHT OF WAY DOES NOT AFFECT PARCELS 1, 2 OR 3.
- Bair and Baltimore Gas and Electric Company, and recorded July 23, 1973, among the Land Records of Carroll County, Maryland in Liber 548, folio 403. (As to Parcel 1 & 3) THIS RIGHT OF WAY AFFECTS PARCELS 1 & 3 AND IS PLOTTED AND SHOWN Right of Way Agreement dated October 16, 1979 made by and between National Building

Right of Way dated November 14, 1958 made by and between Scott S. Bair and Anita B.

Leasing, Inc. and Baltimore Gas and Electric Company, and recorded November 6, 1979,

among the Land Records of Carroll County, Maryland in Liber 754, folio 858. (As to Parcel

?) THIS RIGHT OF WAY AFFECTS PARCEL 2 & 3 AND IS PLOTTED AND SHOWN

- Deed of Right of Way dated November 14, 1979 made by and among National Building Leasing, Inc., a body corporate of the State of Maryland, et al, and recorded November 19, 1979, among the Land Records of Carroll County, Maryland in Liber 755, folio 592. (As to all parcels) THIS RIGHT OF WAY IS LOCATED ON PARCELS 1 & 2 AND BENEFITS
- PARCEL 3. IT IS PLOTTED AND SHOWN HEREON. Right of Way Agreement dated December 11, 1979 made by and among Scott S. Bair and Anita B. Bair and Baltimore Gas and Electric Company, and recorded January 10, 1980, among the Land Records of Carroll County, Maryland in Liber 759, folio 219. (As to Parcel 3) THIS ITEM AFFECTS PARCELS 1, 2 & 3 AND IS PLOTTED AND SHOWN HEREON.
- Deed of Easement dated February 8, 2013 made by and between Patamy LLC and The County Commissioners of Carroll County, Maryland, a body corporate and politic of the State of Maryland, and recorded February 13, 2013, among the Land Records of Carroll County, Maryland in Liber 7221, folio 38. (As to Parcel 2 & 3) THIS EASEMENT AFFECTS PARCELS 2 & 3 AND IS PLOTTED AND SHOWN HEREON.

# ZONING INFORMATION

Zoning District - C-2 (Commercial Medium Intensity) A fuel station/convenience store is a permitted use within this zoning district

Minimum Lot Size - none listed Minimum Lot Width - none listed Minimum Front Yard Setback - 10 feet Minimum Side Yard Setback - 10 feet Minimum Rear Yard Setback - 15 feet Maximum Building Height - 50 feet Maximum Lot Coverage - none listed Maximum Paved Area - none listed

Zoning information was obtained from:

Carroll County Zoning Administration 225 North Center Street Westminster, MD 21157 (410) 386-2980 Jay Voight, Administrator

Note: A consolidation plat will be necessary to develop this property.

### FLOOD ZONE NOTE

By graphic plotting only, this site is located in Zone X of the Flood Insurance Rate Map No.

24013C0203D, Community No. 240015, Panel 0203, Suffix D, bearing an effective date of October 2, 2015 and is not in a special flood hazard area.

DRAWING NO.

SHEET 61 OF 65

### SURVEYOR'S CERTIFICATION

Sheetz, Inc. 8 & 10 Sullivan Road & 14 College View Boulevard 7th Election District, County of Carroll

State of Maryland

6)a, 6)b, 7)a, 8, 9, 10, 11)a, 13 and 16-19 of Table A thereof.

Date of Field Survey: March 4-6, 2020 & Updated Field Work Dec. 6, 2023

Certified To: Sheetz, Inc. & First American Title Insurance Company This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5,

Licensed Land Surveyor No. 21131 In The State of Maryland

Date of Last Revision: March 7, 2024

CHK'D BY: HGM 1 of 8

SCALE:

DATE:

DRAWN BY:

03/07/24

WJM

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